



CITY OF BEXLEY
BOARD OF ZONING AND PLANNING

AGENDA

DATE: November 29, 2018
TIME: 6:00 P.M.
PLACE: City Council Chambers, Bexley Municipal Building

1. Call to Order
2. Roll Call
3. Approval of Minutes from the October 11th, 2018 BZAP meeting.
4. Public Comment
5. Other Business:
6. OLD Business:

- a. Application No.: 18- 019 Z
Applicant: James Hunley & Ingrid Emch
Owner: James Hunley & Ingrid Emch
Location: 2842 Powell Avenue
BZAP Request: The applicant is seeking architectural review and approval of a new two-story addition to the east side of the principal structure, which will replace the existing screened porch. The applicant is also seeking a 3' 1" variance from Bexley Code Section 1252.09 (R-6), which requires an 8' setback from side yard property line, to allow a two-story addition on the east side of the principal structure to be constructed 4'11" from the east side property line, which is the same setback as the existing 1-story porch.

- b. Application No.: 17-040 Z
Applicant: On Site Management
Owner: Dr. Summit and Lekha Shah
Location: 424 S. Columbia
BZAP Request: The applicant is seeking a variance from Bexley Code Section 1262.06, which permits circular driveways on lots having a minimum front yard lot width at the street right-of-way of at least one hundred and fifty (150) feet, to allow a circular driveway to be located on this 133' wide lot. The applicant would propose to add a 2nd approach and maintain the existing approach. Please Note: This application was tabled at the June 28th meeting of the Board.

NEW Business:

- c. Application No.: 17-028 Z
Applicant: Will Lehnert, Outdoor Space Design
Owner: Chris Hayler & Elisabeth Hire
Location: 219 S. Columbia
BZAP Request: The applicant is seeking a variance from Bexley Code Section 1264.02, which limits fences to 42" in height in the front yard, and a special Permit from the Board of Zoning and Planning, to request that they be allowed to install a 48" high black metal fence with 55" high columns, along the south side property line and 13' from the front (east) façade of the principal structure.
- d. Application No.: 18-0033 Z
Applicant: Eric Wagenbrenner
Owner: Same
Location: 2688 Brentwood Road
BZAP Request: The applicant is seeking a variance from Bexley Code 1252.15(h) which states: For corner lots in residential districts, accessory uses and structures shall be located a minimum of five feet farther back from the side street than the principal structure is allowed. The applicant would like to place a larger accessory shed, in the same non-conforming location as the existing shed.
- e. Application No.: 18-0031 Z
Applicant: Brian Bernstein
Owner: Herb & Dee Dee Glimcher
Location: 291 S. Columbia Ave.
BZAP Request: The applicant is seeking a variance from Bexley Code Section 1262.01(e) which states driveway shall be no less than 8' and no larger than 12.5' in width, to allow the proposed driveway to be 16' in width.

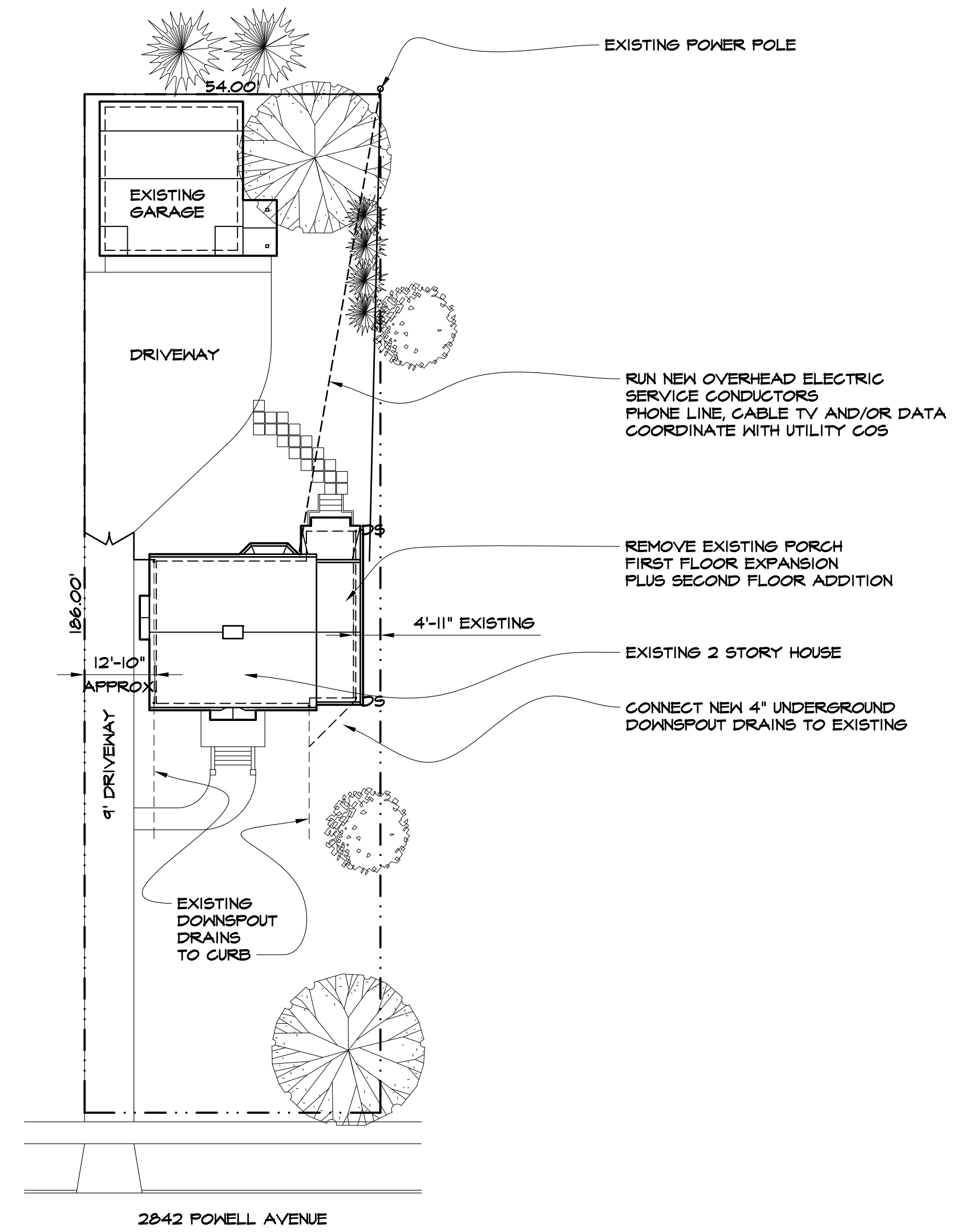
f. Application No.: 18-0032 Z
Applicant: Brad Schoch
Owner: Greg & Corry Tishkoff
Location: 270 S. Columbia Ave. (vacant lot south of 256 S. Columbia)
BZAP Request: The applicant is seeking a 3.5' variance from Bexley Code Section 1252.09 (R-3) which requires a 97' average front yard setback, to allow a new single-family dwelling to be constructed 93.5' from the front (west) property line. The applicant is also seeking preliminary architectural review of the proposed new single-family dwelling.

SITE DATA:

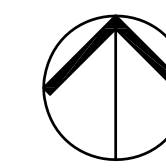
ZONING DISTRICT	R-6 HIGH DENSITY SINGLE-FAMILY RESIDENTIAL DISTRICT
LOT AREA	10,044 SF
BUILDING LOT COVERAGE AREA	1,719 SF
REQUIRED PARKING LOT COVERAGE AREA 2 REQUIRED SPACES X 162 SF =	324 SF
TOTAL LOT COVERAGE AREA	2,043 SF
LOT COVERAGE	20.3%
ALLOWABLE LOT COVERAGE	35%

GENERAL NOTES:

1. ALL WORK SHALL CONFORM WITH GOVERNING CODES.
2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS IN FIELD. NOTIFY ARCHITECT IF ANY DISCREPANCIES OCCUR.
3. ALL MATERIALS AND PRODUCTS SHALL BE INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S INSTRUCTIONS.
4. JOB SITE SHALL BE KEPT CLEAN AND ORDERLY. CONTRACTORS SHALL CLEAN UP ALL DEBRIS DAILY.



SITE PLAN
SCALE: 1"=20'-0"





SITE PLAN
SCALE: 1"=10'-0"



PRELIMINARY

THIS DRAWING IS FOR
INFORMATION ONLY
NOT FOR BIDDING OR
CONSTRUCTION

HUNLEY RESIDENCE IMPROVEMENTS Bexley, Ohio

SITE PLAN W/ AERIAL

10/17/18

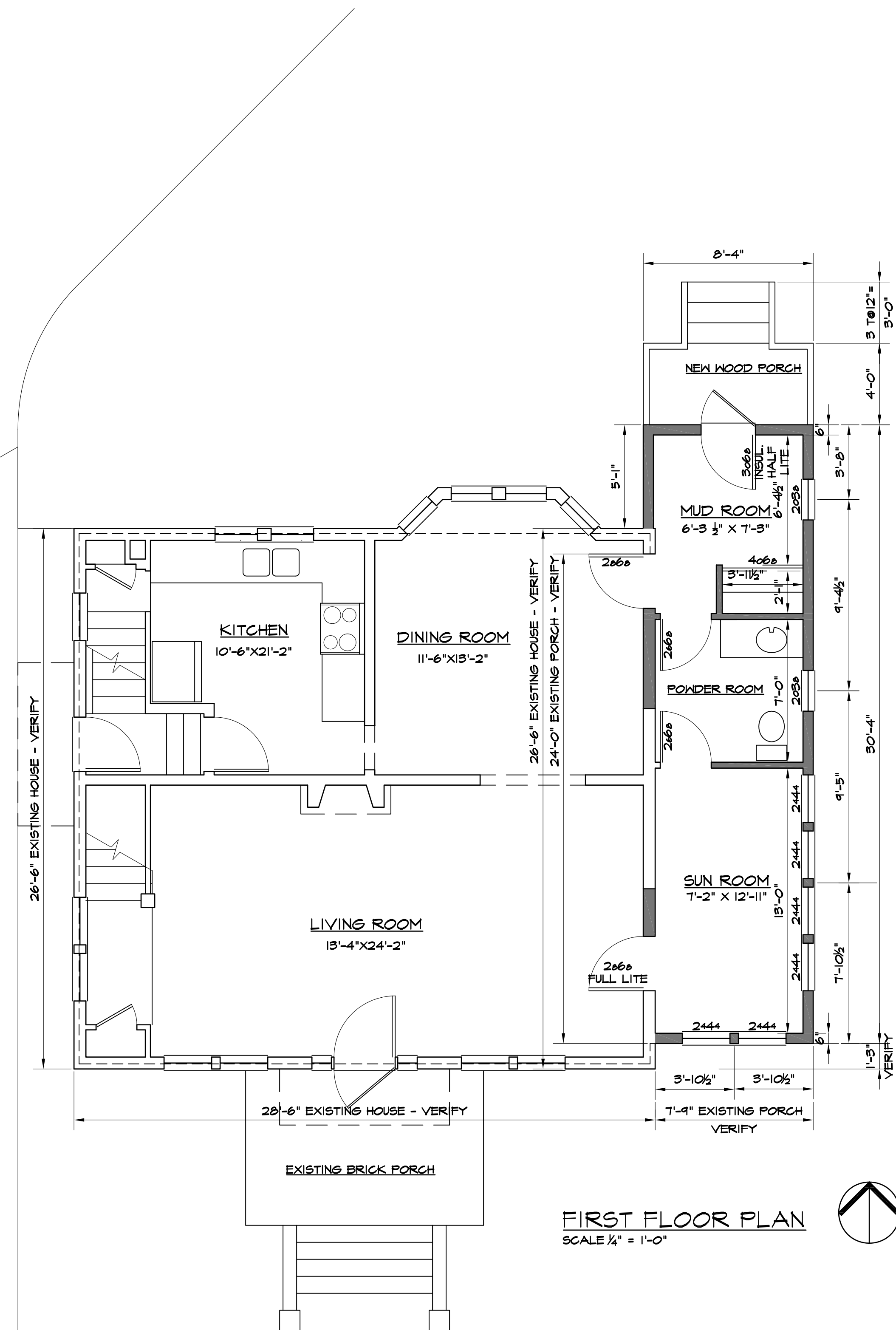
S2

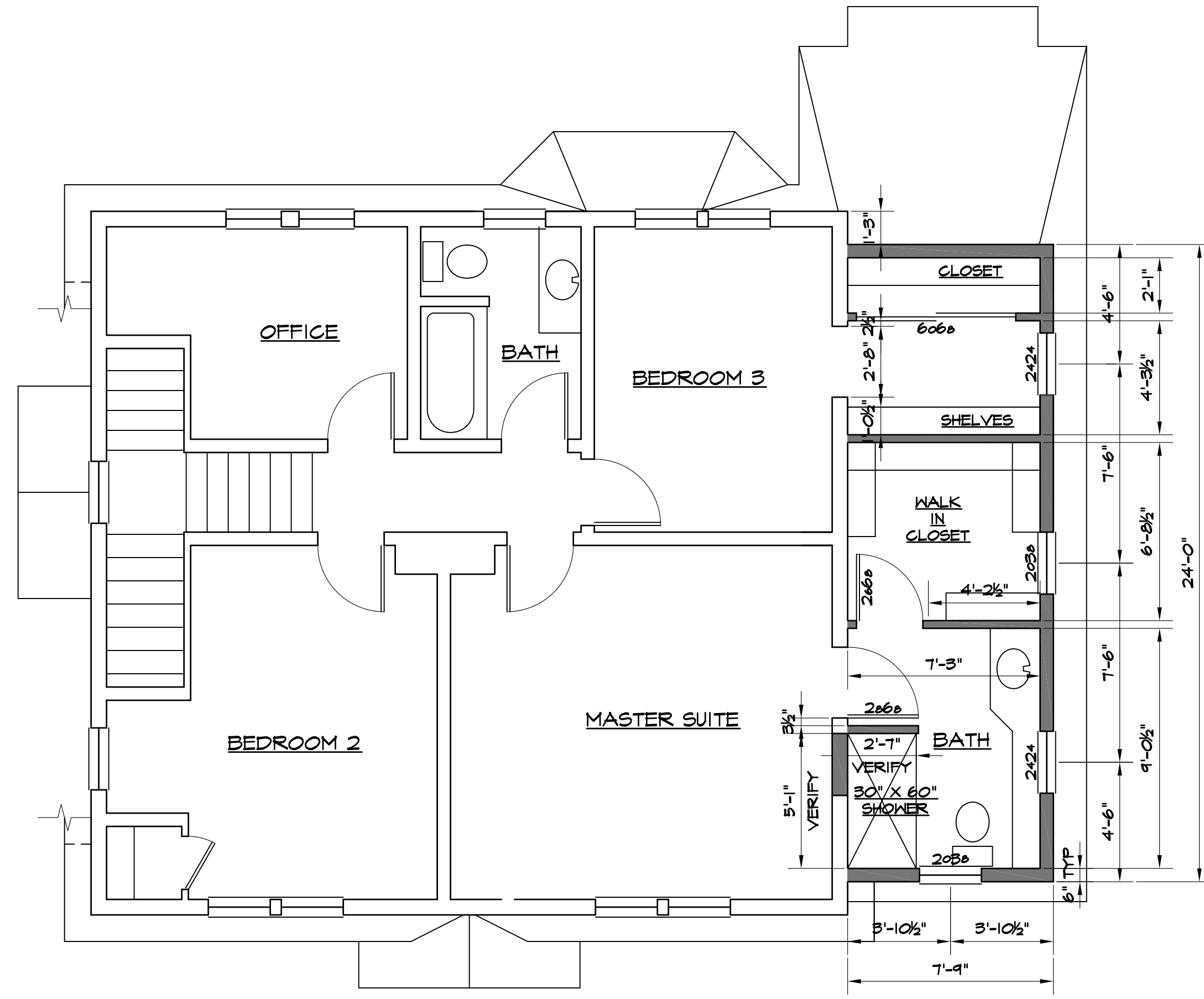
R. M. JAMES ARCHITECT, INC. P. O. BOX 340037, COLUMBUS, OHIO 43234 (614) 578-4014 Roland@RMJamesArchitect.com

