



**Bexley Recreation
& Parks**

Jeffrey Mansion Expansion Project

Funding Sources

revised 8.12.2019

Projected Net Income to New Space		\$73,340
Initial Project Cost:		\$3,225,000
2019 Changes		\$692,000
Less: Design Fees Appropriation		<u>-\$144,895</u>
Total future Project Costs		\$3,772,105
Sources of Funding:		
BCF Grant - Round 1		\$1,000,000
BCF Grant - Round 2		\$500,000
State Capital Fund		\$250,000
Parking Lot Capital Budget		\$180,000
Street fund: Parking Lot Asphalt		\$105,000
Jeffrey Mansion Fund Allocation		\$235,000
2019 Additional Rec Fund Appropriation		\$240,000
2020 Jeffrey Mansion Fund Budget Contribution		<u>\$240,000</u>
Funded		\$2,750,000
Unfunded:		\$1,022,105
Project Financing Scenario:		
Plus: Carry Costs		\$75,000
Bond Amount:		\$1,097,105
Bond Financing Assumptions		
Length	20	
Rate	0.03	
Debt Service		\$73,743



Bexley Recreation
& Parks

Jeffrey Mansion Expansion Project

Value Engineering Options

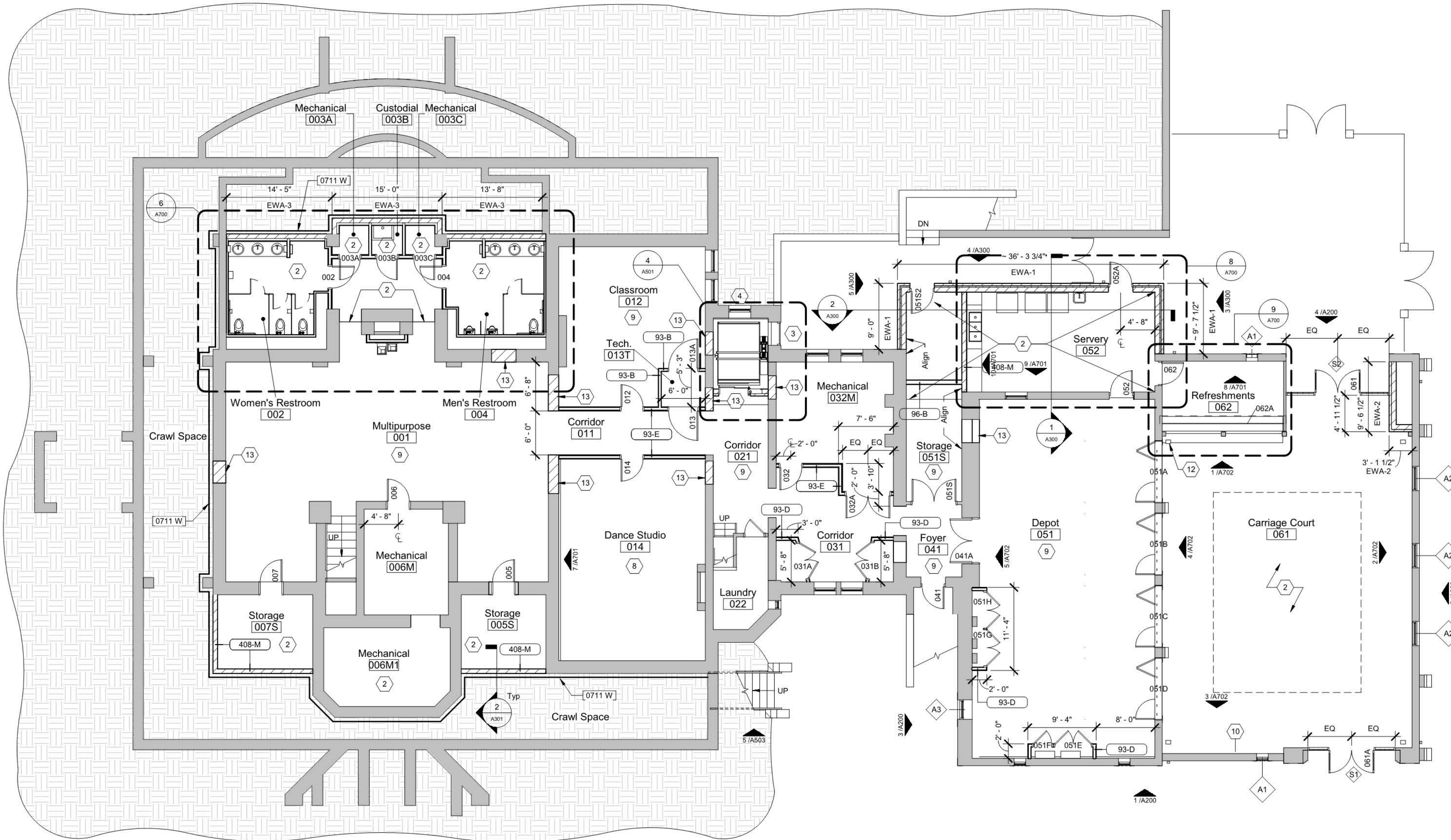
revised 8.12.2019

Potential Items to be Removed from Project for Cost Savings:

Decorative paving at north parking lot (Planned alternate)	\$60,000
South parkng lot (Planned alternate)	\$145,000
Exterior Stair Terrace	\$25,000
Building Security Technology (Cameras, Panels, Motion, etc)	\$35,000
Other adjustment needed	<u>\$150,000</u>
Sub-Total	\$415,000
General Conditions at roughly 10%	\$42,000
Proposed additional soft costs	\$85,000
Proposed additional construction contingency	<u>\$150,000</u>

Grand Total

\$692,000



1 Ground Floor New Work Plan
1/8" = 1'-0"

NEW WORK - GENERAL NOTES

A. Refer to G002 for locations of fire resistance rated assemblies and requirements.

NEW WORK - CODED NOTES

1. New floor structure above existing floor structure
2. New concrete slab on grade in this room or as shown - Refer to A9 series for finishes, see structural for additional information.
3. Existing door to be locked in place. Gypsum board on metal stud on inside of face, see Partition Type 92-A on A020.
4. Install laminated safety glass interior storm window assembly at elevator shaft window.
5. Install scupper and copper downspout into cast iron boot. Tie into existing storm line.
6. New parapets
7. New roof and roof framing
8. New floor this room, refer to A900.
9. Patch and level existing floor in this room or demo and replace with new concrete floor.
10. Not used.
11. No work this area.
12. Steel tube column, typical of 4. See structural drawings.
13. Infill masonry opening. Patch and refinish to match adjacent existing masonry wall.

Keynote Legend

0711 W	WATERPROOFING
--------	---------------



ARCHITECTURE. INSPIRED.
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614-628-0300
614-628-0311
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Structural Engineer
Kabil Associates, Inc.
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Civil Engineer
EMH&T
5500 New Albany Rd W.
New Albany, OH 43054
Landscape Architect
MKS
462 South Ludlow Alley
Columbus, OH 43215

Drawing Issue Dates
Schematic Design Submittal
04/22/19
Design Development Submittal
06/14/19

Revision Schedule

#	Description	Date
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Jeffrey Mansion
Renovation and
Expansion

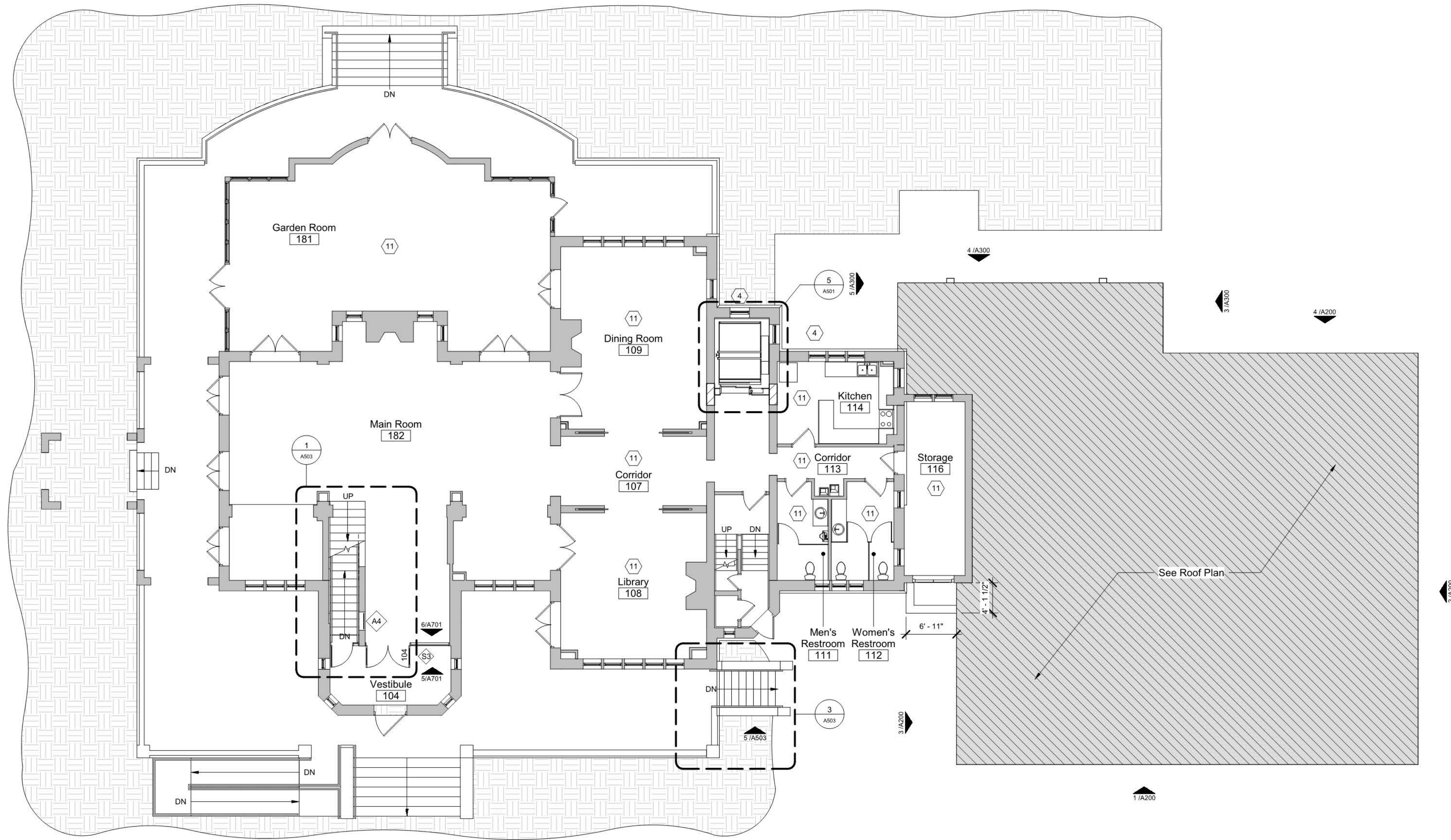
165 North Parkview Avenue
Bexley, OH 43209

NOT FOR CONSTRUCTION

Ground Floor Plan

Architectural
A100
06/14/19
19020.00

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7/5/2019 3:24:34 PM



1 First Floor New Work Plan
1/8" = 1'-0"

NEW WORK - GENERAL NOTES

A. Refer to G002 for locations of fire resistance rated assemblies and requirements.

NEW WORK - CODED NOTES

1. New floor structure above existing floor structure
2. New concrete slab on grade in this room or as shown - Refer to A9 series for finishes, see structural for additional information.
3. Existing door to be locked in place. Gypsum board on metal stud on inside of face, see Partition Type 92-A on A020.
4. Install laminated safety glass interior storm window assembly at elevator shaft window.
5. Install scupper and copper downspout into cast iron boot. Tie into existing storm line.
6. New parapets
7. New roof and roof framing
8. New floor in this room, refer to A900.
9. Patch and level existing floor in this room or demo and replace with new concrete floor.
10. Not used.
11. No work this area.
12. Steel tube column, typical of 4. See structural drawings.
13. Infill masonry opening. Patch and refinish to match adjacent existing masonry wall.

