



CITY OF BEXLEY

ARCHITECTURAL REVIEW BOARD

AGENDA

DATE: November 14, 2019

TIME: 6:00 P.M.

PLACE: City Council Chambers, Bexley Municipal Building

1. Call to Order
2. Roll Call
3. Approval of Minutes from the October 10th, 2019, ARB meeting.
4. Public Comment:

5. **NEW BUSINESS:**

A. Application No.: ARB-19-17

Applicant: Kelli Morris – Creative Earthscapes

Owner: Sara Ward

Location: 912 Vernon

ARB Request: The applicant is seeking architectural review and approval to allow a covered porch addition on the front of the principal structure.

B. Application No.: ARB-19-8

Applicant: Peter Krajnak – Rogers Krajnak Architects

Owner: Owen & Theresa Heisey

Location: 514 N. Drexel

ARB Request: The applicant is seeking architectural review and approval to allow a 2-story addition to the rear (east side) of the principal structure.

C. Application No.: ARB-19-9

Applicant: Todd Thompson

Owner: James Hilovsky

Location: 99 S. Merkle Rd.

ARB Request: The applicant is seeking architectural review and approval to allow the existing breezeway between the house and garage to be enclosed, and also convert the existing screened porch at the rear of the principal structure to a glass enclosed sunroom.

D. Application No.: ARB-19-18

Applicant: Joe Moss - GRAD

Owner: LLC GDK Holdings – Bexley Animal Hospital

Location: 500 N. Cassady

ARB Request: The applicant is seeking architectural review and approval to allow a 2-story addition to the front of the building and landscape/artistic improvements.

E. Application No.: ARB-19-10

Applicant: Amy Lauerhass

Owner: Flo & Andy Plagenz

Location: 312 N. Remington

ARB Request: The applicant is seeking architectural review and approval to allow an open porch addition to the front of the principal structure.

F. Application No.: ARB-19-11

Applicant: Amy Lauerhass

Owner: Betty & Roy Brown

Location: 2604 Sherwood Rd.

ARB Request: The applicant is seeking architectural review and approval to allow the existing attached garage to be enclosed, and add a new detached garage on the north side of the principal structure.

G. Application No.: ARB-19-14 (BZAP)

Applicant: Amy Lauerhass

Owner: Robert & Rebekah Alt

Location: 2404 Bryden Rd.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a one-story room addition that will connect the house to a proposed 2-story, 3-car garage.

H. Application No.: ARB-19-13 (BZAP)

Applicant: Amy Lauerhass

Owner: David Hodge & Lindsay Helman-Hodge

Location: 211 S. Ardmore

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a screened porch addition on the rear of the principal structure, and dormer additions to the existing detached

garage.

I. Application No.: ARB-19-15
Applicant: Bryan Meade
Owner: CZ CAPITAL GROUP LLC
Location: 235 N. Roosevelt

ARB Request: The applicant is seeking Architectural Review and approval to for a new single-family dwelling. If approved, the existing house and detached garage will be demolished.

J. Application No.: BZAP-19-15
Applicant: John Spiropoulos
Owner: Same
Location: 902 S. Cassingham

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a new detached garage.

K. Application No.: BZAP-19-16
Applicant: Brenda Ruf – Dave Fox Remodeling
Owner: Audrey & Tyler Stanley
Location: 177 N. Ardmore Rd.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a new screened porch addition at the front of the principal structure.



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, November 14, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Bexley Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, December 5, 2019 at 6:00 PM.**, in City Council Chambers, Bexley City Hall, 2242 East main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-19-14 (BZAP)

Applicant: Amy Lauerhass

Owner: Robert & Rebekah Alt

Location: 2404 Bryden Rd.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a one-story room addition that will connect the house to a proposed 2-story, 3-car garage.

BZAP: The applicant is seeking architectural review and approval to allow a one-story room addition that will connect the house to a proposed 2-story, 3-car garage with a 2nd floor.

The applicant is also seeking two variances from Bexley Code Section 1252.09(R-6) Zoning District. The first variance is from the 35% building lot coverage limit, to allow the building lot coverage to be 39.5%. The 2nd variance is from the required 25 foot setback from the rear property line, to allow the addition to be constructed 9'2" from the rear property line.




The applicant is also requesting approval for a Conditional Use in accordance with Bexley Code Section 1252.17(a)-(g), to allow an In-Law Suite on the 2nd floor of the proposed 3 car garage addition.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 10-31-2019

***(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory Structures and New Principal Structures that meet the Zoning Code)**
ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

Applicant

 Amy Lauerhass
 614-371-3523
 amy@lauerhassarchitecture.com

Location

2404 BRYDEN RD
 Bexley, OH 43209

ARB-19-14

Submitted On: Oct 16, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Demolish existing detached garage. Addition of a family room, three-car garage and guest suite to the rear of the house.

Architecture Review

true

Conditional Use

--

Demolition

--

Planned Unit Dev

--

Rezoning

--

Special Permit

--

A.1: Attorney / Agent Information

Agent Name

Amy Lauerhass

Agent Address

753 Francis Ave. Bexley, Ohio 43209

Agent Email

amy@lauerhassarchitecture.com

Agent Phone

614-371-3523

Property Owner Name

Rebekah & Robert Alt

Property Owner phone

603-781-6885

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

Signed owner permission attached.

A.2: Fee Worksheet

Estimated Valuation of Project

300000

Minor Architectural Review

--

Major Architectural Review

true

Variance Review - Fill out a BZAP Application instead.

true

Variance Review Type

Single Family

Zoning

--

Zoning Review Type

Sign Review and Architectural Review for Commercial Projects

--

--

Review Type**Appeal of ARB decision to BZAP**

--

--

Appeal of BZAP decision to City Council

--

B: Project Worksheet: Property Information**Occupancy Type****Zoning District**

Residential

R-6

Use Classification

R-6 (35% Building and 60% Overall)

B: Project Worksheet: Lot Info**Width (ft)****Depth (ft)**

50

140

Total Area (SF)

7018

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)****Proposed Addition (SF)**

1600

1176

Removing (SF)**Type of Structure**

--

Attached garage + family room

Proposed New Primary Structure or Residence (SF)**Total Square Footage**

--

2776

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)****Proposed Addition (SF)**

--

--

New Structure Type**Ridge Height**

--

--

Proposed New Structure (SF)**Is there a 2nd Floor**

--

--

Total of all garage and accessory structures (SF)**Total building lot coverage (SF)**

--

2776

Total building lot coverage (% of lot)**Is this replacing an existing garage and/or accessory structure?**

39.5

Yes

B: Project Worksheet: Hardscape**Existing Driveway (SF)**

315

Existing Patio (SF)

0

Existing Private Sidewalk (SF)

501

Proposed Additional Hardscape (SF)

--

Total Hardscape (SF)

816

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)**

3592

Total overall lot coverage (% of lot)

51.2

C.1 Architectural Review Worksheet: Roofing**Roofing**

true

Structure

House & Garage

Existing Roof Type

Std. 3-tab Asphalt Shingle

New Roof Type

Arch. Dimensional Shingles

New Single Manufacturer

TBD

New Roof Style and Color

Color to match existing

C.1 Architectural Review Worksheet: Windows**Windows**

true

Structure

House & Garage

Existing Window Type

Double Hung

Existing Window Materials

Wood

New Window Manufacturer

Pella

New Window Style/Mat./Color

Double Hung; Alum-Clad Wood; White to match existing

C.1 Architectural Review Worksheet: Doors**Doors**

true

Structure

House & Garage

Existing Entrance Door Type

Wood

Existing Garage Door Type

Wood

Door Finish

Painted

Proposed Door Type

Fiberglass

Proposed Door Style

French & Entry, as shown on elevations

Proposed Door Color

White to match existing

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Existing Door Trim

Std. Lumber Profile

Proposed New Door Trim

To Match Existing

Existing Window Trim

Std. Lumber Profile

Proposed New Window Trim

To Match Existing

Trim Color(s)

White To Match Existing

Do the proposed changes affect the overhangs?

No

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

true

Existing Finishes

Other

Other Existing Finishes

Brick & Siding

Existing Finishes Manufacturer, Style, Color

Red Brick & White Vinyl Siding

Proposed Finishes

Other

Other Proposed Finishes

Brick & Fiber Cement Siding

Proposed Finishes Manufacturer, Style, Color

Brick to match existing on base of new garage; Fiber cement siding in white - match existing exposure

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

E.1 Variance Worksheet

Description of the Proposed Variance. Please provide a thorough description of the variance being sought and the reason why.

Requesting two variances. First, to allow the Building Cover to be 39.5%, in lieu of the 35% allowed. Second, to allow the addition to project into the rear yard setback. The proposed rear yard setback will be 9'-2" & 11'-8", in lieu of the 25'-0" required.

1. Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

The homeowner would like to create a home in which they can accommodate multi-generational living. The idea would be to first have a college-age son living in the space above the garage, and then have an aging parent move into the space later on. If we detached the garage, we would not be permitted to put a dwelling unit above.

2. Is the variance substantial? Please describe.

The 4.5% building cover variance is not substantial. The lot is fenced on all sides, and no one but the homeowner will realize the smaller back yard. Plus, the family room addition is a one-story section that will be much lower than the garage or the existing house. The northern line of the new garage is in the same place as the existing detached garage is now. Although the new garage is two-story, the massing is much lower than the primary section of the residence, and the third bay is set even lower to further break down the massing.

3. Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

The homeowner wants to provide sufficient off-street parking for the residents of the home, as well as guests. Every other homeowner on this block of Bryden has a driveway except this house. Recently, neighbors have gotten upset multiple times due to cars parked on the street. The property owners want to be good neighbors and respect the idea of no street parking.

E.2 Variance Worksheet

4. Would the variance adversely affect the delivery of governmental services (e.g. water, sewer, garbage)? Please describe.

No.

5. Did the property owner purchase the property with the knowledge of zoning restriction? Please describe.

No.

6. Can the property owner's predicament feasibly be obviated through some method other than a variance? Please describe.

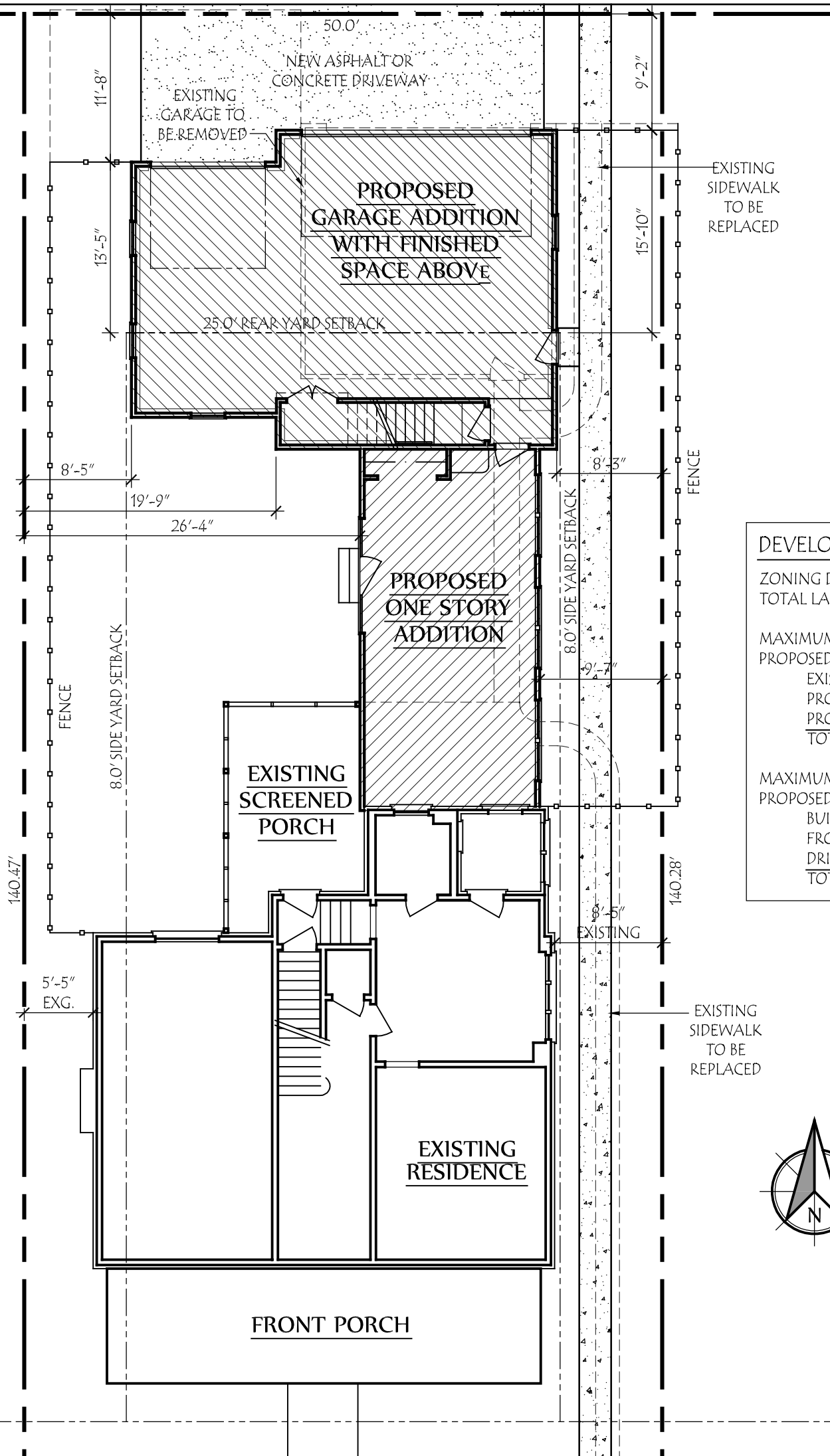
No, they cannot accommodate an additional family dwelling unit.

7. Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

Due to existing circumstances described above, the homeowner believes it is.

ADDITION & RENOVATION FOR:
Rebekah & Robert Alt
 2404 BRYDEN ROAD
 BEXLEY, OHIO 43209

ALLEY
 (15' R.O.W.)

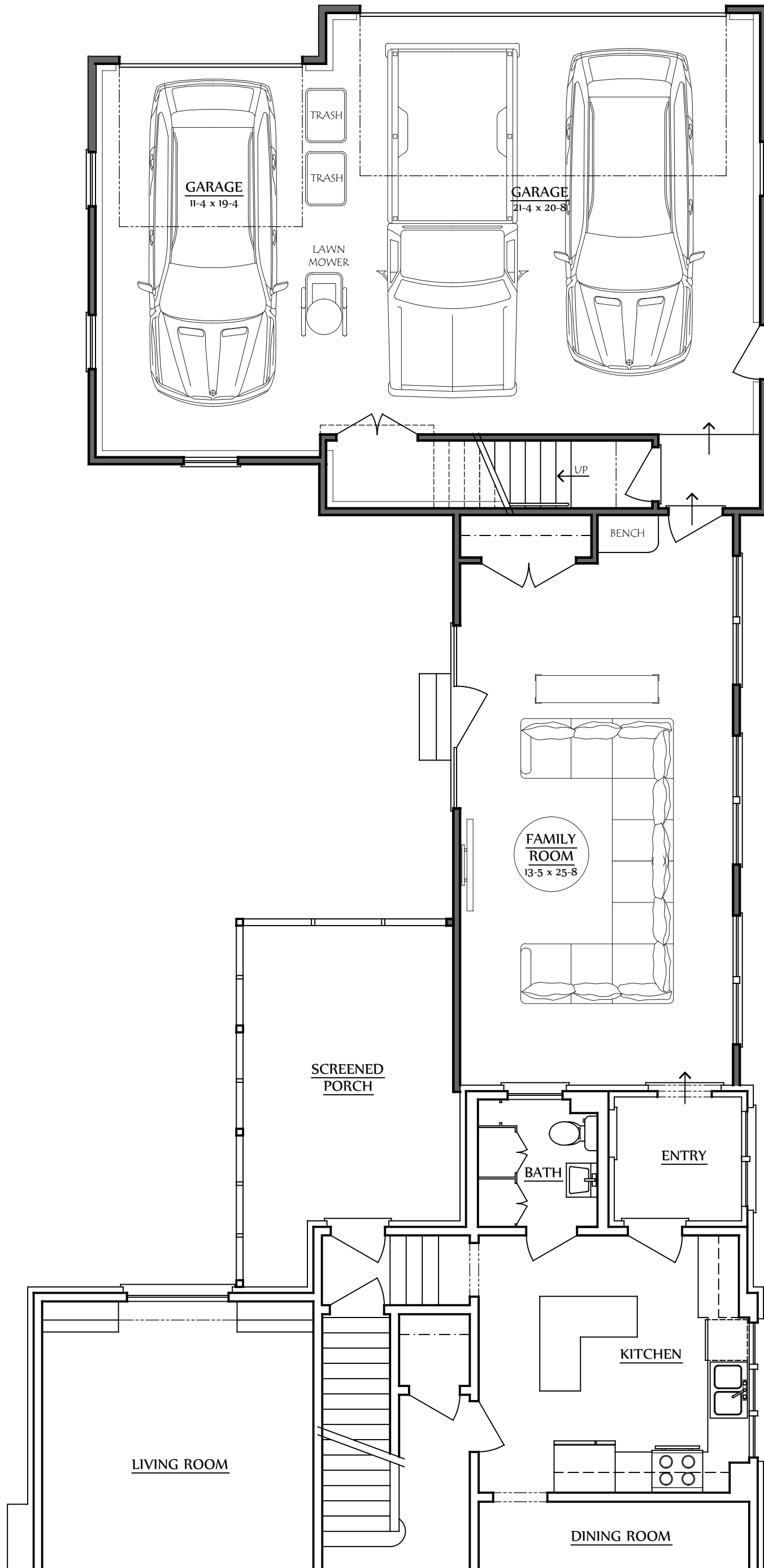


DEVELOPMENT INFORMATION	
ZONING DESIGNATION	= R-6
TOTAL LAND AREA	= 7018 SF
MAXIMUM BUILDING COVER	35 % = 2456 SF
PROPOSED LOT COVER:	
EXISTING HOUSE + PORCH	= 1600 SF
PROPOSED GARAGE ADDITION	= 776 SF
PROPOSED FAMILY ROOM ADD.	= 400 SF
TOTAL BUILDING COVER	39.5 % = 2776 SF
MAXIMUM DEVELOP. COVER	60 % = 4210 SF
PROPOSED DEVELOP. COVER:	
BUILDING COVER	= 2776 SF
FRONT & SIDE SIDEWALKS	= 501 SF
DRIVEWAY	= 315 SF
TOTAL	51.2% = 3592 SF



