GENERAL NOTES

010.00 GENERAL REQUIREMENTS

- A. DO NOT SCALE DRAWINGS B. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES
- BETWEEN DRAWINGS, SPECIFICATIONS, EXISTING FIELD CONDITIONS AND/OR GENERALLY ACCEPTED CONSTRUCTION PRACTICES. NOTIFICATIONS SHALL BE MADE UPON DISCOVERY OF DISCREPANCY AND PRIOR TO PERFORMING ANY WORK IN QUESTION.
- C. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE \$ NATIONAL CODES AND REGULATIONS.
- D. CONTRACTOR SHALL DETERMINE ERECTION PROCEDURE AND SEQUENCE AND PROVIDE WHATEVER TEMPORARY BRACING, ETC. THAT MAY BE REQUIRED TO COMPLETE THE WORK.
- E. EACH CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED BUILDING PERMIT AND SCHEDULE REQUIRED INSPECTIONS AND COORDINATE ALL TRADES.
- F. DEFINITIONS: FURNISH - TO PURCHASE AND/OR SUPPLY AND DELIVER TO SITE COMPLETE WITH RELATED ACCESSORIES AND TRANSFER TO INSTALLER FOR INSTALLATION. INSTALL - TO RECEIVE, CONSTRUCT, AND CONNECT COMPLETE FOR USE AND REGULAR OPERATION AS APPLICABLE, INCLUDING RELATED ACCESSORIES.
- PROVIDE TO FURNISH, INSTALL, AND PAY ALL COSTS IN CONNECTION THEREWITH. G. ALL EXTERIOR FRAME WALL DIMENSIONS ARE TO OUTSIDE FACE OF SHEATHING.

012.000 SAFETY AND PROTECTION 020.00 DEMOLITION

- A. EACH CONTRACTOR TO DETERMINE SCOPE OF THEIR DEMOLITION WORK AND INCLUDE FOR SAME IN BID.
- 022.000 SITE CONSTRUCTION A. FIELD VERIFY ALL NEW AND EXISTING SPOT ELEVATIONS
- AND DRAINAGE PATTERNS. B. FIELD VERIFY ALL EXISTING SITE DIMENSIONS PRIOR TO
- START OF CONSTRUCTION. C. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE
- BUILDING STRUCTURE, 3" IN THE FIRST 6'-0" MINIMUM. D. UNDERGROUND DOWNSPOUT PIPING TO BE MIN, 4" SCHEDULE 40 FOR INDIVIDUAL LEADERS AND 6" SCHEDULE 40 AFTER CONVERGENCE OF INDIVDUAL LEADERS - COORDINATE WITH
- ARCHITECT. UNDERGROUND DRAIN PIPING SHALL WYE INTO STORM SEWER IF AVAILABLE OR PIPED THROUGH CORE-DRILLED CURB AT STREET IF STORM SEWER DOES NOT EXIST. IF CURB IS CAN ONLY FIT A 4" PIPE. THEN PROVIDE INDIVIDUAL 4" PIPING TO CURB AS DIRECTED BY ARCHITECT.
- 030.000 EXCAVATION AND CONCRETE A. FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CALL TOLL FREE BEFORE YOU DIG:
- I -800-362-2764 OHIO UTILITIES PROTECTION SERVICE. B. CONCRETE FOOTINGS: 3000 PSI AT 28 DAYS
- C. CEMENT: ASTM C | 50, TYPE | OR III D. STANDARD AGGREGATE: ASTM C33. FINE AGGREGATE NATURAL SAND, LIMESTONE, COURSE AGGREGATE IN GENERAL NOT
- TO EXCEED 3/4" IN SIZE E. WATER: POTABLE F. AIR-ENTRAPPING AD-MIXTURE: ASTM C260
- G. CURING COMPOUND: ASTM C390