SCHOOLEY CALDWELL

ARCHITECTURE. INSPIRED.

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New Albany, OH 43054

Landscape Architect
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Drawing Issue Dates

- Schematic Design Submittal
04/22/19
- Design Development Submittal
06/14/19

Revision Schedule

#	Description	Date
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**Jeffrey Mansion
Renovation and
Expansion**

165 North Parkview Avenue
Bexley, OH 43209

NOT FOR CONSTRUCTION

First Floor Plan

Architectural

A101

06/14/19

19020.00

NEW WORK - GENERAL NOTES

A. Refer to G002 for locations of fire resistance rated assemblies and requirements.

NEW WORK - CODED NOTES

1. New floor structure above existing floor structure
2. New concrete slab on grade in this room or as shown - Refer to A9 series for finishes, see structural for additional information.
3. Existing door to be locked in place. Gypsum board on metal stud on inside of face, see Partition Type 92-A on A020.
4. Install laminated safety glass interior storm window assembly at elevator shaft window.
5. Install scupper and copper downspout into cast iron boot. Tie into existing storm line.
6. New parapets
7. New roof and roof framing
8. New floor this room, refer to A900.
9. Patch and level existing floor in this room or demo and replace with new concrete floor.
10. Not used.
11. No work this area.
12. Steel tube column, typical of 4. See structural drawings.
13. Infill masonry opening. Patch and refinish to match adjacent existing masonry wall.

Drawing Issue Dates

- Schematic Design Submittal 04/22/19
- Design Development Submittal 06/14/19

Revision Schedule		
#	Description	Date

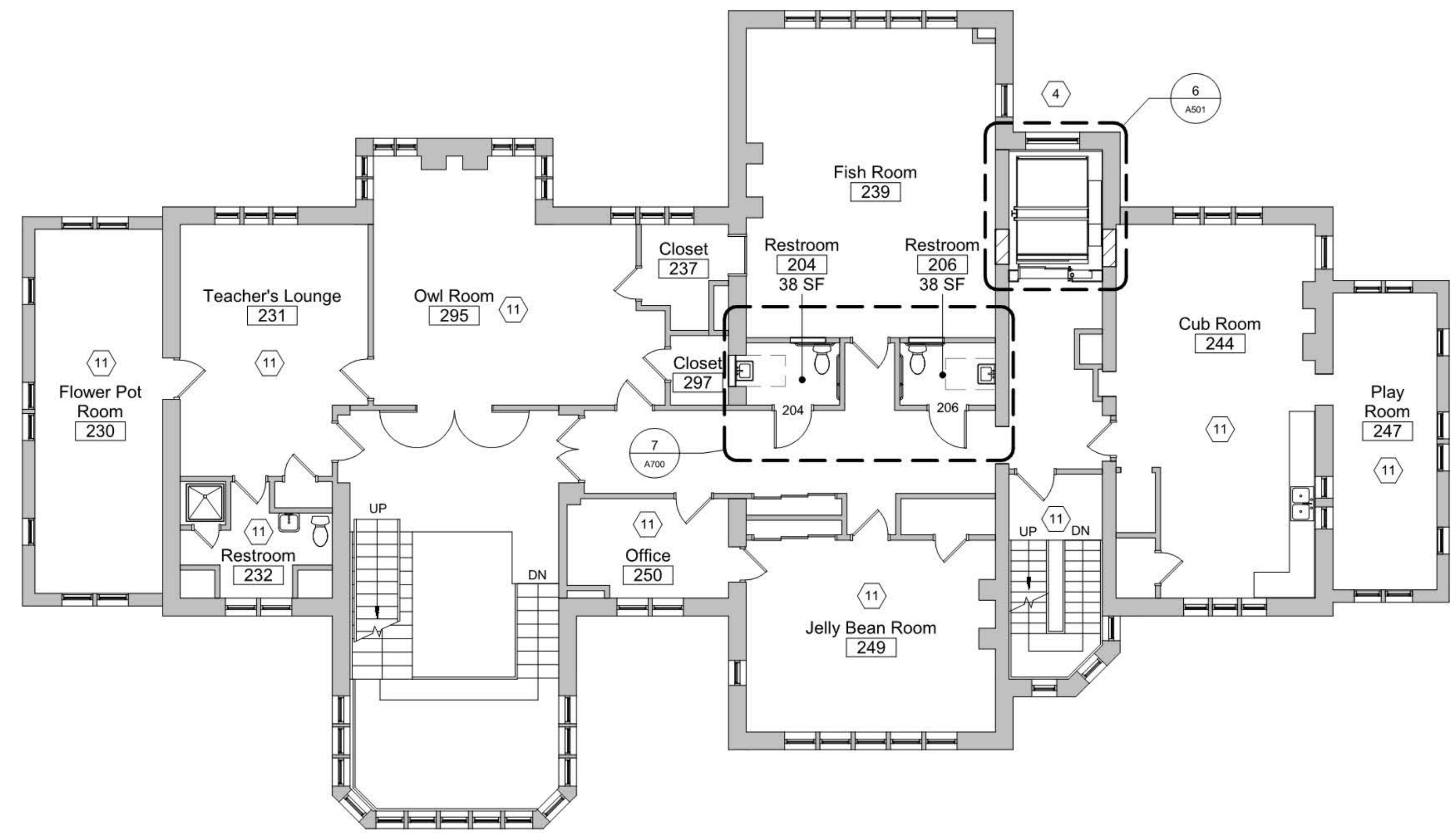
Jeffrey Mansion Renovation and Expansion

165 North Parkview Avenue
 Bexley, OH 43209

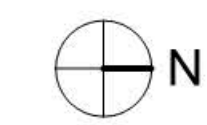
NOT FOR CONSTRUCTION

Second Floor Plan

Architectural
A102
 06/14/19
 19020.00



1 Second Floor New Work Plan
 1/8" = 1'-0"



NEW WORK - GENERAL NOTES

A. Refer to G002 for locations of fire resistance rated assemblies and requirements.

NEW WORK - CODED NOTES

1. New floor structure above existing floor structure
2. New concrete slab on grade in this room or as shown - Refer to A9 series for finishes, see structural for additional information.
3. Existing door to be locked in place. Gypsum board on metal stud on inside of face, see Partition Type 92-A on A020.
4. Install laminated safety glass interior storm window assembly at elevator shaft window.
5. Install scupper and copper downspout into cast iron boot. Tie into existing storm line.
6. New parapets
7. New roof and roof framing
8. New floor this room, refer to A900.
9. Patch and level existing floor in this room or demo and replace with new concrete floor.
10. Not used.
11. No work this area.
12. Steel tube column, typical of 4. See structural drawings.
13. Infill masonry opening. Patch and refinish to match adjacent existing masonry wall.