Site Plan
 SCALE: 1" = 10'-0"

Lauerhass Architecture
 RENOVATION - ADDITION - NEW HOME
 753 Francis Ave. Bexley, OH 43209 614-371-3523



COPYRIGHT ©

LAUERHASS ARCHITECTURE, LLC
ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:
16 Oct 2019

Project Number:
19-035

Drawing Title:
First Floor Plan

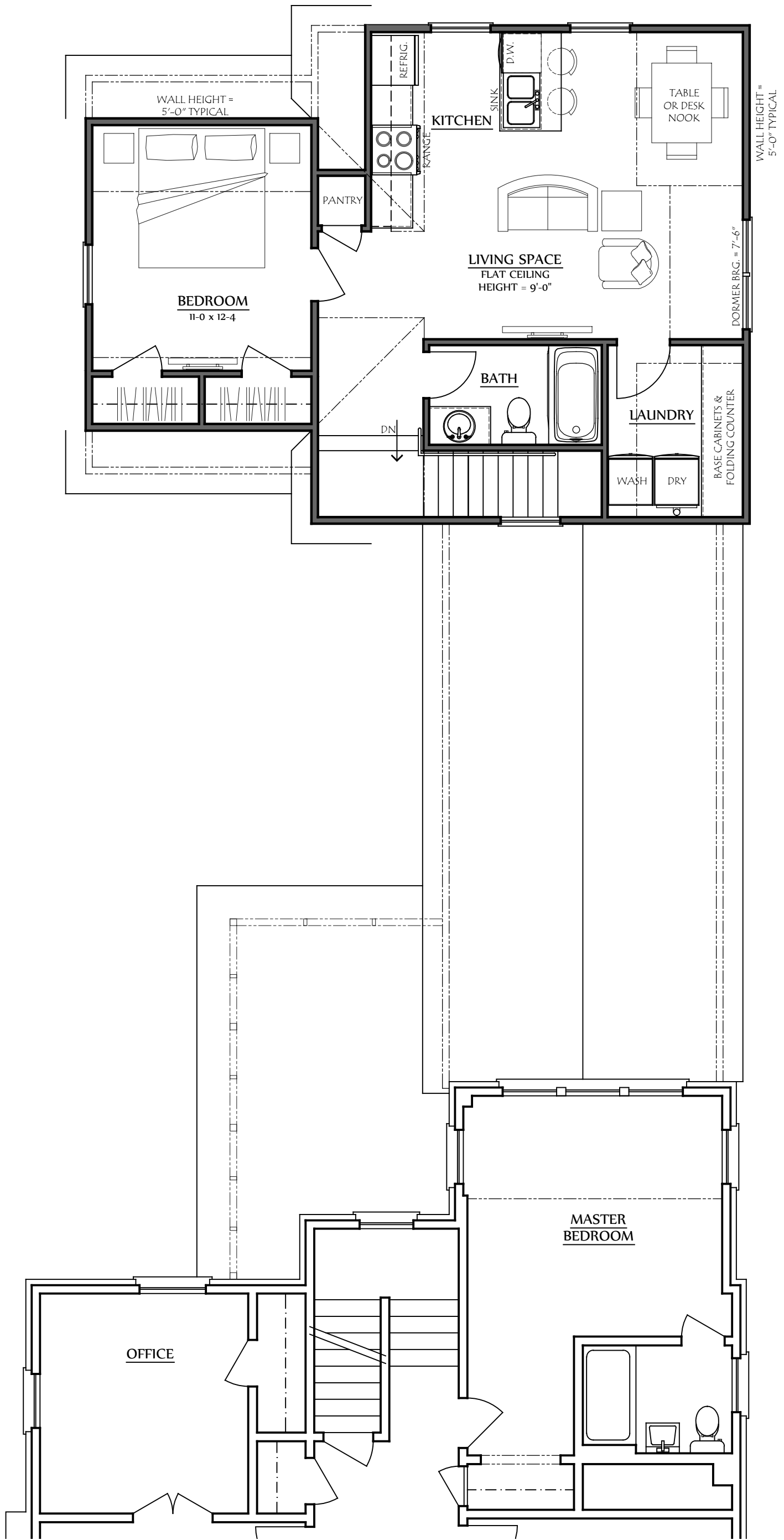
Project Name:
The Alt Residence

Scale:
3/16" = 1'-0"

Sheet Number:
A-1



Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME



COPYRIGHT ©

LAUERHASS ARCHITECTURE, LLC
ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:
16 Oct 2019

Project Number:
19-035

Drawing Title:
Second Floor Plan

Project Name:
The Alt Residence

Scale:
3/16" = 1'-0"

Sheet Number:
A-2



Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME



COPYRIGHT ©

LAUERHASS ARCHITECTURE, LLC
ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK
ARE FOR USE SOLELY ON THIS PROJECT.
THE ARCHITECT IS THE AUTHOR, AND RESERVES
ALL RIGHTS. INFORMATION CONTAINED HEREIN
SHALL NOT BE USED WITHOUT THE EXPRESS
WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:
16 Oct 2019

Drawing Title:
East Elevation

Scale:
3/16" = 1'-0"

Project Number:
19-035

Project Name:
The Alt Residence

Sheet Number:
A-3





COPYRIGHT ©
 LAUERHASS ARCHITECTURE, LLC
 ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

<u>Date:</u> 16 Oct 2019	<u>Drawing Title:</u> West Elevation	<u>Scale:</u> 3/16" = 1'-0"
<u>Project Number:</u> 19-035	<u>Project Name:</u> The Alt Residence	<u>Sheet Number:</u> A-4





COPYRIGHT ©

LAUERHASS ARCHITECTURE, LLC
ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK
ARE FOR USE SOLELY ON THIS PROJECT.
THE ARCHITECT IS THE AUTHOR, AND RESERVES
ALL RIGHTS. INFORMATION CONTAINED HEREIN
SHALL NOT BE USED WITHOUT THE EXPRESS
WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:
16 Oct 2019

Drawing Title:
North Elevation

Scale:
3/16" = 1'-0"

Project Number:
19-035

Project Name:
The Alt Residence

Sheet Number:
A-5



Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME



NORTH ELEVATION



NORTHWEST ELEVATION



EAST ELEVATION



SOUTH ELEVATION

COPYRIGHT©
 LAUERHASS ARCHITECTURE, LLC
 ALL RIGHTS RESERVED.
 THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

<u>Date:</u> 16 Oct 2019	<u>Drawing Title:</u> Existing Photos	<u>Scale:</u> n/a
<u>Project Number:</u> 19-035	<u>Project Name:</u> The Alt Residence	<u>Sheet Number:</u> A-6





PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, November 14, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Bexley Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, December 5, 2019 at 6:00 PM.**, in City Council Chambers, Bexley City Hall, 2242 East main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-19-13 (BZAP)

Applicant: Amy Lauerhass

Owner: David Hodge & Lindsay Helman-Hodge

Location: 211 S. Ardmore

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a screened porch addition on the rear of the principal structure, and dormer additions to the existing detached garage.




BZAP: The applicant is seeking architectural review and approval to allow a screened porch addition on the rear of the principal structure, and dormer additions to the existing detached garage.

The applicant is also seeking two variances. The first a variance from Bexley Code Section 1252.10(a)(1), which requires a 20' setback from the street side property for lots 50' – 100' in width, to allow a screened porch addition at the rear of the principal structure to be constructed 14'8" from the street side property. The additional variance request is from Bexley code sections 1252.15(e), which limits a detached garage to 1-story and 1252.15 (g) which requires a 3' setback from the side and rear property lines, to allow a 2nd floor in the existing garage and includes adding dormers to the 2nd floor of the existing non-conforming garage that is located 2'8" from the north side property line and 2' 7" from the rear (west) property line.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240. Mailed by: 10-31-2019

***(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory Structures and New Principal Structures that meet the Zoning Code)**
ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

Applicant

 Amy Lauerhass
 614-371-3523
 amy@lauerhassarchitecture.com

Location

211 ARDMORE RD
 Bexley, OH 43209

ARB-19-13

Submitted On: Oct 16, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Addition of a screened porch to the rear of the house; Addition of a home-office space above the existing detached garage

Architecture Review

true

Conditional Use

--

Demolition

--

Planned Unit Dev

--

Rezoning

--

Special Permit

--

A.1: Attorney / Agent Information

Agent Name

Amy Lauerhass

Agent Address

753 Francis Ave. Bexley, Ohio 43209

Agent Email

amy@lauerhassarchitecture.com

Agent Phone

614-371-3523

Property Owner Name

David Hodge & Lindsay Helman-Hodge

Property Owner phone

614-537-3616

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

Signed owner permission attached.

A.2: Fee Worksheet

Estimated Valuation of Project

100000

Minor Architectural Review

--

Major Architectural Review

true

Variance Review - Fill out a BZAP Application instead.

true

Variance Review Type

Single Family

Zoning

--

Zoning Review Type

Sign Review and Architectural Review for Commercial Projects

Rezoning	--
Review Type	Appeal of ARB decision to BZAP
--	--
Appeal of BZAP decision to City Council	
--	

B: Project Worksheet: Property Information

Occupancy Type	Zoning District
Residential	R-6
Use Classification	
R-6 (35% Building and 60% Overall)	

B: Project Worksheet: Lot Info

Width (ft)	Depth (ft)
51.18	150
Total Area (SF)	
7677	

B: Project Worksheet: Primary Structure Info

Existing Footprint (SF)	Proposed Addition (SF)
1689	220
Removing (SF)	Type of Structure
--	Screened Porch
Proposed New Primary Structure or Residence (SF)	Total Square Footage
--	1909

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)

Existing Footprint (SF)	Proposed Addition (SF)
508	0
New Structure Type	Ridge Height
--	20'-0"
Proposed New Structure (SF)	Is there a 2nd Floor
--	Yes
2nd Floor SF	Total of all garage and accessory structures (SF)
295	508
Total building lot coverage (SF)	Total building lot coverage (% of lot)

Is this replacing an existing garage and/or accessory structure?

No

B: Project Worksheet: Hardscape

Existing Driveway (SF)

1190

Existing Patio (SF)

257

Existing Private Sidewalk (SF)

100

Proposed Additional Hardscape (SF)

0

Total Hardscape (SF)

1547

B: Project Worksheet: Total Coverage

Total overall lot coverage (SF)

3964

Total overall lot coverage (% of lot)

57.6

C.1 Architectural Review Worksheet: Roofing

Roofing

true

Structure

House & Garage

Existing Roof Type

Clay Tile

New Roof Type

Clay Tile

New Single Manufacturer

To Match Existing

New Roof Style and Color

Clay Tile on Screened Porch; Tile OR Shingles on Garage

C.1 Architectural Review Worksheet: Windows

Windows

true

Structure

Garage Only

Existing Window Type

Casement

Existing Window Materials

Wood

New Window Manufacturer

Pella

New Window Style/Mat./Color

Casement with Prairie Grids; White to match existing

C.1 Architectural Review Worksheet: Doors

Doors

true

Structure

House & Garage

Existing Entrance Door Type

Fiberglass

Door Finish

Painted

Proposed Door Style

French on house; half-lite on garage

Existing Garage Door Type

Fiberglass

Proposed Door Type

Alum-Clad wood on house; fiberglass on garage

Proposed Door Color

White to match existing

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Proposed New Door Trim

Profiles to match existing

Proposed New Window Trim

Profiles to match existing

Do the proposed changes affect the overhangs?

No

Existing Door Trim

Std. Lumber Profile

Existing Window Trim

Std. Lumber Profile

Trim Color(s)

White; to match existing

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

true

Existing Finishes Manufacturer, Style, Color

Existing brick on first floor of garage to remain

Other Proposed Finishes

Upper area to be fiber cement horizontal siding

Existing Finishes

Brick

Proposed Finishes

Other

Proposed Finishes Manufacturer, Style, Color

Porch foundation to be brick

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

E.1 Variance Worksheet

Description of the Proposed Variance. Please provide a thorough description of the variance being sought and the reason why.

Screened Porch: Side yard setback of 14'-8" in lieu of required 18'-0" setback on corner lot; Existing garage from property lines to be 2'-8" from property line on north side, and 2'-7" from property line on west (alley) side

1. Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

Existing garage is brick and in great shape. We want to maintain the existing garage.

For the screened porch, if we do a similar sized porch behind the side yard setback line, it would be too close to the garage.

2. Is the variance substantial? Please describe.

We feel they are not. The garage is only a 4" or 5" variance in each direction. The screened porch will sit 1'-4" further from the side yard setback line than the current family room addition sits, and 2'-8" further back than the main house sits.

3. Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

No. The screened porch addition will sit behind an existing fence, as well as substantial landscaping, and will not be visible from the street. The garage is surrounded by other detached garages with gables, and is not above the required 20' ridge height.

E.2 Variance Worksheet

4. Would the variance adversely affect the delivery of governmental services (e.g. water, sewer, garbage)? Please describe.

No.

5. Did the property owner purchase the property with the knowledge of zoning restriction? Please describe.

I do not know if they were aware of the garage height restriction, or the special side yard setback for a corner lot.

6. Can the property owner's predicament feasibly be obviated through some method other than a variance? Please describe.

The garage cannot, due to its existing location. And due to that location, the screened porch cannot either.

7. Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

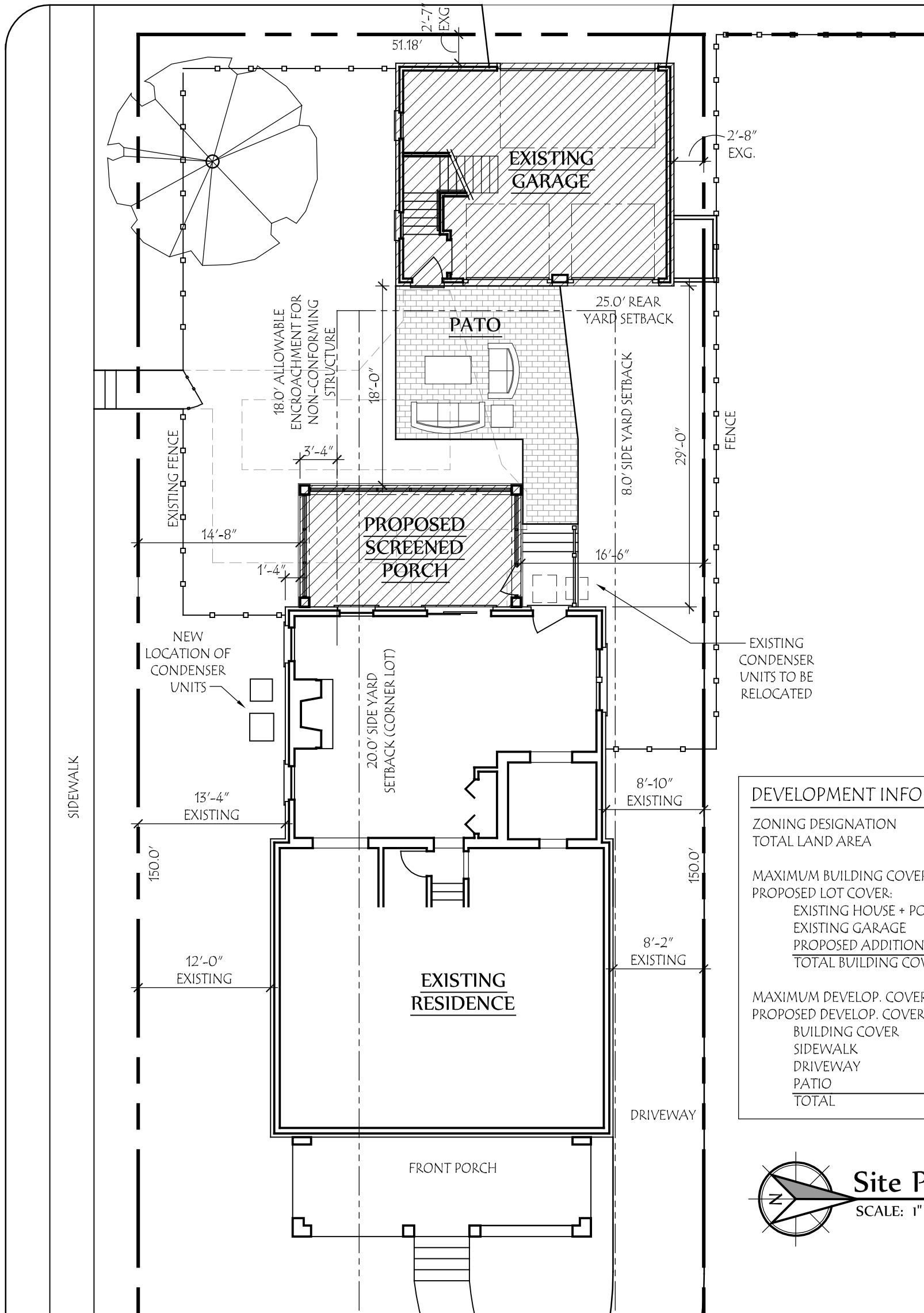
I believe so. This is a narrow lot with a largely non-conforming house. The screened porch sits back further, so we will not impede on the surrounding neighborhood. For the garage, we are trying to maintain the charm of the existing brick garage by leaving it intact, and renovating it to provide more space.

ADDITION & RENOVATION FOR: Lindsay & David Hodge

211 S. ARDMORE ROAD
BEXLEY, OHIO 43209

ALLEY
(20' R.O.W.)

ELM AVENUE
(50' R.O.W.)