NOTES:

1. DIMENSIONS ARE TO FACE OF STUD AND EXTERIOR FACE OF FOUNDATION WALLS UNLESS NOTED OTHERWISE.
2. ALL FOUNDATION WALLS ARE 8" UNLESS NOTED OTHERWISE.
3. ALL STEEL SHALL BE PAINTED WITH RUST INHIBITIVE PRIMER.
4. STRUCTURAL MEMBERS SHOWN ON PLAN ARE ABOVE UNLESS NOTED OTHERWISE.
5. ALL FRAMING LUMBER SHALL HAVE THE FOLLOWING MINIMUM DESIGN VALUES:

F _b	1150 PSI
E	1,300,000 PSI
DEFLECTION LIMIT	L/360
6. ALL ENGINEERED MEMBERS SHALL BE SIZED BASED ON MANUFACTURERS LOADS AND STRESS TABLES.
7. ALL EXTERIOR FRAME WALLS ARE 2X6'S @24"OC UNLESS NOTED OTHERWISE.
8. ALL INTERIOR FRAME WALLS ARE 2X4'S @16"OC UNLESS NOTED OTHERWISE.
9. ALL WINDOW AND DOOR HEADERS ARE 2-2X8'S UNLESS NOTED OTHERWISE.
10. ALL LUMBER IN CONTACT WITH CONCRETE, MASORY, OR STEEL SHALL BE PRESSURE TREATED.
11. PROVIDE WOOD BLOCKING FOR ALL WALL MOUNTED ITEMS INCLUDING, BUT NOT LIMITED TO: CABINETS, TP HOLDERS, TOWEL BARS, WINDOW CURTAIN RODS, CLOSET SHELVING/RODS ETC.
12. PROVIDE SILL SEALER AT ALL EXTERIOR SILL PLATES.
13. INSULATION TO BE INSTALLED AS A COMPLETE AND CONTINUOUS SYSTEM PROVIDING FULL ENCLOSURE. INJECT INSULATING FOAM INTO ALL WINDOW AND DOOR SHIM SPACES, AT INTERIOR WALL INTERSECTIONS, BEHIND ALL ELECTRICAL AND PLUMBING DEVICES, INTO ALL OTHER VOID SPACES, AT JOINTS BETWEEN DISSIMILAR MATERIALS, AND OTHER INSULATION SYSTEM PENETRATIONS.
14. PROVIDE BATT INSULATION AT ALL PLUMBING STACKS AND WATER SUPPLY PIPES AND DUCTS ON OUTSIDE WALLS.
15. CAULK AROUND ALL WINDOWS, DOORS, OTHER SMALL GAPS AND JOINTS BETWEEN DISSIMILAR MATERIALS.
16. ALL NEW WINDOWS SHALL MATCH EXISTING HOUSE. WINDOWS ARE DOUBLE HUNG UNLESS NOTED OTHERWISE.
17. GNB SHALL BE CONTINUOUS BEHIND ALL SOFFITS, CABINETS, TUBS, FIXTURES ETC. TO MAINTAIN FIRESTOPPING.
18. CLOTHES CLOSETS: PROVIDE ONE PAINTED 1X12" WOOD SHELF ON 1X4 WOOD LEDGERS AND CLOTHES ROD @5'-0" AFF.
19. LINEN CLOSETS: PROVIDE FIVE ADJUSTABLE PAINTED WOOD SHELVES MINIMUM.
20. STORAGE CLOSETS: PROVIDE ONE PAINTED 1X12" WOOD SHELF ON 1X4 WOOD LEDGERS AND CLOTHES ROD @5'-0" AFF.
21. ONE WINDOWS IN EACH BEDROOM SHALL COMPLY WITH EMEGENCY EGRESS REQUIREMENTS OF THE BUILDING CODE. CONTRACTOR TO VERIFY.
22. ALL WINDOWS SHALL HAVE A MAXIMUM U FACTOR OF .35.
23. ALL OPERABLE WINDOWS SHALL HAVE INTEGRAL SCREENS.
24. EXPOSED BUILDING COMPONENTS/AREAS TO REMAIN SHALL BE PROTECTED FROM WEATHER DURING DEMOLITION AND CONSTRUCTION.

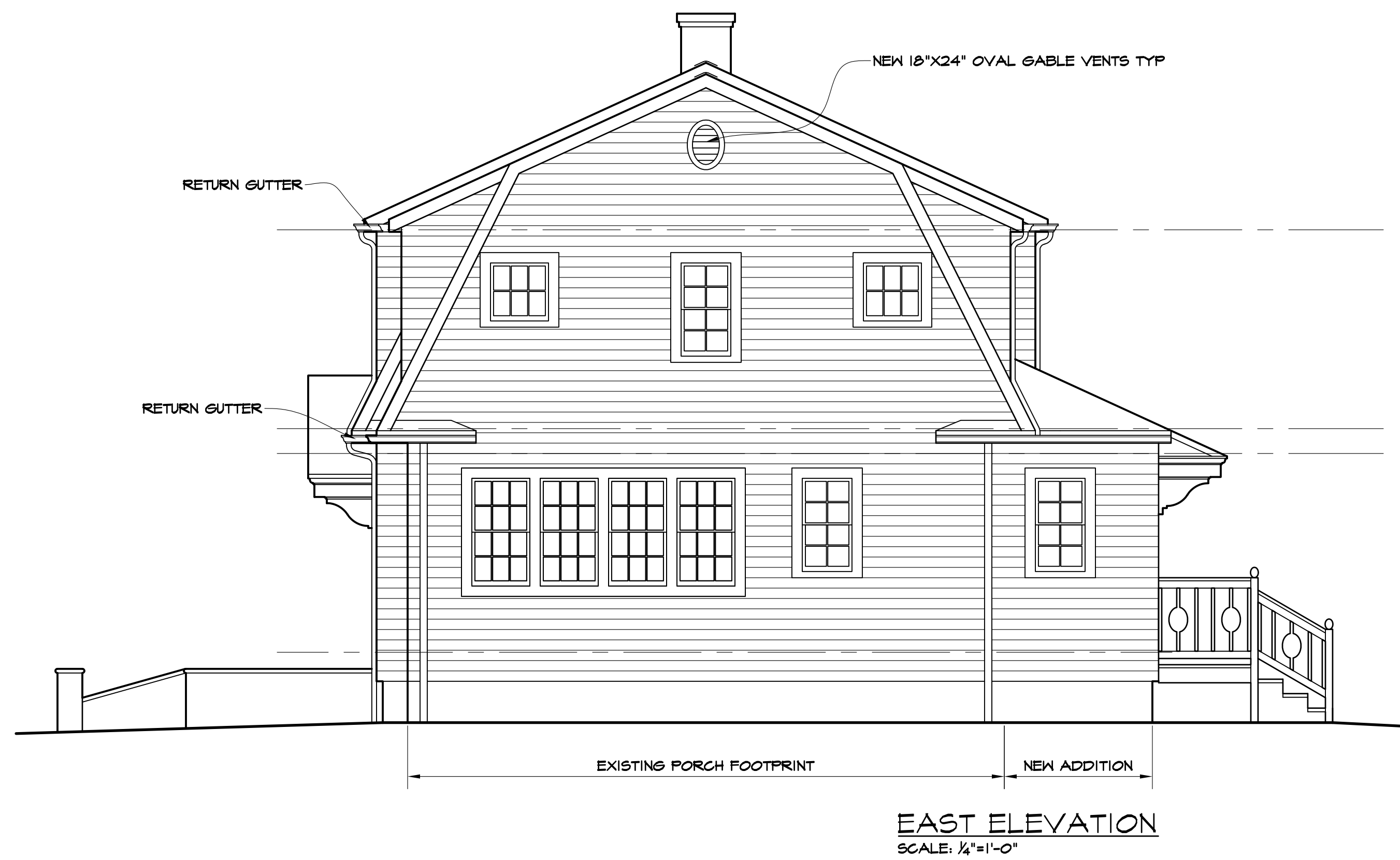


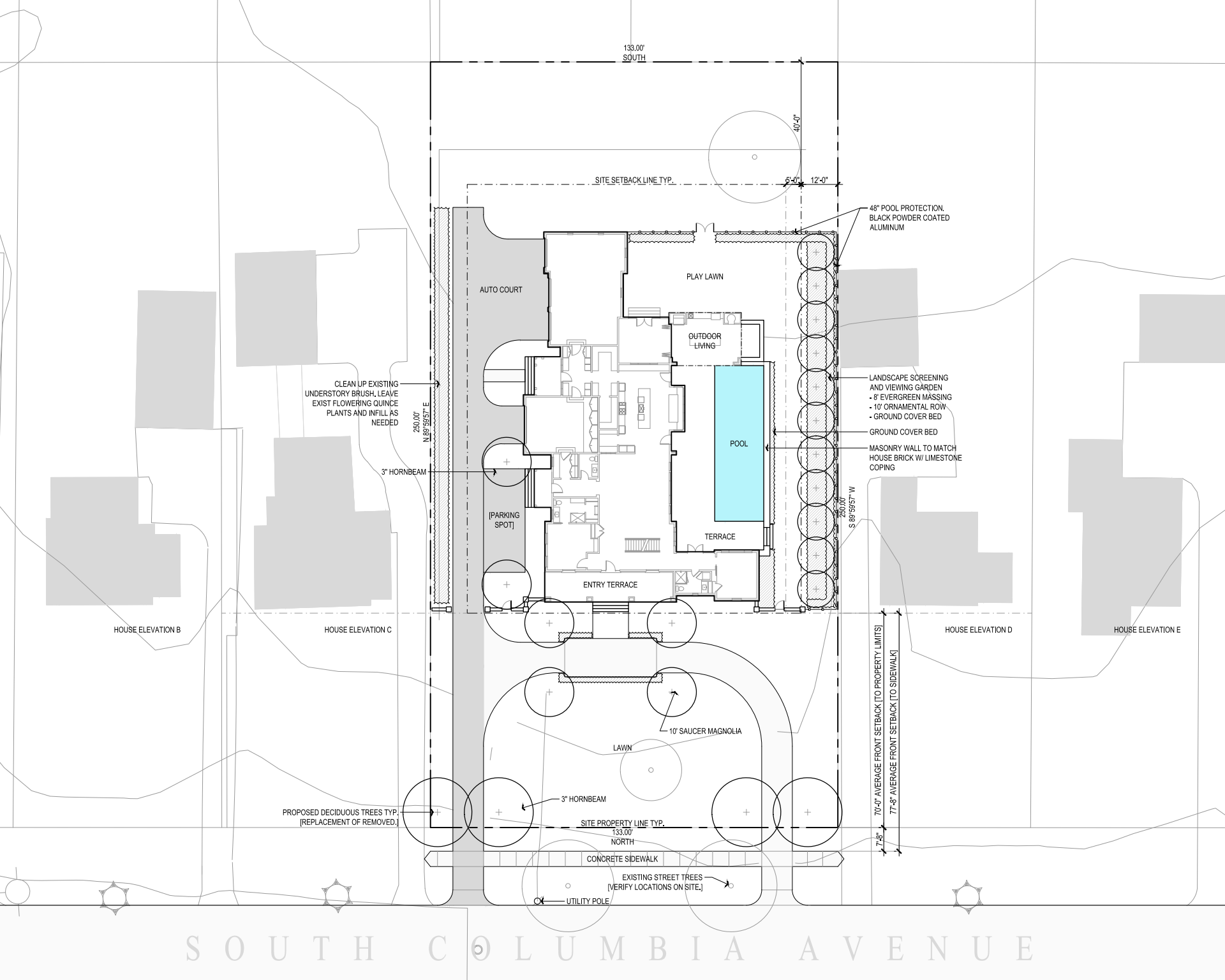


SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"







133.00'
SOUTH

SITE SETBACK LINE TYP.

40'-0"

5'-0" 12'-0"

48" POOL PROTECTION.
BLACK POWDER COATED
ALUMINUM

AUTO COURT

PLAY LAWN

OUTDOOR
LIVING

POOL

TERRACE

ENTRY TERRACE

[PARKING
SPOT]

CLEAN UP EXISTING
UNDERSTORY BRUSH, LEAVE
EXIST FLOWERING QUINCE
PLANTS AND INFILL AS
NEEDED

250.00'
N 89° 59' 57" E

3" HORNBEAM

LANDSCAPE SCREENING
AND VIEWING GARDEN
- 8' EVERGREEN MASSING
- 10' ORNAMENTAL ROW
- GROUND COVER BED

GROUND COVER BED

MASONRY WALL TO MATCH
HOUSE BRICK W/ LIMESTONE
COPING

250.00'
S 89° 59' 57" W

HOUSE ELEVATION B

HOUSE ELEVATION C

HOUSE ELEVATION D

HOUSE ELEVATION E

70'-0" AVERAGE FRONT SETBACK (TO PROPERTY LIMITS)
77'-8" AVERAGE FRONT SETBACK (TO SIDEWALK)

PROPOSED DECIDUOUS TREES TYP.
(REPLACEMENT OF REMOVED.)