Drawing Issue Dates

Schematic Design Submittal
04/22/19
Design Development Submittal
06/14/19

Revision Schedule

#	Description	Date
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**Jeffrey Mansion
Renovation and
Expansion**

165 North Parkview Avenue
Bexley, OH 43209

NOT FOR CONSTRUCTION

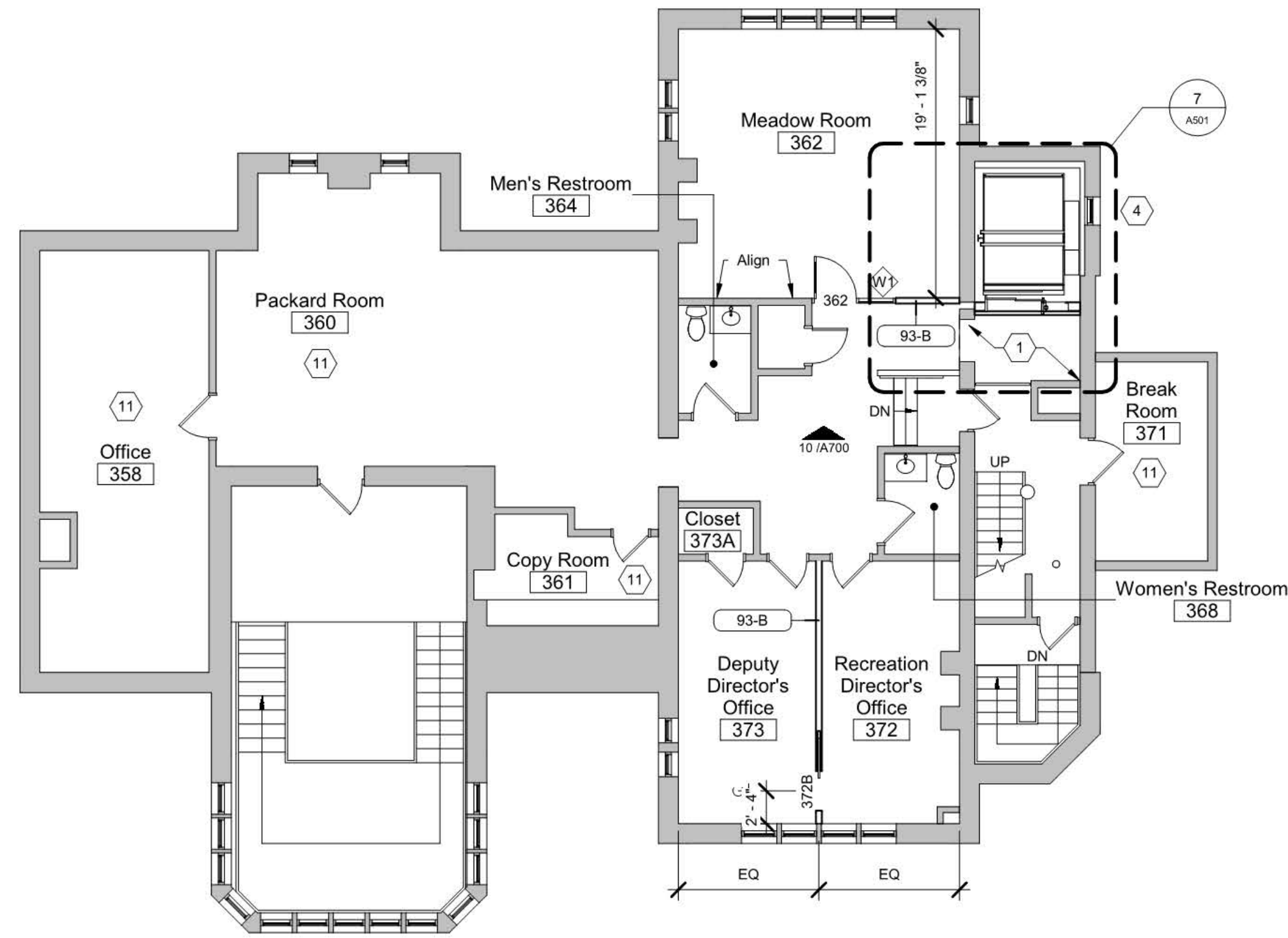
Third Floor Plan

Architectural

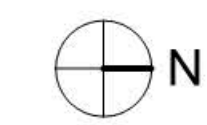
A103

06/14/19

19020.00



1 Third Floor New Work Plan
1/8" = 1'-0"



Drawing Issue Dates

Schematic Design Submittal
04/22/19
Design Development Submittal
06/14/19

Revision Schedule		
#	Description	Date

**Jeffrey Mansion
Renovation and
Expansion**

165 North Parkview Avenue
Bexley, OH 43209

NOT FOR CONSTRUCTION

Roof Plan




NEW WORK - GENERAL NOTES

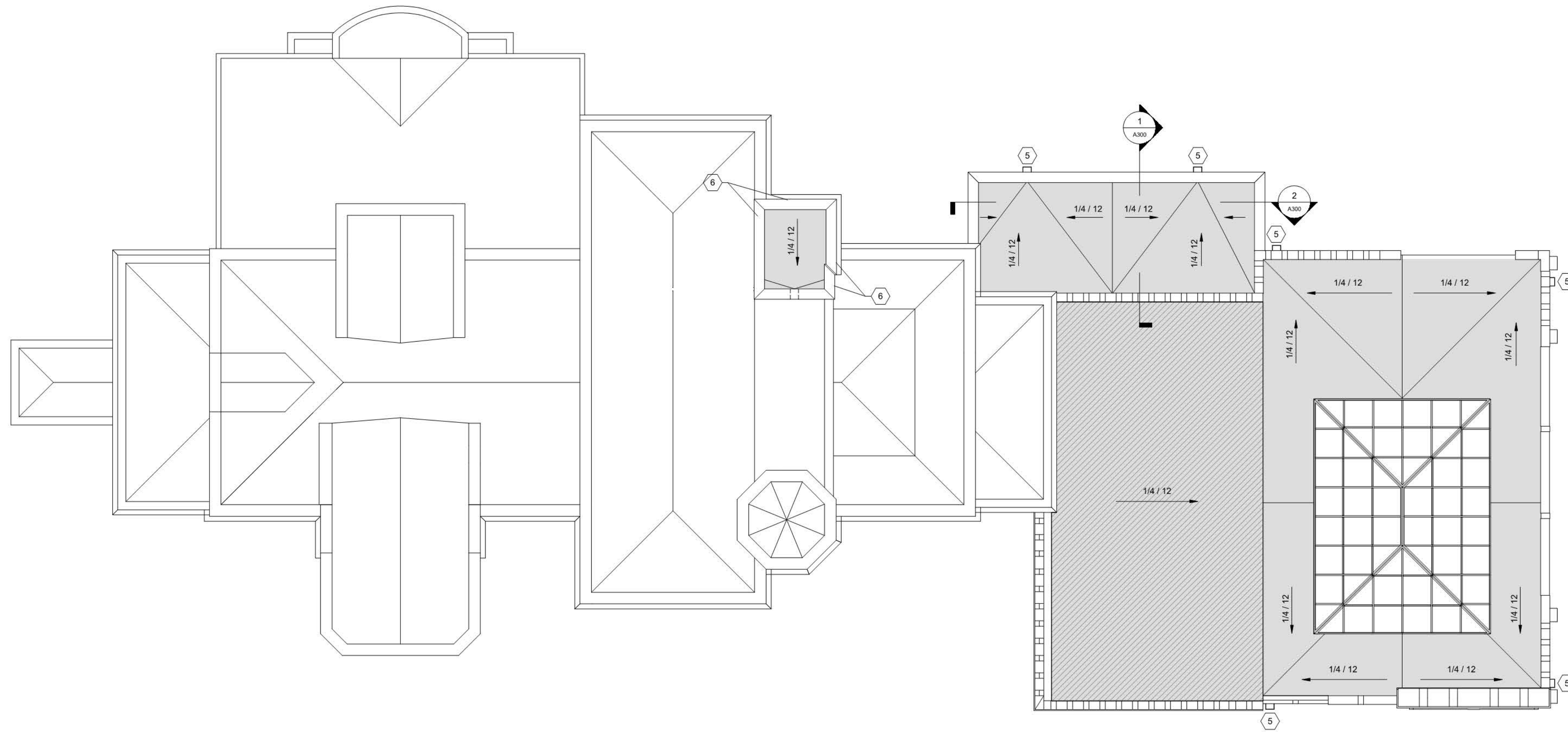
A. Refer to G002 for locations of fire resistance rated assemblies and requirements.

NEW WORK - CODED NOTES

1. New floor structure above existing floor structure
2. New concrete slab on grade in this room or as shown - Refer to A9 series for finishes, see structural for additional information.
3. Existing door to be locked in place. Gypsum board on metal stud on inside of face, see Partition Type 92-A on A020.
4. Install laminated safety glass interior storm window assembly at elevator shaft window.
5. Install scupper and copper downspout into cast iron boot. Tie into existing storm line.
6. New parapets
7. New roof and roof framing
8. New floor this room, refer to A900.
9. Patch and level existing floor in this room or demo and replace with new concrete floor.
10. Not used.
11. No work this area.
12. Steel tube column, typical of 4. See structural drawings.
13. Infill masonry opening. Patch and refinish to match adjacent existing masonry wall.

Roof Legend

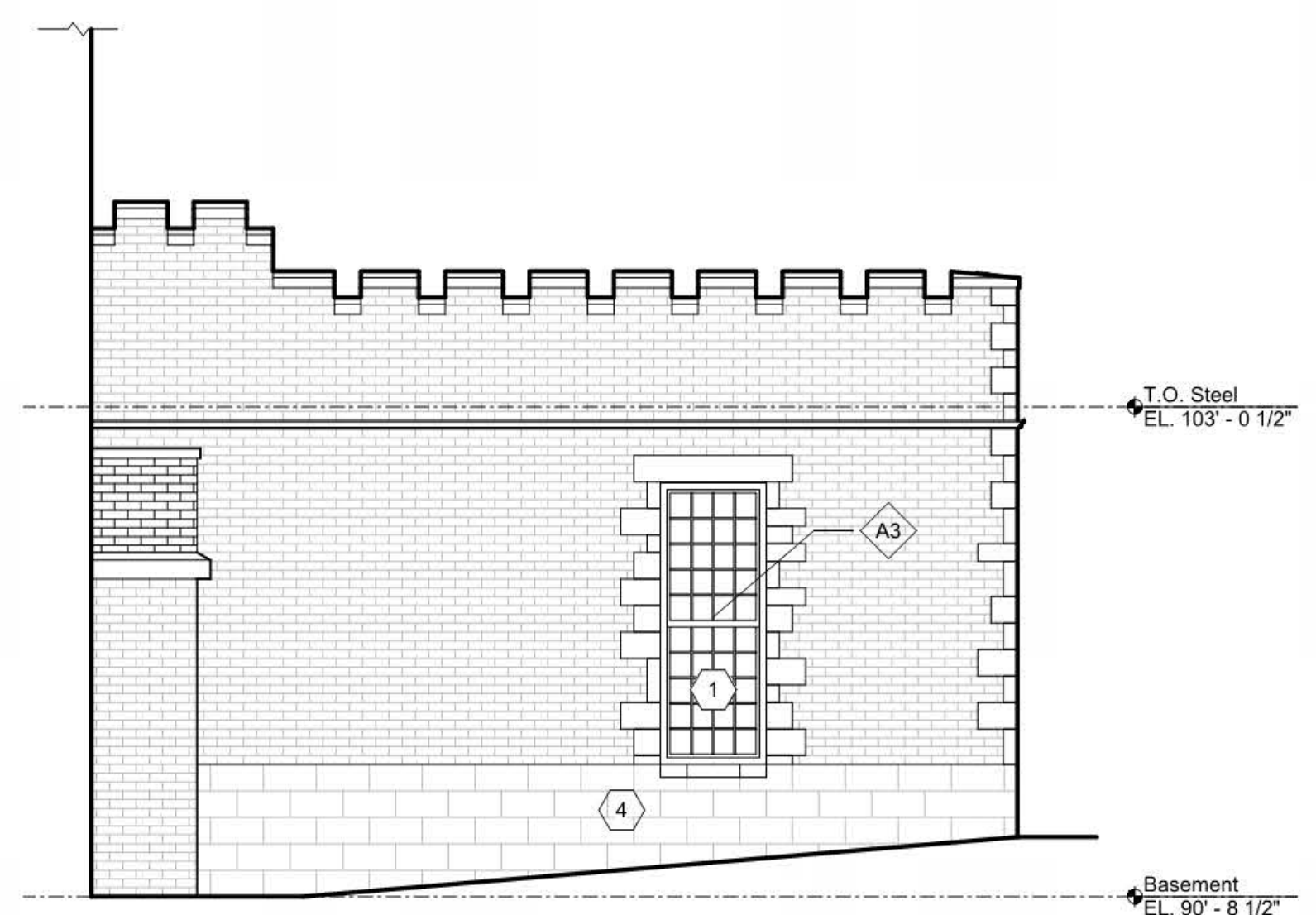
-  Existing roof
-  New roof and roof framing - See ERA-1 on A010
-  New roof assembly on existing roof framing - See ERA-2 on A010



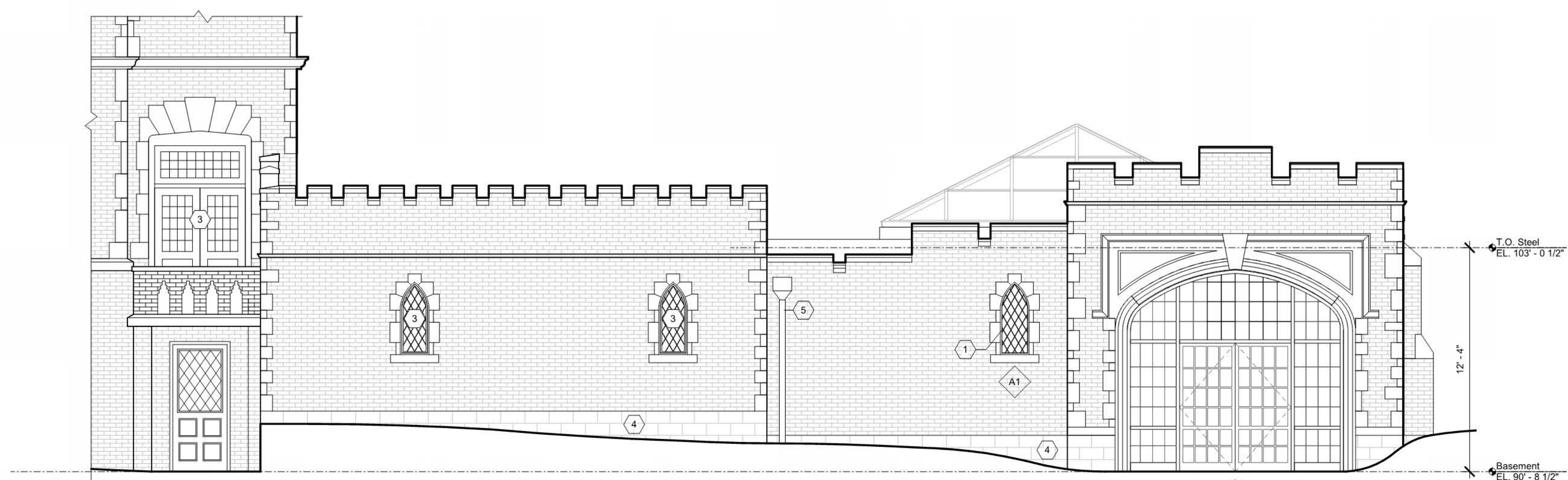
1 **A104 - Roof New Work Plan**
1/8" = 1'-0"