DEVELOPMENT INFORMATION

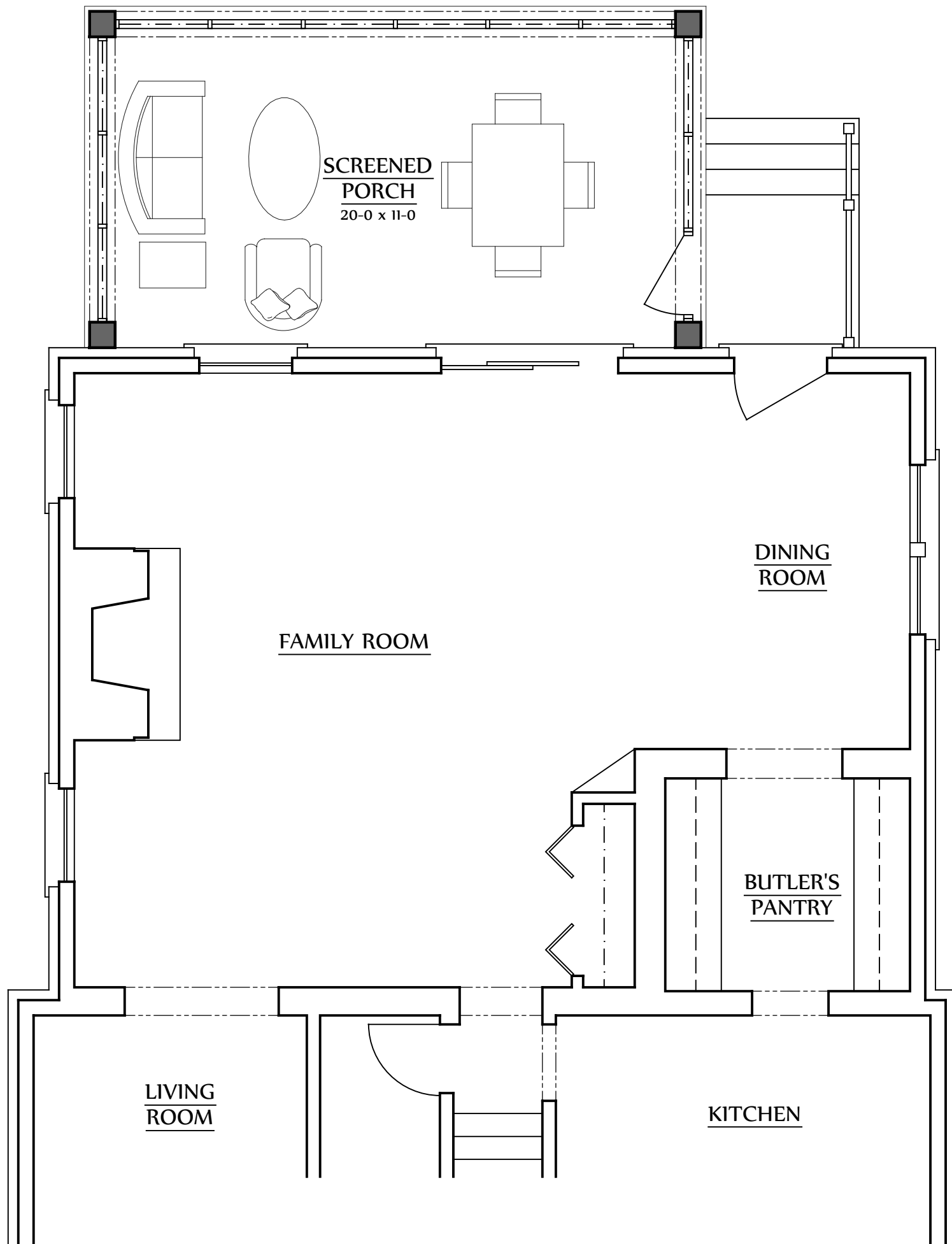
ZONING DESIGNATION	= R-6
TOTAL LAND AREA	= 7677 SF
MAXIMUM BUILDING COVER	35% = 2687 SF
PROPOSED LOT COVER:	
EXISTING HOUSE + PORCH	= 1689 SF
EXISTING GARAGE	= 508 SF
PROPOSED ADDITION	= 220 SF
TOTAL BUILDING COVER	31.5% = 2417 SF
MAXIMUM DEVELOP. COVER	60% = 4606 SF
PROPOSED DEVELOP. COVER:	
BUILDING COVER	= 2417 SF
SIDEWALK	= 100 SF
DRIVEWAY	= 1190 SF
PATIO	= 257 SF
TOTAL	57.6% = 3964 SF



Lauerhass Architecture

RENOVATION - ADDITION - NEW HOME

753 Francis Ave. Bexley, OH 43209 614-371-3523



COPYRIGHT ©

LAUERHASS ARCHITECTURE, LLC
ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:
16 Oct 2019

Project Number:
19-052

Drawing Title:
First Floor Plan

Project Name:
The Hodge Residence

Scale:
1/4" = 1'-0"

Sheet Number:
A-1



Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME



COPYRIGHT ©

LAUERHASS ARCHITECTURE, LLC
ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK
ARE FOR USE SOLELY ON THIS PROJECT.
THE ARCHITECT IS THE AUTHOR, AND RESERVES
ALL RIGHTS. INFORMATION CONTAINED HEREIN
SHALL NOT BE USED WITHOUT THE EXPRESS
WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:
16 Oct 2019

Drawing Title:
Rear Elevation

Scale:
3/16" = 1'-0"

Project Number:
19-052

Project Name:
The Hodge Residence

Sheet Number:
A-2



Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME

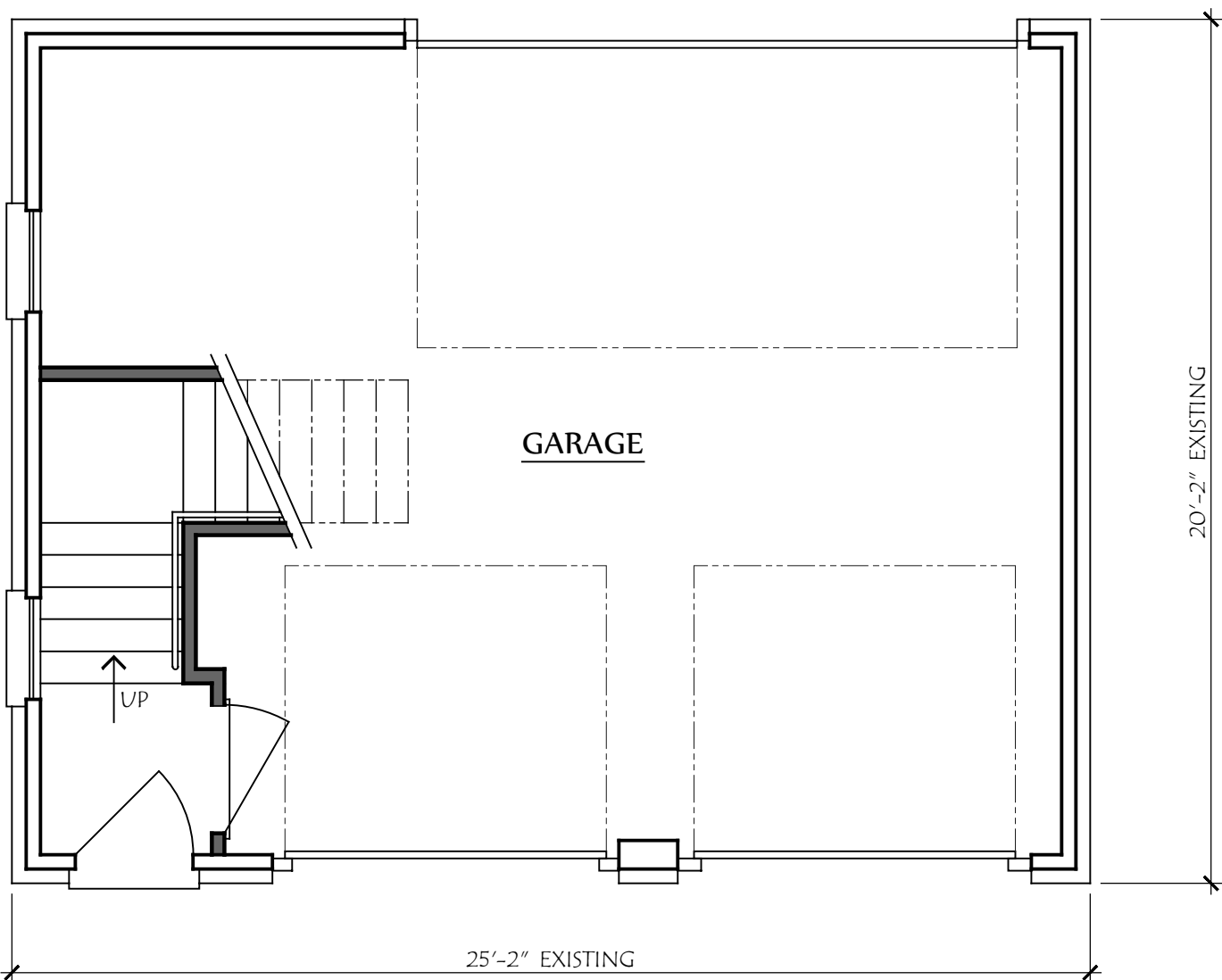
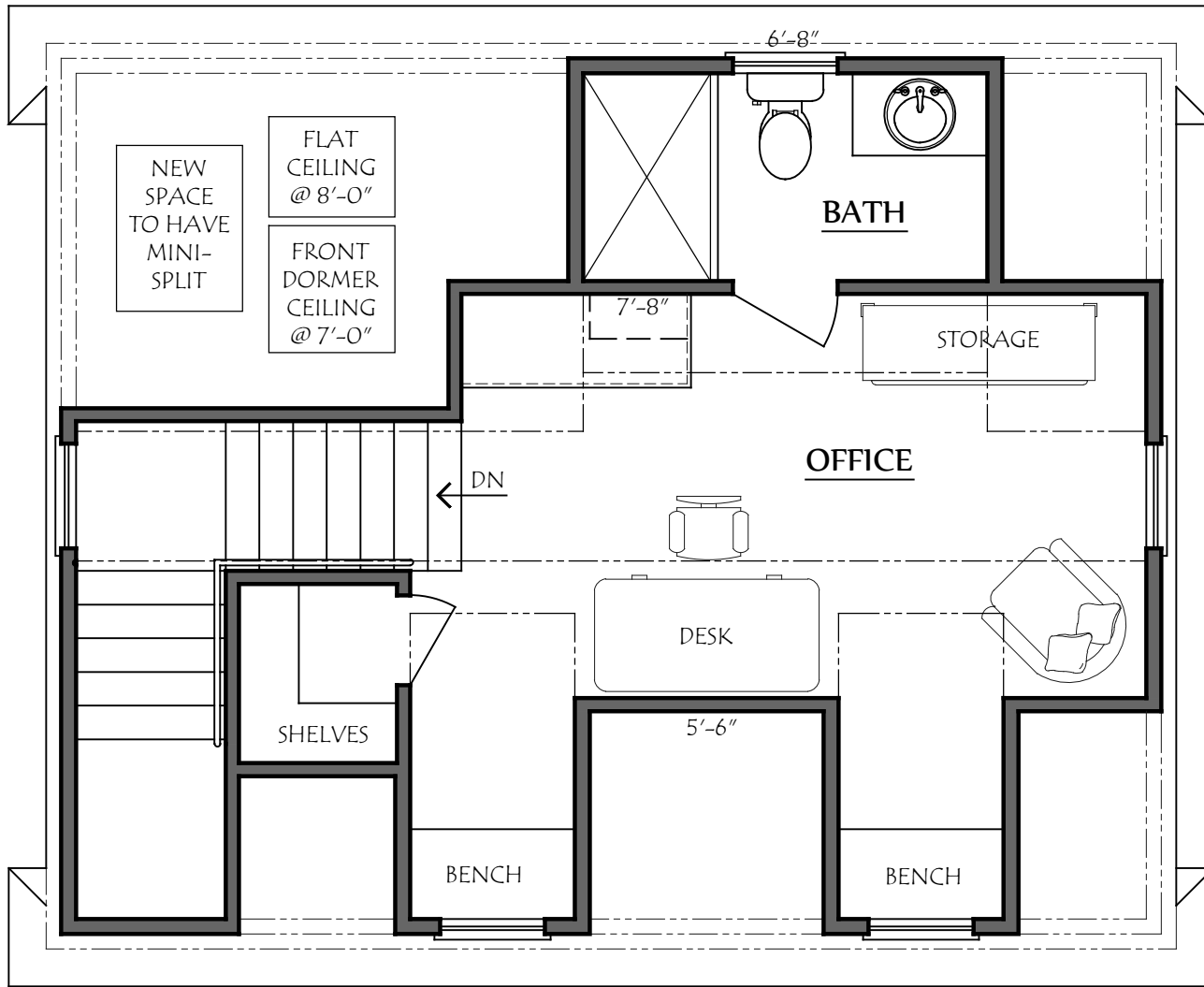


COPYRIGHT ©
 LAUERHASS ARCHITECTURE, LLC
 ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

<u>Date:</u> 16 Oct 2019	<u>Drawing Title:</u> Side Elevations	<u>Scale:</u> 3/16" = 1'-0"
<u>Project Number:</u> 19-052	<u>Project Name:</u> The Hodge Residence	<u>Sheet Number:</u> A-3





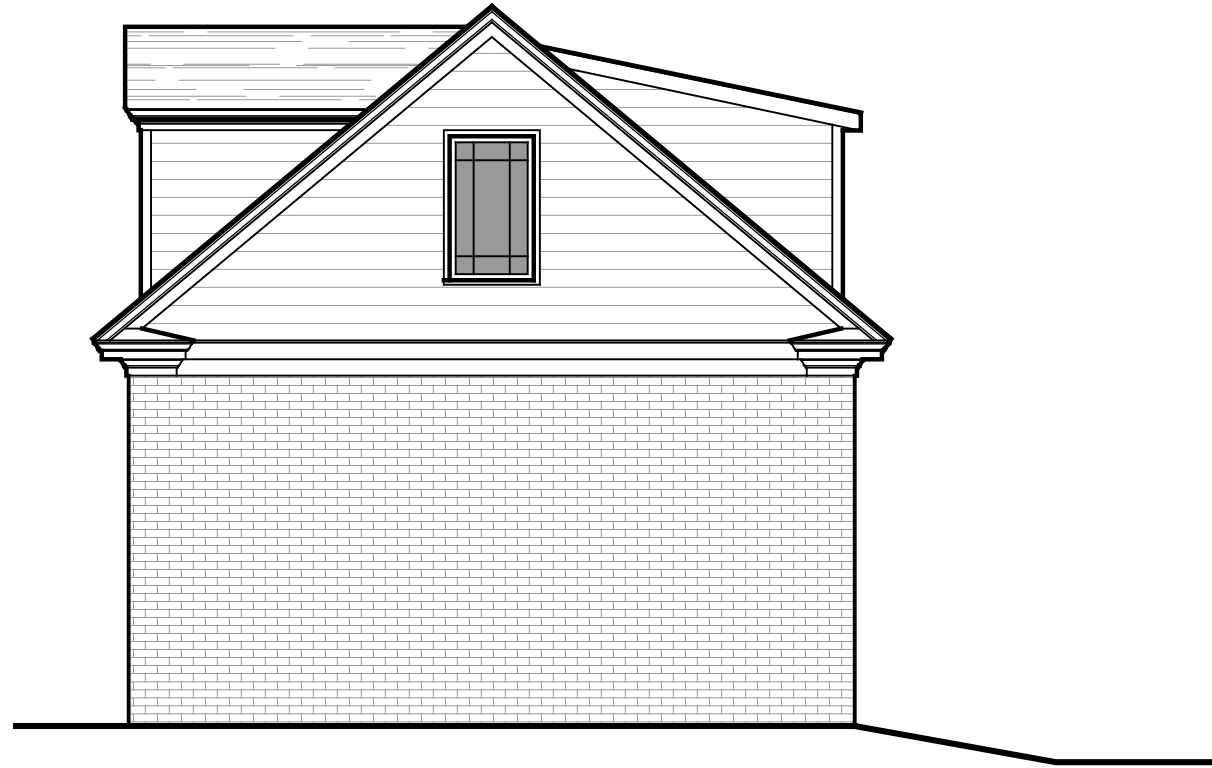
COPYRIGHT©
 LAUERHASS ARCHITECTURE, LLC
 ALL RIGHTS RESERVED.
 THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:
 16 Oct 2019
Project Number:
 19-052

Drawing Title:
Garage Plans
Project Name:
 The Hodge Residence

Scale:
 1/4" = 1'-0"
Sheet Number:
 A-4





COPYRIGHT ©
 LAUERHASS ARCHITECTURE, LLC
 ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

<u>Date:</u> 16 Oct 2019	<u>Drawing Title:</u> Garage Elevations	<u>Scale:</u> 3/16" = 1'-0"
<u>Project Number:</u> 19-052	<u>Project Name:</u> The Hodge Residence	<u>Sheet Number:</u> A-5





NORTH ELEVATION



EAST ELEVATION



SOUTH ELEVATION



WEST ELEVATION

COPYRIGHT©

LAUERHASS ARCHITECTURE, LLC
ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK
ARE FOR USE SOLELY ON THIS PROJECT.
THE ARCHITECT IS THE AUTHOR, AND RESERVES
ALL RIGHTS. INFORMATION CONTAINED HEREIN
SHALL NOT BE USED WITHOUT THE EXPRESS
WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:
16 Oct 2019

Drawing Title:
Exg. Photos: House

Scale:
n/a

Project Number:
19-032

Project Name:
The Hodge Residence

Sheet Number:
A-6



Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME



SOUTH ELEVATION



WEST ELEVATION



EAST ELEVATION

COPYRIGHT©

LAUERHASS ARCHITECTURE, LLC
ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:
16 Oct 2019

Drawing Title:
Exg. Photos: Garage

Scale:
n/a

Project Number:
19-052

Project Name:
The Hodge Residence

Sheet Number:
A-7



Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, November 14, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

- a. Application No.: ARB-19-15
Applicant: Bryan Meade
Owner: CZ CAPITAL GROUP LLC
Location: 235 N. Roosevelt
ARB Request: The applicant is seeking Architectural Review and approval to for a new single-family dwelling. If approved, the existing house and detached garage will be demolished.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 10-31-2019

***(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory Structures and New Principal Structures that meet the Zoning Code)**
ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

Applicant

 Bryan Meade
 6142609836
 brynwoodhomes@gmail.com

Location

235 N ROOSEVELT AV
 Bexley, OH 43209

ARB-19-15

Submitted On: Oct 17, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Demolition of existing structure and replacement with new Home

Architecture Review

true

Conditional Use

--

Demolition

true

Planned Unit Dev

--

Rezoning

--

Special Permit

--

A.1: Attorney / Agent Information

Agent Name

N/A

Agent Address

--

Agent Email

--

Agent Phone

--

Property Owner Name

--

Property Owner phone

--

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project

400000

Minor Architectural Review

--

Major Architectural Review

true

Variance Review - Fill out a BZAP Application instead.