042.00 UNIT MASONRY

- 050.00 METALS
- 061.000 ROUGH FRAMING A. ALL EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF EXTERIOR SHEATHING UNLESS OTHERWISE NOTED ALL INTERIOR DIMENSIONS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK. B. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURER'S
- PRIOR TO FRAMING.
- C. ALL HEIGHTS NOTED BY 🔶 ARE ROUGH CEILING HEIGHTS AND SHOULD BE FIELD VERIFIED AND MAY VARY.
- D. IF ANY DIMENSION VARIES BY MORE THAN 1". NOTIFY ARCHITECT PRIOR TO FRAMING.
- E. STRUCTURAL LUMBER
- a. GENERAL NOTES I. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURE AND SEQUENCE; AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS, AND ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING ERECTION. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, SHEATHING, TEMPORARY BRACING, GUYS OR TIEDOWNS WHICH MIGHT BE NECESSARY. SUCH MATERIAL SHALL REMAIN THE CONTRACTOR'S PROPERTY AFTER THE COMPLETION OF THE PROJECT.
- 2. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
- WOOD FRAMING NOTES . MATERIALS:
- aa. STRUCTURAL LUMBER: SPF 2 OR EQUAL
- bb. PLYWOOD: CDX, STRUCTURAL II OR BETTER, EXTERIOR GLUE. FOR ROOF AND WALLS: PANEL IDENTIFICATION INDEX 24/0 - 15/32 INCH MIN. (WITH PLYWOOD CLIPS). FOR FLOORS: PANEL IDENTIFICATION INDEX 32/16 - 23/32 INCH .
- 2. SPECIFICATIONS: UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION
- SHALL BE GOVERNED BY THE LATEST REVISIONS OF: aa. NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE
- LUMBER AND ITS FASTENINGS.
- bb. U.S. PRODUCT STANDARD PS-1 FOR SOFTWOOD PLYWOOD CONSTRUCTION AND INDUSTRIAL. cc. OHIO RESIDENTIAL CODE 2013
- c. CONNECTIONS:
- I. JOISTS TO BEAMS IG GA. GALVANIZED STD. JOIST HANGERS, UNLESS SHOWN OTHERWISE. 2. PLYWOOD TO FLOOR JOISTS - GLUED AND NAILED - USE 8D COATED SINKERS AT 6 INCHES O/C AT PANEL EDGES AND 12 INCHES O/C AT INTERMEDIATE SUPPORTS. USE 066.000 COUNTERTOPS
- ADHESIVES MEETING APA SPECIFICATIONS APG-01 AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. 3. PLYWOOD TO ROOF TRUSSES OR RAFTERS - NAILED - USE
- 8D COATED SINKERS AT 6 INCHES O/C AT PANEL EDGES AND 12 INCHES C/C AT INTERMEDIATE SUPPORTS. PROVIDE PLYWOOD CLIPS AT MID-SPAN OF PLYWOOD BETWEEN SUPPORTS.
- d. MISCELLANEOUS:
- I. USE SOLID BLOCKING OR CROSS BRIDGING AT 8'-O" O/C MAX. FOR ALL JOISTS AND RAFTERS, USE SOLID BLOCKING AT JOIST AND RAFTER BEARING.
- 2. IT IS ASSUMED THAT THE SHEATHING WILL PROVIDE LATERAL BRACING FOR STUDS, IF NO SHEATHING IS PROVIDED THEN SOLID BLOCKING MUST BE PROVIDED AT
- 4'-0" ON CENTER. 3. USE DOUBLE JOISTS UNDER INTERIOR PARTITIONS, UNLESS SHOWN OTHERWISE.
- 4. USE ONE FULL HEIGHT STUD AND ONE JACK STUD UNDER BEAM AND LINTEL BEARING, UNLESS SHOWN OTHERWISE, WHERE 3 OR MORE STUDS ARE SHOWN ON THE PLAN USE ONE AS JACK WITH REMAINDER AS FULL HEIGHT STUDS.
- 5. APPLY CONTINUOUS BEAD OF GLUE ON FLOOR JOISTS. 6. IN AREAS WHERE TOP CHORD OF TRUSSES DO NOT RECEIVE PLYWOOD SHEATHING, PROVIDE | X 4 CONTINUOUS BRIDGING PERPENDICULAR TO TOP CHORDS AND SPACED AT 3'-0" O.C.
- 7. PROVIDE FIREBLOCKING IN ALL LOCATIONS WHERE REQUIRED BY CODE. e. PREFABRICATED WOOD TRUSSES:
- I. MATERIALS: aa. LUMBER: MINIMUM MATERIAL PROPERTIES:
- SOUTHERN PINE #2. bb. METAL CONNECTOR PLATES: GALVANIZED SHEET
- STEEL ASTM A446-76 (1981) GRADE A. COATING CLASS GGO PER ASTM A525-81. MANUFACTURER WITH HOLES, PLUGS, TEETH, OR PRONGS UNIFORMLY SPACED AND FORMED.

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2. DESIGN: aa. LOADING:

NOT ALL NOTES MAY BE APPLICABLE TO THIS PROJECT

- TOP CHORD LIVE LOAD: 25 PSF TOP CHORD DEAD LOAD: 20 PSF BOTTOM CHORD LIVE LOAD: 5 PSF
- BOTTOM CHORD DEAD LOAD: 5 PSF NET WIND UPLIFT: 3 PSF
- bb. DESIGN OF MEMBERS AND CONNECTION IS TO BE BY A PROFESSIONAL ENGINEER, REGISTERED IN OHIO EXPERIENCED IN SIMILAR DESIGN, RETAINED BY THE MANUFACTURER.
- cc. SHOP DRAWINGS SHALL EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR THE TRUSS DESIGN.
- dd. MAXIMUM LIVE LOAD DEFLECTION IS TO BE L/360. ee. MAXIMUM TOTAL LOAD DEFLECTION IS TO BE L/240.
- 3. MISCELLANEOUS: aa. NAIL TOP CHORDS OF ALL MULTIPLE MEMBER TRUSSES TOGETHER WITH I GD NAILS AT 4'-0" O.C. NAIL
- WEB MEMBERS TOGETHER WITH I GD NAILS AT 2'-O" O.C. AT CONCENTRATED LOADS. bb. IN AREAS WHERE TOP CHORD OF TRUSSES DO NOT RECEIVE PLYWOOD SHEATHING, PROVIDE 1 X 4
- CONTINUOUS BRIDGING PERPENDICULAR TO TOP CHORDS AND SPACED AT 3'-0" O.C. F. WIND UPLIFT. ROOF ASSEMBLIES SHALL BE TIED TO THE ALL STRUCTURE BELOW WITH HURRICANE STRAPS
- SIMPSON STRONG TIE H-2.5 AT DOUBLE TOP PLATÉS. FOR RAFTERS SPANNING LESS THAN 20 FEET, US HURRICANE TIES EVERY OTHER RAFTER. FOR SPAN GREATER THAN 20 FEET, USE HURRICANE TIES AT EVERY RAFTER 2. FOR TRUSSES SPANNING LESS THAN 30 FEET, U IURRICANE TIES EVERY OTHER TRUSS. FOR SPA REATER THAN 30 FEET, USE HURRICANE TIES AT
- 062.000 FINISH CARPENTRY
- A. ALL CASING, BASE, CROWN, DOORS AND MISCELLANEOUS INTERIOR TRIM MATERIALS TO BE POPLAR UNLESS NOTED OTHERWISE. TRIM ₺ DOORS TO BE CAREFULLY SORTED SO THAT ALL AREAS SCHEDULED TO BE STAINED HAVE HAND ELECTED STAIN-GRADE POPLAR FREE OF STREAKS OF DARKER COLORS. ALL VENEERED PLYWOOD TO BE BIRCH.
- STAIN GRADE AND PAINTER WILL NEED TO ADJUST STAIN COLOR TO MATCH POPLAR. ALL STAIR PARTS (TREADS, RISERS, HANDRAILS TO BE OAK). CABINETRY TRIMS SPECIFIED AS NOTED ON A2.1. B. OWNER AND ARCHITECT TO APPROVE TRIM, DOORS,
- CABINETS, STAIR PARTS AND ANY UNUSUAL DETAILS BEFORE MATERIALS ARE ORDERED. NO SUBSTITUTIONS OF SPECIFIED TRIM PROFILES IS PERMISSIBLE WITHOUT APPROVAL OF ARCHITECT AND OWNER. C. TRIM
- a. WOOD TO BE GRADED PROPERLY FOR INTENDED USE AND FINISH. b. TRIM IS TO BE CLEAN, FREE OF DIRT AND GREASE. TRIM
- IS TO BE FREE OF IMPERFECTIONS SUCH AS BAND MARKS, DENTS, CHATTER, STAMPS, OR UNEVEN THICKNESS. c. MOISTURE CONTENT TO RANGE BETWEEN 8% AND 10%.
- TRIM IS TO BE STORED MINIMUM 4" OFF FLOOR, NOT STORED OVER CONCRETE AND TO BE PROTECTED FROM ABUSE LUNBUNDLED TRIM MUST BE ACCUMATED MINIMUM 72 HOURS PRIOR TO INSTALLATION.
- d. TRIM TO BE SANDED PRIOR TO INSTALLATION. OAK- 80 GRIT, POPLAR - 100 GRIT
- e. SQUARE STOCK TRIM TO BE BACKED OUT OR KERFED TO INHIBIT CUPPING.
- f. JOINTS IN THE MIDDLE OF A RUN OF BASE, CROWN, CHAIR RAIL, ETC. TO BE LAPPED AWAY FROM THE LINE OF SIGHT. THE JOINT IS TO BE LOCATED OVER A STUD. ALL MITERS. SCARF JOINTS. AND RETURNS ARE TO BE GLUED AND ALL EXCESS GLUE IS TO BE REMOVED IMMEDIATELY WITH WET RAG. OPEN TERMINATIONS OF BASE AND SHOE ARE TO BE RETURNED. MAXIMUM GAP BETWEEN TRIM AND WALL OR CEILING SURFACE IS 3/16". INSIDE
- CORNERS ON BASE, SHOE, CROWN, ETC. ARE TO BE COPED. A. WINDOW STOOLS TO FIT SNUGLY AGAINST WALLS AND
- JAMBS, 1/8" GAP TO SASH. h. SHOE IS TO BE RUN TIGHT TO FLOOR BUT NAILED TO
- D. DOORS a. SITE BUILT JAMBS TO BE DADOED AND SCREWED AND GLUED, BACKS TO BE KERFED TO ELIMINATE WARP.
- b. JAMBS TO BE WITHIN +/- I/I6" THE WIDTH OF THE WALL. JAMBS TO BE SHIMMED UNDER EACH SET OF NAILS AND TO BE INSTALLED PLUMB, LEVEL AND SQUARE, NO TOLERANCE.
- c. HINGES TO BE LOCATED 7" FROM THE TOP , 11" FROM THE BOTTOM. THE THIRD HINGE IS TO CENTERED. | 3/4" DOORS TO HAVE STRIKE EDGE BEVELED TO MAINTAIN UNIFORM CLEARANCE TO JAMB.
- d. INTERIOR DOORS TO BE GAPPED 1/16" ON THE HINGE SIDE, 1/8" TOP AND STRIKE SIDE. STOP TO GAPPED 1/16" AT HINGE SIDE, TIGHT AT STRIKE SIDE. DOOR TO CLEAR FINISH SURFACE BY 1/2". ALLOW FOR THICKNESS OF CARPET. ALL DOOR EDGES TO BE EASED. HUNG DOORS SHOULD BE TEMPORARILY OR PERMANENTLY STOPPED AT ALL TIMES TO AVOID DAMAGE.
- E. STAIR PARTS
- a. EXPOSED TREADS AND RISERS, BALCONY, HANDRAILS TO BE SELECT RED OAK. SEE DRAWINGS FOR SPECIFICATION AND FIELD VERIFY WITH ARCHITECT AND OWNER. 063.000 EXTERIOR TRIM
- 064.000 ARCHITECTURAL WOODWORK
- A. SHELVING- ALL STANDARD SHELVES, UNLESS OTHERWISE NOTED, ARE TO BE 3/4" BIRCH-FACED PLYWOOD WITH 1 1/4" NOSING, WHEN MAXIMUM SPAN IS 3'-0". ANY SPAN OVER 3'-0: TO HAVE (2) 3/4" BIRCH-FACED PLYWOOD SHELVES. ANY ADJUSTABLE SHELVES TO USE PEGS WITH HOLES AT 3" ON

070.000 THERMAL AND MOISTURE PROTECTION

- A. BATT INSULATION- ALL EXTERIOR 2x4 STUD WALLS TO HAVE R-13 BATT INSULATION. ALL EXTERIOR 2x6 STUD
- WALLS TO HAVE R-19 BATT INSULATION. B. LOCATIONS OF ICE DAM PROTECTION-. EAVES - EXTEND FROM EDGE OF EAVE (TURNED
- DOWN OVER FASCIA) TO A MINIMUM OF 3'-0' EYOND LINE OF EXTERIOR WALL. 2. ROOF DIES INTO A WALL - TURN ICE AND WATER SHIELD A MINIMUM OF 18" UP WALL AND EXTEND A MINIMUM OF 18" ONTO ROOF DECK.
- C. INSULATION AT WASTE PIPES- ALL WASTE LINES TO BE
- D. SITE DRAINAGE- TIE ALL DOWNSPOUTS INTO EXISTING UNDERGROUND DRAINAGE SYSTEM ON SITE IF POSSIBLE.
- E. PROVIDE CONTINUOUS WATERPROOFING AT ALL SHOWER FLOORS, WALLS, BENCHES, NICHES, ETC.
- 080.000 DOORS AND WINDOWS A. ALL NEW WINDOWS ARE TO BE CLEANED INSIDE AND OUT PRIOR TO COMPLETION OF PROJECT.