NEW WORK - CODED NOTES

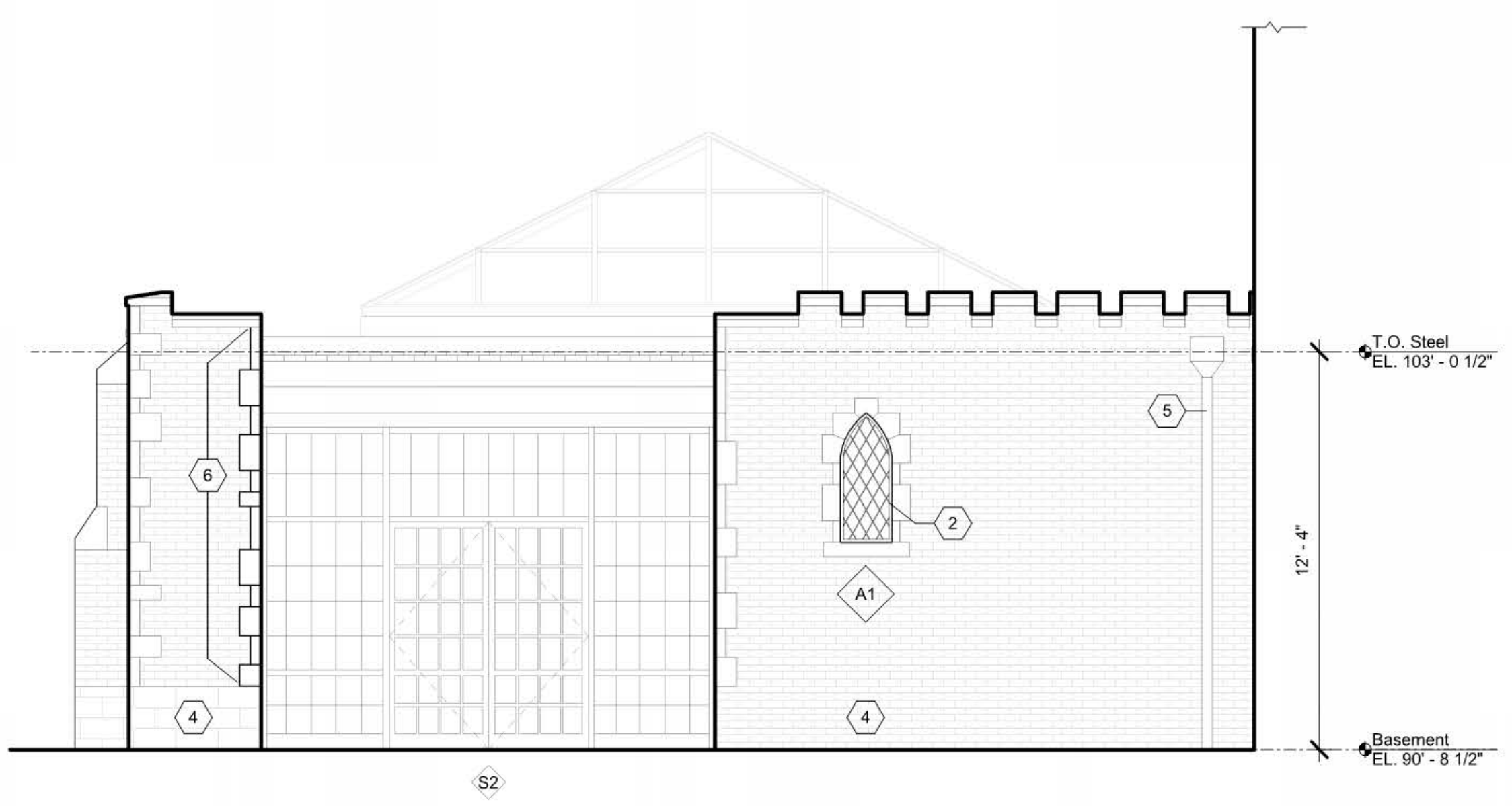
1. New steel window with insulated glass.
2. New steel window with insulated glass, remove existing ironwork.
3. Existing door/window to remain.
4. Existing limestone to remain, verify in field.
5. Install scupper and copper downspout into cast iron boot.
6. Remove one wythe of existing brick at corner of wall and install new stone quoins to match existing.



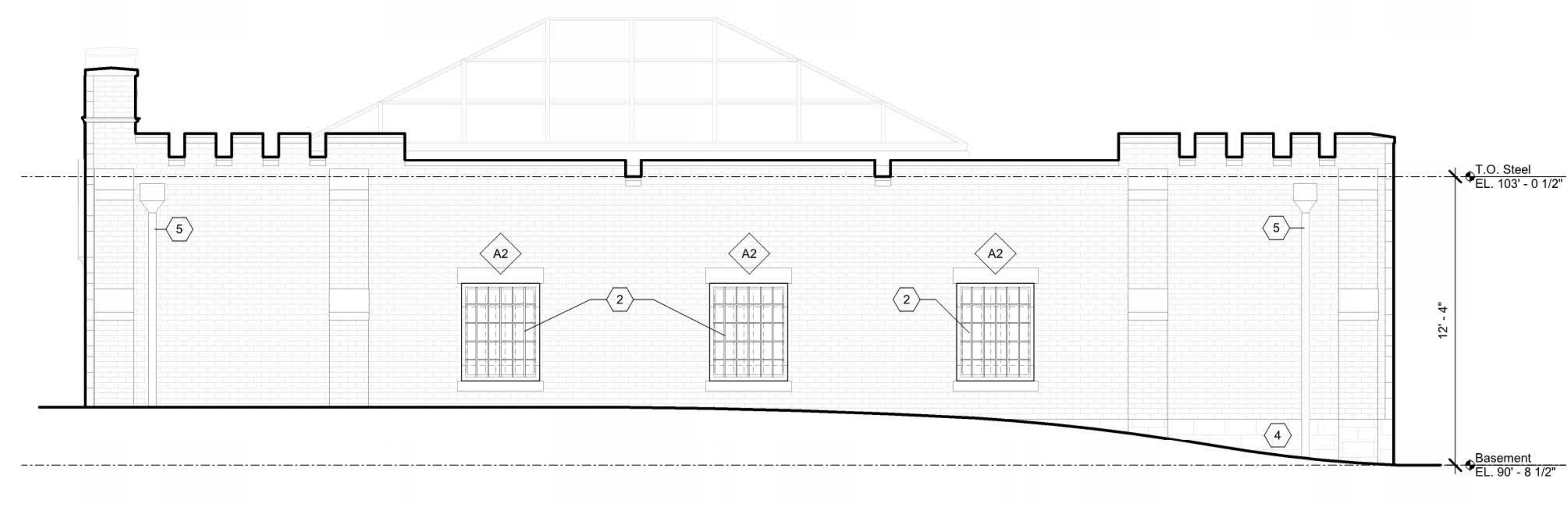
3 Carriage Court - South Elevation
1/4" = 1'-0"



1 Carriage Court - East Elevation
1/4" = 1'-0"



4 Carriage Court - West Elevation
1/4" = 1'-0"



2 Carriage Court - North Elevation
1/4" = 1'-0"

Drawing Issue Dates

- Schematic Design Submittal 04/22/19
- Design Development Submittal 06/14/19

Revision Schedule

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Jeffrey Mansion Renovation and Expansion

165 North Parkview Avenue
Bexley, OH 43209

NOT FOR CONSTRUCTION

Exterior Elevations

NEW WORK - CODED NOTES

1. New steel window with insulated glass.
2. New steel window with insulated glass, remove existing ironwork.
3. New custom three panel folding wood door based on historic wood door design. Verify opening configuration.
4. New ceiling overhead grille.
5. Existing window to remain.

**SCHOOLEY
CALDWELL**

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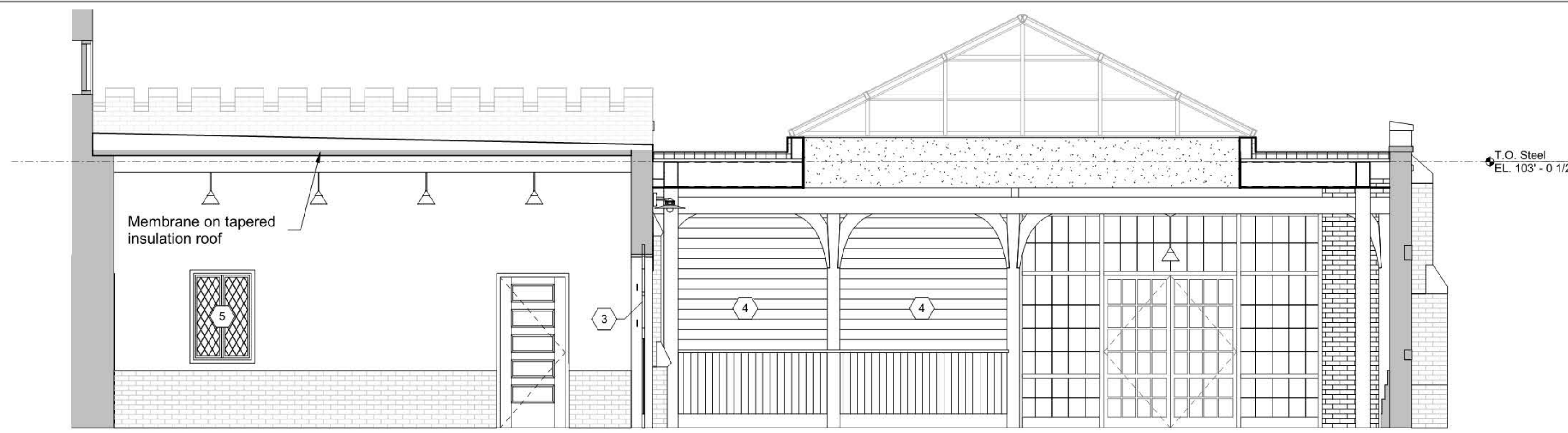
**Garage Interior
Elevations**