--

Zoning

--

Zoning Review Type

--

Sign Review and Architectural Review for Commercial Projects**Review Type**

Appeal of ARB decision to BZAP**Appeal of BZAP decision to City Council**

true

--

B: Project Worksheet: Property Information**Occupancy Type**

Residential

Zoning District

--

Use Classification

Other

Other Classification

--

B: Project Worksheet: Lot Info**Width (ft)**

50

Depth (ft)

230

Total Area (SF)

11500

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)**

1400

Proposed Addition (SF)

1500

Removing (SF)

1400

Type of Structure

ranch

Proposed New Primary Structure or Residence (SF)

2500

Total Square Footage

2500

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)**

350

Proposed Addition (SF)

0

New Structure Type

garage attached to primary

Ridge Height

20

Proposed New Structure (SF)

550

Is there a 2nd Floor

Yes

2nd Floor SF

350

Total of all garage and accessory structures (SF)

--

Total building lot coverage (SF)

600

Total building lot coverage (% of lot)

13

Is this replacing an existing garage and/or accessory structure?

Yes

B: Project Worksheet: Hardscape**Existing Driveway (SF)**

1065

Existing Patio (SF)

0

Existing Private Sidewalk (SF)

75

Proposed Additional Hardscape (SF)

250

Total Hardscape (SF)

1390

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)**

2860

Total overall lot coverage (% of lot)

24.8

C.1 Architectural Review Worksheet: Roofing**Roofing**

--

Structure

House & Garage

Existing Roof Type

Std. 3-tab Asphalt Shingle

New Roof Type

Arch. Dimensional Shingles

New Single Manufacturer

Certainteed

New Roof Style and Color

Driftwood

C.1 Architectural Review Worksheet: Windows**Windows**

true

Structure

Garage Only

Existing Window Type

Exterior Storm

Existing Window Materials

Vinyl Clad Wood

New Window Manufacturer

PlyGem

New Window Style/Mat./Color

black

C.1 Architectural Review Worksheet: Doors**Doors**

true

Structure

House & Garage

Existing Entrance Door Type

Wood

Existing Garage Door Type

Insulated Metal

Door Finish

Painted

Proposed Door Type

ThemaTru

Proposed Door Style

traditional

Proposed Door Color

black

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Existing Door Trim

Vinyl

Proposed New Door Trim

SmartTrim/wood

Existing Window Trim

Wood

Proposed New Window Trim

--

Trim Color(s)

white

Do the proposed changes affect the overhangs?

No

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

true

Existing Finishes

Wood Siding

Existing Finishes Manufacturer, Style, Color

unknownT111, Gray

Proposed Finishes

Vinyl Siding

Proposed Finishes Manufacturer, Style, Color

7" White lap siding

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

--

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

E.1 Variance Worksheet

Description of the Proposed Variance. Please provide a thorough description of the variance being sought and the reason why.

The current 2' crawl does not meet code and is in disrepair/not capable of carrying any increased structural changes and the existing house itself is a masonry block structure that does not allow for modifications or additions.

1. Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

no

2. Is the variance substantial? Please describe.

no

3. Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

No, improved

E.2 Variance Worksheet

4. Would the variance adversely affect the delivery of governmental services (e.g. water, sewer, garbage)? Please describe.

no

5. Did the property owner purchase the property with the knowledge of zoning restriction? Please describe.

no

6. Can the property owner's predicament feasibly be obviated through some method other than a variance? Please describe.

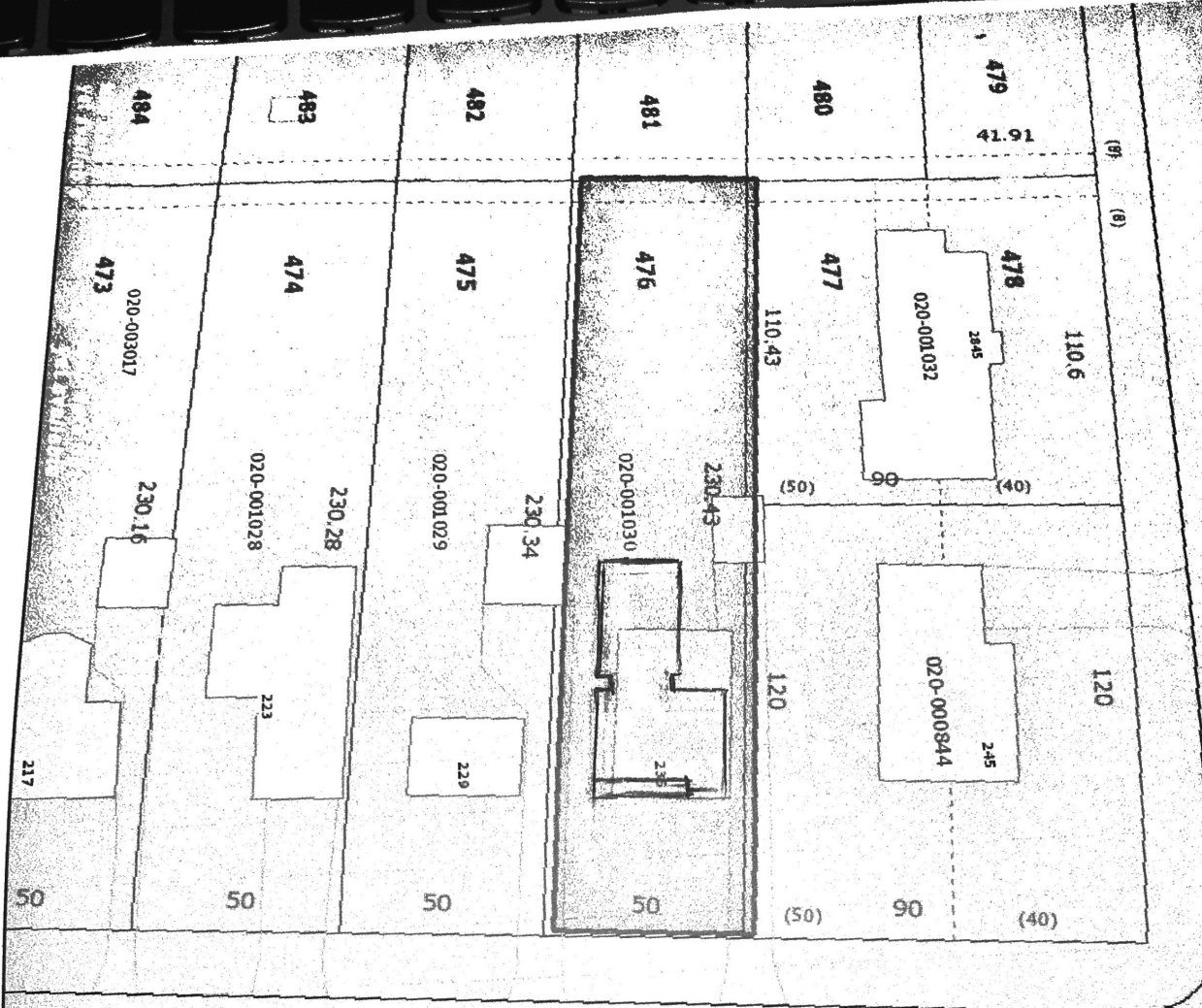
no

7. Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

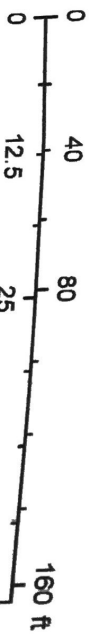
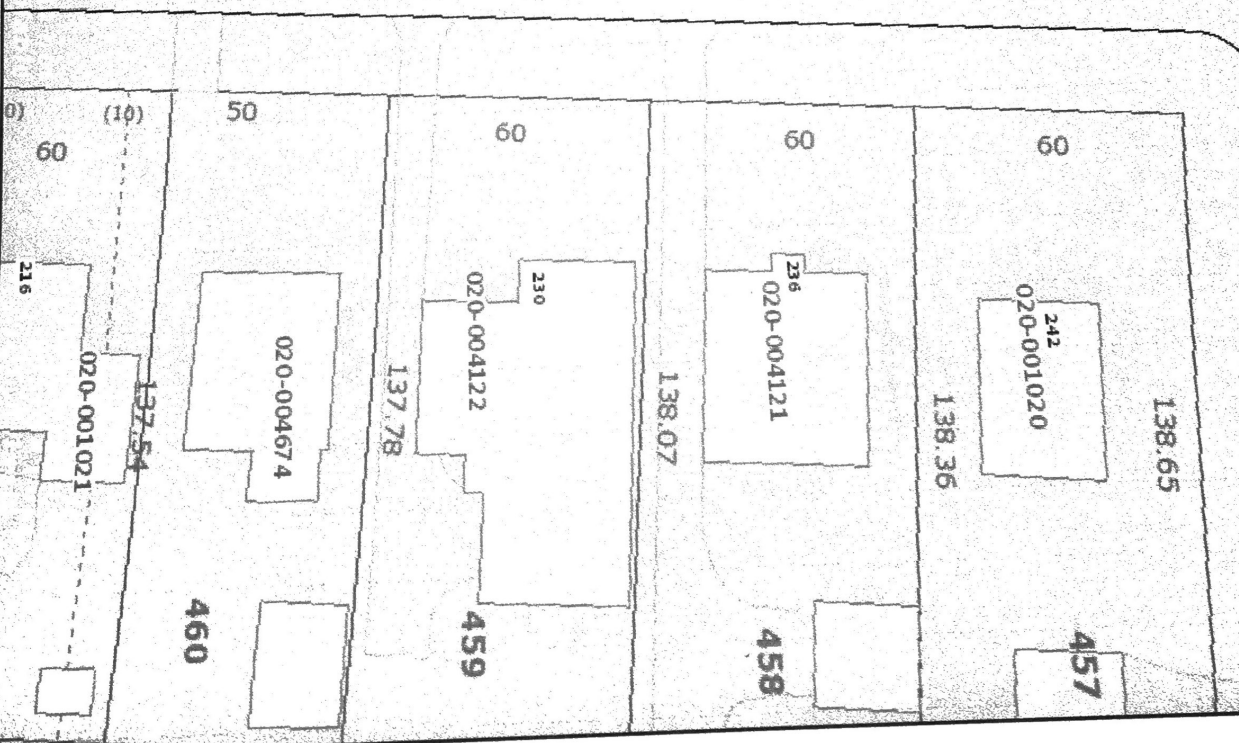
yes

020N010

MARYLAND AVE



N ROOSEVELT AVE



1:623

50.00'

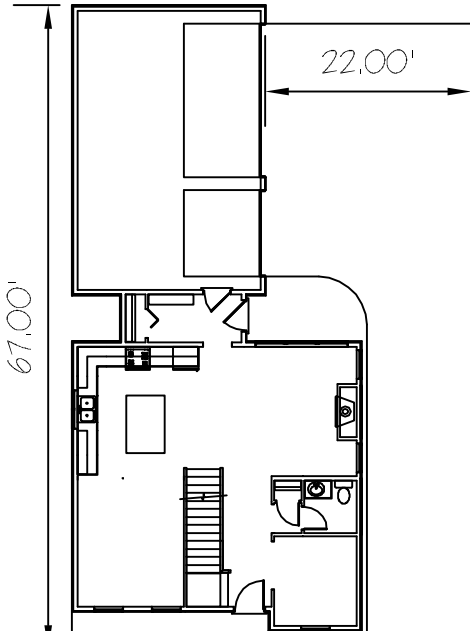
230.00'

230.00'



EXIST'G TREE

NEW RESIDENCE
TWO STORY
2448 SQFT



22.00'

67.00'

36' B/L

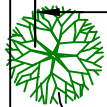
8.00'

30.00'

12.00'

36' B/L

36.00'



EXIST'G TREE

11'-0" DRIVE

50.00'

SITE PLAN

1"=20'-0"

235 Roosevelt

BECAUSE WE ARE CONSTANTLY IMPROVING OUR PRODUCT, WE RESERVE TO REVISE, CHANGE AND OR SUBSTITUTE PRODUCTS FEATURES, DIMENSIONS, SPECIFICATIONS, ARCHITECTURAL DETAILS AND DESIGN WITHOUT NOTICE. THIS BROCHURE IS FOR ILLUSTRATION PURPOSES ONLY AND IS NOT PART OF A LEGAL CONTRACT. PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE ROOM DIMENSIONS ARE APPROXIMATE. UNPUBLISHED WORK © CHATEAUX DESIGNS 2010

House Plans by
Chateaux
Designs

Chateaux Designs 740-819-8206

Demolition 2017 Code

PART TWELVE. PLANNING AND ZONING CODE

- (c) In conducting its review, the Board shall examine and consider, but not necessarily be limited to, the following elements:
 - i. Architectural design, new or existing
 - ii. Exterior materials, texture and color
 - iii. Exterior details
 - iv. Height and building mass
 - v. Preservation of existing trees and significant landscape features
- (d) The Board in the performance of these duties shall from time to time adopt and publish design guidelines; provided, however, that any such guidelines shall be subject to review and approval by Council.

1223.05

DEMOLITION OR REMOVAL OF EXISTING STRUCTURES.

Recognizing the need to balance the benefits of preserving the City's existing quality and character against the benefits of responsible renewal and redevelopment of the City's aging housing stock, the Architectural Review Board is charged with reviewing all applications for Certificates of Appropriateness where any demolition, complete or partial, is requested within the R-1, R-2, R-3, R-6, R-12, or PUR districts.

- (a) No primary building or structure or significant accessory structure such as a carriage house shall be demolished, partially demolished or removed until an application with respect to such demolition or removal has been submitted to and reviewed by the Board, and the Board has issued a Certificate of Appropriateness, except when demolition is determined by the Building Department to be required to abate a nuisance or eliminate an unsafe building as defined in Section 1476.01 of the Building and Housing Code.
- (b) Application for Demolition. The application shall include the following:
 - (1) A statement from the applicant as to whether such structure is, or is not, historically or architecturally significant and worthy of preservation, together with relevant supporting information;
 - i. In the case of a structure which is historically or architecturally significant and worthy of preservation, the reasons for the proposed demolition, including proof of substantial economic hardship or unusual and compelling circumstances.
 - (2) A definite plan for reuse of the site, including proposed replacement structures, a time schedule for the replacement project, and an assessment of the effect of the demolition and proposed replacement project on the subject property and the neighborhood.
- (c) Process for Review. The Board, in deciding whether to issue a certificate of appropriateness approving the demolition or removal of an existing building or structure, shall determine the following:
 - (1) That the structure to be demolished or removed is not historically or architecturally significant and worthy of preservation or;
 - (2) If it is historically or architecturally significant and worthy of preservation, that denial of a certificate of appropriateness would cause:
 - i. A substantial economic hardship, or;
 - ii. That demolition is justified by the existence of unusual and compelling circumstances.
 - (3) The Board may request and consider concerning the proposed demolition:

NOT HISTORICAL

NO ONE OF SIGNIFICANCE HAS LIVE THERE.

PART TWELVE. PLANNING AND ZONING CODE

(d) Criteria to determine preservation significance. The following criteria shall be used by the Board in determining whether a structure is historically or culturally significant and worthy of preservation:

1940
BLOCK
DETERIORATING
CABIN

- (1) The age and condition of the structure.
- (2) The quality of the structure's architectural design, detail, use of materials or construction.
- (3) The importance of the structure to the character and quality of the neighborhood.
- (4) The significance of the design or style of the structure to the historical, architectural or cultural development of the City, central Ohio, the State or nation; or
- (5) The impact on the City's real property tax base of restoration versus replacement and/or removal.

IMPROVED
TAXES

(e) Criteria to determine substantial economic hardship. The following criteria shall be used by the Board in determining whether denial of a certificate of appropriateness would cause a substantial economic hardship:

N/A

- (1) Denial of a certificate will result in a substantial reduction in the economic value of the property.
- (2) Denial of a certificate will result in a substantial economic burden because the structure cannot be maintained in its current form at a reasonable cost.
- (3) Denial of a certificate will result in a substantial economic burden because the cost of preserving or restoring the structure will impose an unreasonable financial burden.

(f) Criteria to determine unusual and compelling circumstances: The following criteria shall be used by the Board in determining whether the certificate is justified by the existence of unusual or compelling circumstances:

BLOCK

- (1) The preservation or restoration of the structure is not structurally feasible.
- (2) The proposed replacement plan is superior to retention of the existing structure.
- (3) The proposed replacement plan is more compatible than the existing structure with existing structures and uses within the portion of the District in which the subject property is located.
- (4) Demolition is required to eliminate a condition which has a materially adverse effect on adjoining properties or the neighborhood, and demolition is consistent with the purposes of this chapter.

