

BEXLEY ZONING: R3 ; REAR LOT

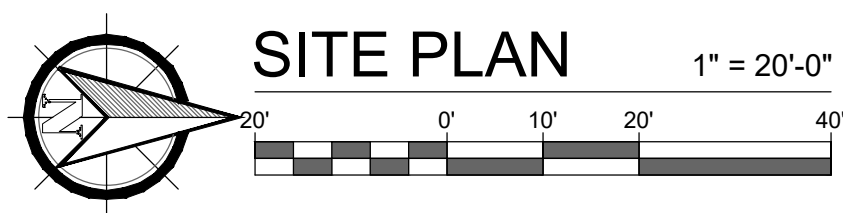
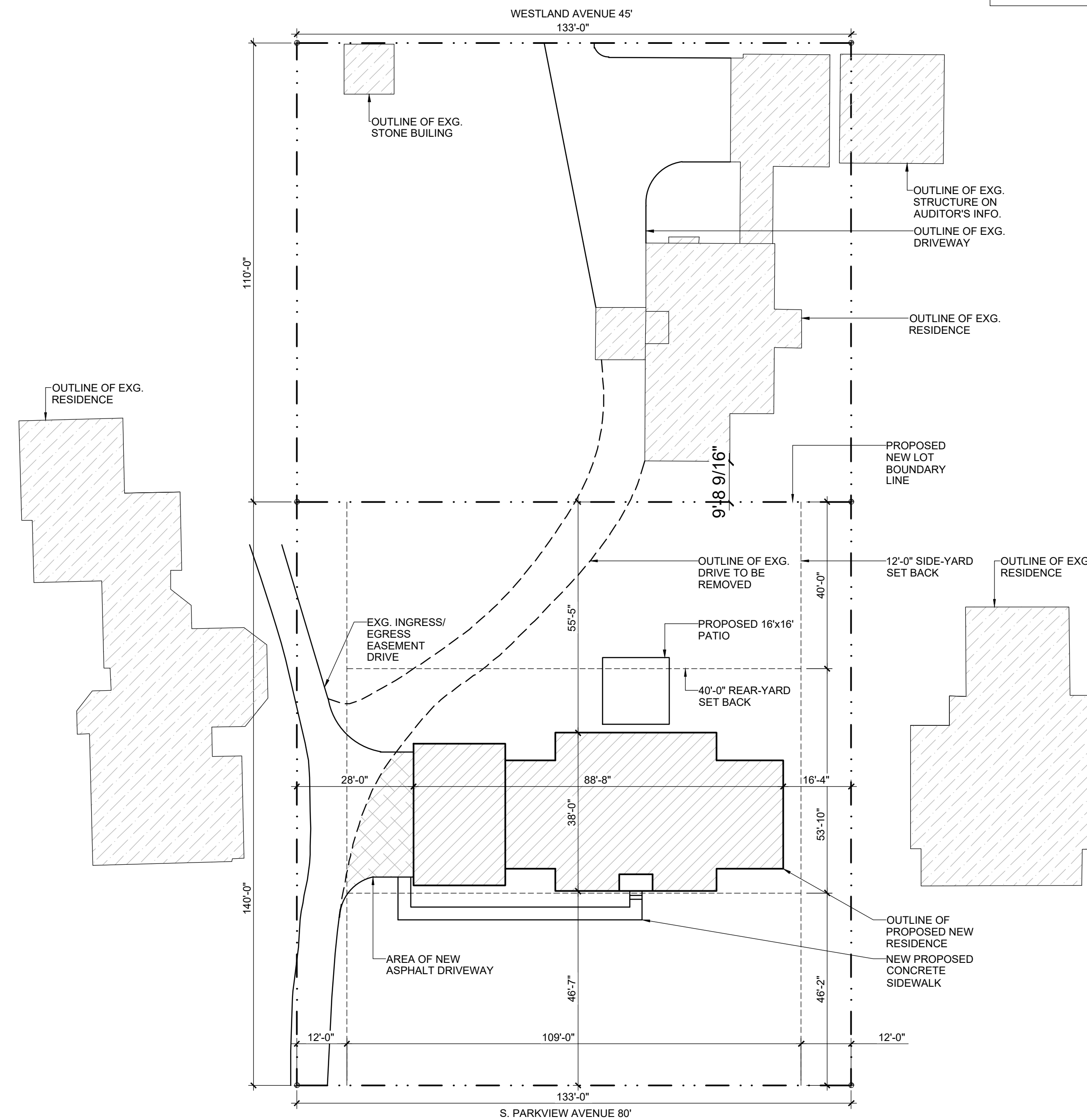
YARD CALCULATIONS:
 TOTAL LOT SQUARE FOOTAGE = 14,630 S.F.
 BUILDING MAX. 25% = 3,657.5 SQ. FT.
 OVERALL MAX. 50% = 7,315.0 SQ. FT.
 BUILDING SQ. FT. = 2,637.2
 PROPOSED DRIVEWAY SQ. FT. = 1,646.6
 PATIOS & WALKS SQ. FT. = N/A
 TOTAL YARD MAX. 50% = 7,315.0 SQ. FT.
 TOTAL COVERAGE = 4,283.8 SQ. FT.