Architectural

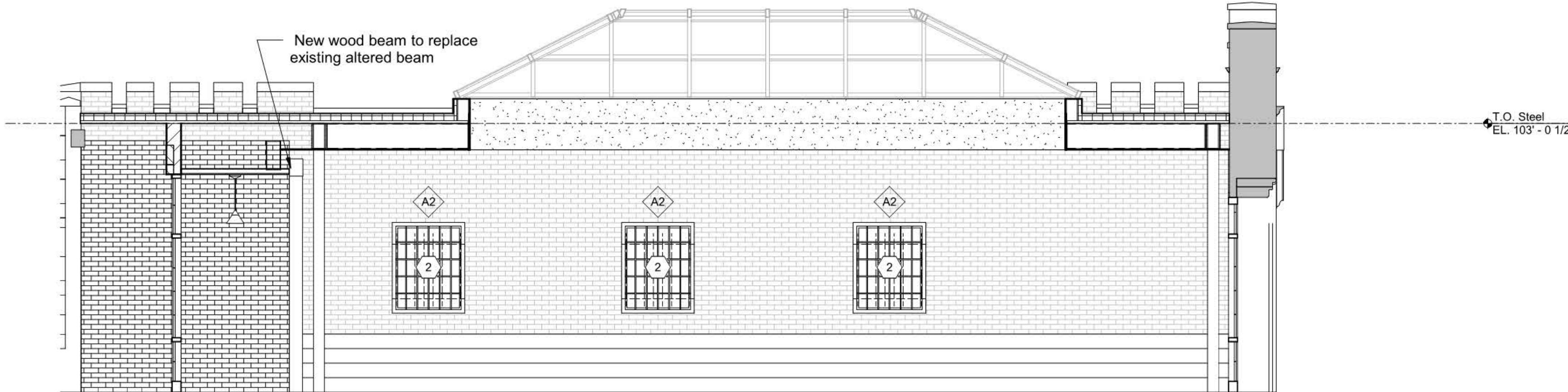
A702

06/14/19

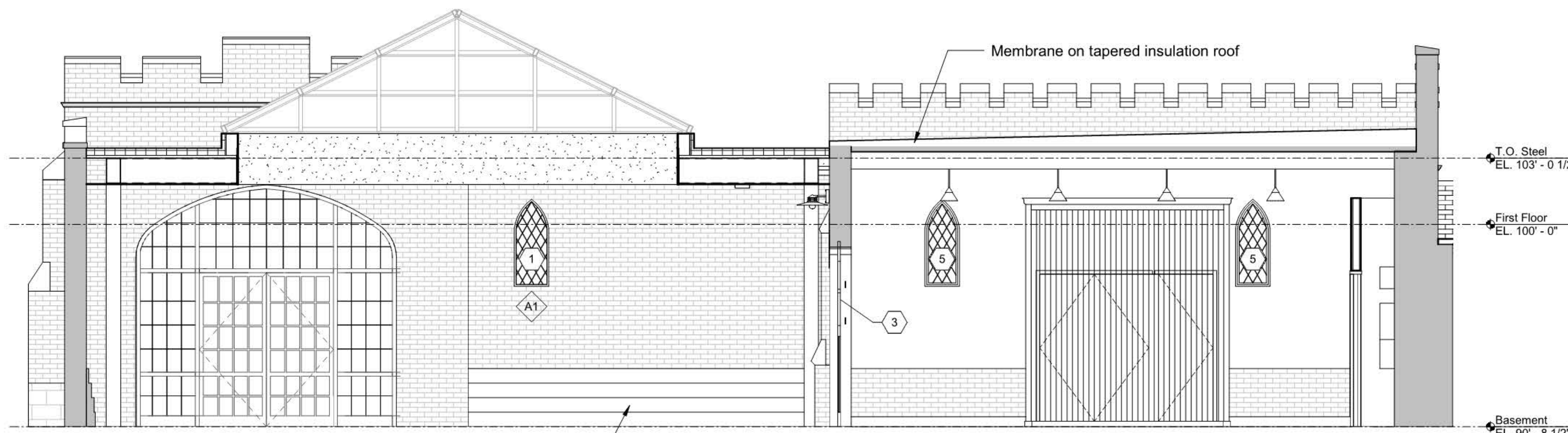
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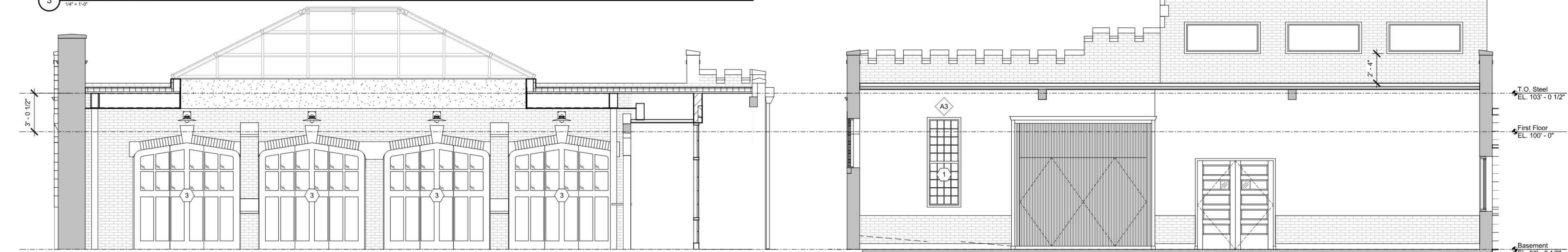
1 Garage West Elevation
1/4" = 1'-0"



2 Garage North Elevation
1/4" = 1'-0"



3 Garage East Elevation
1/4" = 1'-0"



4 Garage South Elevation
1/4" = 1'-0"

5 Garage South Elevation
1/4" = 1'-0"

Drawing Issue Dates

Schematic Design Submittal	04/22/19
Design Development Submittal	06/14/19

Revision Schedule

#	Description	Date
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Jeffrey Mansion
 Renovation and
 Expansion

165 North Parkview Avenue
 Bexley, OH 43209

NOT FOR CONSTRUCTION

Sheet Name

SOILS PLAN - NORTH
 PARKING COURT
Architectural

L503

06/14/19

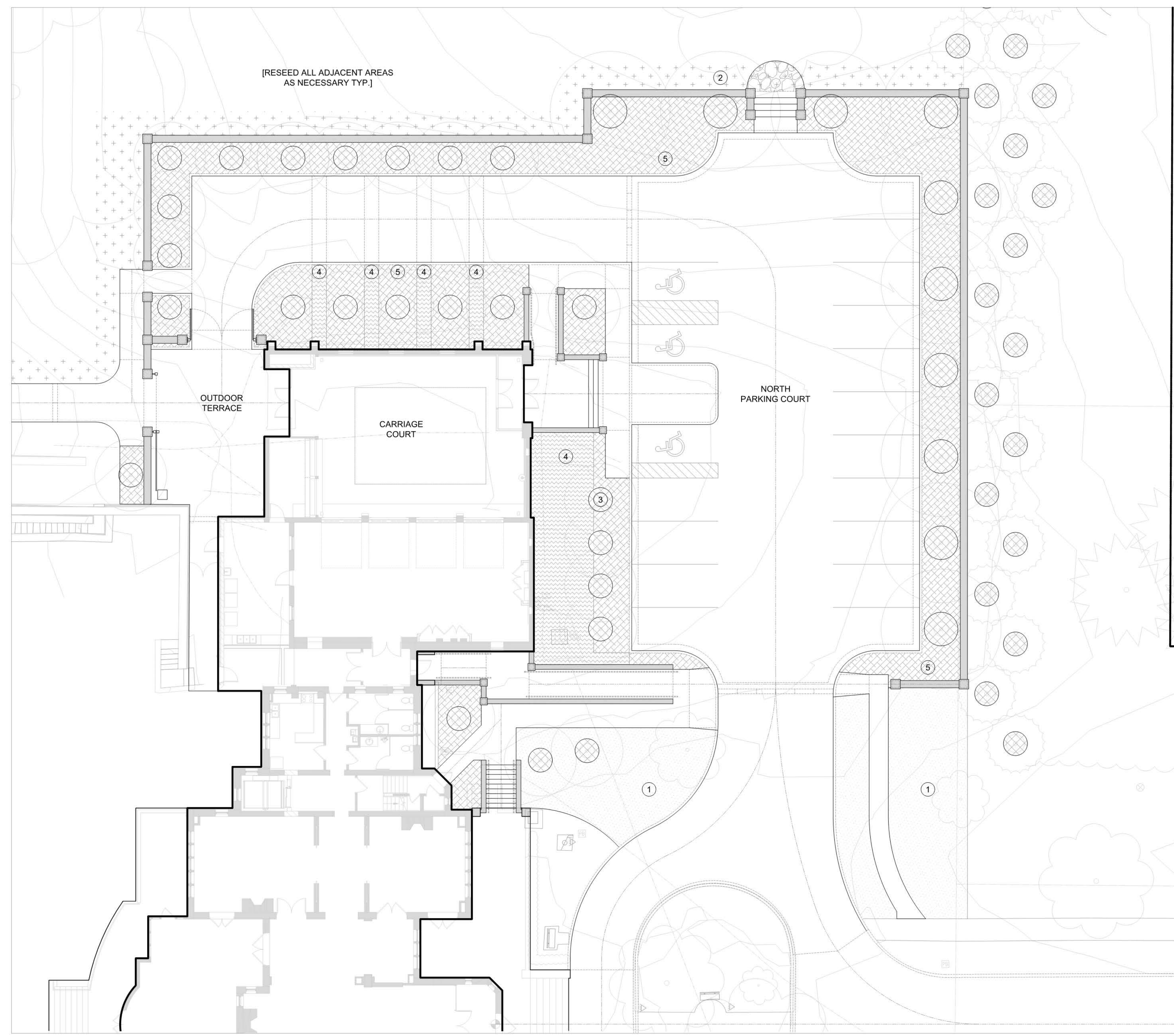
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SOILS LEGEND

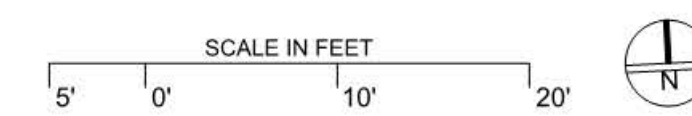
SOIL	PATTERN	DESCRIPTION
1	[Cross-hatch pattern]	TURF - SOD: GRASS ZONE [6" DEPTH]
2	[Dotted pattern]	TURF - SEED: GRASS ZONE [2" DEPTH]
3	[Diagonal lines]	TREE ZONE: [36" DEPTH, REFER TREE PLANTING DETAIL]
4	[Wavy lines]	SHRUB ZONE [12" DEPTH, REFER SHRUB PLANTING DETAIL]
5	[Horizontal lines]	GROUND COVER ZONE: [6" DEPTH]
6	[Diagonal lines]	EXISTING BED AMENDMENTS: [SCARIFY EXISTING SOILS TO 4" DEPTH AND ADD COM-TIL TYP.]

SOILS NOTES

- HATCHING ON THIS PLAN IS INTENDED TO SHOW THE DIFFERENT SOIL TYPES / DEPTHS NOT BE CONFUSED WITH THE HATCHES ON THE PLANTING PLANS.
- DO NOT FILL OVER EXISTING TREE ROOT ZONES.
- TOPSOIL STRIPPED FROM SITE AND REDISTRIBUTED MUST BE CLEANED AND AMENDED TO MEET DEFINITION OF TOPSOIL BEFORE THE SOIL WILL BE ACCEPTED FOR REDISTRIBUTION.
- TOPSOIL DEPTH INDICATED IS THE FINAL DEPTH REQUIRED. COMPENSATE FOR SETTLING AND COMPACTION AS NECESSARY.
- OVER EXCAVATE AS NECESSARY TO PROVIDE REQUIRED DEPTH OF ALL SOIL AREAS.
- SOILS UNDER EXISTING TREE CANOPIES (DRIP LINE) SHALL NOT BE DISTURBED.

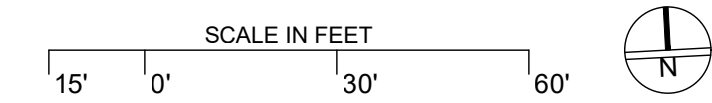


SOILS PLAN - NORTH PARKING COURT
 SCALE: 1" = 10'-0"





EXISTING SITE AERIAL
SCALE: 1" = 30'-0"



MATERIALS KEY

- P1 ASPHALT PAVING AND CONCRETE CURBING:
2" BINDER COURSE + 2" WEARING COURSE
FINISH COATED ON COMPACTED AGGREGATE
BASE.
- P1-A ASPHALT PAVING WITH NO CURBING:
2" BINDER COURSE + 2" WEARING COURSE
FINISH COATED ON COMPACTED AGGREGATE
BASE.
- P2 ASPHALT PAVING WITH STONE CHIP FINISH
AND CONCRETE CURBING: 2" BINDER COURSE
+ 2" WEARING COURSE FINISH COATED ON
COMPACTED AGGREGATE BASE.
- P3 VEHICULAR BRICK PAVING FIELD:
[TO MATCH EXISTING] WITH CONCRETE
TRANSITION BANDING ON CONCRETE BASE.
- P4 PEDESTRIAN BRICK PAVING FIELD:
[TO MATCH EXISTING] ON CONCRETE BASE.
- P5 RECTANGULAR CUT STONE PAVING FIELD:
2" THICKNESS / REGIONAL SOURCE ON
CONCRETE BASE.
- P6 IRREGULAR FLAGSTONE PAVING FIELD WITH
POLYMERIC SAND SWEEP JOINTING:
2" THICKNESS / REGIONAL SOURCE ON
AGGREGATE BASE.
- P7 WOODEN BOARDWALK ENTRY PATH:
5' WIDE ON CONCRETE PIERS.
- S1 CUT STONE STAIR TREADS:
STONE MATERIAL TO MATCH W1 ON
CONCRETE BASE.
- S2 STONE + BRICK MASONRY STAIRCASE:
STONE + BRICK TO MATCH EXISTING.
[BLACK ALUMINUM RAIL TYP.]
- W1 STONE VENEER RETAINING WALL WITH
CONCRETE + STEEL STEM:
42" HT + 18" DEPTH / REGIONAL SOURCE ON
CONCRETE BASE.
- W2 STACKED 'DRY-LAID' STONE RETAINING WALL:
STONE MATERIAL TO MATCH W1
42" HT + 18" DEPTH / REGIONAL SOURCE ON
AGGREGATE BASE.
- W3 STONE + BRICK COLUMN:
BRICK TO MATCH EXISTING
60" HT + 24" DEPTH / REGIONAL SOURCE ON
CONCRETE BASE.