1223.06

MEMBERSHIP, TERM AND ORGANIZATION

- (b) The Architectural Review Board shall consist of five (5) regular members and up to three (3) alternate members consisting of electors of the City not holding other municipal office.
- (c) The members are to be appointed by the Mayor and approved by the majority of Council for terms of three (3) years each. Any vacancy during the term of a member shall be filled by an alternate member appointed by the mayor. Alternate members shall serve only during the absence of a regular Board member.
- (d) The Board shall designate a Secretary. The duties of the Secretary shall be as designated in the Rules and Regulations as adopted by the Board from time to time

1223.07

MEETINGS, HEARINGS AND PROCEDURES

- (a) Regular meetings of the Architectural Review Board may be held at the call of the

CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Demolition Worksheet

Background

Per Bexley Codified Ordinance, demolition of a residence which is determined to be historically or architecturally significant and worthy of preservation is prohibited in the absence of economic hardship or the existence of unusual and compelling circumstances. Please fill out this worksheet to aid in the determination of eligibility of your property for demolition.

Process for Review

The Board, in deciding whether to issue a certificate of appropriateness approving the demolition or removal of an existing building or structure, shall determine the following:

1. That the structure to be demolished or removed is not historically or architecturally significant and worthy of preservation or;
2. If it is historically or architecturally significant and worthy of preservation, that denial of a certificate of appropriateness would cause:
 - i. A substantial economic hardship, or;
 - ii. That demolition is justified by the existence of unusual and compelling circumstances.
3. The Board may request and consider, among other evidence, a report concerning the proposed demolition and existing structure from a registered architect, historical conservator or other person with appropriate preservation experience.

Worksheet: Historical & Architectural Significance

1. Is your property historically significant? Please attached supporting documentation. Recommended sources include ownership records, a letter from the Bexley Historical Society, etc. Yes No
2. Is your property architecturally significant? Please attached supporting documentation. Recommended sources include a letter of opinion from an architect or expert with historical preservation expertise. Yes No
3. If you answered "yes" to either question #1 or #2, please describe any economic hardship that results from being unable to demolish the primary residence, and attach any supporting evidence.
4. If you answered "yes" to either question #1 or #2, please describe any other unusual or compelling circumstances that require the demolition of the primary residence, and attach any supporting evidence.

Worksheet: Replacement Plan Details

1. Please provide a definite plan for reuse of the site, including proposed replacement structures, by completing Worksheets B & C and any other pertinent worksheets, along with required exhibits.
2. Provide a narrative time schedule for the replacement project below.

Demolition will begin on 1/20/2020 (upon board approval). New build will commence shortly after and complete within approximately 240 days.

3. Please provide a narrative of what impact the proposed replacement project will have on the subject property and the neighborhood.

We believe demolition of the existing house at 235 N. Roosevelt is justified for the following reasons: 1) Materials & details are not equal in quality to other homes on the street. 2) It is small for the generous property, not equal in scale to other homes on similar sites. 3) The condition of the interior & exterior are deteriorated requiring extensive repair. 4) The home is functionally obsolete & would be virtually impossible to bring up to current residential standards due to the cinder block construction & unusable foundation.

November 3, 2019

To Whom It May Concern:

I am the owner of 235 N. Roosevelt Avenue, Bexley, Ohio. I am currently in contract with Bryan Meade of Brynwood Builders to purchase this property. This purchase agreement is contingent upon approval of his plans by the City of Bexley. As such, I give him my approval to submit any and all documents related to the property to gain approval for his plans.

Sincerely,

A handwritten signature in cursive script that reads "Anna Cline". The signature is written in black ink and is positioned to the right of the word "Sincerely,".

Anna Cline

Managing Partner
CZ Capital Group

November 3, 2019

To Whom It May Concern:

I am the owner of 235 N. Roosevelt Avenue, Bexley, Ohio. I bought this property in August of 2018 with the intentions of building a two-story addition on to the small ranch house. I wanted to make this 1100 ft², 2 bedroom, one bathroom house into a more family friendly 2500 ft², 3 bedroom, 2.5 bath house.

After purchasing the property and consulting with three different contractors, I discovered that the current house cannot support a two story addition. After learning this, I adjusted my thoughts and pursued adding on to the current house to make a larger ranch style house. I consulted an architect, but discovered more limiting factors for a ranch. With the size and dimensions of the lot, the ranch I could build was long and narrow. It looked more like a mobile home than the beautiful ranches currently seen in Bexley.

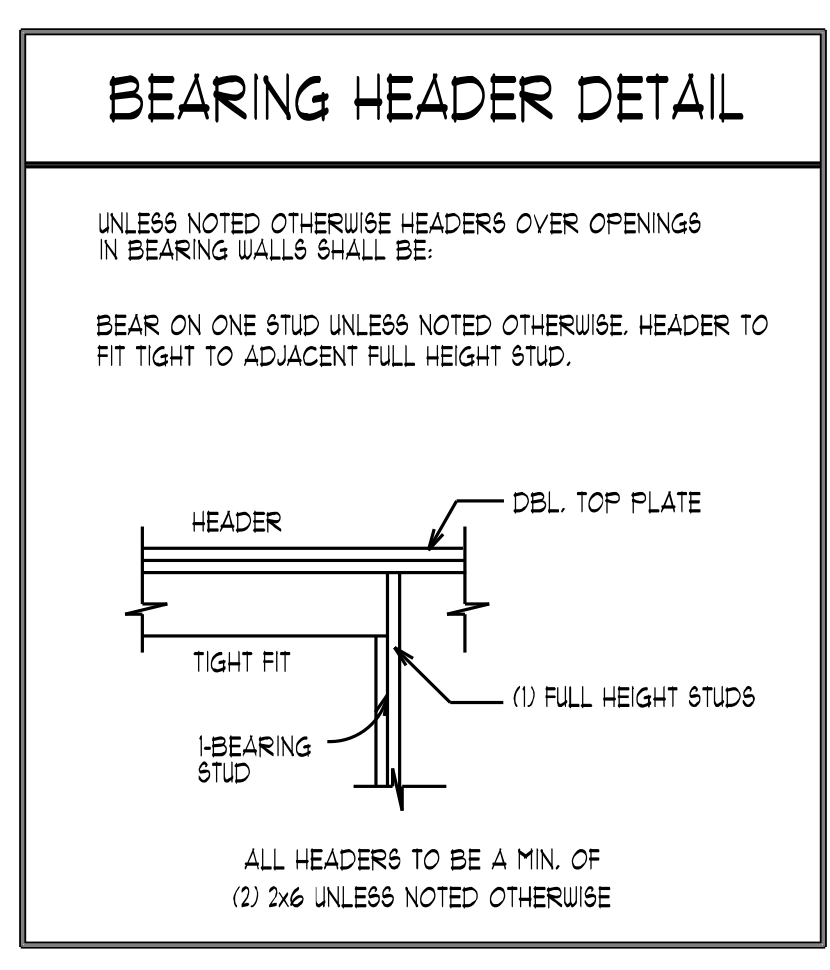
I consulted three different contractors trying to get my original plans of a two-story addition built. The problems I repeatedly ran into were problems with the foundation, roof, and cinder block walls. The foundation of the house is built from untreated wood floor joists laid directly on the dirt with concrete poured in between the joists. (see attached pictures) I have been told by three contractors that this type of foundation will not support a second story.

I have tried for over a year to work with the existing house, but I am unable to. I have entered into a purchase agreement with Bryan Meade of Brynwood Builders. He has experience building in Bexley and also wants to make this house into something more suitable to the neighborhood. A contingency of our purchase agreement is approval of demolition of the house. He has, with my permission, submitted all the necessary paperwork to apply for a demolition permit. I am writing to request that he be granted a demolition permit for this house. After consulting multiple contractors, it has become clear that demolition is the only way to bring this house, that is currently by far the smallest house on the block and an eye sore for the neighborhood, up to the same quality and charm of the neighborhood.

Sincerely,



Anna Cline
Managing Partner
CZ Capital Group



SHEAR WALL / BRACING CODED NOTES:

A	CS-WSP SHALL BE AS FOLLOWS: 1. WALL LENGTH + 4'-0" EVERY 20'-0" SECT. 2. 7/16" OSB 3. 6' O.C. EDGE NAILING 4. 12" O.C. FIELD NAILING 5. WALL PANEL SOLE PLATE (3) 16D NAILS 16" O.C.
B	CS-PF SHALL BE AS FOLLOWS 1. SEE DETAIL SHEET # 3-1

HEADER NOTE:

1. ALL BEARING HEADERS TO BE (3) 2x6 SYP #2 UNLESS NOTED OTHERWISE

2. ALL OPENINGS GREATER THAN 1'-0" REQUIRE (2) KING STUDS FIRST FLOOR ONLY.

GENERAL WALL NOTE:

2x6 EXTERIOR WALLS UNLESS NOTED OTHERWISE

2x4 INTERIOR WALLS UNLESS NOTED OTHERWISE

8'-0" FOUNDATION WALL UNLESS NOTED OTHERWISE

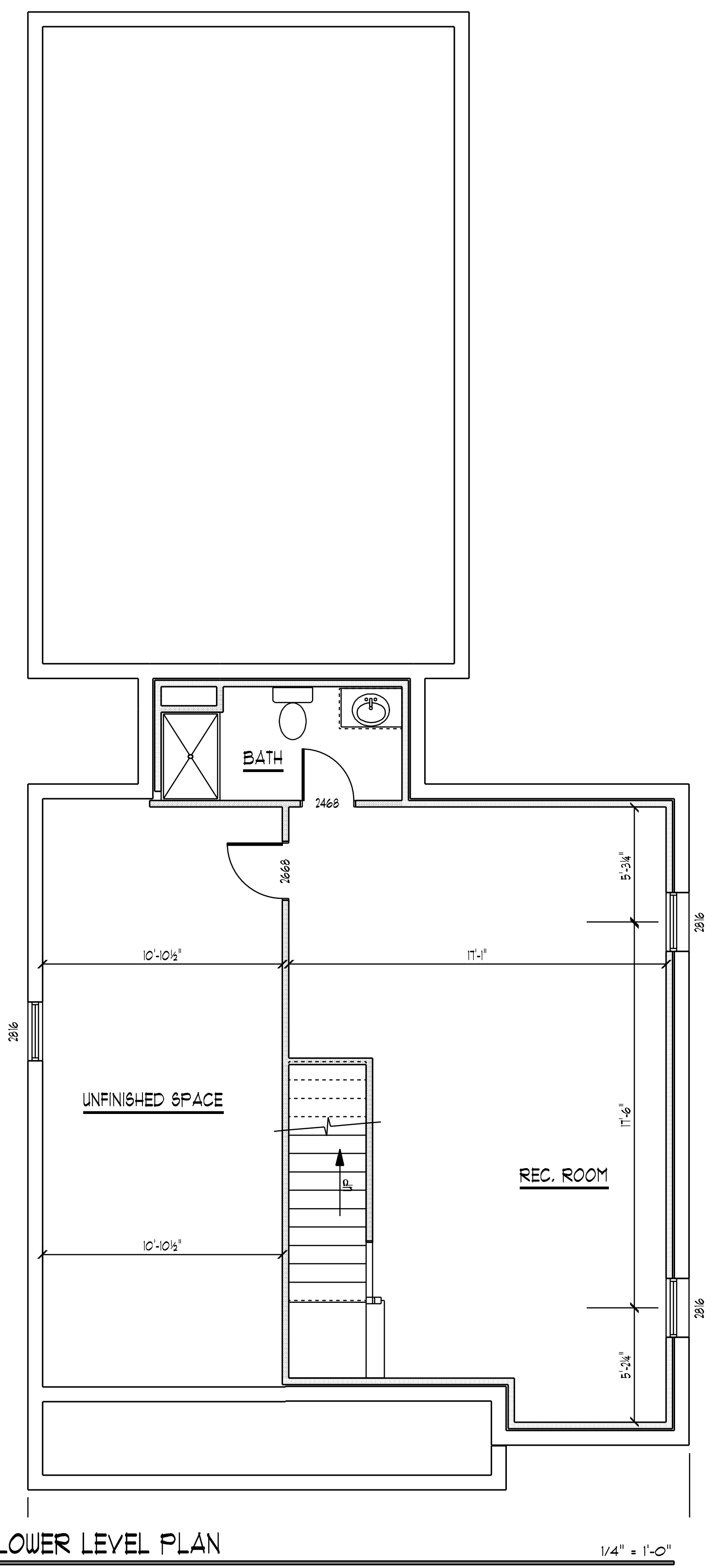
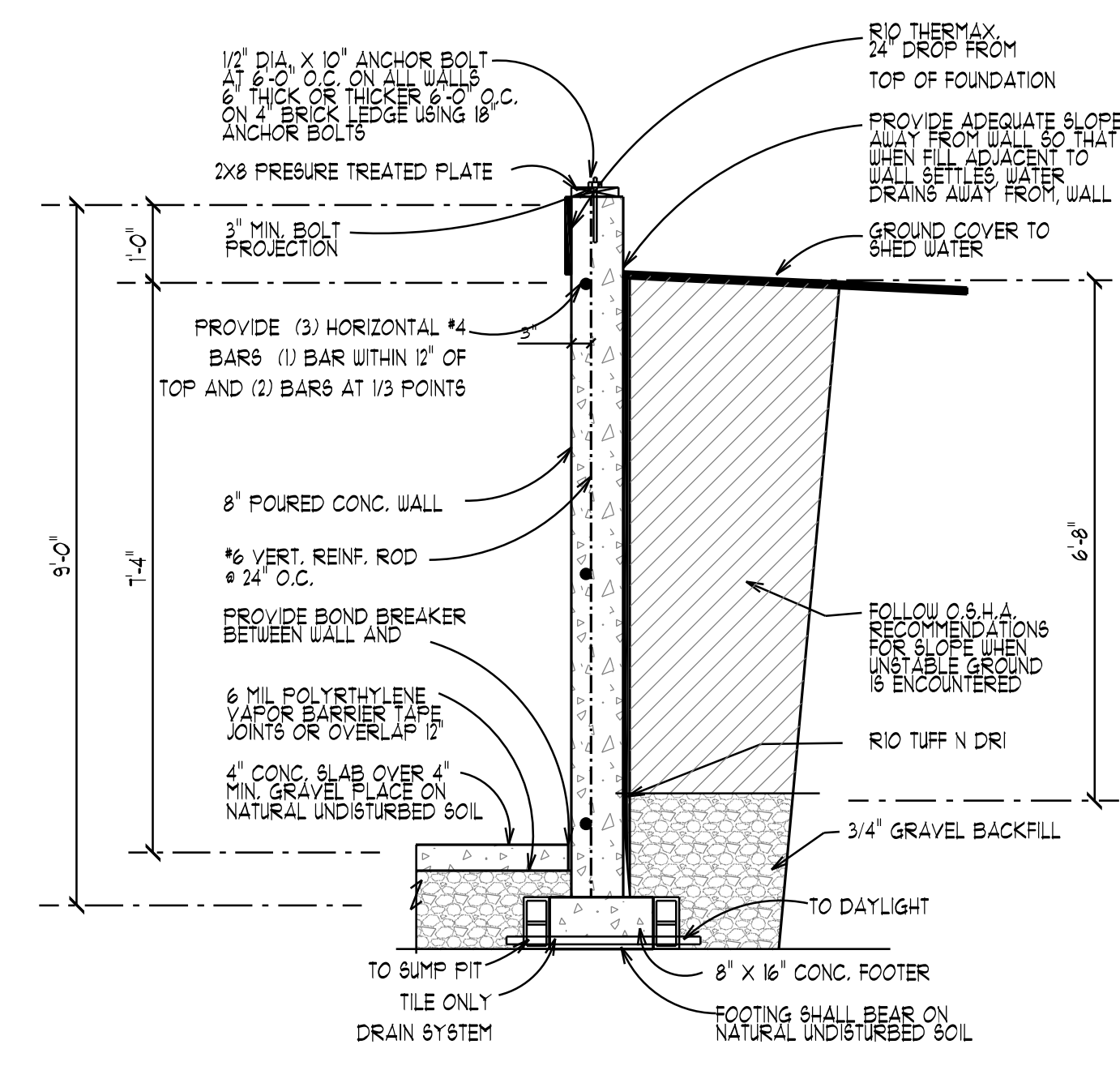
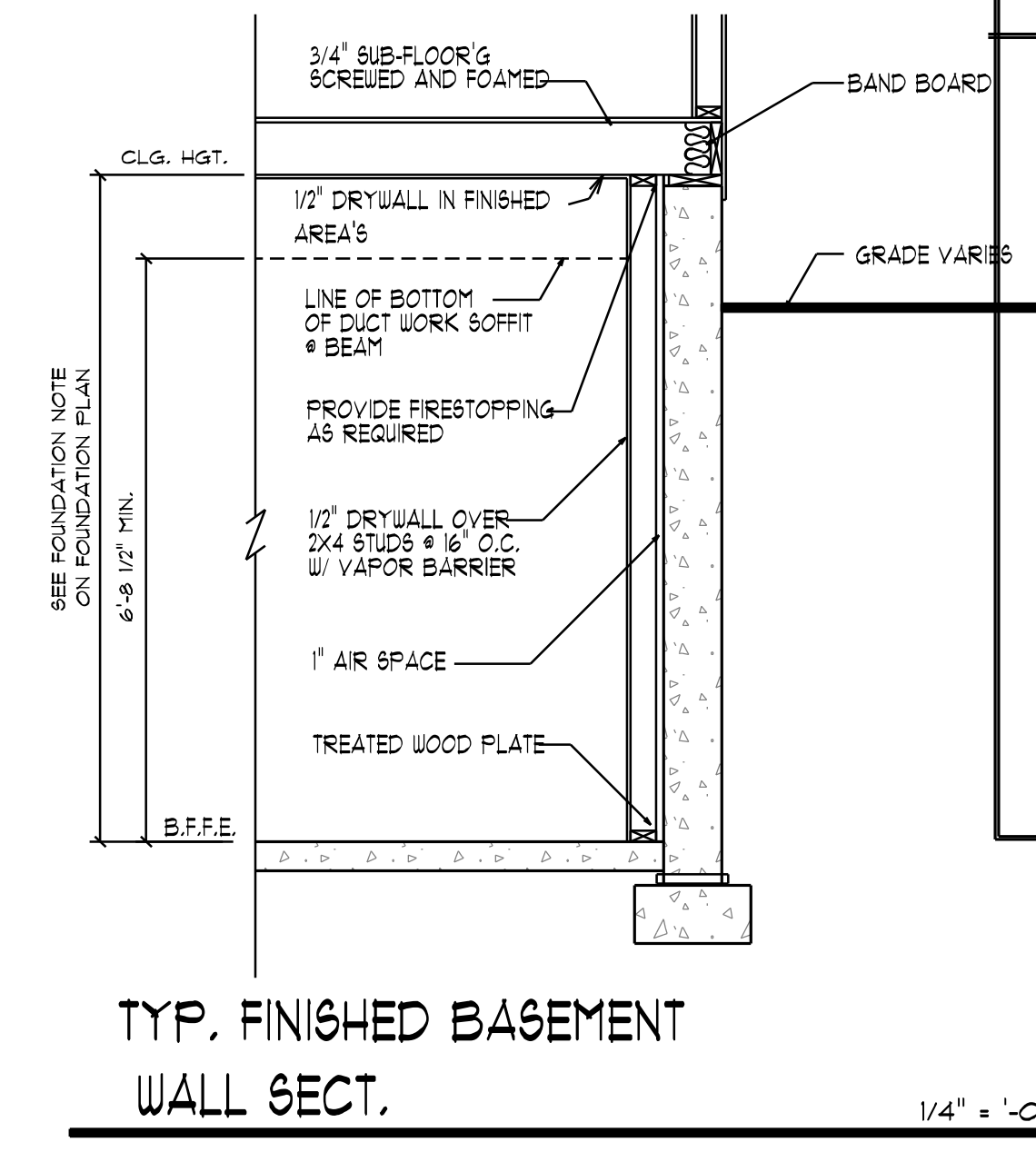
8'-1" PLATE HGT. FIRST FLOOR WALLS UNLESS NOTED OTHERWISE

10'-1" PLATE HGT. GARAGE WALL UNLESS NOTED OTHERWISE

8'-1" PLATE HGT. SECOND FLOOR WALLS UNLESS NOTED OTHERWISE

WINDOW HEADER HGT. TO MATCH DOOR HGT. UNLESS NOTED OTHERWISE.