- 090.000 FINISHES A. PAINTING NOTES
- I. ALL INTERIOR DRYWALL AND WOODWORK AND ALL EXTERIOR WOODWORK TO BE PAINTED UNLESS OTHERWISE NOTED 2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR a. "FIRST SAND" ON WOOD TRIM.

SYSTEM THAT WILL SUPPLY NEW SPACE.

PRIOR TO CUTTING.

INSTALLATION.

CONTRACTOR SHALL

SYSTEM AS NECESSARY.

FIXTURES AS REQUIRED.

"FURNISHED BY OWNER."

INSPECTOR.

COMPLETION.

CONFIGURATION.

CIRCUITS.

AND TOP HINGED.

SUSPENDED CEILING.

COMPLETION.

LOCATIONS REQUIRED BY CODE.

FIXTURE BOXES PRIOR TO WIRING.

160.000 ELECTRICAL

- b. INITIAL REPAIR OF ALL DRYWALL, PLASTER, AND WOODWORK c. ALL PAINT SELECTIONS TO BE COORDINATED WITH
- 3. PAINTING CONTRACTOR SHALL BE RESPONSIBLE FOR: a. VISUAL INSPECTION AND ACCEPTANCE OF ALL SURFACES TO BE PAINTED PRIOR TO COMMENCING WORK b. FILLING AND SANDING HOLES, CRACKS, JOINTS, DENTS,
- ETC. FULL AND FLUSH AT ALL SURFACES TO BE PAINTED C. ONE COAT PRIMER AS REQUIRED BY PAINT
- MANUFACTURFR d. ADEQUATE SUPPLY OF LABELED TOUCH-UP PAINT TO OWNER AT JOB COMPLETION.
- e. MINIMUM TWO COATS FINISH PAINT HIDE TO BE COMPLETE
- f. AN AS-BUILT PAINT CHART SHALL BE FILLED OUT BY PAINTING CONTRACTOR AND DELIVERED WITH FINAL BILLING TO GENERAL CONTRACTOR. 4. PAINT MATERIAL BASED ON HIGHEST GRADE "BENJAMIN MOORE" BRAND. UNLESS NOTED OTHERWISE:
- a. ALL WALLS TO BE EGGSHELL FINISH. b CEILINGS TO BE FLAT FINISH C. NEW WOODWORK TO BE SATIN HIGH GRADE ACRYLIC FINISH. d. ALL BATHS AND KITCHEN WALLS AND CEILINGS TO BE
- 5. INTERIOR AND EXTERIOR SEALANT TO BE "DAP" 25 YEAR OR EQUIVALENT. UNMODIFIED LATEX SEALANT IS NOT ACCEPTABLE.
- 6. DOORS AND WINDOWS TO HAVE THOROUGH LIGHT, HAND-SANDING TO REMOVE BLEMISHES, HANDLING MARKS, CROSS SANDING, AND NATURAL RESIN SPOTS THAT MAY BE PRESENT ON SURFACES. ALL WOOD SURFACES OF DOORS AND WINDOWS, INCLUDING TOP AND BOTTOM EDGE OF DOORS, SHOULD BE COMPLETELY

SEALED WITH AT LEAST TWO TOP COATS OF FINISH.

a. NEW WALLS RECEIVING MIRRORS SHALL BE PRIMED

ACRYLIC PRIMER ONLY. NO FINISH PAINT SHALL BE

b. EXISTING WALLS PREVIOUSLY PAINTED SHALL HAVE

ONLY. NO FINISH PAINT SHALL BE APPLIED.

b. EXISTING WALLS TO HAVE AN APPLICATION OF

a. USE AN ALKYD FINISH ON EXISTING TRIM WITH OIL

b. USE OIL, LATEX OR LACQUER PRIMERS WITH HIGH

GRADE LATEX ACRYLIC FINISH ON NEW WOOD.

C. NEW STAINED TRIM: USE FORTIFIED CLEAR LACQUER

a. PAINTED- FIRST SEAL WITH OIL BASE PRIMER, SECOND

AND THIRD COATS TO BE ACRYLIC LATEX PAINT.

OLID BODY EXTERIOR STAIN BRUSHEL

b. STAINED- EITHER ONE COAT OF OIL EXTERIOR SEMI-

a. STUCCO UNDERLAYMENT SHALL BE 1/2" CDX PLYWOOD

STAGGERED VERTICAL JOINTS. BLOCK AT ALL

c. PROVIDE (1) LAYER FORTIFIBER SUPER JUMBO TEX

d. NEW- SOLID COLOR INTEGRAL WITH STUCCO OR ALL

e. EXISTING- POWER WASH PRIOR TO AN ALL ACRYLIC

B. INSTALL 1/2" DUROCK OVER 1/2" UNDERLAYMENT OVER

3/4" SUBFLOOR IN ALL AREAS THAT ARE SCHEDULED

FINISHED WITH THREE APPLICATIONS OF POLYURETHANE.