10' SAUCER MAGNOLIA

LAWN

3" HORNBEAM

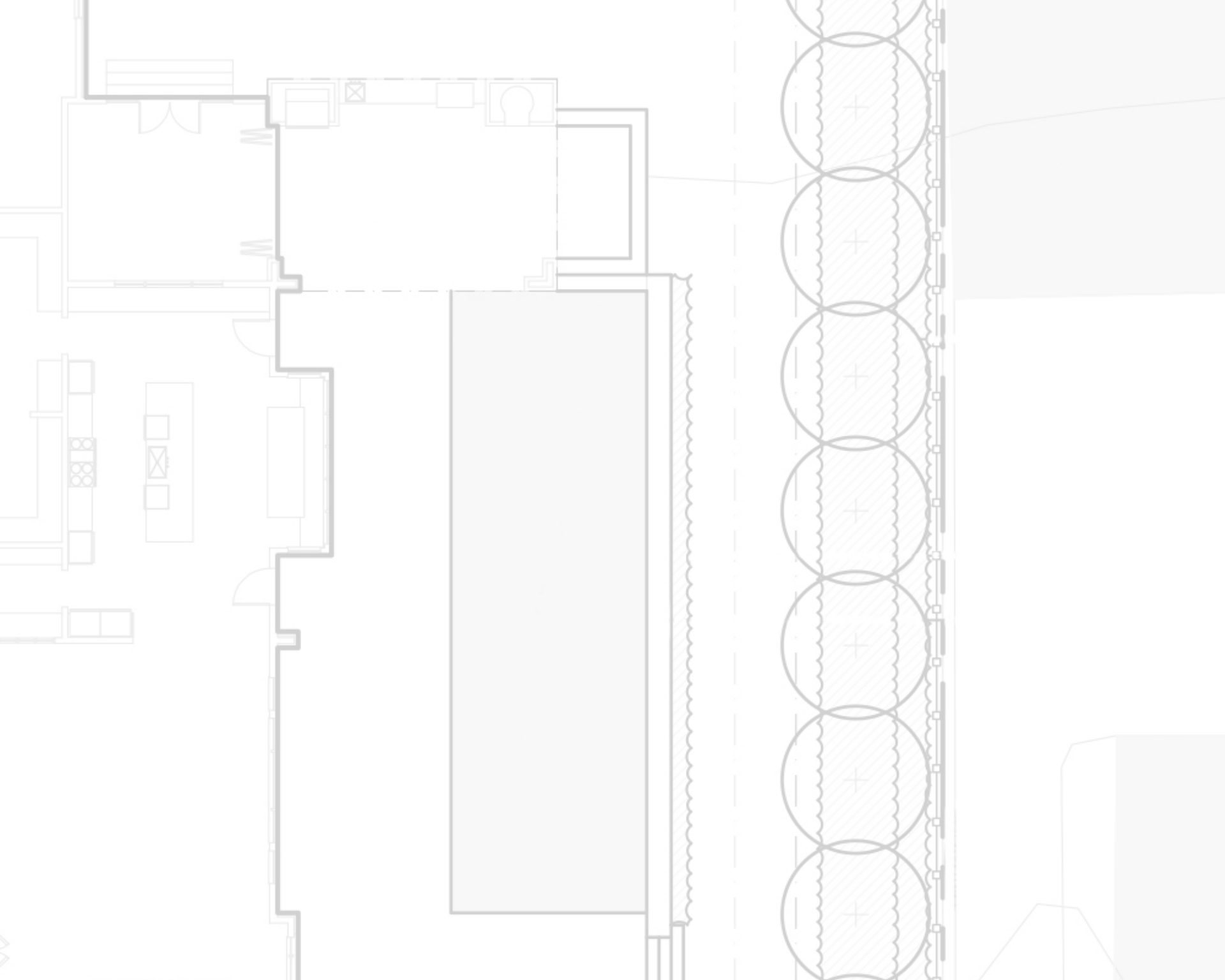
SITE PROPERTY LINE TYP.
133.00'
NORTH

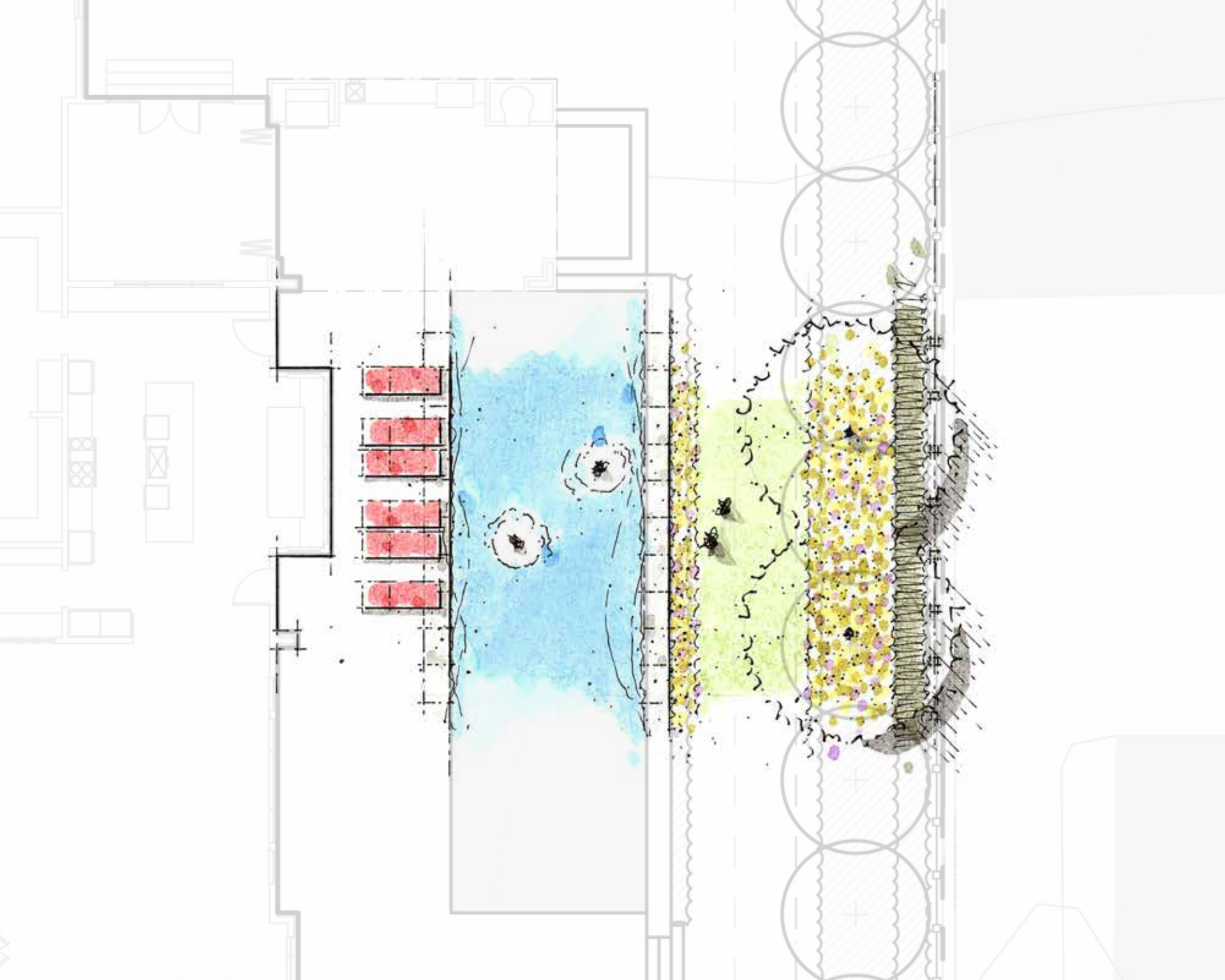
CONCRETE SIDEWALK

EXISTING STREET TREES
(VERIFY LOCATIONS ON SITE.)

UTILITY POLE

S O U T H C O L U M B I A A V E N U E





ELEVATION [WEST] ■



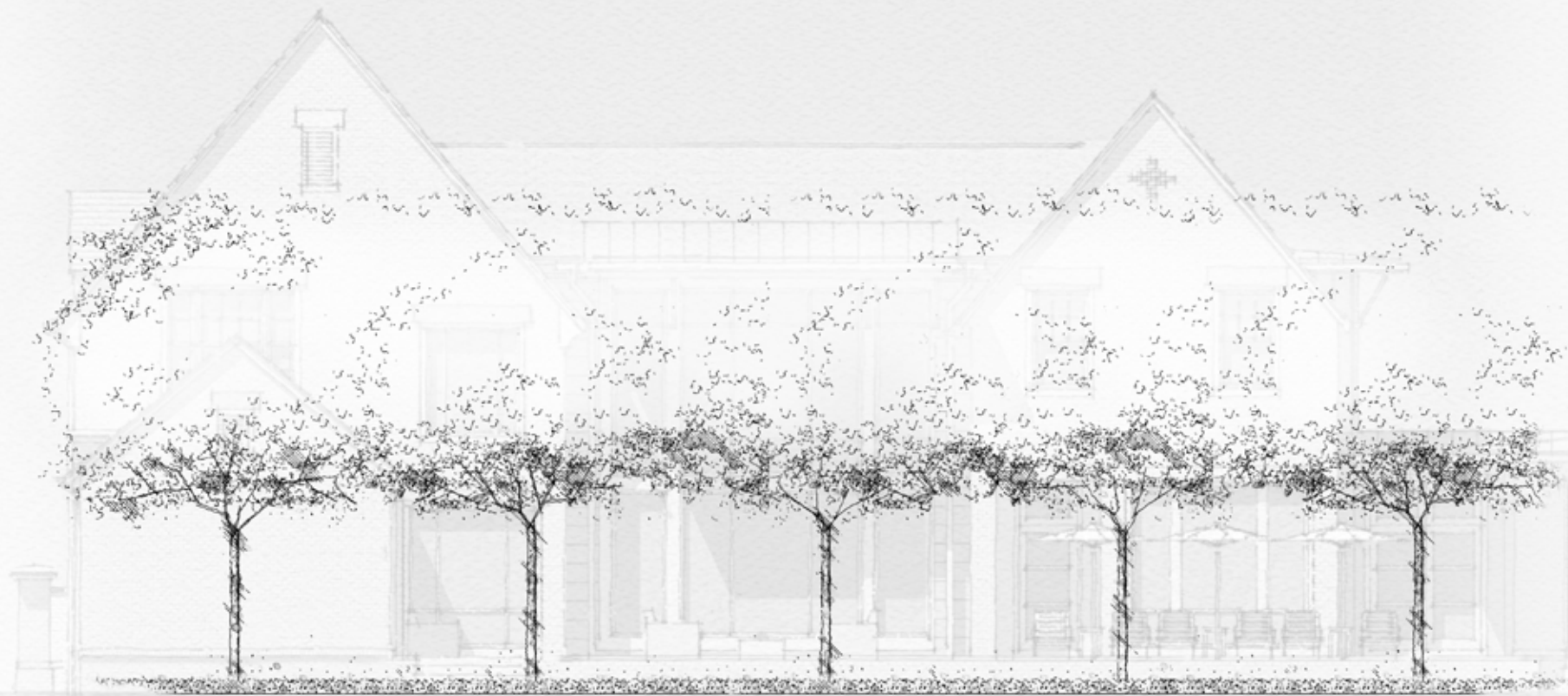


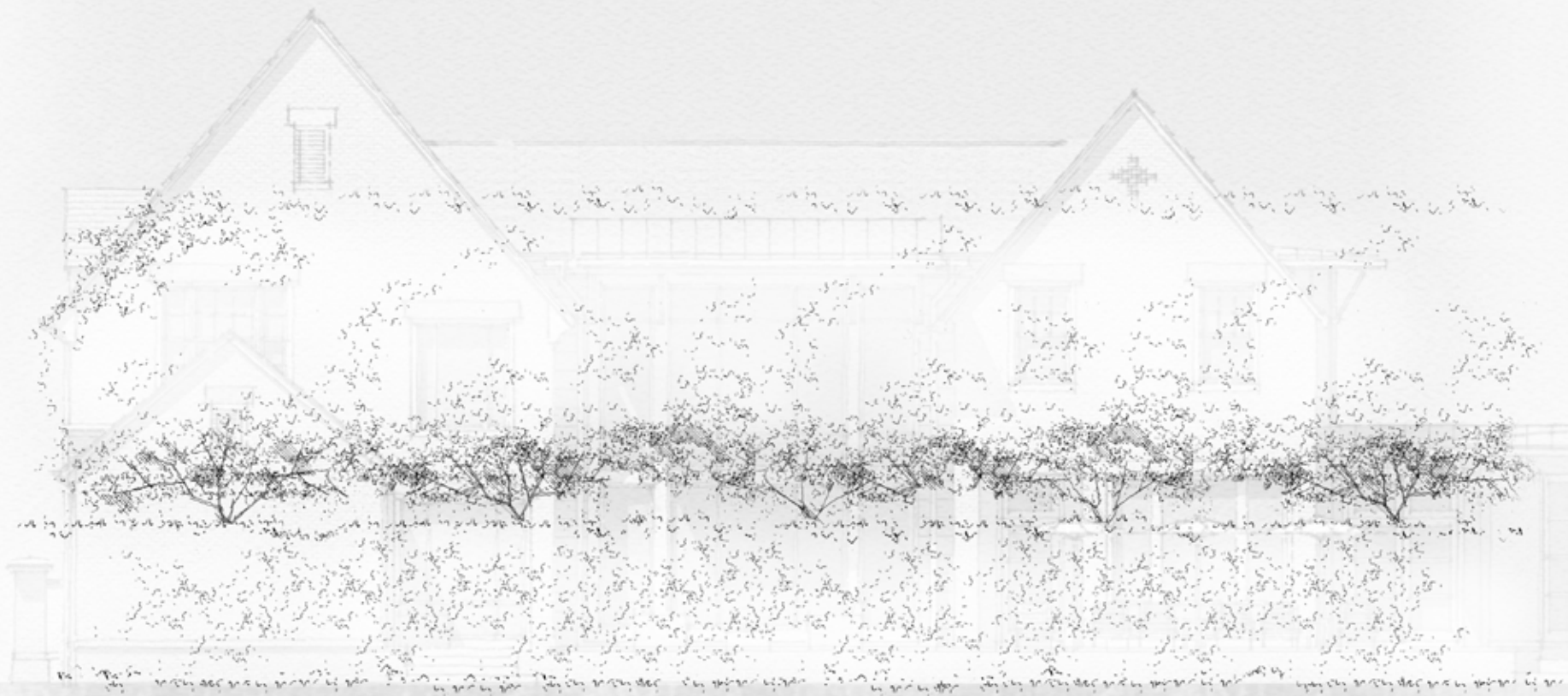




ELEVATION [SOUTH] ■







LANDSCAPE ■









FENCING ■

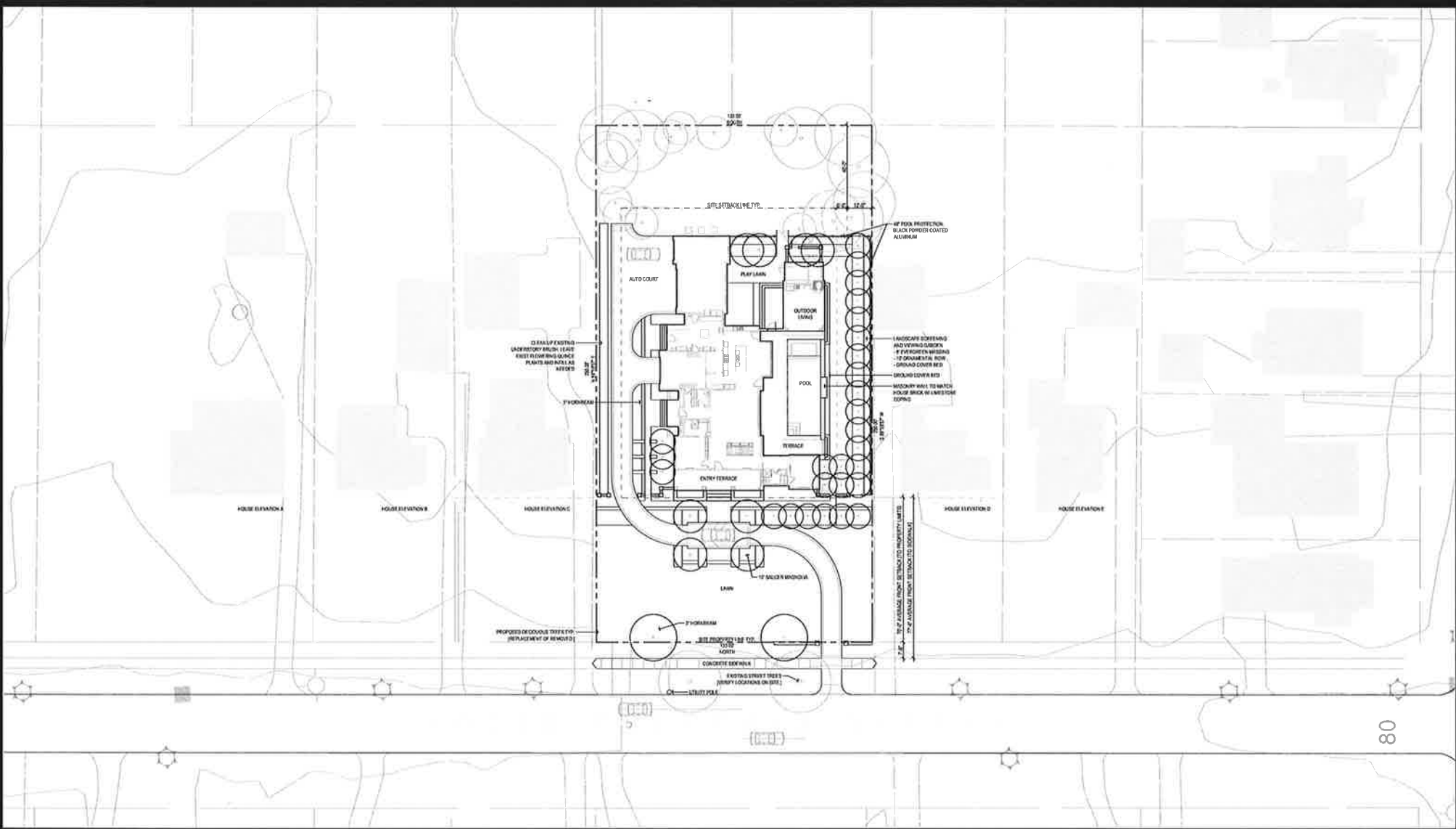


MATERIALS ■





PREVIOUS ARCHITECTURAL SITE PLAN



APPROVED ARCHITECTURAL SITE PLAN



CURB CUT ANALYSIS

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review Conditional Use Demolition Planned Unit Dev. Rezoning Special Permit

Property & Project Information:

Property Address:

219 S Columbia Avenue

Brief Project Description:

Addition of a 48" tall wrought iron fence with stone columns per submitted plan and elevation drawings.