WINDOW AND DOOR STYLES PER SPEC.



New Residence
235 Roosevelt
Bexley, Ohio
Brynwood Homes

© COPYRIGHT 2019

ALL DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF CHATEAUX DESIGNS AND MAY NOT BE USED, DUPLICATED OR ALTERED WITHOUT THE WRITTEN CONSENT OF CHATEAUX DESIGNS

DISCLAIMER NOTE:
WHOM EVER USES THESE PLANS AGREE TO THE FOLLOWING:
MY DESIGNER HOMES WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS.
OWNER OR BUILDER MUST COMPLY WITH ALL LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF ANY WORK.

DATE: 10-14-2019
REVISED:

SHEET #

PRELIMINARY
ONLY FOR REVIEW BY HOME OWNER.
NOT THE FINISHED PRODUCT.

ESTIMATING
COMPARE PRICES FOR CONSTRUCTION

CONSTRUCTION
FOR BUILDING PURPOSES

New Residence
235 Roosevelt
Bexley, Ohio
Brynmood Homes

© COPYRIGHT 2019

ALL DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF CHATEAUX DESIGNS AND MAY NOT BE USED, DUPLICATED OR ALTERED WITHOUT THE WRITTEN CONSENT OF CHATEAUX DESIGNS

DISCLAIMER NOTE:
WHOM EVER USES THESE PLANS AGREE TO THE FOLLOWING:
MY DESIGNER HOMES WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEPENDENCIES ON THESE PLANS.

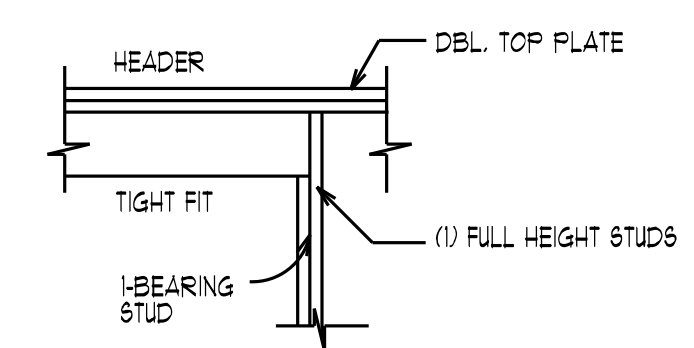
OWNER OR BUILDER MUST COMPLY WITH ALL LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF ANY WORK.

DATE: 10-14-2019
REVISED:

BEARING HEADER DETAIL

UNLESS NOTED OTHERWISE HEADERS OVER OPENINGS IN BEARING WALLS SHALL BE:

BEAR ON ONE STUD UNLESS NOTED OTHERWISE. HEADER TO FIT TIGHT TO ADJACENT FULL HEIGHT STUD.



ALL HEADERS TO BE A MIN. OF
(1) 2x6 UNLESS NOTED OTHERWISE

GENERAL WALL NOTE:

- 2x6 EXTERIOR WALLS UNLESS NOTED OTHERWISE
- 2x4 INTERIOR WALLS UNLESS NOTED OTHERWISE
- 9'-0" FOUNDATION WALL UNLESS NOTED OTHERWISE
- 9'-1" PLATE HGT. FIRST FLOOR WALLS UNLESS NOTED OTHERWISE
- 10'-1" PLATE HGT. GARAGE WALL UNLESS NOTED OTHERWISE
- 8'-4" PLATE HGT. SECOND FLOOR WALLS UNLESS NOTED OTHERWISE
- WINDOW HEADER HGT. TO MATCH DOOR HGT. UNLESS NOTED OTHERWISE.
- WINDOW AND DOOR STYLES PER SPEC.

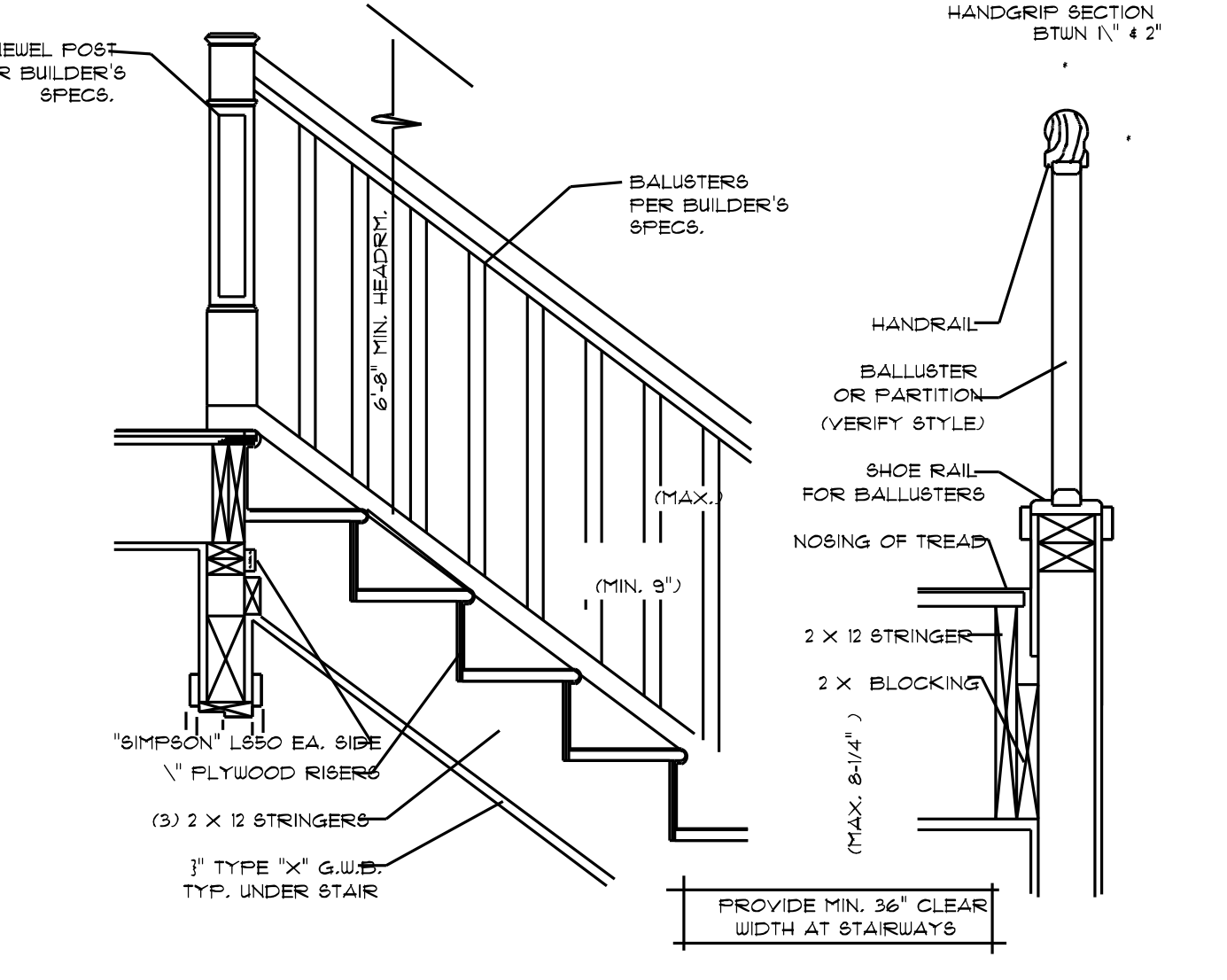
HEADER NOTE:
1. ALL BEARING HEADERS TO BE (3) 2x6 SYP #2 UNLESS NOTED OTHERWISE
2. ALL OPENINGS GREATER THAN 1'-0" REQUIRE (2) KING STUDS FIRST FLOOR ONLY.

SHEAR WALL / BRACING CODED NOTES:

- (A) CS-WSP SHALL BE AS FOLLOWS:
1. WALL LENGTH = 4'-0" EVERY 20'-0" SECT.
 2. 7/16" OSB
 3. 6' O.C. EDGE NAILING
 4. 12" O.C. FIELD NAILING
 5. WALL PANEL SOLE PLATE (3) 1/2" NAILS 16" O.C.
- (B) CS-PF SHALL BE AS FOLLOWS
1. SEE DETAIL SHEET # 3-1

BUILDING SQFT

LOWER LEVEL: 528 SQFT
FIRST FLOOR: 924 SQFT
SECOND FLOOR: 1524 SQFT

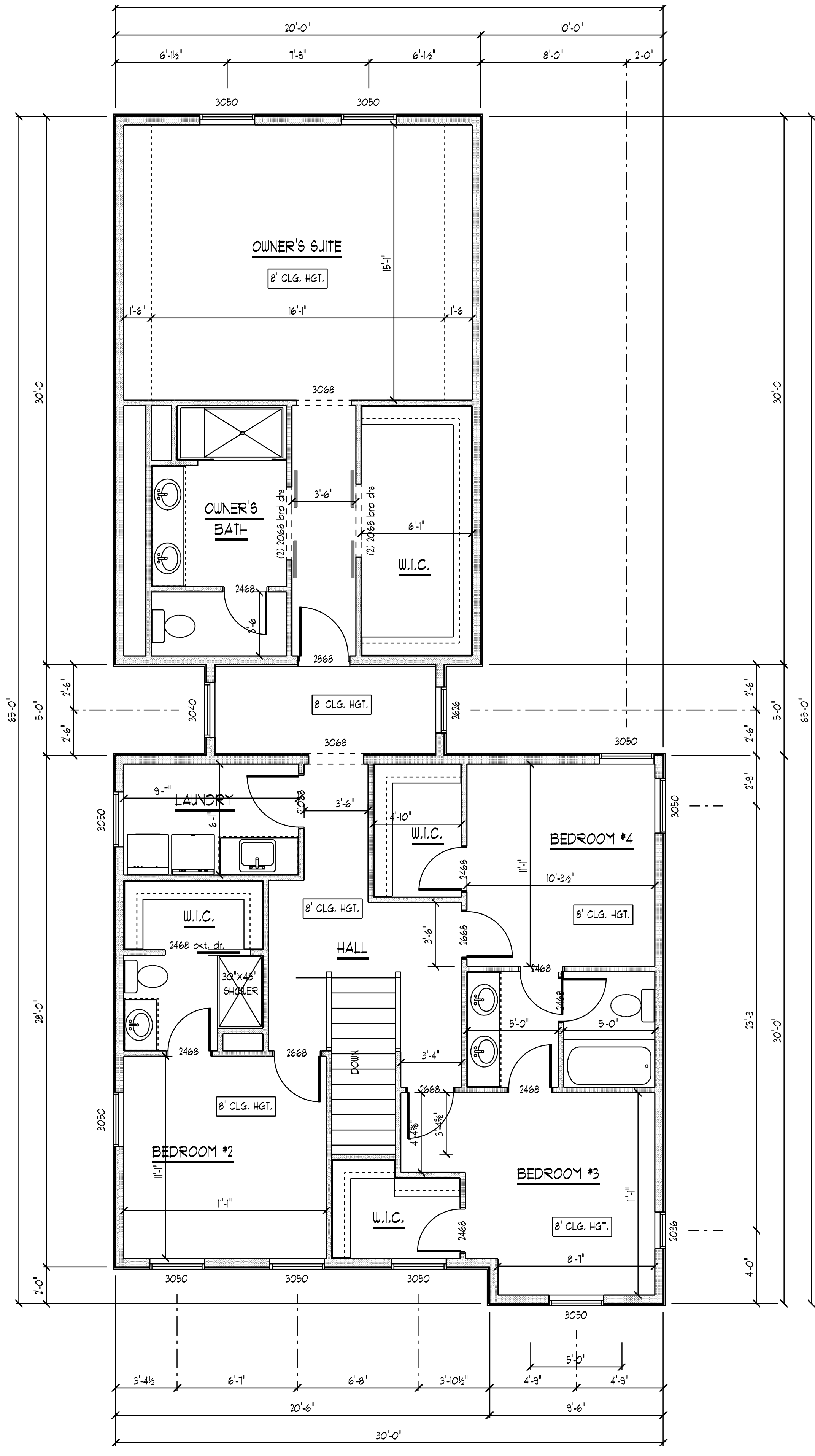


TYP. STAIR DETAIL

NO SCALE

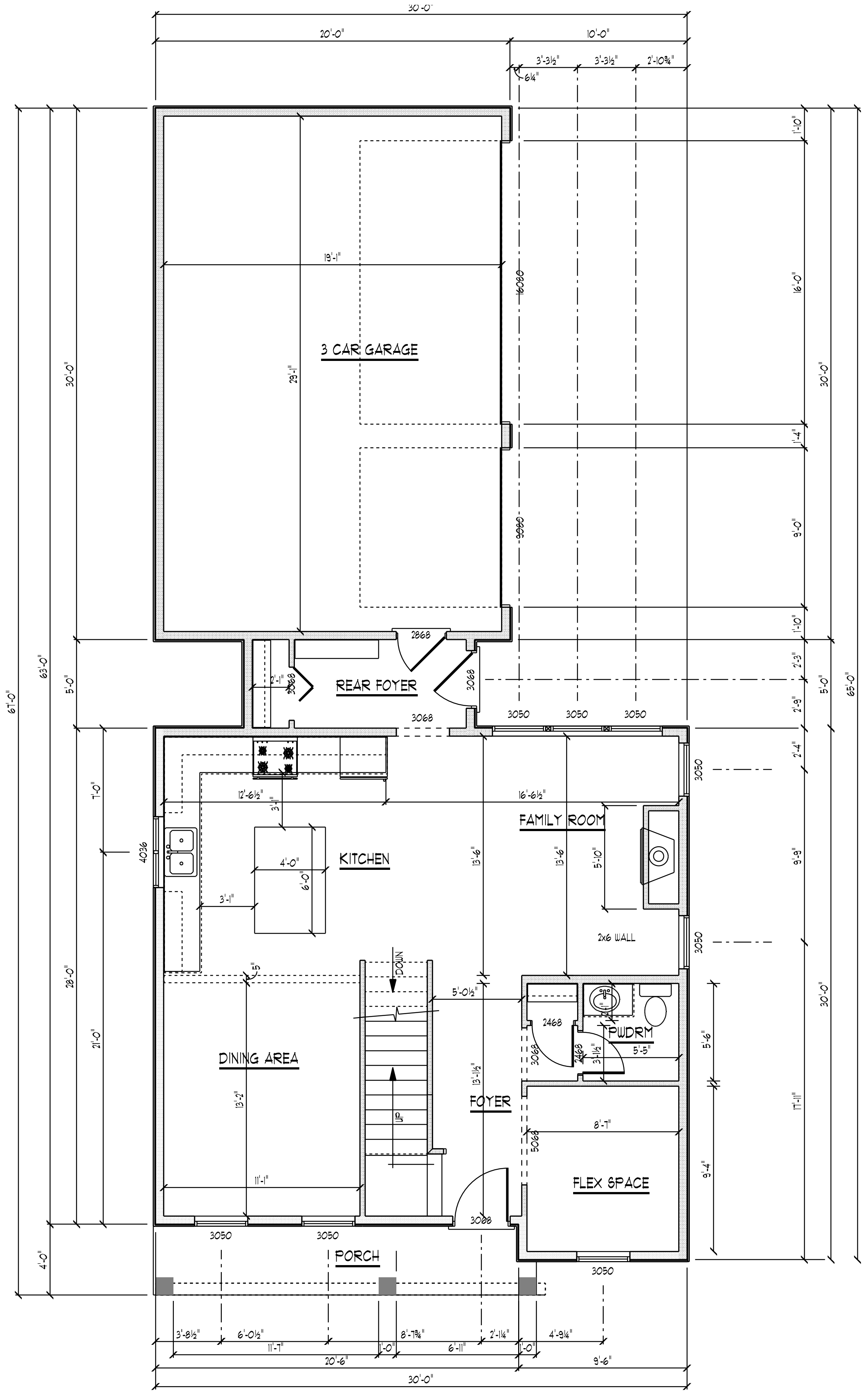
STAIR DATA

1. MINIMUM TREAD DEPTH: 9"
2. MINIMUM NOBING PROJECTION: 1"
3. MAXIMUM RISER HEIGHT: 8-1/4"
4. MAXIMUM VARIANCE IN RISER HEIGHT: 3/8"
5. MINIMUM HEADROOM HEIGHT AT STAIR ANGLE: 6'-8"
6. MINIMUM / MAXIMUM HANDRAIL HEIGHT: 3'-4" / 3'-8"
7. MINIMUM GUARDRAIL HEIGHT: 36"
8. MAXIMUM BALUSTER SPACING (CLEAR OPG): 4"
9. MINIMUM STAIR WIDTH EXCLUDING WALL HANDRAIL: 3'-0" MIN. (SEE PLAN)