ACRYLIC LATEX FINISH TO MATCH EXISTING AS CLOSE

SHEATHING WITH 1/8" GAPS. HANG HORIZONTALLY WITH

b. PROVIDE (1) LAYER TYVEK HOUSEWRAP OVER SHEATHING

60 MINUTE ASPHALT SATURATED KRAFT PAPER OVER

TRANSPARENT STAIN BRUSHED OR, TWO COATS OIL

AREAS SANDED AND PRIMED WITH ACRYLIC PRIMER

a. NEW WALLS RECEIVING WALLPAPER SHALL BE PRIMED

WITH LATEX PRIMER FOLLOWED BY AN APPLICATION

7. AREAS BEHIND MIRRORS:

8. WALLS TO RECEIVE WALLPAPER:

OF ACRYLIC SIZING

ACRYLIC SIZING

9. INTERIOR WOOD:

BASED PAINT

FINISH

10. EXTERIOR WOOD:

11. EXTERIOR STUCCO:

HOUSEWRAP

AS POSSIBLE.

LATEX FINISH.

ARCHITECT.

ARE TO BE APPLIED.

I 10.000 EQUIPMENT/SPECIAL CONSTRUCTION

100.000 SPECIALTIES

150.000 PLUMBING

REGULATIONS.

COMPLETION.

155.000 HEATING AND COOLING

TO RECEIVE STONE OR CERAMIC TILE.

VERIFY WITH GENERAL CONTRACTOR.

C. NEW OR REFINISHED HARDWOOD FLOORS TO BE

D. A SCHLUTER STRIP IS REQUIRED AT ALL TILE/CARPET

FLOORING TRANSITIONS. FIELD VERIFY COLOR WITH

E. 5/8" TYPE 'X' GYPSUM WALL BOARD TO BE USED ON ALL

F. PROVIDE A LEVEL 3 GYPSUM BOARD FINISH IN ALL AREAS

TO RECEIVE HEAVY OR MEDIUM TEXTURE FINISHES BEFORE

A. PLUMBING CONTRACTOR TO PURCHASE ALL PLUMBING

WORK AND SCHEDULE REQUIRED INSPECTIONS.

B. ALL FIXTURES TO BE EQUIPPED WITH VALVES IN

ACCESSIBLE LOCATIONS, LAYOUT IS PLUMBING

C. PLUMBING CONTRACTOR TO FURNISH AND INSTALL ALL

DRAWINGS. PLUMBING CONTRACTOR TO INSTALL ALL

D. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH

E. ALL GAS PIPING AND HOOK-UPS REQUIRED FOR GAS

HEATERS, OR OTHER GAS APPLIANCES ARE THE

RESPONSIBILITY OF THE PLUMBING CONTRACTOR.

AND DRAIN BOX AT WASHER LOCATION.

COOKTOPS, GAS DRYERS, GAS FURNACES, GAS WATER

F. PLUMBING CONTRACTOR TO PROVIDE STANDARD WATER

G. PLUMBING CONTRACTOR IS RESPONSIBLE FOR DRAIN LINE FOR HVAC CONDENSATE LINE TO TIE INTO HVAC EQUIPMENT.

VERIFY AT BIDDING SCOPE OF WORK REQUIRED.

H. PLUMBING CONTRACTOR SHALL GUARANTEE HIS WORK

FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL

AND ALL EQUIPMENT FURNISHED TO BE FREE OF DEFECTS

I. ALL TILE SHOWER PANS TO HAVE ZURN ZN-415 SHOWER

DRAIN WITH TYPE S NICKEL BRONZE SQUARE STRAINER.

J. PLUMBER IS RESPONSIBLE FOR WATER LINES RELATED TO

A. HVAC CONTRACTOR TO PURCHASE ALL HVAC PERMITS,

FEES, AND CHARGES REQUIRED TO COMPLETE WORK AND

B. HVAC CONTRACTOR TO DESIGN HEATING AND/OR COOLING

SYSTEM AND LAYOUT REVIEW SYSTEM(S) AND EQUIPMEN

LOCATIONS WITH GENERAL CONTRACTOR, OWNER AND

ARCHITECT FOR APPROVAL PRIOR TO STARTING WORK.

DUCTWORK THAT IS REQUIRED TO INSTALL EXHAUST FANS.

COMPONENTS REQUIRED FOR COMPLETE INSTALLATION OF

E. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH

a. MAX RUN 5'-0" UP TO 12'-0"- ONLY WITH

b. RUN MUST BE AS STRAIGHT AS POSSIBLE c. ALL 90 DEGREE ANGLES, TRUNK LINE, AND

d. FLEX DUCT TO BE PROPERLY SUPPORTED

APPROVAL FROM GENERAL CONTRACTOR.

SUPPLY GRILL CONNECTIONS MUST BE OUT OF HARD PIPE.

EVERY 4'-0" O.C. WITH A 2" WIDE STRAP MINIMUM.

ALL LOCAL, STATE, AND NATIONAL CODES AND

C. HVAC CONTRACTOR TO PROVIDE MISCELLANEOUS

D. HVAC CONTRACTOR TO FURNISH AND INSTALL ALL

HUMIDIFIERS, IF SPECIFIED, AT FURNACES.

SCHEDULE REQUIRED INSPECTIONS.

COORDINATE WITH OTHER TRADES.

VENTS, LAUNDRY CHUTES, ETC.

F. HVAC "FLEX DUCT" INSTALLATION

7

THIS WORK.

REGULATIONS.

FIXTURES NOTED AS "FURNISHED BY OWNER."