Applicant Information:

Applicant Name:

Will Lehnert, Outdoor Space Design

Applicant Address:

289 West Weisheimer Road, Columbus, OH 43214

Applicant Email & Phone:

will@outdoorspacedesign.net 614-282-7810

Property Owner Information:

Owner Name:

Chris Hayler & Elisabeth Hire

Owner Address:

219 S Columbia, Bexley, OH 43209

Owner Email & Phone:

elisabethhire@hotmail.com 202-368-7649

Attorney/Agent Information:

Agent Name:

Agent Address:

Agent Email & Phone:

Completed Worksheets:

- Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet C)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:

Date: 10-02-18

Owner Signature:

Date:

Agent Signature:

Date:

Internal Use:

Application #:

Board Referrals:

- ARB BZAP City Council Tree Commission

Staff Signature:

Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation	\$ <input type="text"/>
- \$5.00 for each additional \$10,000 valuation.	\$ <input type="text"/>

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation	\$ <input type="text"/>
- \$5.00 for each additional \$10,000 valuation	\$ <input type="text"/>
- \$600.00 cap	\$ <input type="text"/>
- \$50.00 resubmittal fee	\$ <input type="text"/>

Variance Review

Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text" value="65.00"/>
All others:	\$90.00	\$ <input type="text"/>

Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text"/>
Replatting or new plat:	\$250.00	\$ <input type="text"/>

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>
Fences and walls:	\$65.00	\$ <input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text"/>
Re-submittal Fee:	\$50.00	\$ <input type="text"/>

Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text"/>

Fee Total: \$

Project Worksheet

Residential Commercial

Property Address: 219 South Columbia Avenue

Zoning District:

- R-1 (25% Building & 40% Overall)
- R-2 (25% Building & 50% Overall)
- R-3 (25% Building & 50% Overall)
- R-6 (35% Building & 60% Overall)
- R-12 (35% Building & 70% Overall)
- Other:

** Overall coverage includes hardscape*

Lot Info: Width (ft.): Depth (ft.): Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):	<input type="text" value="2416"/>	
Proposed Addition (SF):	<input type="text"/>	
Removing (SF):	<input type="text"/>	(Type of Structure): <input type="text" value="House"/>
Proposed new primary structure or residence (SF):	<input type="text"/>	
Total Square Footage:	<input type="text" value="2416"/>	

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):	<input type="text" value="494"/>	New Structure Type: <input type="text"/>
Proposed Addition (SF):	<input type="text"/>	Ridge Height: <input type="text"/>
Proposed New Structure (SF):	<input type="text"/>	Is there a 2nd floor? <input type="checkbox"/> Yes <input type="checkbox"/> No
Total of all garage and accessory structures (SF):	<input type="text"/>	2nd Floor SF: <input type="text"/>
Total building lot coverage (SF):	<input type="text" value="494"/>	= <input type="text"/> % of lot
Is this replacing an existing garage and/or accessory structure?	<input type="checkbox"/> Yes <input type="checkbox"/> No	

Hardscape:

Existing Driveway (SF):	<input type="text" value="4087"/>	Existing Patio (SF):	<input type="text" value="633"/>	Existing Private Sidewalk (SF):	<input type="text" value="N/A"/>
Proposed Additional Hardscape (SF):	<input type="text" value="343"/>				
Total Hardscape (SF):	<input type="text" value="5063"/>				

Totals: Total overall lot coverage (SF): = % of lot

Applicant Initial:

Internal Use:	Staff Review Date: <input type="text"/>	<input type="checkbox"/> Meets Zoning	<input type="checkbox"/> ARB Only	<input type="checkbox"/> Variance or Modifications Needed
	Staff Comments: <input style="width: 90%;" type="text"/>	Staff Initial: <input type="text"/>		

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer:

New Roof Style & Color:

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer:

New Window Style/Mat./Color:

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: Style: Color:

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim:

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other:

Proposed New Window Trim: Trim Color(s):

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	

Staff Confirmation (to be completed by Residential Design Consultant):

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

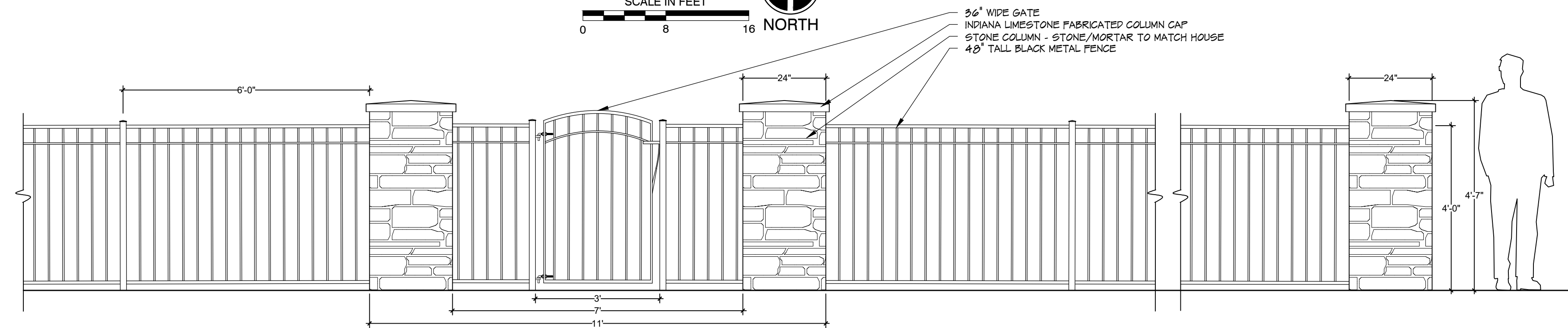


PLAN VIEW

SCALE IN FEET

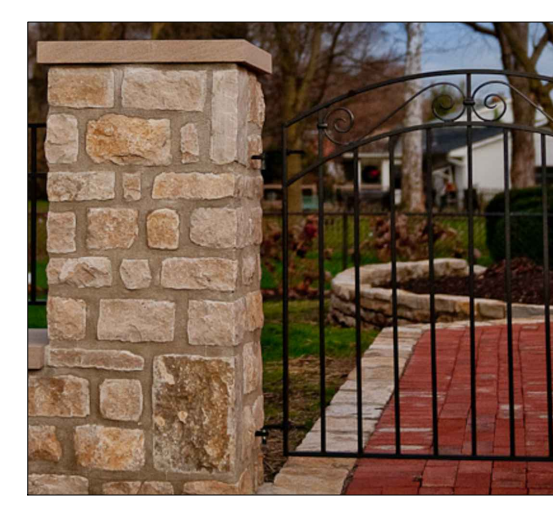
0 8 16

NORTH



FENCE AND COLUMN SOUTH ELEVATION

SCALE 1/2" = 1'-0"



STONE COLUMN EXAMPLE

L100
OVERALL PLAN

PRELIMINARY
NOT FOR CONSTRUCTION
PLANS ARE SUBJECT TO CITY APPROVAL

UPDATED 09-19-18

HAYLER-HIRE RESIDENCE
LANDSCAPE MASTERPLAN
219 South Columbia Avenue
Bexley, Ohio 43209

OUTDOOR SPACE DESIGN
289 W WEISHEIMER ROAD COLUMBUS, OHIO 43214 | 614.282.7810



CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review
 Conditional Use
 Demolition
 Planned Unit Dev.
 Rezoning
 Landscape Review
 Special Permit

Property & Project Information:

Property Address:

Brief Project Description:

Applicant Information:

Applicant Name:

Applicant Address: , ,

Applicant Email & Phone:

Property Owner Information:

Owner Name:

Owner Address: , ,

Owner Email & Phone:

Attorney/Agent Information:

Agent Name:

Agent Address: , ,

Agent Email & Phone:

- Completed Worksheets:**
 Project Worksheet (Sheet A)
 Architectural Review (Sheet B)
 Tree Commission (Sheet D)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: Date:

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: Date:



CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Instructions: Application Requirements by Application Type

Requirements:	New Construction	Addition	Demolition	Windows, Doors, Deck, Pergola, Etc.	Rezoning	Conditional Use or Special Permit	Variance
Worksheet A: Cover Sheet & Fee Calculation	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet B: Project Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet C: Architectural Review Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet D: Tree Commission Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet E: Variance Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet F: Fence Variance Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet G: Demolition Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet H: Rezoning Worksheet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Worksheet I: Conditional Use Worksheet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Worksheet J: Home Occupation Worksheet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Site Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Floor Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Elevations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Architectural Details	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Landscape Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Photographs of Property	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>



= Required



= May Be Required



= Not Required

PLEASE NOTE: Incomplete information may result in the rejection of this submittal. Applications must be submitted by appointment. Please call 614-559-4240 to schedule.



CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Instructions: Detailed Application Requirements

The application package must consist of one (1) complete printed set of all items listed below, as well as a single full-color PDF document with a complete set, in order of the checklist, of all the items listed below, as well as any additional documentation required in the Microsoft Word format. All requested documents must be submitted via the City's Plan Application Upload portal:

www.bexley.org/plans.

Document Submittal and Naming Requirements:

Documents submitted to the upload portal at www.bexley.org/plans must be consolidated into a zip file which must be named using the following naming methodology:

[Year]-[Month]-[Day] [Application #] [Street #] [Street Direction - if applicable] [Street Name] [Project name - if applicable]

ex.: "2015-12-01 ARB-15-24 2242 East Main Bexley City Hall"

Requirements by Exhibit Type:

<p>Architectural Details Architectural details drawn to scale of non-typical design elements. Plans shall be provided in a vector-based electronic format designed to print at a 2' x 3' original scale.</p>	<p>File Type: PDF</p>
<p>Architectural Plan The plans must be drawn to Engineer's scale and provide applicable information as itemized on the Zoning Review Checklist Form. Plans shall be provided in a vector-based electronic format designed to print at a 2' x 3' original scale.</p>	<p>File Type: PDF</p>
<p>Exterior Elevations Exterior elevation drawings, to scale, designating and differentiating existing construction from proposed construction. Elevation drawings shall include indications of exterior materials, door and window styles, and notes as required to clearly communicate the concept of the design. Plans shall be provided in a vector-based electronic format designed to print at a 2' x 3' original scale.</p>	<p>File Type: PDF</p>
<p>Floor Plan A floor plan, to scale, designating and differentiating existing construction from proposed construction. Plans shall include overall dimensions and notes, as required to clearly communicate the concept of the design. Plans shall be provided in a vector-based electronic format designed to print at a 2' x 3' original scale.</p>	<p>File Type: PDF</p>
<p>Landscape Plan Landscape architectural plans, to scale, indicating all proposed plantings, botanical & common names, species and size of plants (see Tree Commission Worksheet D for complete requirements).</p>	<p>File Type: PDF</p>
<p>Photographs Photographs to be provided of all sides of all structures on the property, as well as relevant site photographs. Photographs shall be provided as uncompressed JPEG files with a minimum width dimension of 1,000 pixels.</p>	<p>File Type: JPEG</p>
<p>Site Plan The site plan must be drawn to Engineer's scale and provide applicable information as itemized on the Zoning Review Checklist Form. Site plans shall be provided in a vector-based electronic format designed to print at a 2' x 3' original scale.</p>	<p>File Type: PDF</p>

PLEASE NOTE: Incomplete information may result in the rejection of this submittal.
If you have questions, please contact Kathy Rose at (614) 559-4200.



Project Worksheet

Residential

Commercial

Property Address:

2688 Brentwood Road

Zoning District:

R-6

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

** Overall coverage includes hardscape*

Lot Info:

Width (ft.):

140

Depth (ft.):

140

Total Area (SF):

19600

Primary Structure Info:

Existing Footprint (SF):

3200

Proposed Addition (SF):

Removing (SF):

Proposed new primary structure or residence (SF):

Total Square Footage:

3200

(Type of Structure):

House

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

Proposed Addition (SF):

Proposed New Structure (SF):

Total of all garage and accessory structures (SF):

Total building lot coverage (SF):

Is this replacing an existing garage and/or accessory structure?

200

200

Yes

No

New Structure Type:

Detached Shed

Ridge Height:

10'

Is there a 2nd floor?

Yes

No

2nd Floor SF:

= 1.02 % of lot

Hardscape:

Existing Driveway (SF):

2300

Existing Patio (SF):

450

Existing Private Sidewalk (SF):

175

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

2925

Totals:

Total overall lot coverage (SF):

6325

= 32.27

% of lot

Applicant Initial:

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer:

New Roof Style & Color:

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer:

New Window Style/Mat./Color:

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: Style: Color:

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim:

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other:

Proposed New Window Trim: Trim Color(s):

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Other	Ex: Beaded Plywood Prop: Hardie Siding

Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

Architectural Review Conditional Use Demolition Planned Unit Dev. Rezoning Landscape Review Special Permit

Property & Project Information:

Property Address:

Brief Project Description:

Applicant Information:

Applicant Name:

Applicant Address:

Applicant Email & Phone:

Property Owner Information:

Owner Name:

Owner Address:

Owner Email & Phone:

Attorney/Agent Information:

Agent Name:

Agent Address:

Agent Email & Phone:

Completed Worksheets:

Project Worksheet (Sheet A)

Architectural Review (Sheet B)

Tree Commission (Sheet D)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:

Date:

Owner Signature:

Date:

Agent Signature:

Date:

Internal Use:

Application #:

Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature:

Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation	\$
- \$5.00 for each additional \$10,000 valuation.	\$

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation	\$
- \$5.00 for each additional \$10,000 valuation	\$
- \$600.00 cap	\$
- \$50.00 resubmittal fee	\$

Variance Review

Single Family:	\$100.00	\$
Commercial Property:	\$100.00	\$
Fences or Special Permits:	\$65.00	\$
All others:	\$90.00	\$

Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$
	- \$60.00 for each additional acre (or part thereof)	\$
Requests for amendment to PUD Plans:	\$300.00	\$
Split of lot or existing parcel:	\$250.00	\$
Replatting or new plat:	\$250.00	\$

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$
\$5,001 to \$25,000	\$200.00	\$
\$25,001 to \$75,000	\$250.00	\$
\$75,001 to \$200,000	\$600.00	\$
\$200,001 to \$750,000	\$1,000.00	\$
Over \$750,000	\$350.00	\$
Fences and walls:	\$65.00	\$
Special Permit, Conditional Uses and All others:	\$90.00	\$
Re-submittal Fee:	\$50.00	\$

Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$
Appeal of BZAP decision to City Council:	\$250.00	\$

Fee Total: \$

Project Worksheet

Residential

Commercial

Property Address:

Zoning District:

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

** Overall coverage includes hardscape*

Lot Info:

Width (ft.):

Depth (ft.):

Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):

Proposed Addition (SF):

Removing (SF):

(Type of Structure:)

Proposed new primary structure or residence (SF):

Total Square Footage:

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

New Structure Type:

Proposed Addition (SF):

Ridge Height:

Proposed New Structure (SF):

Is there a 2nd floor?

Yes

No

Total of all garage and accessory structures (SF):

2nd Floor SF:

Total building lot coverage (SF):

= % of lot

Is this replacing an existing garage and/or accessory structure?

Yes

No

Hardscape:

Existing Driveway (SF):

Existing Patio (SF):

Existing Private Sidewalk (SF):

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

Totals:

Total overall lot coverage (SF):

=

% of lot

Applicant Initial:

Internal Use:	Staff Review Date:	<input type="text"/>	<input type="checkbox"/> Meets Zoning	<input type="checkbox"/> ARB Only	<input type="checkbox"/> Variance or Modifications Needed
	Staff Comments:	<input type="text"/>			Staff Initial: <input type="text"/>

Variance Worksheet

Variance requests will be heard by the Bexley Board of Zoning and Planning. Variance requests are based upon a legal determination of whether the request meets the variance criteria specified by Bexley City Code.