SECOND FLOOR PLAN

1/4" = 1'-0"



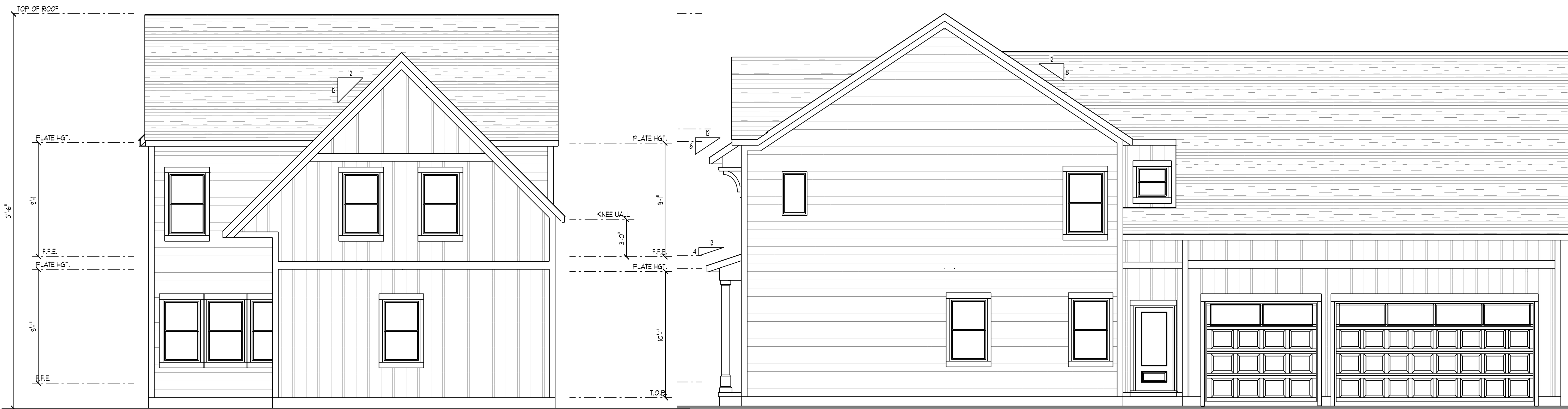
FIRST FLOOR PLAN

1/4" = 1'-0"

PRELIMINARY
ONLY FOR REVIEW BY HOME OWNER.
NOT THE FINISHED PRODUCT.

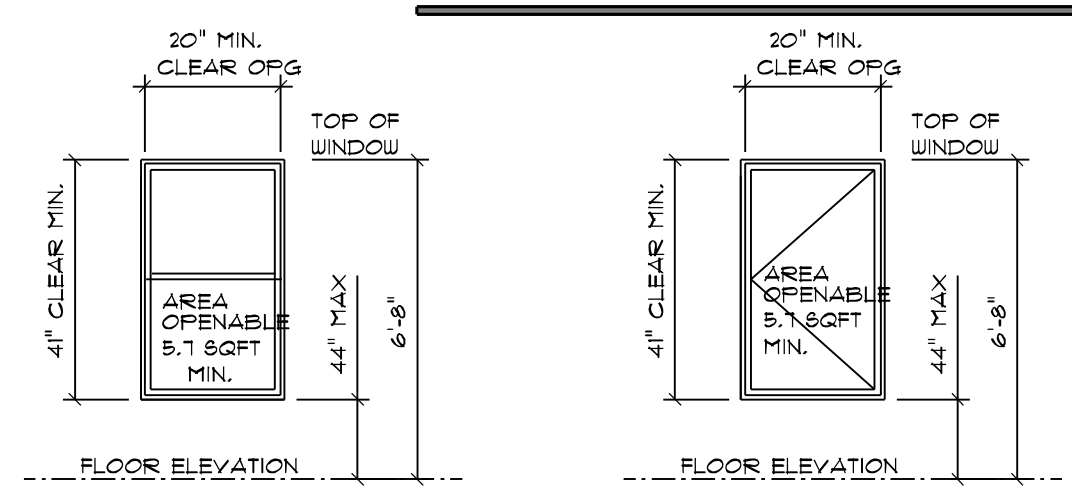
ESTIMATING
COMPARE PRICES FOR CONSTRUCTION

CONSTRUCTION
FOR BUILDING PURPOSES



REAR ELEVATION

RIGHT ELEVATION



THE DIMENSIONING CRITERIA OF THE OPENING PERMIT FIRE SERVICE PERSONNEL WITH AIR PACKS TO ENTER, AS WELL AS OCCUPANTS TO ESCAPE. THE NET CLEAR OPENING AREA AND MINIMUM DIMENSIONS ASSUME THAT THE WINDOW IS OPENED TO ITS FULLEST NATURAL EXTENT WITHOUT THE NEED FOR DISASSEMBLY OR DESTRUCTION OF THE UNIT.

EGRESS WINDOW DETAIL

EXTERIOR ELEVATION NOTES			
	HORIZ. SIDING PER SPECS.	GARAGE DOOR:	16'-0" X 8'-0" STEEL RASIED PANEL INSL. OVERHEAD DR.
	BOARD & BATTON PER SPECS.		9'-0" X 8'-0" STEEL RASIED PANEL INSL. OVERHEAD DR.
	METAL ROOF PER. SPECS.	HEAD & TRIM:	AS NOTED PER DRAWING
	SHINGLES (30 yr. DIMENSIONAL SHINGLES)	PORCH POST:	SEE FLOOR PLAN FOR SIZE
EXTERIOR TRIM:	5/4" X 6" TRIM	RIDGE VENT:	CONT.
FASCIA:	5/4" X 6" WOOD	WINDOW TRIM:	5/4" X 6" TRIM
GUTTER:	5" OGEE ALUM		
SOFFIT:	ALUM (VENTED) PER SPECS.		
WINDOW TYPE:	VINYL (SIZES PER FLOOR PLANS)		



LEFT ELEVATION



FRONT ELEVATION

New Residence
235 Roosevelt
Bexley, Ohio
Brynmood Homes

© COPYRIGHT 2019
ALL DRAWINGS ARE AND SHALL REMAIN THE PROPERTY OF CHATEAUX DESIGNS AND MAY NOT BE USED, DUPLICATED OR ALTERED WITHOUT THE WRITTEN CONSENT OF CHATEAUX DESIGNS

DISCLAIMER NOTE:
WHOM EVER USES THESE PLANS AGREE TO THE FOLLOWING:
MY DESIGNER HOMES WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS.
OWNER OR BUILDER MUST COMPLY WITH ALL LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF ANY WORK.

DATE: 10-14-2019
REVISED:





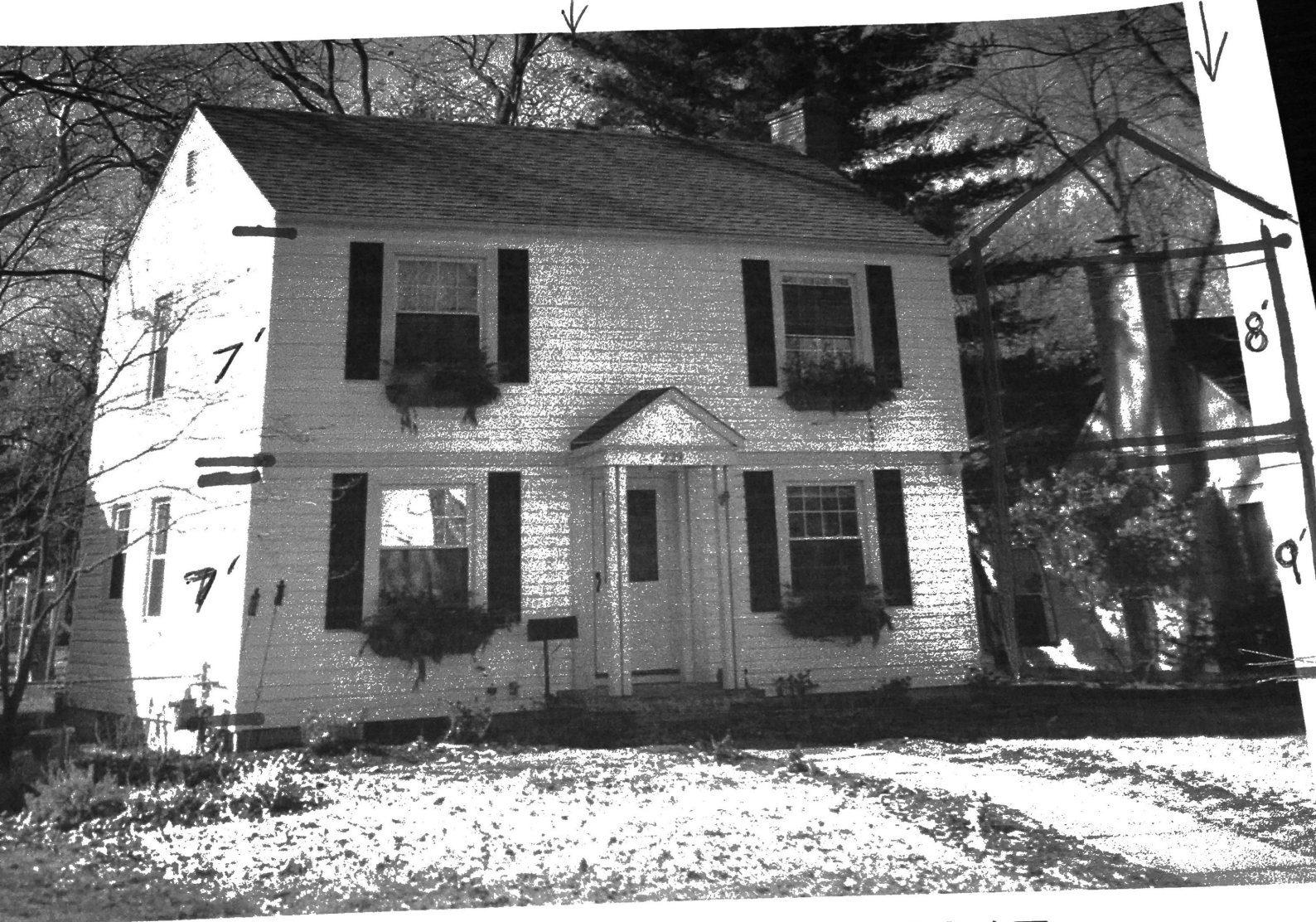




229



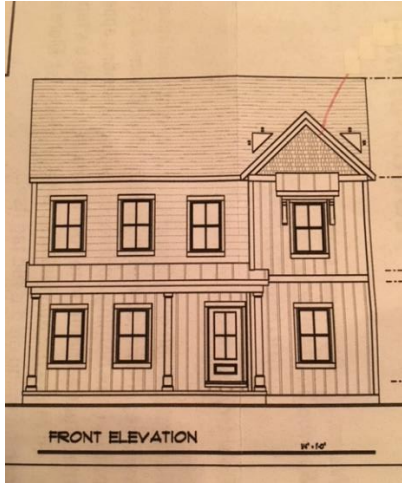
235



020-001029 02/17/2017



020-001029 02/17/2017





020-001028 02/17/2017



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, November 14, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Bexley Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, December 5, 2019 at 6:00 PM.**, in City Council Chambers, Bexley City Hall, 2242 East main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: BZAP-19-15

Applicant: John Spiropoulos

Owner: Same

Location: 902 S. Cassingham

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a new detached garage.




BZAP: The applicant is seeking architectural review and approval to allow a new 26'x 28' detached garage. The applicant is also seeking a variance from Bexley Code Section 1252.15(a) which limits an accessory structure to no greater than thirty-five (35%) of the building footprint of the principal structure or 624 square feet, to allow the proposed garage to be 728sq'. The applicant is also seeking a variance from Bexley code section 1252.09 (R-6 Zoning) which limits building lot coverage to 35%, to allow a 26' x 28' garage, which would bring the total building lot coverage to be 39%. The applicant is also seeking a variance from Bexley Code Section 1252.15, which indicates no story in an accessory structure shall exceed 10', to allow the over height of the garage to be 23'

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 10-31-2019

***(BZAP)Board of Zoning & Planning
Application - Review of Variance
requests for Residential and
Commercial Development**

Applicant

 john spiropoulos
 6143709955
 john@hztrust.org

Location

902 S CASSINGHAM RD
Bexley, OH 43209

BZAP-19-15

Submitted On: Oct 08, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT.

New 2 car garage to replace original 1 car garage

Architecture Review

true

Conditional Use

--

Demolition

true

Planned Unit Dev

--

Rezoning

--

Variance or Special Permit

true

What requires Major Architectural Review

Height and square footage of new garage

What requires Minor Architectural Review**Major Architectural Review**

true

Minor Architectural Review

--

A.1: Attorney / Agent Information

Agent Name

n/a

Agent Address

--

Agent Email

--

Agent Phone

--

A.2: Fee Worksheet

Estimated Valuation of Project

--

Minor Architectural Review

--

Major Architectural Review

true

Variance Review

true

Variance Review Type

Others

Zoning

--

Zoning Review Type

Sign Review and Architectural Review for Commercial Projects

--

--

Review Type

Appeal of ARB decision to BZAP

Special Permit, Conditional Uses and All Others

--

Appeal of BZAP decision to City Council

--

B: Project Worksheet: Property Information**Occupancy Type****Zoning District**

Residential

R-6

Use Classification

R-6 (35% Building and 60% Overall)

B: Project Worksheet: Lot Info**Width (ft)****Depth (ft)**

48

135

Total Area (SF)

6480

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)****Proposed Addition (SF)**

985

0

Removing (SF)**Type of Structure**

0

House

Proposed New Primary Structure or Residence (SF)**Total Square Footage**

--

985

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)****Proposed Addition (SF)**

324

0

New Structure Type**Ridge Height**

Garage

23 ft

Proposed New Structure (SF)**Is there a 2nd Floor**

728

Yes

2nd Floor SF**Total of all garage and accessory structures (SF)**

728

1456

Total building lot coverage (SF)

1713

Total building lot coverage (% of lot)

26

Is this replacing an existing garage and/or accessory structure?

Yes

B: Project Worksheet: Hardscape**Existing Driveway (SF)**

776

Existing Patio (SF)

0

Existing Private Sidewalk (SF)

0

Proposed Additional Hardscape (SF)

0

Total Hardscape (SF)

776

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)**

2489

Total overall lot coverage (% of lot)

39

C.1 Architectural Review Worksheet: Roofing**Roofing**

true

Structure

Garage Only

Existing Roof Type

--

New Roof Type

--

New Single Manufacturer

--

New Roof Style and Color

to match style/color of main house

C.1 Architectural Review Worksheet: Windows**Windows**

true

Structure

Garage Only

Existing Window Type

--

Existing Window Materials

--

New Window Manufacturer

--

New Window Style/Mat./Color

to complement style of house

C.1 Architectural Review Worksheet: Doors**Doors**

true

Structure

Garage Only

Existing Entrance Door Type

--

Door Finish

--

Proposed Door Style

to complement style of house

Existing Garage Door Type

--

Proposed Door Type

--

Proposed Door Color

--

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Existing Door Trim

--

Proposed New Door Trim

to complement style of house

Existing Window Trim

--

Proposed New Window Trim

to complement style of house

Trim Color(s)

--

Do the proposed changes affect the overhangs?

--

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

true

Existing Finishes

--

Existing Finishes Manufacturer, Style, Color

--

Proposed Finishes

--

Proposed Finishes Manufacturer, Style, Color

to complement style/color of house

D: Tree & Public Gardens Commission Worksheet

Type of Landscape Project

--

Landscape Architect/Designer

--

Architect/Designer Phone

--

Architect/Designer E-mail

--

Project Description

--

I have read and understand the above criteria

--

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

E.1 Variance Worksheet

Description of the Proposed Variance. Please provide a thorough description of the variance being sought and the reason why.

Variance for Square Footage of 728 (vs 624) and Roof Height of 23' (vs 20') . This will allow for two vehicles and additional storage space. This enhancement will compensate for lack of storage space within the main structure.

1. Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

Yes. A new and improved garage will add modern functionality to the property as a whole, making it comparable to other updated properties in the area.

2. Is the variance substantial? Please describe.

No. The size and placement of the proposed garage works efficiently on this particular parcel, which incorporates a vacated alley. The scale/roof pitch matches that of the main structure, and the height is similar to other garages in the area.

3. Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

No. Much attention has been taken to improve functionality, aesthetics, and the preservation of existing accessibility for all adjacent properties.

E.2 Variance Worksheet

4. Would the variance adversely affect the delivery of governmental services (e.g. water, sewer, garbage)? Please describe.

No. The new garage will not interfere with utilities or city services.

5. Did the property owner purchase the property with the knowledge of zoning restriction? Please describe.

No. There were no plans to replace the garage when property was purchased 25 years ago.

6. Can the property owner's predicament feasibly be obviated through some method other than a variance? Please describe.

No. A modern garage of standard dimensions is essential for two automobiles and adequate storage of household items.

7. Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

Yes. The new garage will be a reasonable and impactful improvement over the existing structure. It will greatly enhance the layout of the property as a whole, while improving the visual and aesthetic qualities of the back area.