ADDITIONAL SITE NOTES:

- 1 ALL LANDSCAPE AREAS TO INCLUDE
LIGHTING AND IRRIGATION.
- 2 ALL LANDSCAPE AREAS TO INCLUDE LITTER /
RECYCLING RECEPTACLES.



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Drawing Issue Dates
Design Development Submittal
05/23/19

Revision Schedule		
#	Description	Date

**Jeffrey Mansion
Renovation and
Expansion**

165 North Parkview Avenue
Bexley, OH 43209

NOT FOR CONSTRUCTION

Sheet Name
SITE AERIAL
Architectural
AL100
05/23/19
19020

Revision Schedule		
#	Description	Date

**Jeffrey Mansion
 Renovation and
 Expansion**
 165 North Parkview Avenue
 Bexley, OH 43209

NOT FOR CONSTRUCTION

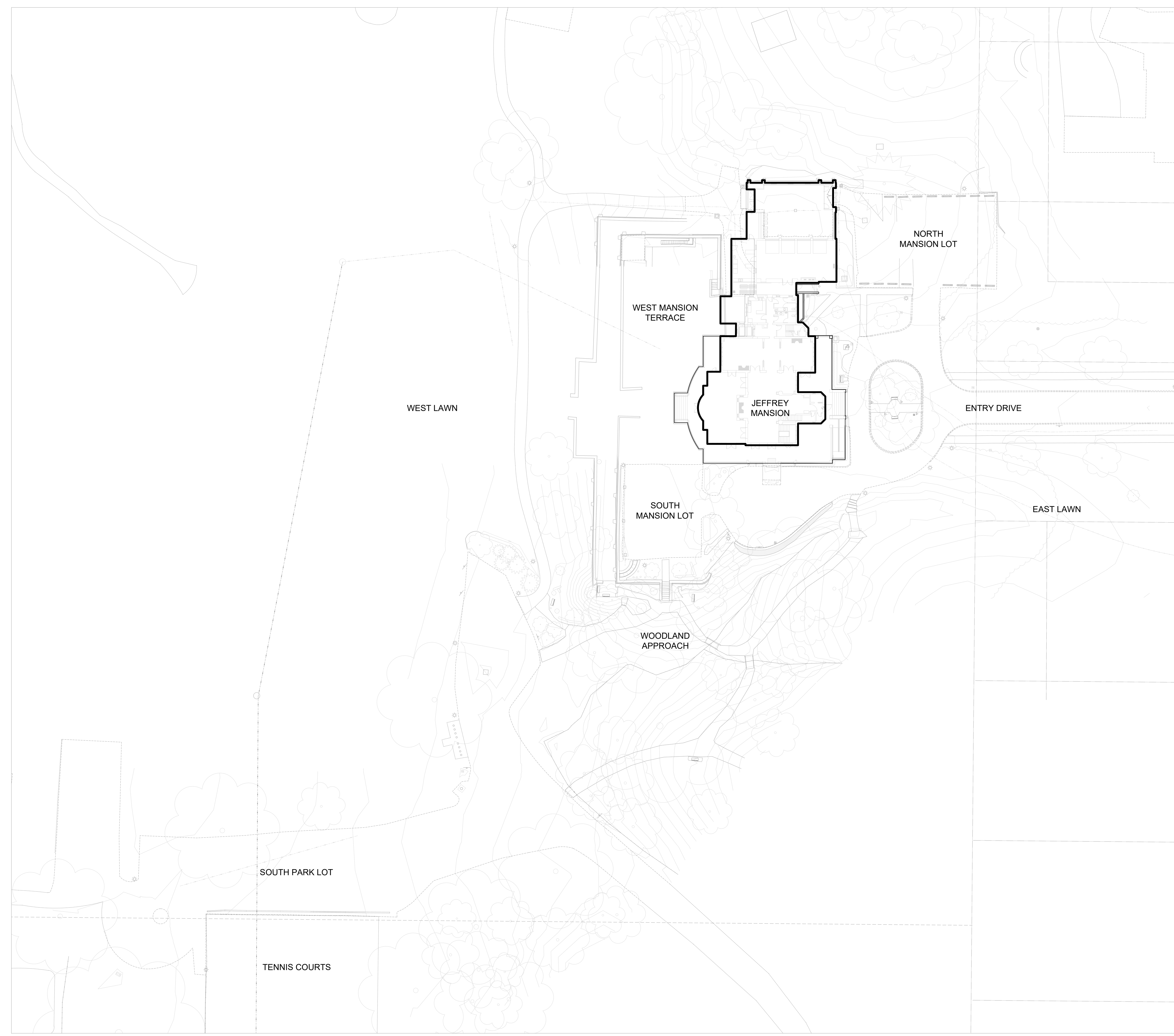
Sheet Name
 HARDSCAPE LAYOUT +
 MATERIALS
Architectural
L100
 05/23/19
 19020

MATERIALS KEY

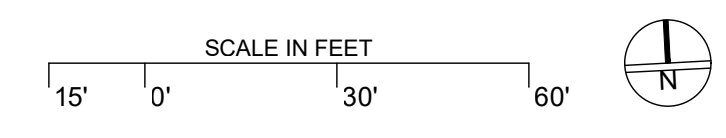
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- P5 RECTANGULAR CUT STONE PAVING FIELD:
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- P6 IRREGULAR FLAGSTONE PAVING FIELD WITH
POLYMERIC SAND SWEEP JOINTING:
2" THICKNESS / REGIONAL SOURCE ON
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- P7 WOODEN BOARDWALK ENTRY PATH:
5' WIDE ON CONCRETE PIERS.
- S1 CUT STONE STAIR TRENDS:
STONE MATERIAL TO MATCH W1 ON
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- S2 STONE + BRICK MASONRY STAIRCASE:
STONE + BRICK TO MATCH EXISTING.
[BLACK ALUMINUM RAIL TYP.]
- W1 STONE VENEER RETAINING WALL WITH
CONCRETE + STEEL STEM:
42" HT + 18" DEPTH / REGIONAL SOURCE ON
CONCRETE BASE.
- W2 STACKED 'DRY-LAID' STONE RETAINING WALL:
STONE MATERIAL TO MATCH W1
42" HT + 18" DEPTH / REGIONAL SOURCE ON
AGGREGATE BASE.
- W3 STONE + BRICK COLUMN:
BRICK TO MATCH EXISTING
60" HT + 24" DEPTH / REGIONAL SOURCE ON
CONCRETE BASE.

ADDITIONAL SITE NOTES:

- 1 ALL LANDSCAPE AREAS TO INCLUDE
LIGHTING AND IRRIGATION.
- 2 ALL LANDSCAPE AREAS TO INCLUDE LITTER /
RECYCLING RECEPTACLES.



EXISTING SITE LAYOUT
 SCALE: 1" = 30'-0"



Revision Schedule		
#	Description	Date

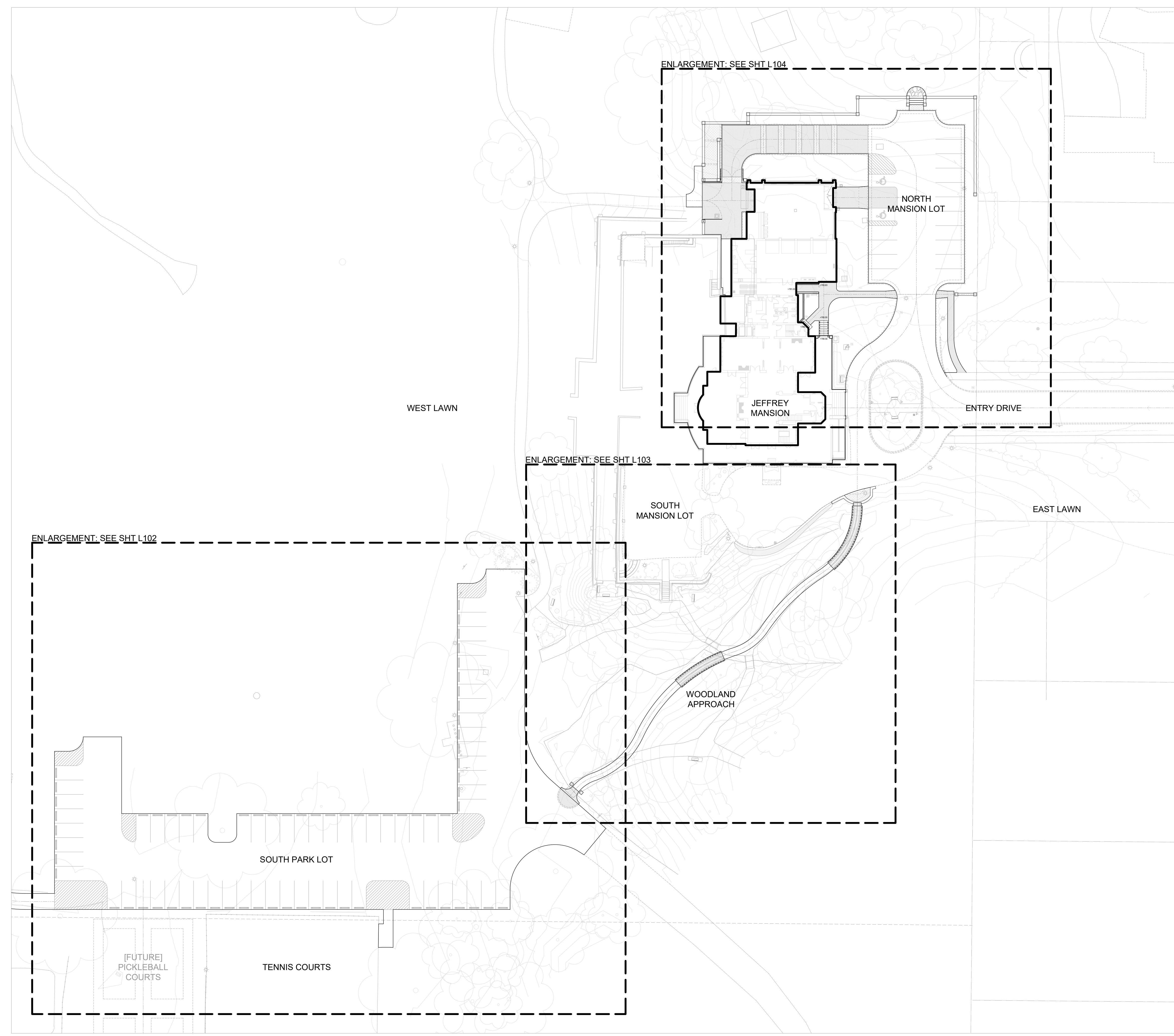
NOT FOR CONSTRUCTION

MATERIALS KEY

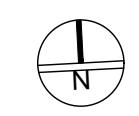
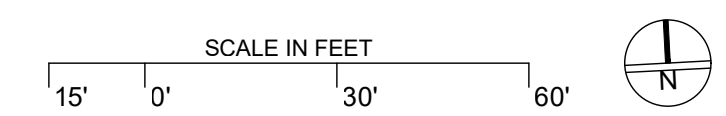
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BASE.
- P2 ASPHALT PAVING WITH STONE CHIP FINISH
AND CONCRETE CURBING: 2" BINDER COURSE
+ 2" WEARING COURSE FINISH COATED ON
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- P3 VEHICULAR BRICK PAVING FIELD:
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- P7 WOODEN BOARDWALK ENTRY PATH:
5' WIDE ON CONCRETE PIERS.
- S1 CUT STONE STAIR TREADS:
STONE MATERIAL TO MATCH W1 ON
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- S2 STONE + BRICK MASONRY STAIRCASE:
STONE + BRICK TO MATCH EXISTING.
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- W2 STACKED 'DRY-LAID' STONE RETAINING WALL:
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BRICK TO MATCH EXISTING
60" HT + 24" DEPTH / REGIONAL SOURCE ON
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OVERALL HARDSCAPE LAYOUT
 SCALE: 1" = 30'-0"