Variance criteria are outlined below in question format. Please provide your narrative response to the variance questions.

Description of the Proposed Variance

Please provide a thorough description of the variance being sought, and the reason why.

Variance Question 1

Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

Variance Question 2

Is the variance substantial? Please describe.

Variance Question 3

Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

Variance Worksheet (Continued)

Variance requests will be heard by the Bexley Board of Zoning and Planning. Variances are based upon a legal determination of whether the request meets the variance criteria specified by Bexley City Code.

Variance criteria are outlined below in question format. Please provide your narrative response to the variance questions.

Variance Question 4

Would the variance adversely affect the delivery of governmental services (e.g., water, sewer, garbage)? Please describe.

Variance Question 5

Did the property owner purchase the property with knowledge of the zoning restriction? Please describe.

Variance Question 6

Can the property owner's predicament feasibly be obviated through some method other than a variance? Please describe.

Variance Question 7

Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

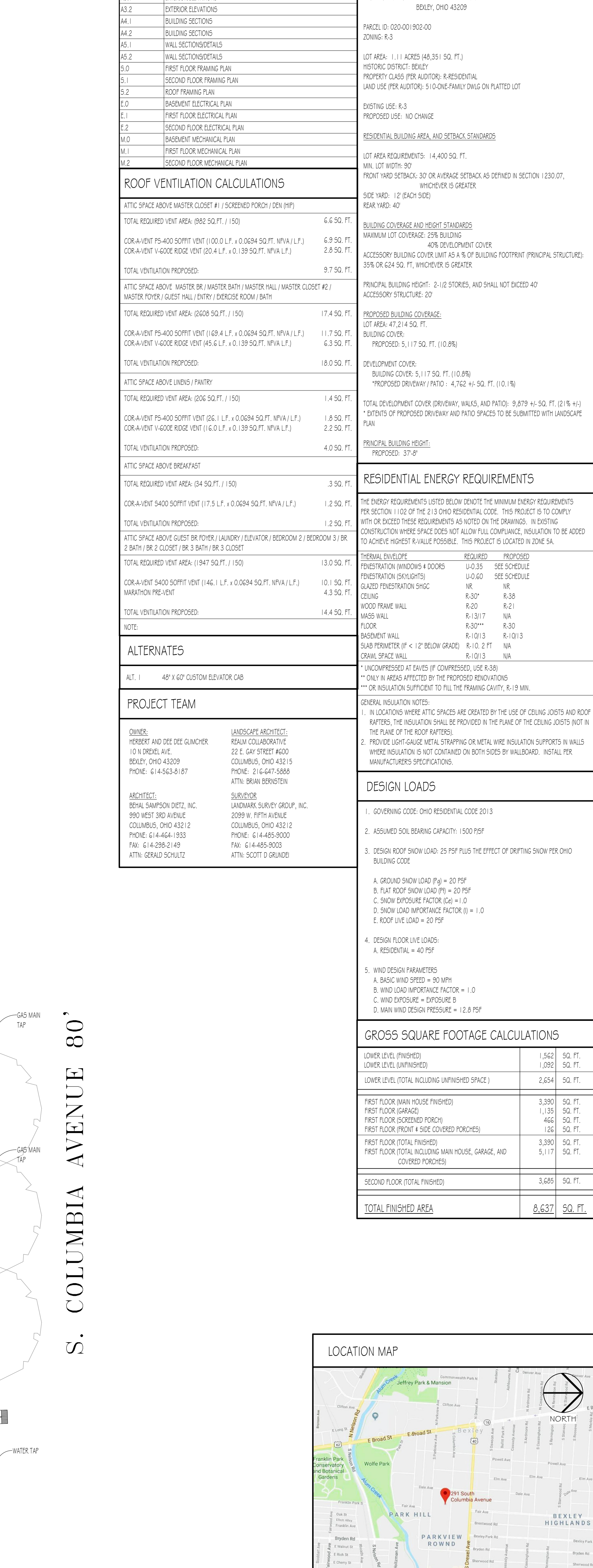
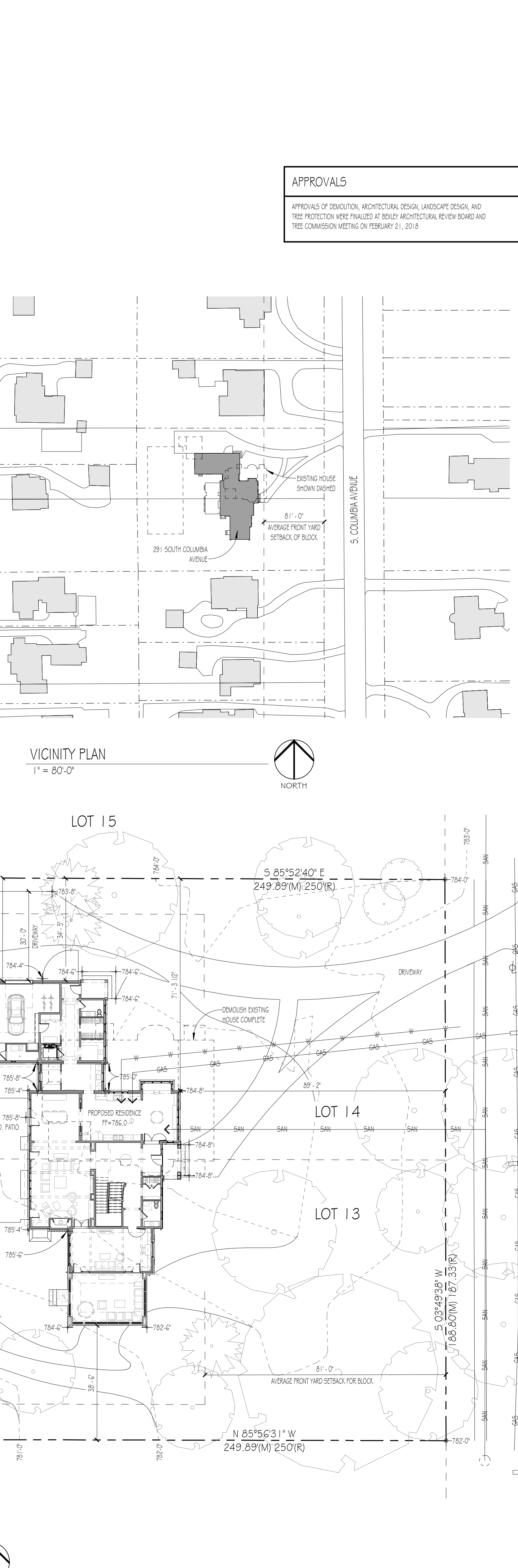
GENERAL NOTES

NOT ALL NOTES MAY BE APPLICABLE TO THIS PROJECT

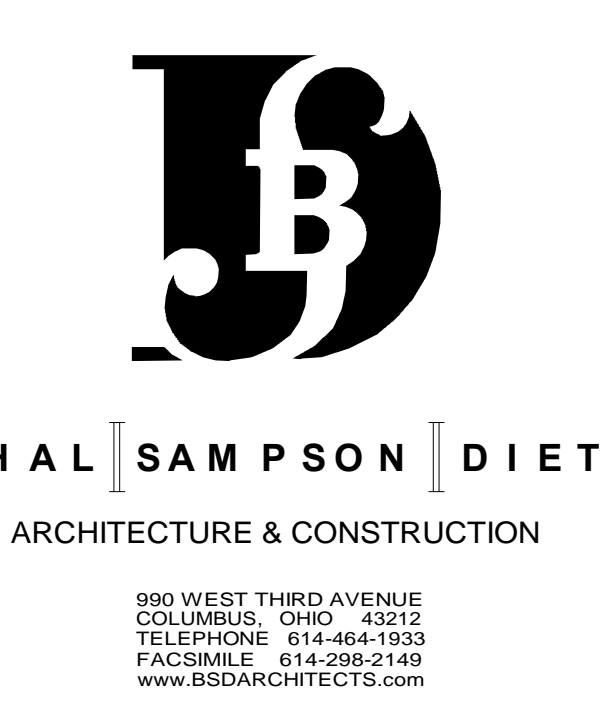
- A. DO NOT SCALE DRAWINGS
B. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, EXISTING FIELD CONDITIONS AND/OR GENERALLY ACCEPTED CONSTRUCTION PRACTICES.
C. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH APPLICABLE LOCAL, STATE & NATIONAL CODES AND REGULATIONS.
D. CONTRACTOR SHALL DETERMINE PROTECTION PROCEDURE AND SEQUENCE AND PROVIDE WHETHER TEMPORARY BRACING, ETC. THAT MAY BE REQUIRED TO COMPLETE THE WORK.
E. EACH CONTRACTOR SHALL OBTAIN AND PAY FOR REQUIRED BUILDING PERMITS AND SECURE ALL NECESSARY INSPECTIONS AND COORDINATE ALL TRADES.
F. DEFINITIONS:
FURNISH - TO PURCHASE AND/OR SUPPLY AND DELIVER TO SITE COMPLETE WITH RELATED ACCESSORIES AND TRANSPORT TO INSTALLER FOR INSTALLATION.
INSTALL - TO RECEIVE, CONSTRUCT, AND CONNECT COMPLETE FOR USE AND RESUME OPERATION AS APPLICABLE, INCLUDING RELATED ACCESSORIES.
PROVIDE - TO FURNISH, INSTALL, AND PAY ALL COSTS IN CONNECTION THEREWITH.
G. ALL EXTERIOR FRAME WALL DIMENSIONS ARE TO OUTSIDE FACE OF SHEATHING.
012.000 SAFETY AND PROTECTION
020.000 DEMOLITION
A. EACH CONTRACTOR TO DETERMINE SCOPE OF THEIR DEMOLITION WORK AND INCLUDE FOR SAME IN BID.
022.000 SITE CONSTRUCTION
FIELD VERIFY ALL NEW AND EXISTING SPOT ELEVATIONS AND DRAINAGE PATTERNS.
FIELD VERIFY ALL EXISTING SITE DIMENSIONS PRIOR TO START OF CONSTRUCTION.
C. GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM THE BUILDING STRUCTURE, 3" IN THE FIRST 5' MINIMUM.
UNDERGROUND DOWNSPOUT PIPING TO BE MIN. 4" SCHEDULE 40 FOR INDIVIDUAL LEADS AND 6" SCHEDULE 40 AFTER CONVERGENCE OF INDIVIDUAL LEADS - COORDINATE WITH ARCHITECT. UNDERGROUND DOWNSPOUT PIPING SHALL BE INSTALLED IN STORM SEWER IF AVAILABLE OR PIPED THROUGH CURED-BLOCK CURB AT STREET IF STORM SEWER DOES NOT EXIST. IF CURB IS CAN ONLY FIT A 4" PIPE, THEN PROVIDE INDIVIDUAL PIPING TO CURB AS DIRECTED BY ARCHITECT.
030.000 FOUNDATION AND CONCRETE
FIELD VERIFY ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION. CALL 800-FREE BEFORE YOU DIG OR 1-800-362-2744 OHIO UTILITIES PROTECTION SERVICE.
B. CONCRETE FOUNDS: 3000 PSI AT 28 DAYS
COUNT AS 150 LBS PER CY
STANDARD AGGREGATE: ASTM C33, FINE AGGREGATE: NATURAL SAND, UNWASHED, COURSE AGGREGATE IN GENERAL NOT TO EXCEED 3/4" SIZE
WATER: POTABLE
AIR: AIR-DRYED AGGREGATE: ASTM C630
C. CURING COMPOUND: ASTM C930
042.000 UNIT MASONRY
050.000 METALS
061.000 ROUGH FRAMING
A. ALL EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY OR FACE OF EXTERIOR SHEATHING UNLESS OTHERWISE NOTED.
ALL INTERIOR DIMENSIONS ARE TO FACE OF FINISH FRAMING UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS IN FIELD PRIOR TO BEGINNING WORK.
B. VERIFY ALL ROUGH OPENINGS WITH MANUFACTURERS PRIOR TO FRAMING.
C. ALL ROUGH OPENINGS WITH MANUFACTURERS PRIOR TO FRAMING.
D. ALL ROUGH CEILING HEIGHTS AND SHOULD BE FIELD VERIFIED AND MAY VARY.
E. IF ANY DIMENSION VARIES BY MORE THAN 1/8", NOTIFY ARCHITECT PRIOR TO FRAMING.
STRUCTURAL LAMINER
A. GENERAL NOTES
1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLICIT THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE PROTECTION PROCEDURE AND SEQUENCE AND TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS, PARTS, AND ADJACENT OR TEMPORARY OR INCOMPLETE CONNECTIONS, DURING REPAIRS. THIS INCLUDES THE ADDITION OF WHATEVER SHORING, SHEATHING, TEMPORARY BRACING, JOISTS, OR TRUSSING WHICH MAY BE NECESSARY. SUCH MATERIAL SHALL BELONG TO THE CONTRACTOR'S PROPERTY AFTER THE COMPLETION OF THE PROJECT.
2. IT IS SOLICIT THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.
3. WINDOW FRAMING NOTES
a. MATERIALS:
i. STRUCTURAL LAMBER: SPF 2 OR EQUAL.
ii. PLYWOOD: CDX, STRUCTURAL I OR BETTER.
iii. EXTERIOR GLUE: FOR ROOF AND WALLS, PANEL IDENTIFICATION INDEX 2401 - 1552 INCH MIN. (WITH FIN WOOD) CUPS, FOR FLOORS, PANEL IDENTIFICATION INDEX 3216 - 2332 INCH.
b. SPECIFICATIONS: UNLESS SPECIFICALLY SHOW OTHERWISE, DESIGN, FABRICATION AND DETAIL SHALL BE GOVERNED BY THE LATEST REVISIONS OF:
i. NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LAMBER AND ITS FASTENINGS.
ii. U.S. PRODUCT STANDARD PS-1 FOR SOFTWOOD PLYWOOD CONSTRUCTION AND INSTAL.
iii. OHIO RESIDENTIAL CODE 2013.
c. CONNECTIONS:
1. JOISTS TO BEAMS - 1x6 GALVANAIED STD JOIST HANGERS, UNLESS SHOWN OTHERWISE.
2. PLYWOOD TO FLOOR JOISTS - GLEUED AND NAILLED - USE 8D COMMON NAILS AT 6 INCHES OC AT PANEL EDGES AND 12 INCHES OC AT INTERMEDIATE SUPPORTS. PROVIDE PLYWOOD CUTS AT MID-SPAN OF FLOORWOOD BETWEEN SUPPORTS.
3. ROOF JOISTS TO WALLS - USE 1/2" WIDE AND EXTEND A MINIMUM OF 18" OUTSIDE ROOF DECK.
4. INSULATION AT WASTE PIPES: ALL WASTE LINES TO BE INSULATED.
D. SITE DRAINAGE: TIE ALL DOWNSPOUTS INTO EXISTING UNDERGROUND DRAINAGE SYSTEM ON SITE IF POSSIBLE.
E. PROVIDE CONTINUOUS WATERPROOFING AT ALL SHOWER FLOORS, WALLS, BENCHES, NOTES, ETC.
060.000 DOORS AND WINDOWS
A. ALL NEW WINDOWS ARE TO BE CLEANED INSIDE AND OUT PRIOR TO COMPLETION OF PROJECT.
1. MATERIALS:
a. LAMBER: MINIMUM MATERIAL PROPERTIES: SOUTHERN PINE #2.
b. METAL CONNECTOR PLATES: GALVANIZED SHEET STEEL ASTM A446-76 (158) GRADE A, COATING CLASS 50 PER ASTM A653-61. MANUFACTURER WITH HOLES, FLANGES, TEES, OR PRONGS UNLESS SPECIFIED AND FORMED.
c. CRITICAL NOTE: ALL TREES SHOWN ON THIS SITE PLAN ARE EXISTING TREES TO BE PROTECTED.
d. CRITICAL NOTE: COORDINATE NEW WORK WITH LANDSCAPE PLAN SUPPLIED BY LANDSCAPE ARCHITECT.
e. MAKE RUN 5/8" UP TO 12'-0". ONLY WITH APPROVAL FROM ARCHITECT.
f. RUN MUST BE AS STRAIGHT AS POSSIBLE TO ALL 90 DEGREE ANGLES. TURN LINES AND SUPPLY SHALL CONNECTIONS MUST BE OUT OF WALLS.
g. 4" PLAY OUT TO BE PROPERLY SUPPORTED EVERY 4'-0" O.C. WITH A 2" WIDE STRAP MINIMUM.