PERMITS, FEES, AND CHARGES REQUIRED TO COMPLETE

CONTRACTOR'S RESPONSIBILITY. COORDINATE WITH OTHER

FIXTURES, FAUCETS, AND ACCESSORIES AS NOTED ON THE

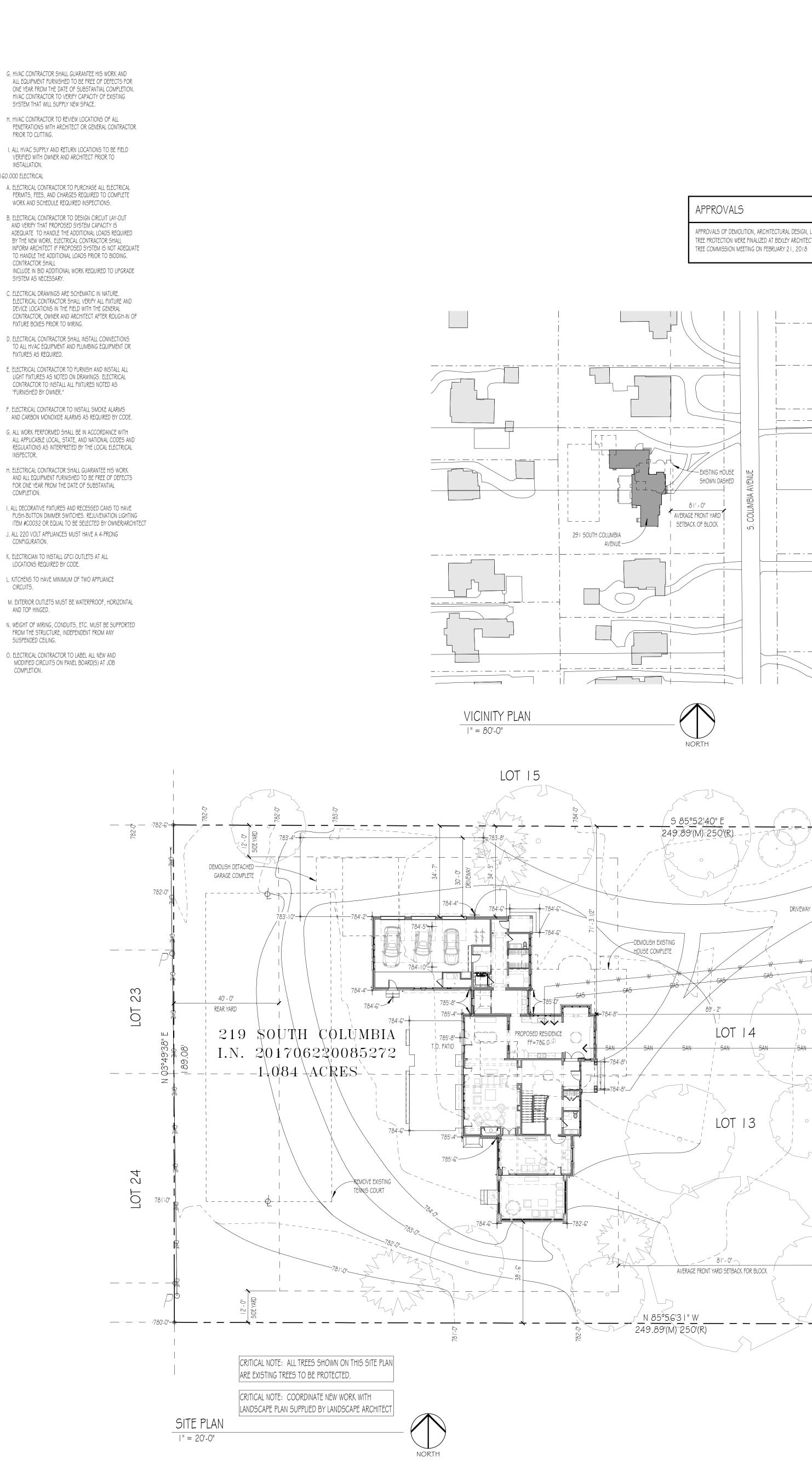
ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND

FINAL PAINTING AND WHERE HEAVY-GRADE WALL COVERINGS

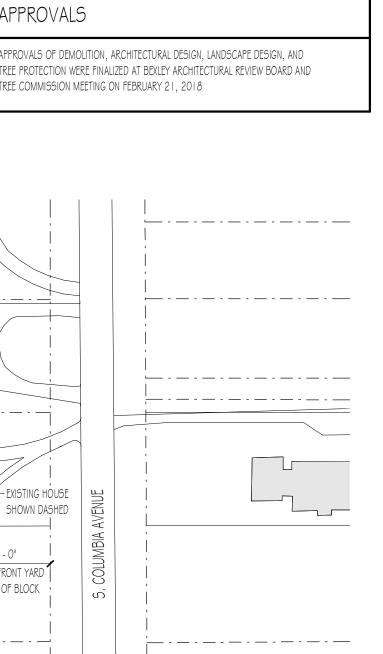
WALLS AND CEILINGS AT ATTACHED GARAGES.