Revision Schedule		
#	Description	Date

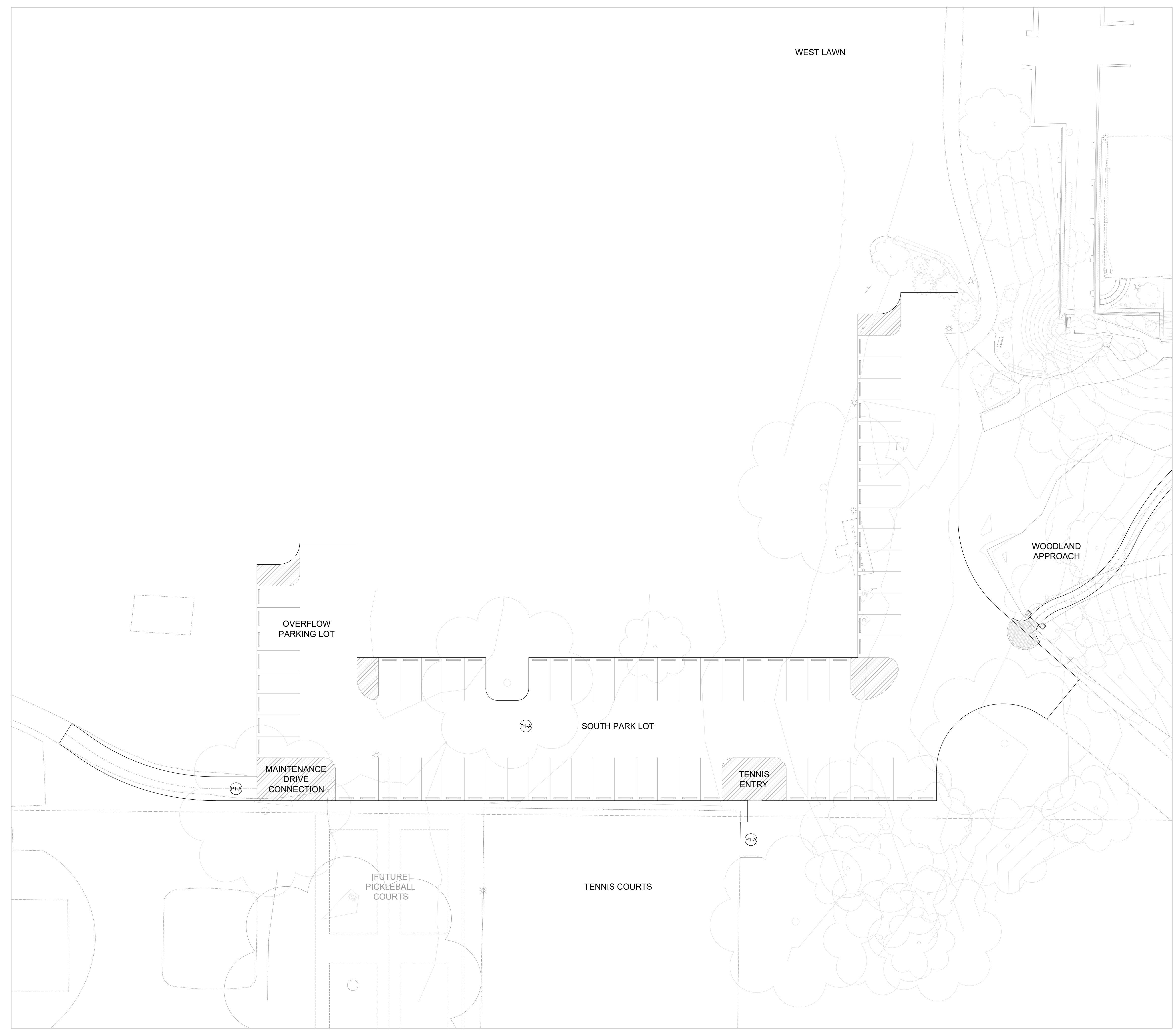
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MATERIALS KEY

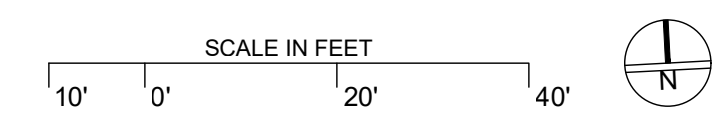
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SOUTH LOT + WOODLAND APPROACH HARDSCAPE LAYOUT
 SCALE: 1" = 20'-0"





SOUTH LOT + WOODLAND APPROACH HARDSCAPE LAYOUT
SCALE: 1" = 10'-0"



MATERIALS KEY

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Revision Schedule		
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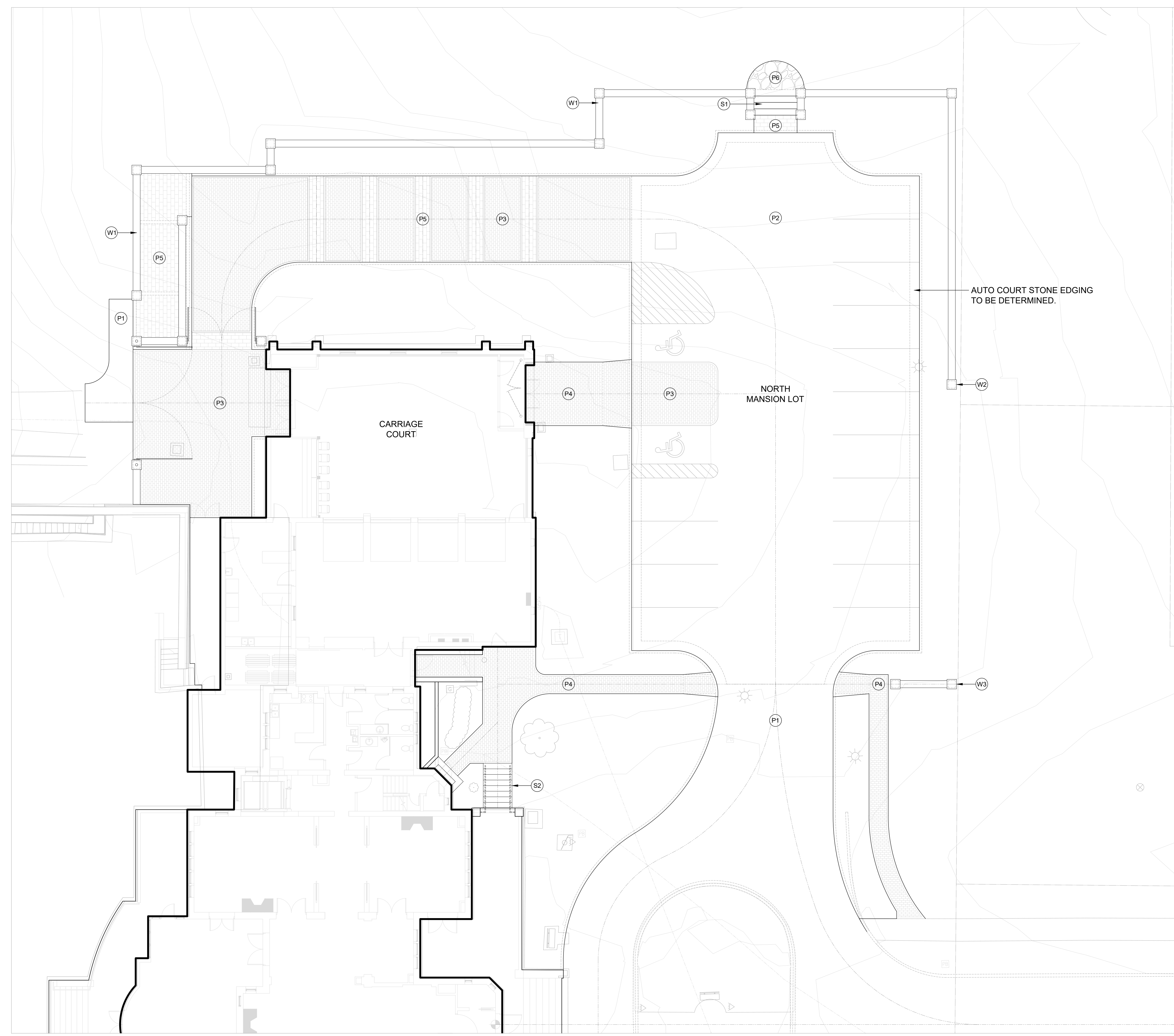
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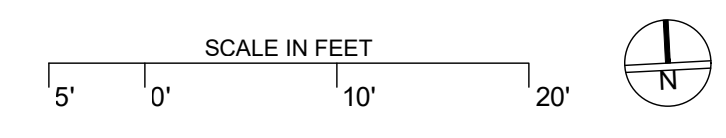
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NORTH LOT HARDSCAPE LAYOUT
 SCALE: 1" = 10'-0"