- 090.000 FINISHES
A. FINISHING NOTES
1. ALL INTERIOR DRYPWALL AND WOODWORK AND ALL EXTERIOR WOODWORK TO BE PAINTED UNLESS OTHERWISE NOTED.
2. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR:
a. TRIM SAND ON WOOD TRIM.
b. INTERIOR REMOVAL OF ALL DRYPWALL, PLASTER, AND WOODWORK.
c. ALL PAINT SELECTIONS TO BE COORDINATED WITH OWNER.
3. PAINTING CONTRACTOR SHALL BE RESPONSIBLE FOR:
a. VISUAL INSPECTION AND ACCEPTANCE OF ALL SURFACES TO BE PAINTED PRIOR TO COMMENCING WORK.
b. FILING AND SANDING HOLES, CRACKS, JOINTS, DENTS, ETC. FILL AND FLUSH AT ALL SURFACES TO BE PAINTED.
c. ONE COAT PRIMER AS REQUIRED BY PAINT MANUFACTURER.
d. ACCURATE SURVEY OF LABELED TOUCH-UP PAINT TO OWNER AT JOB COMPLETION.
e. MINIMUM TWO COATS FINISH PAINT - HIDE TO BE COMPLETED.
1. AN AS-BUILT PAINT CHART SHALL BE FILLED OUT BY PAINTING CONTRACTOR AND DELIVERED WITH FINAL BILLING TO GENERAL CONTRACTOR.
4. PAINT MATERIAL BASED ON HIGHEST GRADE SEAWALL MOORE BRAND, UNLESS NOTED OTHERWISE.
a. ALL WALLS TO BE TIGHTLY FINISH.
b. CHANGES TO BE PAINT FINISH.
c. NEW WOODWORK TO BE BATH WITH HIGH GRADE ACRYLIC FINISH.
d. ALL BATHS AND KITCHEN WALLS AND CEILING TO BE SATIN.
5. INTERIOR AND EXTERIOR SEAMANT TO BE TYP. 25 YEAR OR EQUIVALENT UNMODIFIED LATEX SEAMANT IS NOT ACCEPTABLE.
6. DOORS AND WINDOWS TO HAVE THOROUGH LIGHT, HAND-SANDING TO REMOVE BLEMISHES, HANDING MARKS, GROSS SANDING, AND NATURAL RESIN SPOTS THAT MAY BE PRESENT ON SURFACES. ALL WOOD SURFACES OF DOORS AND WINDOWS, INCLUDING TOP AND BOTTOM EDGE OF DOORS, SHOULD BE COMPLETELY SEaled WITH AT LEAST TWO COATS OF FINISH.
7. AREA BEHIND MIRRORS:
a. NEW WALLS RECEIVING MIRRORS SHALL BE PRIMED ACRYLIC PRIMER ONLY. NO FINISH PAINT SHALL BE APPLIED.
b. EXISTING WALLS PREVIOUSLY PAINTED SHALL HAVE AREAS Sanded AND PRIMED WITH ACRYLIC PRIMER ONLY. NO FINISH PAINT SHALL BE APPLIED.
8. WALLS TO RECEIVE WALLPAPER:
a. NEW WALLS RECEIVING WALLPAPER SHALL BE PRIMED WITH LATE PRIMER FOLLOWED BY AN APPLICATION OF ACRYLIC SOING.
b. EXISTING WALLS TO HAVE AN APPLICATION OF ACRYLIC SOING.
9. INTERIOR WOOD:
a. USE AN ALL-OIL FINISH ON EXISTING TRIM WITH OIL BASED PAINT.
b. USE OIL, LATEX OR LACQUER PRIMERS WITH HIGH GRADE ACRYLIC FINISH ON NEW WOOD.
c. NEW STAINED TRIM: USE FORTIFIED CLEAR LACQUER FINISH.
d. PAINTED: PRIME SEAL WITH OIL BASE PRIMER, SECOND AND THIRD COATS TO BE ACRYLIC LATEX PAINT.
e. STAINER: REMOVE ONE COAT OF EXISTING SEMI-TRANSPARENT STAIN BLENDED OR, TWO COATS OF SOLID BODY EXTERIOR STAIN BLENDED.
10. EXTERIOR WOOD:
a. PAINTED: PRIME SEAL WITH OIL BASE PRIMER, SECOND AND THIRD COATS TO BE ACRYLIC LATEX PAINT.
b. STAINER: REMOVE ONE COAT OF EXISTING SEMI-TRANSPARENT STAIN BLENDED OR, TWO COATS OF SOLID BODY EXTERIOR STAIN BLENDED.
11. EXTERIOR STUCCO:
a. STUCCO UNDERLAMENT SHALL BE 1/2" CG PLYWOOD SHEATHING WITH 1/2" GAPS. HANG HORIZONTAL WITH STAGGERED VERTICAL JOINTS. BLOCK AT ALL HORIZONTAL JOINTS.
b. PROVIDE 1/4" LAYER FIBER POLYESTER OVER SHEATHING.
c. PROVIDE 1/4" LAYER FIBER SUPER JAMBO TE 60 MULTIFIBER SATURATED KRAFT PAPER OVER POLYESTER.
d. NEW: SOLID COLOR INTEGRAL WITH STUCCO OR ALL ACRYLIC LATEX FINISH TO MATCH EXISTING AS CLOSE AS POSSIBLE.
e. EXISTING: POWDER WASH PRIMER ON ALL ACRYLIC LATEX FINISH.
B. INSTALL 1/2" DUCKBOO OVER 1/2" UNDERLAMENT OVER 2x4 SUPERIOR IN ALL AREAS THAT ARE OVERLAPPED TO RECEIVE STONE OR CERAMIC TILE. VERIFY WITH GENERAL CONTRACTOR.
C. NEW OR REFINISHED HARDWOOD FLOORS TO BE FINISHED WITH THREE APPLICATIONS OF POLYURETHANE.
D. A SOLLISTER STRIP IS REQUIRED AT ALL TUGGAPART FLOOR TRIM JOINTS. FELD VERIFY COLOR WITH ARCHITECT.
E. SBT TYP. 25 YEAR POLYURETHANE WALL BOARD TO BE USED ON WALLS AND CEILING AT ATTACHED GARAGES.
F. PROVIDE A LEVEL 3 DRYLUM BOARD FINISH IN ALL AREAS TO RECEIVE HEAT OR MEDIA TUBES FINISHES BEFORE FINAL PAINTING AND WHERE HEAVY GRADE WALL COVERINGS ARE TO BE APPLIED.
100.000 SPECIALTIES
1.00.000 EQUIPMENT/MECHANICAL CONSTRUCTION
150.000 PLUMBING
A. PLUMBING CONTRACTOR TO PURCHASE ALL PLUMBING PERMITS, FEES, AND CHARGES REQUIRED TO COMPLETE WORK AND SCHEDULE REQUIRED INSPECTIONS.
B. ALL FINURES TO BE EQUIPPED WITH VALVES IN ACCESSIBLE LOCATIONS. LAYOUT IS PLUMBING CONTRACTOR'S RESPONSIBILITY. COORDINATE WITH OTHER TRADES.
C. PLUMBING CONTRACTOR TO FURNISH AND INSTALL ALL FINURES, FAUCETS, AND ACCESSORIES AS NOTED ON THE DRAWINGS. PLUMBING CONTRACTOR SHALL INSTALL ALL FINURES NOTED AS FURNISHED BY OWNER.
D. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS.
E. ALL GAS PIPING AND HOOKUPS REQUIRED FOR GAS COOKTOPS, GAS DRYERS, GAS RANGES, GAS WATER HEATERS, OR OTHER GAS APPLIANCES ARE THE RESPONSIBILITY OF THE PROVIDING CONTRACTOR.
F. PLUMBING CONTRACTOR TO PROVIDE STANDARD WATER AND DRAIN BOX AT WASHER LOCATION.
G. PLUMBING CONTRACTOR IS RESPONSIBLE FOR DRAIN LINE FOR HVAC CONDENSATE LINE TO THE INTO HVAC EQUIPMENT. VERIFY AT DROPPING SCOPE OF WORK REQUIRED.
H. PLUMBING CONTRACTOR SHALL GUARANTEE HIS WORK AND ALL EQUIPMENT FURNISHED TO BE FREE OF DEFECTS FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
I. ALL THE SHOWER PANS TO HAVE 20x21-41 S SHOWER DRAIN WITH THE 3" HOLE, ROUND SQUARE STRAINER.
J. PLUMBER IS RESPONSIBLE FOR WATER LINES RELATED TO HANDYMEN, IF SPECIFIED, AT FINURES.
155.000 HEATING AND COOLING
A. HVAC CONTRACTOR TO PURCHASE ALL HVAC PERMITS, FEES, AND CHARGES REQUIRED TO COMPLETE WORK AND SCHEDULE REQUIRED INSPECTIONS.
B. HVAC CONTRACTOR TO DESIGN HEATING AND/OR COOLING SYSTEM AND LAYOUT. REVIEW SYSTEMS AND EQUIPMENT LOCATIONS WITH GENERAL CONTRACTOR, OWNER AND ARCHITECT FOR APPROVAL PRIOR TO STARTING WORK. COORDINATE WITH OTHER TRADES.
C. HVAC CONTRACTOR TO PROVIDE MISCELLANEOUS DUCTWORK THAT IS REQUIRED TO INSTALL EXHAUST PANS, VENTS, LAUNDRY CHUTES, ETC.
D. HVAC CONTRACTOR TO FURNISH AND INSTALL ALL COMPONENTS REQUIRED FOR COMPLETE INSTALLATION OF THIS WORK.
E. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS.
F. HVAC FLEX DUCT INSTALLATION:
1. MAKE RUN 5/8" UP TO 12'-0". ONLY WITH APPROVAL FROM ARCHITECT.
2. RUN MUST BE AS STRAIGHT AS POSSIBLE TO ALL 90 DEGREE ANGLES. TURN LINES AND SUPPLY SHALL CONNECTIONS MUST BE OUT OF WALLS.
3. 4" PLAY OUT TO BE PROPERLY SUPPORTED EVERY 4'-0" O.C. WITH A 2" WIDE STRAP MINIMUM.

- 160.000 ELECTRICAL
A. ELECTRICAL CONTRACTOR TO PURCHASE ALL ELECTRICAL PERMITS, FEES, AND CHARGES REQUIRED TO COMPLETE WORK AND SCHEDULE REQUIRED INSPECTIONS.
B. ELECTRICAL CONTRACTOR TO DESIGN CIRCUIT A-BY-OUT AND VERIFY THAT PROPOSED SYSTEM CAPACITY IS ADEQUATE. TO HANDLE THE ADDITIONAL LOADS REQUIRED BY THE NEW WORK. ELECTRICAL CONTRACTOR SHALL INFORM ARCHITECT IF PROPOSED SYSTEM IS NOT ADEQUATE TO HANDLE THE ADDITIONAL LOADS PRIOR TO BIDDING. CONTRACTOR SHALL INCLUDE IN BID ADDITIONAL WORK REQUIRED TO UPGRADE SYSTEM AS NECESSARY.
C. ELECTRICAL DRAWINGS ARE SCHEMATIC IN NATURE. ELECTRICAL CONTRACTOR SHALL VERIFY ALL FINURE AND DEVICE LOCATIONS IN THE FIELD WITH THE GENERAL CONTRACTOR, OWNER AND ARCHITECT AFTER REVIEW OF FUTURE BOIES PRIOR TO WIRING.
D. ELECTRICAL CONTRACTOR SHALL INSTALL CONNECTIONS TO ALL HVAC EQUIPMENT AND PLUMBING EQUIPMENT OR FINURES AS REQUIRED.
E. ELECTRICAL CONTRACTOR TO FURNISH AND INSTALL ALL WIRING FINURES AS NOTED ON DRAWINGS. ELECTRICAL CONTRACTOR TO INSTALL ALL FINURES NOTED AS FURNISHED BY OWNER.
F. ELECTRICAL CONTRACTOR TO INSTALL SMOKE ALARMS AND CARBON MONOXIDE ALARMS AS REQUIRED BY CODE.
G. ALL WORK PERFORMED SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND NATIONAL CODES AND REGULATIONS AS INTERPRETED BY THE LOCAL ELECTRICAL INSPECTOR.
H. ELECTRICAL CONTRACTOR SHALL GUARANTEE HIS WORK AND ALL EQUIPMENT FURNISHED TO BE FREE OF DEFECTS FOR ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
I. ALL DECORATIVE FINURES AND DEVICES SUCH AS HAVE PLUMBATION DIMMER SWITCHES, RELAXATION LIGHTING ITEMS ACCESS OR EQUAL TO BE SELECTED BY OWNER/ARCHITECT.
J. ALL 220 VOLT APPLIANCES MUST HAVE 4-WIRING CONFIGURATION.
K. ELECTRICIAN TO INSTALL GFCI OUTLETS AT ALL LOCATIONS REQUIRED BY CODE.
L. CONTRACTOR TO HAVE MINIMUM 20 AMP APPLANCE CIRCUITS.
M. EXTERIOR OUTLETS MUST BE WATERPROOF, HORIZONTAL AND TOP FINGED.
N. WEIGHT OF WIRING, CONDUITS, ETC. MUST BE SUPPORTED FROM THE STRUCTURE, INDEPENDENT FROM ANY SUSPENDED CEILING.
O. ELECTRICAL CONTRACTOR TO INSTALL ALL NEW AND MODIFIED CIRCUITS ON PANEL BOARD(S) AT JOB COMPLETION.
APPROVALS
APPROVALS OF DEMOLITION, ARCHITECTURAL DESIGN, LANDSCAPE DESIGN, AND TREE PROTECTION WERE FINALIZED AT BEYLI ARCHITECTURAL REVIEW BOARD AND TREE COMMISSION MEETING ON FEBRUARY 11, 2018.