BEXLEY ZONING: R3 ; FRONT LOT

YARD CALCULATIONS:
 TOTAL LOT SQUARE FOOTAGE = 18,620 S.F.
 BUILDING MAX. 25% = 4,655 SQ. FT.
 OVERALL MAX. 50% = 9,310 SQ. FT.
 PROPOSED BUILDING SQ. FT. = 2,913.3
 PROPOSED DRIVEWAY SQ. FT. = 1,403.0
 PROPOSED PATIOS & WALKS SQ. FT. = 464.8
 TOTAL REAR YARD SQUARE FOOTAGE = 3,296.3 S.F.
 REAR YARD > 25% REAR YARD REQ. (4,655 S.F.) = COMPLIES
 TOTAL YARD MAX. 50% = 9,310 SQ. FT.
 TOTAL COVERAGE = 5,270.8 SQ. FT.

FRONT LOT SETBACK INFORMATION

DISTANCE OF 5 HOMES FROM PROPERTY LINE NORTH AND SOUTH OF PROPOSED HOME BASED ON AUDITOR'S INFORMATION:
 5. NORTH, 40'-10 1/16"
 4. NORTH, 40'-4"
 3. NORTH, 46'-0 1/16"
 2. NORTH, 46'-10 3/4"
 1. NORTH, 46'-7 3/4"
 PROPOSED HOME, 46'-2" SETBACK
 1. SOUTH, 53'-3 1/2"
 2. SOUTH, 42'-11 1/16"
 3. SOUTH, 52'-9 1/16"
 4. SOUTH, 51'-9 3/16"
 5. SOUTH, 39'-9 1/16", ON CORNER OF PARKVIEW & BRYDEN RD.
 TOTAL FOR 10 HOMES = 461'-5 1/4"
 AVERAGE SETBACK (461'-5 1/4" / 10) = 46'-1 3/4"



SITE PLAN NOTES:

BUILDER TO MAINTAIN A MINIMUM GRADE OF 6" OF FALL IN THE FIRST 10' AWAY FROM THE HOUSE.
 BUILDER TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL AS REQUIRED DURING ALL PHASES OF CONSTRUCTION.
 FINAL GRADING TO BE DETERMINED BY THE GENERAL CONTRACTOR. FIELD VERIFY ALL GRADING WITH OWNER. NOTIFY SBA STUDIOS, LLC IN WRITING IF GRADING IS DIFFERENT THAN EXTERIOR HOUSE ELEVATIONS INDICATE ON DRAWINGS.

THIS SITE PLAN WAS PREPARED WITH INFORMATION PROVIDED BY THE CLIENT & DATA OBTAINED FROM MUNICIPALITY OR COUNTY GIS. THIS SITE PLAN IS TO BE USED BY THE CLIENT FOR THE SOLE PURPOSE OF OBTAINING A BUILDING PERMIT. ALL GRADES, LOCATIONS, AND INFORMATION PROVIDED WITHIN TO BE VERIFIED BY THE GENERAL CONTRACTOR & SURVEYOR PRIOR TO PROVIDING ANY SERVICES AT THIS LOCATION. THE USE OF THIS SITE PLAN FOR ANY OTHER PURPOSE BEYOND OBTAINING A BUILDING PERMIT FOR PLANS PROVIDED BY SBA-STUDIOS, LLC IS PROHIBITED.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW / WESTLAND LOT SPLIT



STATE OF OHIO
 PRELIMINARY
 NOT FOR CONSTRUCTION
 ARCHITECT

SCALE: 1" = 20'-0"
 SHEET # / DESCRIPTION
SITE PLAN
A0-1
 DATE: 09.18.2018
 REVIEW SUBMISSION
 SBA STUDIOS PROJECT # 2018-305

SCOTT BAKER, LICENSE #14654
 EXPIRATION DATE 12/31/2019