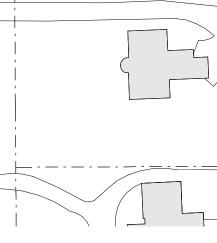
HORIZONTAL JOINTS

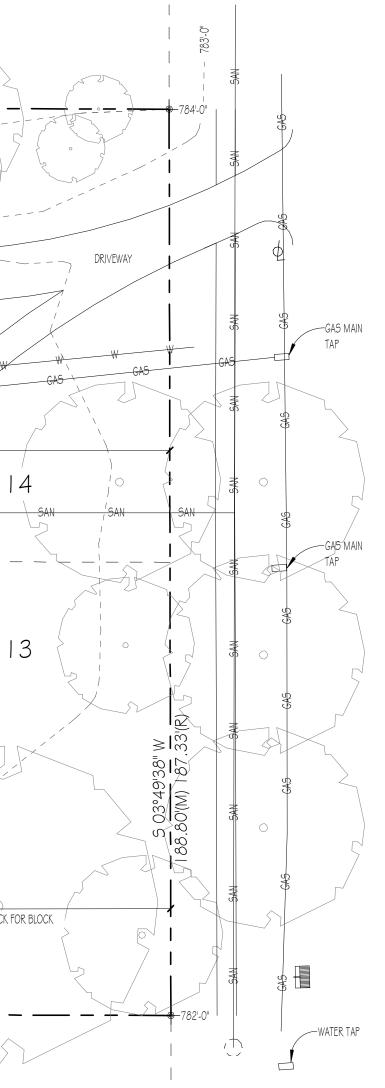
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EXTERIOR ELEVATIONS		
EXTERIOR ELEVATIONS		
BUILDING SECTIONS		
BUILDING SECTIONS	-	
ROOF FRAMING PLAN		
BASEMENT ELECTRICAL	PLAN	
ENTILATION (CALCULATIONS	
OVE MASTER CLOSET #1	/ SCREENED PORCH / DEN (HIP)	
		6.6 SQ. FT
VENT AILEN. (002 00.1	1.7 1007	0,000,00
		6.9 SQ. FT 2.8 SQ. FT
ION PROPOSED:		9.7 SQ. FT
		SET #2 /
	·	17.4 SQ. FT
100 SOFFIT VENIT / LCQ		11760 FT
,		6.3 SQ. FT
ION PROPOSED:		18.0 SQ. FT
OVE LINENS / PANTRY		
) VENT AREA: (206 SQ.F	T. / 150)	1.4 SQ. FT
COR-A-VENT PS-400 SOFFIT VENT (26.1 L.F. x 0.0694 SQ.FT. NFVA/L.F.) COR-A-VENT V-600E RIDGE VENT (16.0 L.F. x 0.139 SQ.FT. NFVA L.F.)		1.8 SQ. FT 2.2 SQ. FT
ION PROPOSED:		4.0 SQ. FT
OVE BREAKFAST		
) VENT AREA: (34 SQ.FT	. / 50)	.3 SQ. FT
	E . 0.0004 CO ET NEVA (1 E)	
00 SOFFII VENI (17.5 L	F. X U.U694 SQ.FI. NFVA / L.F.)	1.2 SQ. FT
ION PROPOSED:		1.2 SQ. FT
		DROOM 3 / BR
) VENT AREA: (1947 SQ	.FT. / 150)	13.0 SQ. FT
00 SOFFIT VENT (146.1 -VENT	L.F. x 0.0694 SQ.FT. NFVA / L.F.)	10.1 SQ. FT 4.3 SQ. FT
ION PROPOSED:		14.4 SQ. FT
ATES		
48" X 60" CUSTOM ELEV	'ATOR CAB	
T TEAM		
	LANDSCAPE ARCHITECT:	
DEE DEE GLIMCHER	REALM COLLABORATIVE	
	22 E. GAY STREET #600 COLUMBUS. OHIO 43215	
43200 563-8187	PHONE: 216-647-5888	
	ATTN: BRIAN BERNSTEIN	
	SURVEYOR	
D AVENUE	2099 W. FIFTH AVENUE	
DHIO 432 2	COLUMBUS, OHIO 43212	
101 1000		
464-1933 8-2149	PHONE: 614-485-9000 FAX: 614-485-9003	
	COVER SHEET AND SITI FOUNDATION/BASEMEN FIRST FLOOR PLAN SECOND FLOOR PLAN SECOND FLOOR PLAN SECOND FLOOR PLAN EXTERIOR ELEVATIONS BUILDING SECTIONS WALL SECTIONS/DETAIL WALL SECTIONS/DETAIL FIRST FLOOR FRAMING SECOND FLOOR FRAMI SECOND FLOOR FRAMI BASEMENT ELECTRICAL FIRST FLOOR FLECTRIC SECOND FLOOR MECHANI SECOND FLOOR	COVER SHEET AND SITE PLAN Internal FOUNDATION/BASEMENT PLAN Internal FREST FLOOR PLAN SECOND FLOOR PLAN SECOND FLOOR PLAN / ROOF PLAN SECOND FLOOR PLAN SCHEDUES AND TRIM DETAILS ENTERIOR ELEVATIONS BUILDING SECTIONS BUILDING SECTIONS BUILDING SECTIONS FRAMING PLAN SECOND FLOOR PRAMING PLAN SECOND FLOOR REAMING PLAN SECOND FLOOR REAMING PLAN SECOND FLOOR RECHANICAL PLAN SECOND FLOOR RECHANICAL PLAN SECOND FLOOR MECHANICAL PLAN SECOND FLOOR MECHANICAL PLAN SECOND FLOOR MECHANICAL PLAN OVE MASTER CLOSET #1 / SCREENED PORCH / DEN (HIP) DVENT AREA: (982 SO, FT. / 150) OVE MASTER BR / MASTER BATH / MASTER HALL / MASTER CLO OVE MASTER BR / MASTER BATH / MASTER HALL / MASTER CLO OVE MASTER RE / MASTER BATH / MASTER HALL / MASTER CLO OVE MAREA: (982 SO, FT. / 150) COVE MASTER BATH / MASTER HALL / MASTER OVENT AREA: (2608 SO, FT. / 150)