PROJECT DESCRIPTION
PROPOSED IS THE DEMOLITION OF THE EXISTING TWO-STORY SINGLE FAMILY RESIDENCE, AND THE CONSTRUCTION OF A NEW, HIGH QUALITY TWO-STORY SINGLE FAMILY RESIDENCE.
BUILDING ZONING INFORMATION
PROPERTY ADDRESS: 291 SOUTH COLUMBIA AVENUE, BEYLI, OHIO 43029
PARCEL ID: 020-001 902-00
ZONING: R-3
LOT AREA: 1.11 ACRES (48,351 SQ. FT.)
HISTORIC DISTRICT: BEYLI
PROPERTY CLASS PER AUDITOR: RESIDENTIAL
LAND USE PER AUDITOR: 1:0 ONE-FAMILY DWG ON PLATTED LOT
EXISTING USE: R-3
PROPOSED USE: NO CHANGE
RESIDENTIAL BUILDING AREA AND SETBACK STANDARDS
LOT AREA REQUIREMENTS: 14,400 SQ. FT.
MIN. LOT WIDTH: 90'
FRONT YARD SETBACK: 30' OR AVERAGE SETBACK AS DEFINED IN SECTION 1 230.07.
SIDE YARD: 12' (EACH SIDE)
REAR YARD: 40'
BUILDING COVERAGE AND HEIGHT STANDARDS
MAXIMUM LOT COVERAGE: 25% BUILDING
ACCESSORY BUILDING COVER LIMIT AS A % OF BUILDING FOOTPRINT (PRINCIPAL STRUCTURE): 35% OR 624 SQ. FT., WHICHEVER IS GREATER
PROPOSED BUILDING HEIGHT: 2-1/2 STORES, AND SHALL NOT EXCEED 40'
ACCESSORY STRUCTURE: 20'
PROPOSED BUILDING COVERAGE:
LOT AREA: 47,214 SQ. FT.
BUILDING COVER: 11,750 SQ. FT.
PROPOSED: 5.117 SQ. FT. (10.9%)
DEVELOPMENT COVER:
BUILDING COVER: 5.117 SQ. FT. (10.9%)
PROPOSED DRIVEWAY/PATIO: 4,762 + 50. FT. (10.1%)
TOTAL DEVELOPMENT COVER (DRIVEWAY, WALKS, AND PATIO): 9,879 + 50. FT. (21.6%)
* EXTENTS OF PROPOSED DRIVEWAY AND PATIO SPACES TO BE SUBMITTED WITH LANDSCAPE PLAN
PRINCIPAL BUILDING HEIGHT:
PROPOSED: 37'-0"
RESIDENTIAL ENERGY REQUIREMENTS
THE ENERGY REQUIREMENTS LISTED BELOW DENOTE THE MINIMUM ENERGY REQUIREMENTS PER SECTION 1102.02 OF THE 213 OHIO RESIDENTIAL CODE. THIS PROJECT IS TO COMPLY WITH OR EXCEED THESE REQUIREMENTS AS NOTED ON THE DRAWINGS. IN EXISTING CONSTRUCTION WHERE SPACE DOES NOT ALLOW FULL COMPLIANCE, INSULATION IS TO BE ADDED TO ACHIEVE HIGHEST R-VALUE POSSIBLE. THIS PROJECT IS LOCATED IN ZONE 5A.
THERMAL ENVELOPE REQUIRED PROPOSED
PENETRATION WINDOWS & DOORS U-0.35 SEE SCHEDULE
PENETRATION DOOR/POUCHES U-0.30 SEE SCHEDULE
GLAZED PENETRATION SHGC NR NR
MARATHON FIBER VENT NR R-30* R-38
CEILING R-30* R-38
WOOD FRAME WALL R-30 R-21
MASON WALL R-13/17 NA
FLOOR R-30** R-30
BASEMENT WALL R-10/13 R-10/13
SOB PENETRATOR IF < 1\"/>



990 WEST THIRD AVENUE
COLUMBUS, OHIO 43261
TELEPHONE: 614-464-1933
FAX: 614-464-1934
WWW.BSDARCHITECTS.COM

BEHAL | SAMPSON | DIETZ
ARCHITECTURE & CONSTRUCTION

OWNER: HERBERT AND DEE DEE GLIMCHER
10 N DREXEL AVE
BEYLI, OHIO 43029
PHONE: 614-563-8167
LANDSCAPE ARCHITECT: RSLM COLLEAGUE/ATIVE
22 E. GAY STREET #600
COLUMBUS, OHIO 43215
PHONE: 614-466-9000
FAX: 614-466-9003
ATtn: GERALD SCHULTZ
SUBVEOR: LANDMARK SURVEY GROUP, INC.
2099 W. FIFTH AVENUE
COLUMBUS, OHIO 43212
PHONE: 614-488-8000
FAX: 614-488-8000
ATtn: SCOTT O GRANDT

DESIGN LOADS
1. GOVERNING CODE: OHIO RESIDENTIAL CODE 2013
2. ASSUMED SOIL BEARING CAPACITY: 1500 PSF
3. DESIGN ROOF SNOW LOAD: 25 PSF PLUS THE EFFECT OF DRIFTING SNOW PER OHIO BUILDING CODE
A. GROUND SNOW LOAD (Pg) = 20 PSF
B. FLAT ROOF SNOW LOAD (Pm) = 20 PSF
C. SNOW EXPOSURE FACTOR (Ce) = 1.0
D. SNOW LOAD IMPORTANCE FACTOR (I) = 1.0
E. ROOF LIVE LOAD = 20 PSF
4. DESIGN FLOOR LIVE LOADS:
A. RESIDENTIAL - 40 PSF
5. WIND DESIGN PARAMETERS
A. BASIC WIND SPEED = 90 MPH
B. WIND LOAD IMPORTANCE FACTOR = 1.0
C. WIND EXPOSURE = EXPOSURE B
D. MAIN WIND DESIGN PRESSURE = +2.6 PSF

GROSS SQUARE FOOTAGE CALCULATIONS
LOWER LEVEL (FINISHED) 1,562 SQ. FT.
LOWER LEVEL (UNFINISHED) 1,092 SQ. FT.
LOWER LEVEL (TOTAL INCLUDING UNFINISHED SPACE) 2,654 SQ. FT.
FIRST FLOOR MAIN HOUSE FINISHED 3,390 SQ. FT.
FIRST FLOOR GARAGE 1,135 SQ. FT.
FIRST FLOOR (SCHEDULED PORCH) 464 SQ. FT.
FIRST FLOOR (TOTAL INCLUDING 1.562 COVERED PORCHES) 5,049 SQ. FT.
FIRST FLOOR (TOTAL FINISHED) 3,390 SQ. FT.
FIRST FLOOR (TOTAL INCLUDING MAIN HOUSE, GARAGE, AND COVERED PORCHES) 5,117 SQ. FT.
SECOND FLOOR (TOTAL FINISHED) 3,666 SQ. FT.
TOTAL FINISHED AREA 8,637 SQ. FT.

LOCATION MAP
A map showing the project location at the intersection of S. Columbia Avenue and 291 South Columbia Avenue in Columbus, Ohio. The map includes labels for major streets like Park Hill, Parkview Rownd, and East Lawn. A north arrow and a scale of 1\"/>

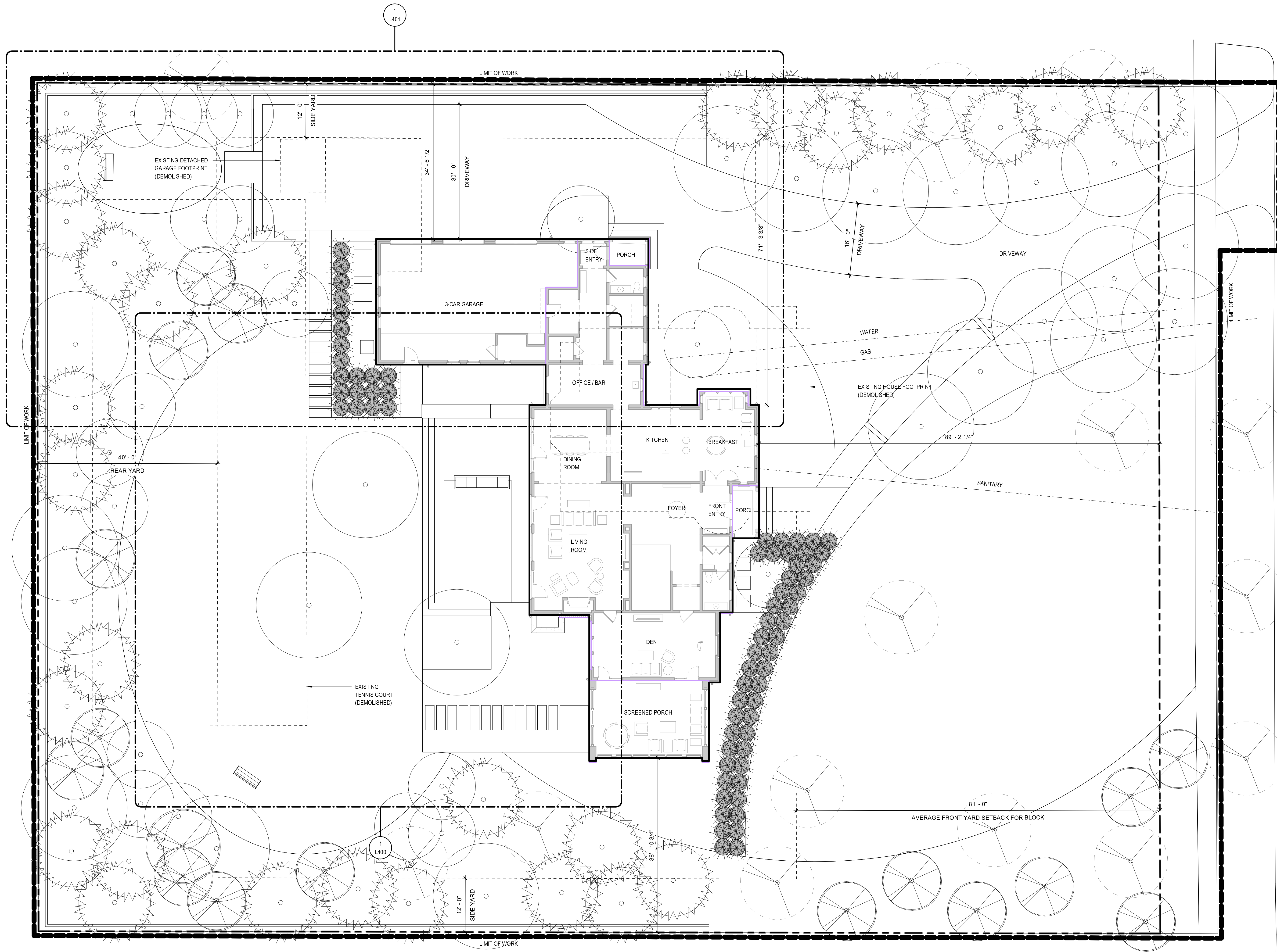
Critical Note: All trees shown on this site plan are existing trees to be protected.
Critical Note: Coordinate new work with landscape plan supplied by landscape architect.

Permit set table with columns for Description, Date, and Permit Set. The table contains one entry: Description: PERMIT SET, Date: 3.7.18.

GLIMCHER RESIDENCE
291 SOUTH COLUMBIA AVENUE, BEYLI, OHIO 43029

Drawn by: JMS/TP, Reviewed by: GS/JB, Job Number: 17119

COVER SHEET AND SITE PLAN
Logo for G.1.



LEGEND

ALIGN → ALIGN ALIGN

CENTERLINE

0' - 1" DIMENSION

Glimcher Residence
 291 S. COLUMBIA AVENUE
 BEXLEY, OH 43209
 PARCEL ID: 020-001902-00

PROPERTY OWNER:
 HERB & DEEDEE GLIMCHER
 10 N. DREXEL AVENUE
 COLUMBUS, OH 43209-1424

LANDSCAPE ARCHITECT

REALM
 COLLABORATIVE

31 E 5TH AVENUE
 COLUMBUS, OH 43201
 PHONE 216 647 5888

ARCHITECT:

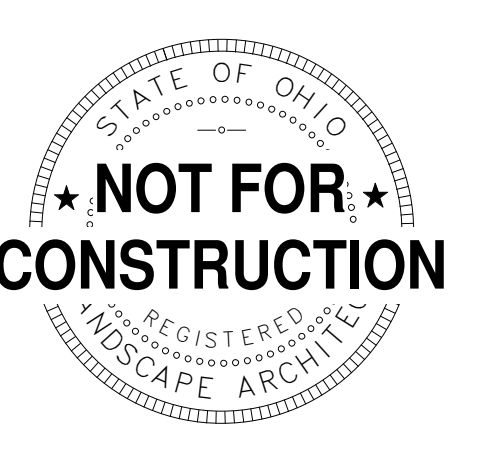
BEHAL, SAMPSON DIETZ, INC.
 890 WEST 3RD AVENUE
 COLUMBUS, OH 43212
 PHONE 614 464 1933

SURVEYOR:

LANDMARK SURVEY GROUP, INC.
 2099 WEST 6TH AVENUE
 COLUMBUS, OH 43212
 PHONE 614 465 9000



Construction Documents Progress Set



ISSUE

MARK	DATE	DESCRIPTION

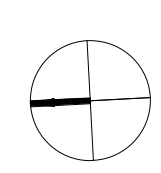
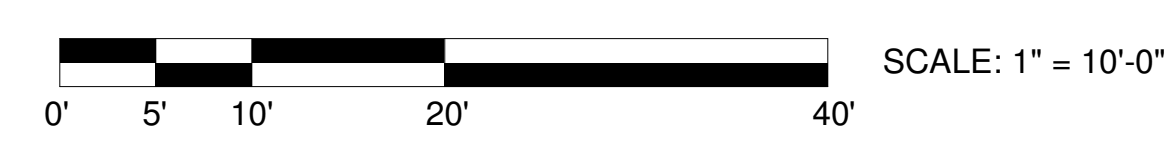
DRAWN BY: REALM PROJ. LAND. ARCH.: REALM

PROJ. NO.: 2018-05

DATE: 10/18/2018

DWG. **LANDSCAPE LAYOUT PLAN**

DWG. **L130**





PUBLIC NOTICE
CITY OF BEXLEY
BOARD OF ZONING AND PLANNING

The Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, November 29th, 2018 at 6:00 PM,** in City Council Chambers, Bexley City Hall, 2242 East Main Street, at which the applicant will request a Special Permit, Conditional Use, or Variance from the requirements of the Bexley Zoning Code.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18-0032 Z
Applicant: Brad Schoch
Owner: Greg & Corry Tishkoff
Location: 270 S. Columbia Ave. (vacant lot south of 256 S. Columbia)
BZAP Request: The applicant is seeking a 3.5' variance from Bexley Code Section 1252.09 (R-3) which requires a 97' average front yard setback, to allow a new single-family dwelling to be constructed 93.5' from the front (west) property line. The applicant is also seeking preliminary architectural review of the proposed new single-family dwelling.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 11-15-2018

2018030

SHEET
A.1

CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review
 Conditional Use
 Demolition
 Planned Unit Dev.
 Rezoning
 Landscape Review
 Special Permit

Property & Project Information: 270 S. Columbia Ave.
~~256 S. Columbia~~

Property Address: 256 Columbia Avenue, Bexley Ohio

Brief Project Description: Construct new two story frame residence

Applicant Information:

Applicant Name: Brad Schoch - Romanelli & Hughes Building Company

Applicant Address: 148 W. Schrock Rd. , Westerville , OH 43081

Applicant Email & Phone: btschoch@gmail.com - 614 530-9400

Property Owner Information:

Owner Name: Greg and Corry Tishkoff

Owner Address: , , ,

Owner Email & Phone: gregtishkoff@gmail.com - 614 403-8265

Attorney/Agent Information:

Agent Name:


Agent Address: , , ,

Agent Email & Phone:

Completed Worksheets: Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet D)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:  Date: 10/18/18

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: _____ Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: _____ Date: _____

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation. \$

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation \$
- \$600.00 cap \$
- \$50.00 resubmittal fee \$

Variance Review

Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text"/>
All others:	\$90.00	\$ <input type="text"/>

Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text" value="250"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text"/>
Replatting or new plat:	\$250.00	\$ <input type="text"/>

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	\$ <input type="text"/>
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>
Fences and walls:	\$65.00	\$ <input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text"/>
Re-submittal Fee:	\$50.00	\$ <input type="text"/>

Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text"/>

Fee Total: \$

~~\$1,000.00~~

\$4,000.00



Project Worksheet

Residential Commercial

Property Address:

256 S. Columbia Avenue, Bexley OH

Zoning District:

R-3

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

** Overall coverage includes hardscape*

Lot Info:

Width (ft.): 141' Depth (ft.): 250' Total Area (SF): 35,250'

Primary Structure Info:

Existing Footprint (SF):

Proposed Addition (SF):

Removing (SF):

(Type of Structure):

Proposed new primary structure or residence (SF):

Total Square Footage:

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

New Structure Type:

FRAME RESIDENCE

Proposed Addition (SF):

Ridge Height:

31'-8"

Proposed New Structure (SF):

4,542

Is there a 2nd floor?