Revision Schedule		
#	Description	Date

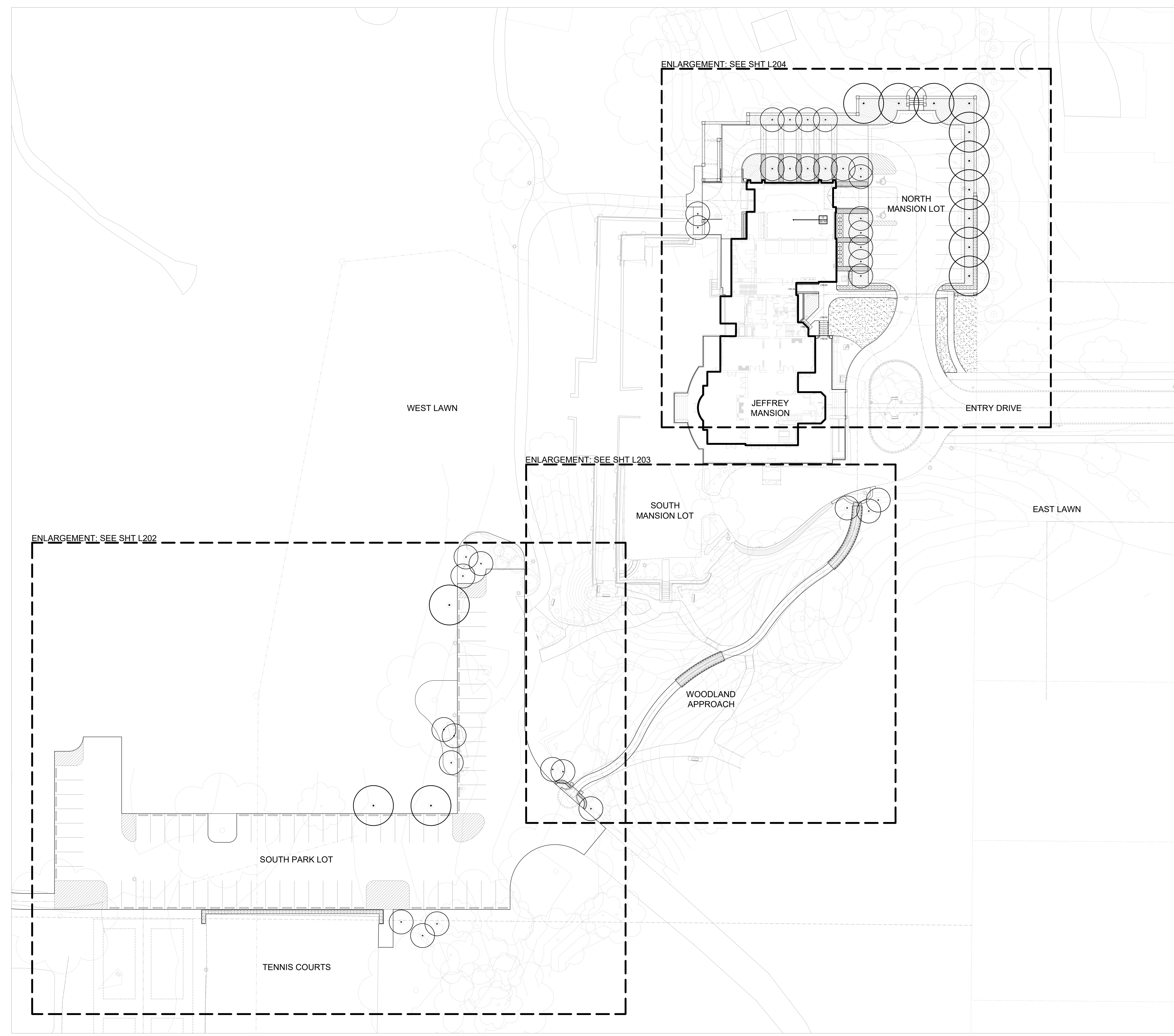
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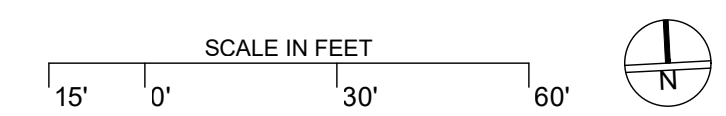
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OVERALL HARDSCAPE LAYOUT
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Revision Schedule		
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**Jeffrey Mansion
Renovation and
Expansion**

165 North Parkview Avenue
Bexley, OH 43209

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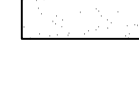

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LANDSCAPE LAYOUT

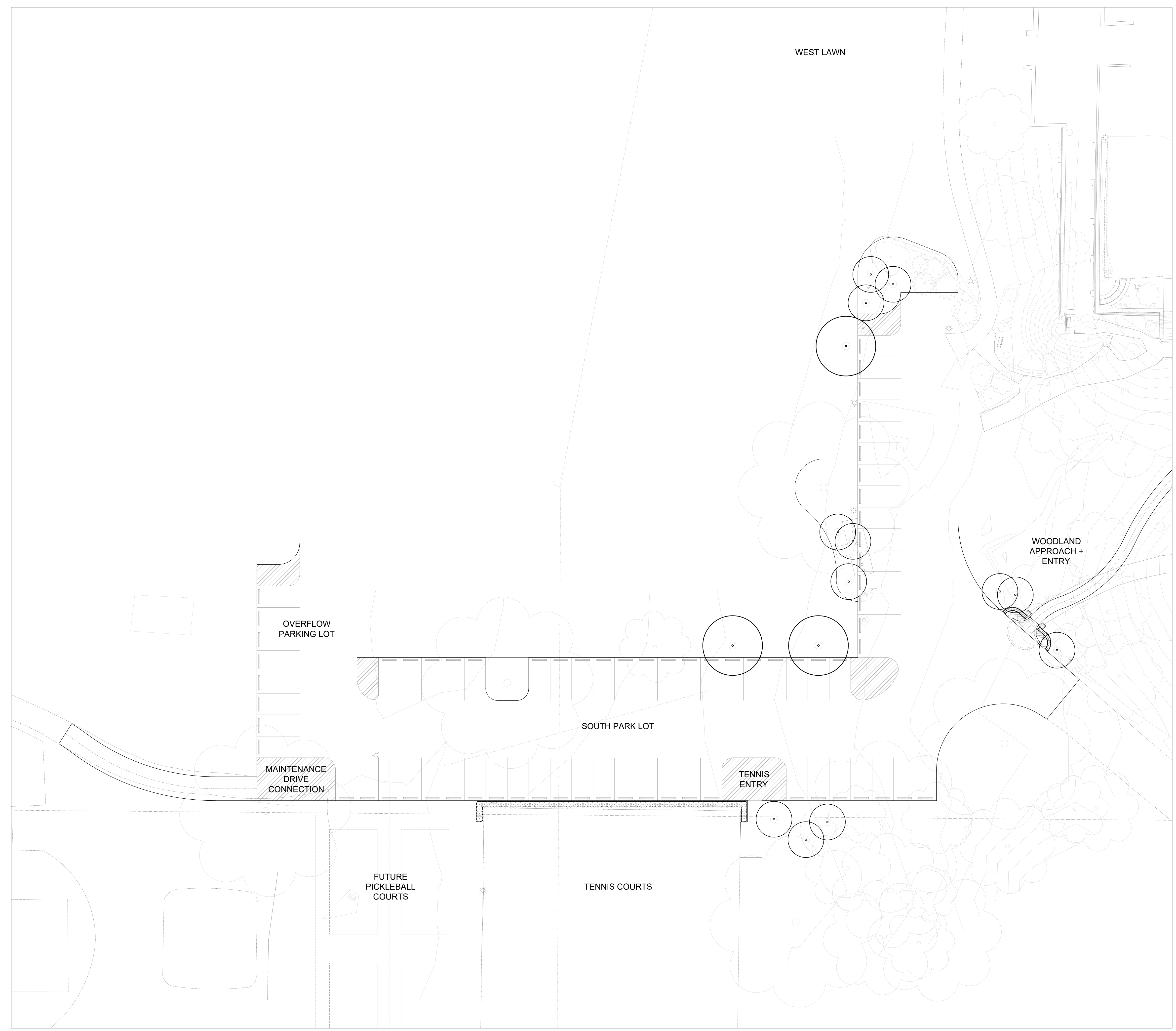
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05/23/19

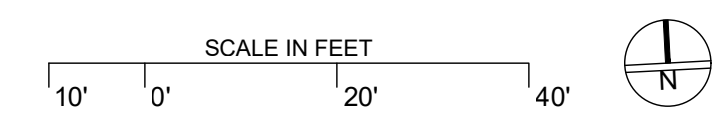
19020

PLANTING SCHEDULE

-  DECIDUOUS ORNAMENTAL TREE:
3" CAL.
SPACING: PER PLANS
-  DECIDUOUS SHADE TREE:
4" CAL.
SPACING: PER PLANS
-  EVER GREEN TREE:
10' HT.
SPACING: PER PLANS
-  LAWN PLANTING ZONE
-  PERENNIAL / GROUND COVER:
#1 CONT.
SPACING: 12" O.C.
-  EVER GREEN SHRUB MASS
18" HT.
SPACING: 24" O.C.



SOUTH LOT + WOODLAND APPROACH HARDSCAPE LAYOUT
SCALE: 1" = 20'-0"



Revision Schedule		
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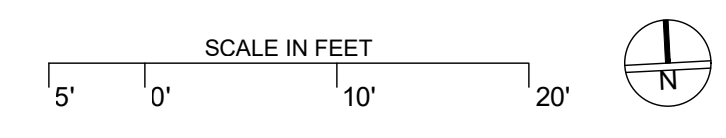
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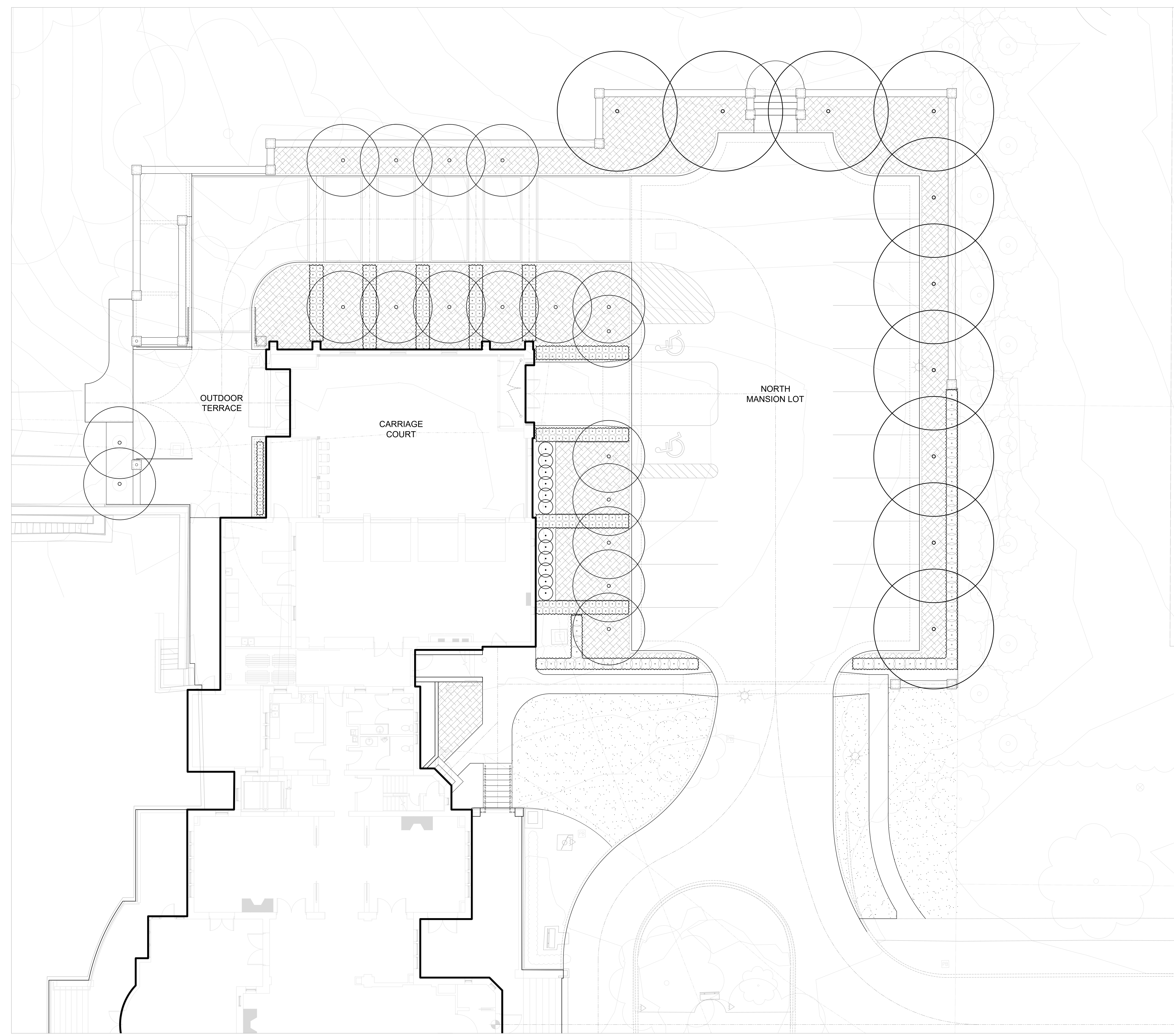
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