DUILDING ZONING INI ONWATION		
PROPERTY ADDRESS: 291 SOUTH COLUMBIA AVENUE BEXLEY, OHIO 43209		
PARCEL ID: 020-001902-00 ZONING: R-3		
LOT AREA: I.II ACRES (48,351 SQ. FT.) HISTORIC DISTRICT: BEXLEY PROPERTY CLASS (PER AUDITOR): R-RESIDENTIAL LAND USE (PER AUDITOR): 510-ONE-FAMILY DWLG ON PLATTED LOT		
EXISTING USE: R-3 PROPOSED USE: NO CHANGE		
RESIDENTIAL BUILDING AREA, AND SETBACK STANDARDS		
LOT AREA REQUIREMENTS: 14,400 SQ. FT. MIN. LOT WIDTH: 90' FRONT YARD SETBACK: 30' OR AVERAGE SETBACK AS DEFINED IN 1	SECTION 1230.	07,
WHICHEVER IS GREATER SIDE YARD: 12' (EACH SIDE) REAR YARD: 40'		
BUILDING COVERAGE AND HEIGHT STANDARDS MAXIMUM LOT COVERAGE: 25% BUILDING 40% DEVELOPMENT COVER		
ACCESSORY BUILDING COVER LIMIT AS A % OF BUILDING FOOTPRI 35% OR 624 SQ. FT, WHICHEVER IS GREATER PRINCIPAL BUILDING HEIGHT: 2-1/2 STORIES, AND SHALL NOT EXC		TRUCTURE)
ACCESSORY STRUCTURE: 20' PROPOSED BUILDING COVERAGE:	LLD 40	
LOT AREA: 47,214 SQ. FT. BUILDING COVER: PROPOSED: 5,117 SQ. FT. (10.8%)		
DEVELOPMENT COVER: BUILDING COVER: 5,117 SQ. FT. (10.8%) *PROPOSED DRIVEWAY / PATIO : 4,762 +/- SQ. FT. (10.1%)		
TOTAL DEVELOPMENT COVER (DRIVEWAY, WALKS, AND PATIO): 9,6 * EXTENTS OF PROPOSED DRIVEWAY AND PATIO SPACES TO BE SU PLAN		
PRINCIPAL BUILDING HEIGHT: PROPOSED: 37'-8"		
RESIDENTIAL ENERGY REQUIREMEN	ITS	
THE ENERGY REQUIREMENTS LISTED BELOW DENOTE THE MINIMUM E PER SECTION I I 02 OF THE 213 OHIO RESIDENTIAL CODE. THIS PR WITH OR EXCEED THESE REQUIREMENTS AS NOTED ON THE DRAWIN CONSTRUCTION WHERE SPACE DOES NOT ALLOW FULL COMPLIANCE TO ACHIEVE HIGHEST R-VALUE POSSIBLE. THIS PROJECT IS LOCATE	COJECT IS TO CO GS. IN EXISTING , INSULATION T	OMPLY G
THERMAL ENVELOPE REQUIRED PROPO FENESTRATION (WINDOWS \$ DOORS U-0.35 SEE SCHED FENESTRATION (SKYLIGHTS) U-0.60 SEE SCHED GLAZED FENESTRATION SHGC NR NR	DULE	
CEILING R-30* R-38 WOOD FRAME WALL R-20 R-21		
VASS WALL R-13/17 N/A FLOOR R-30*** R-30 BASEMENT WALL R-10/13 R-10/1	3	
SLAB PERIMETER (IF < 12" BELOW GRADE) R-10. 2 FT N/A CRAWL SPACE WALL R-10/13 N/A	0	
UNCOMPRESSED AT EAVES (IF COMPRESSED, USE R-38) ** ONLY IN AREAS AFFECTED BY THE PROPOSED RENOVATIONS *** OR INSULATION SUFFICIENT TO FILL THE FRAMING CAVITY, R-19	MIN.	
 GENERAL INSULATION NOTES: IN LOCATIONS WHERE ATTIC SPACES ARE CREATED BY THE USE RAFTERS, THE INSULATION SHALL BE PROVIDED IN THE PLANE OF THE PLANE OF THE ROOF RAFTERS). PROVIDE LIGHT-GAUGE METAL STRAPPING OR METAL WIRE INSUL WHERE INSULATION IS NOT CONTAINED ON BOTH SIDES BY WAL 	F THE CEILING JI ATION SUPPOR	OISTS (NOT TS IN WALL!
MANUFACTURER'S SPECIFICATIONS.		
I. GOVERNING CODE: OHIO RESIDENTIAL CODE 2013		
2. ASSUMED SOIL BEARING CAPACITY: 1500 P/SF		
 DESIGN ROOF SNOW LOAD: 25 PSF PLUS THE EFFECT OF DRIF BUILDING CODE 	TING SNOW PER	R OHIO
A. GROUND SNOW LOAD (Pg) = 20 PSF B. FLAT ROOF SNOW LOAD (Pf) = 20 PSF C. SNOW EXPOSURE FACTOR (Ce) = 1.0 D. SNOW LOAD IMPORTANCE FACTOR (I) = 1.0 E. ROOF LIVE LOAD = 20 PSF		
4. DESIGN FLOOR LIVE LOADS: A. RESIDENTIAL = 40 PSF		
 5. WIND DESIGN PARAMETERS A. BASIC WIND SPEED = 90 MPH B. WIND LOAD IMPORTANCE FACTOR = 1.0 C. WIND EXPOSURE = EXPOSURE B D. MAIN WIND DESIGN PRESSURE = 12.8 PSF 		
GROSS SQUARE FOOTAGE CALCU	LATIONS	5
LOWER LEVEL (FINISHED) LOWER LEVEL (UNFINISHED)	,562 ,092	SQ. FT. SQ. FT.
LOWER LEVEL (TOTAL INCLUDING UNFINISHED SPACE)	2,654	SQ. FT.
FIRST FLOOR (MAIN HOUSE FINISHED) FIRST FLOOR (GARAGE) FIRST FLOOR (SCREENED PORCH) FIRST FLOOR (FRONT & SIDE COVERED PORCHES)	3,390 1,135 466 126	SQ. FT. SQ. FT. SQ. FT. SQ. FT.
FIRST FLOOR (TOTAL FINISHED) FIRST FLOOR (TOTAL INCLUDING MAIN HOUSE, GARAGE, AND COVERED PORCHES)	3,390 5,117	SQ. FT. SQ. FT.
SECOND FLOOR (TOTAL FINISHED)	3,685	SQ. FT.
TOTAL FINISHED AREA	<u>8,637</u>	<u>SQ.</u> F