Yes No

Total of all garage and accessory structures (SF):

963

2nd Floor SF:

2,383

Total building lot coverage (SF):

5,505

= 15.6 % of lot

Is this replacing an existing garage and/or accessory structure? Yes No

Hardscape:

Existing Driveway (SF):

Existing Patio (SF):

Existing Private Sidewalk (SF):

Proposed Additional Hardscape (SF):

3,867

Total Hardscape (SF):

Totals:

Total overall lot coverage (SF): 9,372 = 26.5 % of lot

Applicant Initial:

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:



Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer: CERTAINTEED LANDMARK

New Roof Style & Color: WEATHERED WOOD

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:

Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer: ANDERSON - 200 SERIES

New Window Style/Mat./Color: FIBERGLASS CLAD EXTERIOR - WHITE

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: WOOD/GLASS Style: FRENCH Color: TBD

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim: WOOD & GLASS

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other:

Proposed New Window Trim: WOOD COMPOSITE Trim Color(s): WHITE

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cultured Stone	NOTE ALL EXTERIOR SELECTIONS ARE IN PROCESS - TO BE PROVIDED SHORTLY
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Brick	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	

Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

Approved By:

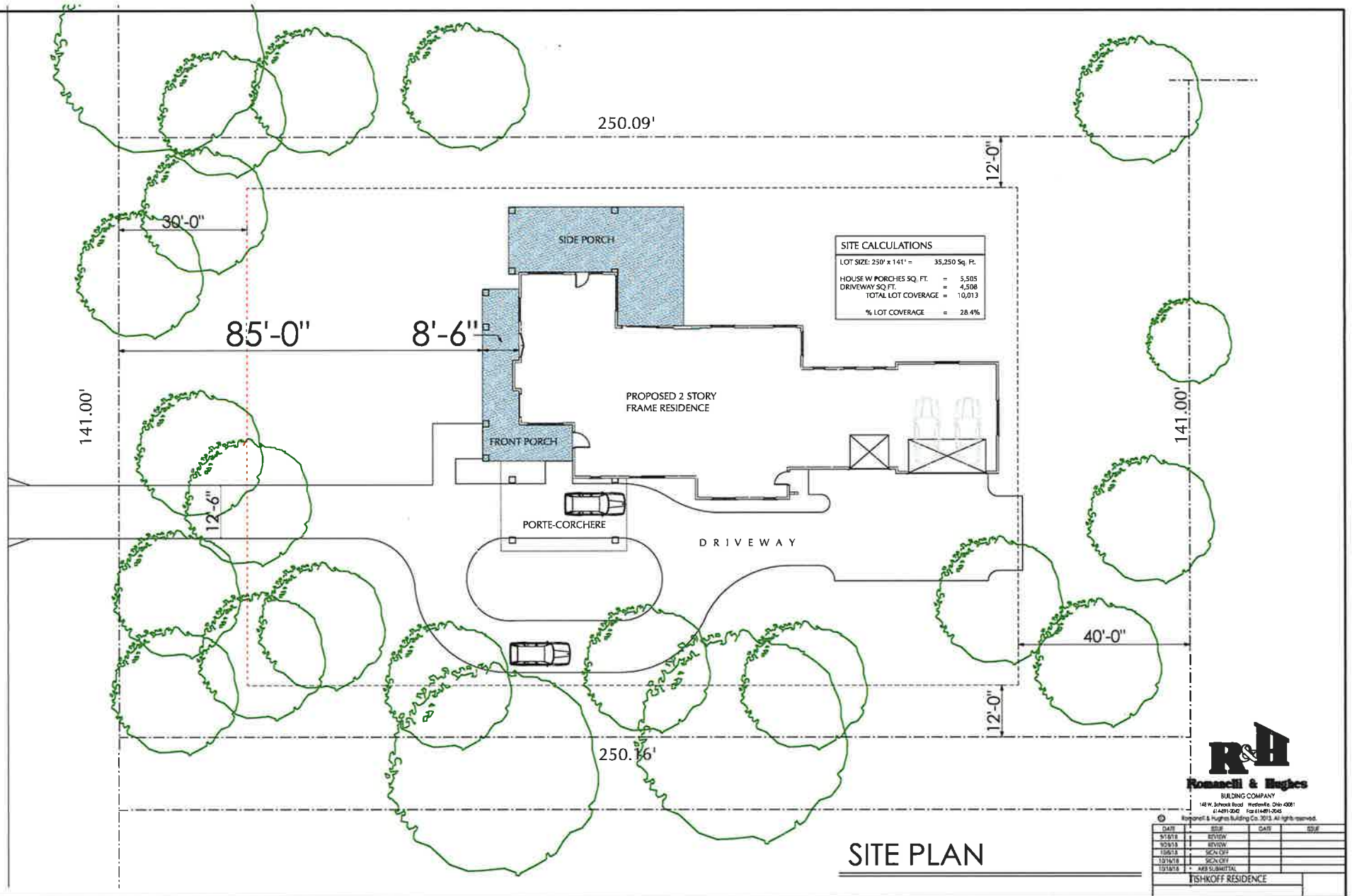
To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:



S. COLUMBIA AVENUE



SITE PLAN



Romaneli & Hughes
BUILDING COMPANY
141 W. Johnson Road, Westerville, Ohio 43081
(614) 891-0242 Fax (614) 891-0245
Romaneli & Hughes Building Co. 2015. All rights reserved.

DATE	BY	DATE	BY
5/15/18	REVIEW		
5/25/18	REVIEW		
10/26/18	SCALE UP		
10/19/18	SCALE UP		
10/19/18	ANS SUBMITTAL		

TISHKOFF RESIDENCE



FRONT VIEW 2



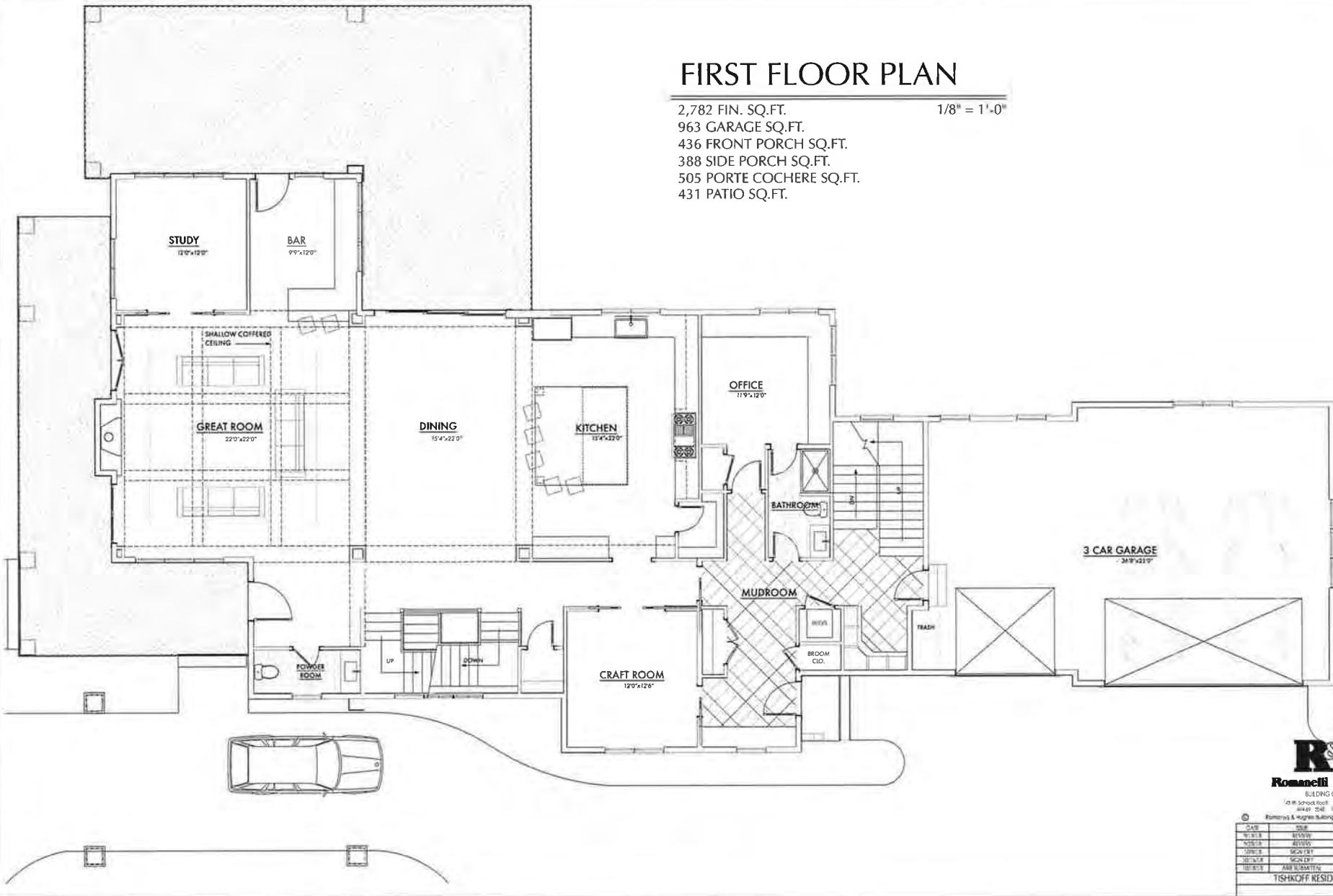
PART: _____
 614.691.2042 Fax: 614.691.2045
 Karpinski & Hughes Building Co., 20 E. Main Street
 Columbus, OH 43211

NO.	DATE	SCALE	BY
1000001	10/1/01		
1000002	10/1/01		
1000003	10/1/01		
1000004	10/1/01		
1000005	10/1/01		
1000006	10/1/01		
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1000048	10/1/01		
1000049	10/1/01		
1000050	10/1/01		
1000051	10/1/01		
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1000091	10/1/01		
1000092	10/1/01		
1000093	10/1/01		
1000094	10/1/01		
1000095	10/1/01		
1000096	10/1/01		
1000097	10/1/01		
1000098	10/1/01		
1000099	10/1/01		
1000100	10/1/01		

FISHKOFF RESIDENCE

FIRST FLOOR PLAN

2,782 FIN. SQ.FT. 1/8" = 1'-0"
 963 GARAGE SQ.FT.
 436 FRONT PORCH SQ.FT.
 388 SIDE PORCH SQ.FT.
 505 PORTE COCHERE SQ.FT.
 431 PATIO SQ.FT.



Romaneli & Hughes
 BUILDING COMPANY
 1219 School Road, Westerville, Ohio 43081
 614.891.2818 local@rh.com

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DATE	SCALE	DATE	SCALE
11/15/13	AS SHOWN		
11/15/13	AS SHOWN		
11/15/13	AS SHOWN		
11/15/13	AS SHOWN		
11/15/13	AS SHOWN		
11/15/13	AS SHOWN		
11/15/13	AS SHOWN		
TISHKOFF RESIDENCE			

BASEMENT PLAN

1,732 FIN. SQ.FT.

1/8" = 1'-0"



Romanelli & Hughes

BUILDING COMPANY

1410 S. 20th Street, Phoenix, AZ 85024

PH: 602.252.1111 FAX: 602.252.1112

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DATE	ISSUE	DATE	ISSUE
01/15/11	REVISED		
01/15/11	REVISED		
01/15/11	SLUG OFF		
01/15/11	SLUG OFF		
01/15/11	SLUG OFF		
01/15/11	SLUG OFF		
01/15/11	SLUG OFF		
TISHOFF RESIDENCE			

SECOND FLOOR PLAN

2,383 FIN. SQ.FT.

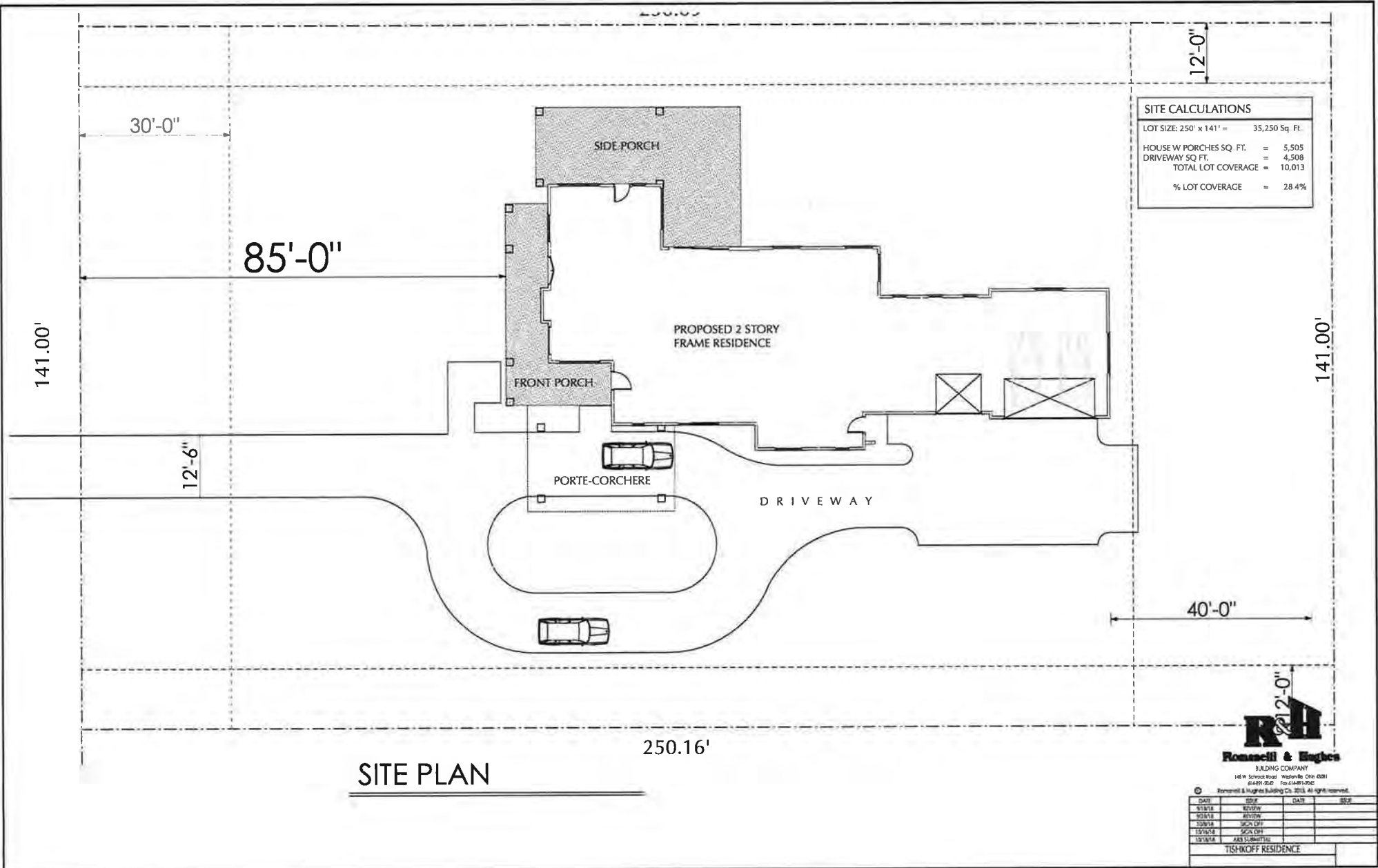
1/8" = 1'-0"



Romanelli & Hughes
BUILDING COMPANY
140 W. School Road, Westerville, OH 43081
(614) 891-2200 Fax (614) 891-2204

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DATE	BY	DATE	BY
11/15/13	REVISION		
11/15/13	REVISION		
11/15/13	REVISION		
11/15/13	REVISION		
11/15/13	REVISION		
11/15/13	REVISION		
TISHKOFF RESIDENCE			



SITE CALCULATIONS	
LOT SIZE: 250' x 141' =	35,250 Sq. Ft.
HOUSE W PORCHES SQ. FT. =	5,505
DRIVEWAY SQ. FT. =	4,508
TOTAL LOT COVERAGE =	10,013
% LOT COVERAGE =	28.4%

SITE PLAN



Romaneli & Hughes
BUILDING COMPANY
148 W. Spruce Road Westerville, Ohio 43081
614-891-0200 Fax 614-891-0106

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DATE	REV	DATE	REV
01/15/14	REVISED		
02/15/14	REVISED		
03/15/14	SCA 001		
05/15/14	SCA 001		
07/15/14	JOB SUBMITTED		

TISHKOFF RESIDENCE