F.1 Fence Variance Worksheet

Lot Type

--

Narrative description of how you plan to meet the pertinent outlined variance criteria

--

F.1-F.2 Fence Variance Worksheet: Side and Rear Yard Restrictions for Corner Lots

1. Compatibility: Describe how the proposed side yard fence or wall exceeding forty-eight inches in height and on the street side of a corner lot compatible with other properties in the neighborhood?

--

2. Height: Please verify that the maximum height of such fence or wall shall not exceed seventy-two inches as measured from the average grade, as defined in Section 1230.06. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included within the seventy-two inch maximum height.

--

3. Transparency: Fences exceeding forty-eight inches in height should include transparency in the upper 12” to 18” of the fence through the use of latticework, pickets, or other appropriate design elements. Describe how you have satisfied this requirement.

--

4. Screening: A landscaping plan must be filed with the application for a special permit, indicating how such fencing or wall is to be screened from the street side elevation. The landscape plan should be designed in such a way as to mitigate the impact of a solid fence or wall as it relates to the street and other properties. Describe how the landscape plan addresses these items.

--

5. Visibility and Safety: The installation of such fence or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement. Please describe any visibility/safety concerns with your design.

--

6. Material Compatibility: No chain link, wire mesh or other similar material shall be installed on lot lines adjacent to public rights-of-way. Please verify that your design complies with this requirement.

--

7. Finished Side: Any fence or wall erected on a lot located at the intersection of two or more streets must have the finished and not the structural side facing the adjacent property, alley or street. Please verify that your design complies with this requirement.

--

F.3 Fence Variance Worksheet

Front Yard Restrictions

--

Fences Adjacent to Commercial Districts

--

Require Commercial Fences Adjacent to Residential Districts

--

F.3 Fence Variance Worksheet: Front Yard Restrictions

The proposed decorative landscape wall or fence is compatible with other properties in the neighborhood.

--

The height of the fence or wall does not exceed the size permitted as above when measured from the average grade of the yard where the fence or wall is to be installed. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included in the maximum height.

--

Posts, columns and finials may extend up to 6" above the maximum allowed height of the fence panels. CHAPTER 1264. FENCES AND WALLS City of Bexley Zoning Ordinance

A landscaping plan shall be filed with the application indicating how such fencing and/ or wall is to be integrated with existing front yard landscaping.

The installation of such fence and/or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement.

No chain link, wire mesh, concrete block or other similar type material shall be installed as a decorative landscape wall or fence.

The fence and/or wall shall have a minimum of 50% transparency.

That the lot exhibits unique characteristics that support the increase in fence height.

G. Demolition Worksheet

Is your property historically significant? Please attached supporting documentation. Recomend sources include ownership records, a letter from the Bexley Historical Society, etc.

Is your property architecturally significant? Please attached supporting documentation. Recomend sources include a letter of opinion from an architect or expert with historical preservation expertise.

No

No

If you answered "yes" to either of the above two questions, please describe any economic hardship that results from being unable to demolish the primary residence, and attach any supporting evidence.

If you answered "yes" to either of the above two questions, please describe any other unusual or compelling circumstances that require the demolition of the primary residence, and attach any supporting evidence.

I will provide a definite plan for reuse of the site, including proposed replacement structures, by completing Worksheets B & C and any other pertinent worksheets, along with required exhibits.

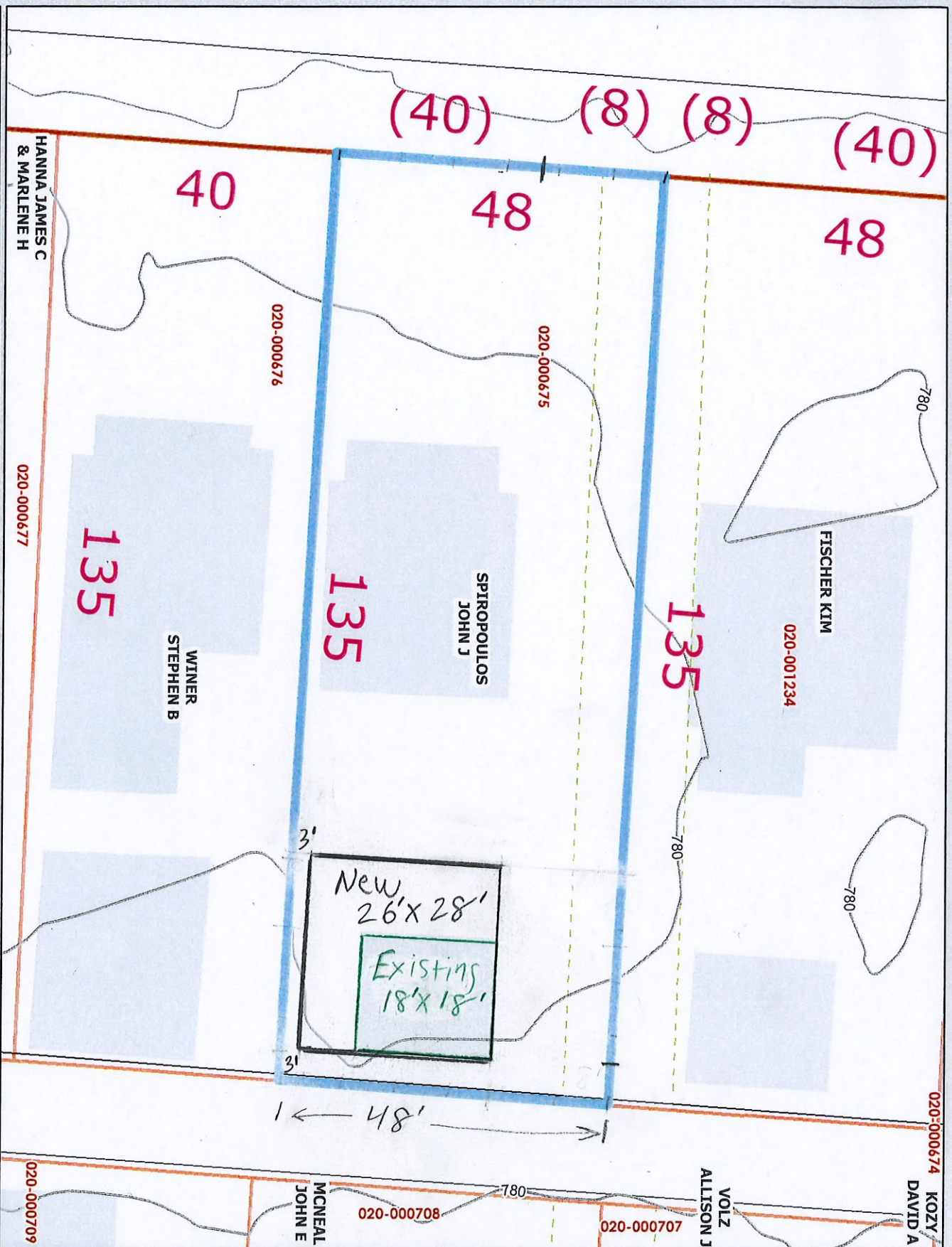
true

Provide a narrative time schedule for the replacement project

Contingent upon approval of variance request

Please provide a narrative of what impact the proposed replacement project will have on the subject property and the neighborhood.

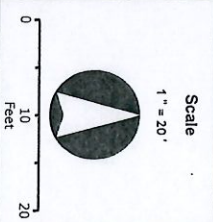
Existing garage is 90 years old and in very poor condition. The proposed replacement will be much more appropriate for modern needs.



FRANKLIN COUNTY AUDITOR
 MICHAEL STINZIANO
 PARCEL ID: 020-000675
 PRINTED: SEPTEMBER 6, 2019



Disclaimer:
 This map is prepared for the real property inventory within the county. It is compiled from record deeds, information sources should be considered for verification of the public primary information. The county and the mapping companies assume no legal responsibility for the information contained on this map. Please notify the Franklin GIS Division of any discrepancies.
 The data on this map was originally compiled at 1"=100' based on the Ohio State Plane State Coordinate System, North American Datum 1983 with 2 contours based on the North American Vertical Datum 1989 (when displayed).

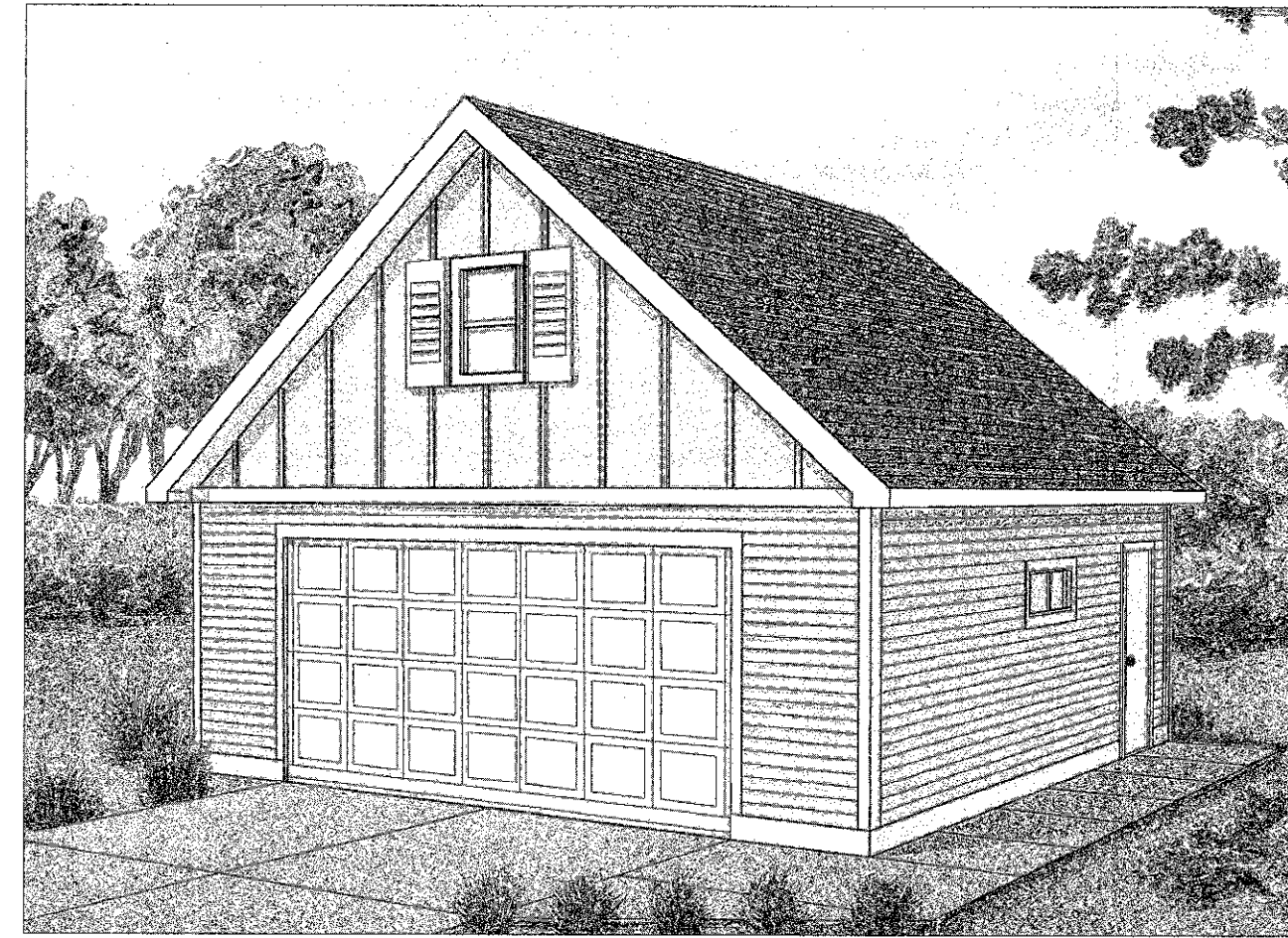


- Legends**
- Planimetric Legend**
 - Edge of Pavement
 - Roadway Centerlines
 - Railroad Centerlines
 - Building Footprints
 - Building Under Construction
 - Creeks, Streams, Ditches
 - Rivers & Ponds
 - Topographic Legend**
 - Source: 051P - 2011 LIDAR Collection
 - Spot Elevation
 - Index Contour
 - Intermediate Contour
 - Appraisal Legend**
 - Source: FC Auditor & Engineer
 - Parcels
 - Parcel IDs
 - Parcel Dimensions
 - Lot Numbers
 - Site Address
 - Boundaries**
 - County Boundary
 - City, Village, Town Boundary
 - Tax District Boundary
 - School District Boundary
 - Zip Code Boundary
 - Parcel Boundary
 - Subdivision Boundary
 - Condominium Boundary

The Williston List of Materials

Garage Size	24' x 26'	26' x 26'	26' x 28'	
Description	Quantity	Quantity	Quantity	Material
Framing				
Sill Plates	1 Pcs.	—	—	2x4-8' Treated
	5 Pcs.	—	—	2x4-12' Treated
	2 Pcs.	7 Pcs.	7 Pcs.	2x4-14' Treated
	1 Pcs.	—	—	2x6-8' Treated
	5 Pcs.	—	—	2x6-12' Treated
	2 Pcs.	7 Pcs.	7 Pcs.	2x6-14' Treated
Sill Sealer	84 Lin. Ft.	88 Lin. Ft.	92 Lin. Ft.	
Studs	96 Pcs.	104 Pcs.	112 Pcs.	Pre-Cut 2x4s
Top Plates	12 Pcs.	8 Pcs.	4 Pcs.	2x4-12'
	4 Pcs.	8 Pcs.	12 Pcs.	2x4-14'
Door & Window Headers	3 Pcs.	3 Pcs.	3 Pcs.	2x8-8'
	2 Pcs.	2 Pcs.	2 Pcs.	2x8-10'
Door & Window Header Spacers	4 Pcs.	4 Pcs.	4 Pcs.	½"x8"-8' Plywood
LeIn Bracing	6 Pcs.	6 Pcs.	6 Pcs.	1x4-12'
Overhead Door Header Surround	1 Pcs.	1 Pcs.	1 Pcs.	3-½"x14"x16' Microlam
	2 Pcs.	2 Pcs.	2 Pcs.	2x4-8'
	1 Pcs.	1 Pcs.	1 Pcs.	2x6-16'
Loft Framing	—	—	—	
Support Columns	2 Pcs.	2 Pcs.	2 Pcs.	3" Diameter
Microlam Beam	1 Pcs.	1 Pcs.	—	3-½"x11-¾"x23'
	—	—	1 Pcs.	3-½"x11-¾"x25'
Rim Joists	6 Pcs.	4 Pcs.	2 Pcs.	2x10-12'
	2 Pcs.	4 Pcs.	6 Pcs.	2x10-14'
Flloor Joists	39 Pcs.	—	—	2x10-12'
	—	39 Pcs.	42 Pcs.	2x10-14'
Plywood Subfloor	18 Pcs.	19 Pcs.	21 Pcs.	4x8x¾" Plywood
Loft Sill Plates	6 Pcs.	4 Pcs.	2 Pcs.	2x4-12'
	2 Pcs.	4 Pcs.	6 Pcs.	2x4-14'
Stair Materials				
Stair Stringers	3 Pcs.	3 Pcs.	3 Pcs.	2x12-16'
Stair Treads	14 Pcs.	14 Pcs.	14 Pcs.	2x12x4'
Stair Risers	15 Pcs.	15 Pcs.	15 Pcs.	1x8-4'
Hand Rail Posts	2 Pcs.	2 Pcs.	2 Pcs.	2x4-14'
Handrails	2 Pcs.	2 Pcs.	2 Pcs.	2x4-16'
Guardrail	6 Pcs.	6 Pcs.	6 Pcs.	2x4-14'
Exterior Materials				
Corner Trim Boards	8 Pcs.	8 Pcs.	8 Pcs.	1x4-8' Cedar
Lap Siding	672 Sq. Ft.	704 Sq. Ft.	756 Sq. Ft.	
Frieze Boards	4 Pcs.	—	—	1x8-12' Cedar
	—	4 Pcs.	4 Pcs.	1x8-14' Cedar
Exterior Hardboard Siding	15 Pcs.	16 Pcs.	18 Pcs.	4x8 Sheets
Window & Door Flashing	32 Lin. Ft.	32 Lin. Ft.	32 Lin. Ft.	Metal Head Flashing
Prehung Service Door	1 Pcs.	1 Pcs.	1 Pcs.	3"x7'
Window	2 Pcs.	2 Pcs.	2 Pcs.	16"x42" Sliding
	1 Pcs.	1 Pcs.	1 Pcs.	24"x36" Single Hung
Asphalt Impregnated Sheathing	37 Sheets	39 Sheets	40 Sheets	4"x8-½"
Battens	14 Pcs.	14 Pcs.	14 Pcs.	1x2-12' Cedar
Decorative Shutters	4 Pcs.	4 Pcs.	4 Pcs.	
Overhead Garage Door				
Overhead Door Kit	1 Pcs.	1 Pcs.	1 Pcs.	16 Feet Wide
Brick Molding	32 Lin. Ft.	32 Lin. Ft.	32 Lin. Ft.	
Door Jamb	32 Lin. Ft.	32 Lin. Ft.	32 Lin. Ft.	
Door Stop	32 Lin. Ft.	32 Lin. Ft.	32 Lin. Ft.	
Flashing	48 Lin. Ft.	52 Lin. Ft.	52 Lin. Ft.	Z Flashing
Eave and Soffit Materials				
Fascia	17 Pcs.	18 Pcs.	19 Pcs.	1x8-8' Cedar
Sub Fascia at Rake	12 Pcs.	—	—	2x6-12'
	—	11 Pcs.	13 Pcs.	2x6-14'
Soffit	5 Sheets	5 Sheets	5 Sheets	4"x8"x1½" Plywood
ledger Nail	17 Pcs.	18 Pcs.	19 Pcs.	2x2-8'
Frieze Board	17 Pcs.	18 Pcs.	19 Pcs.	1x1-8' Cedar
Soffit lookouts	6 Pcs.	6 Pcs.	6 Pcs.	2x2-8'
Roofing Materials				
Metal Roof Edge	140 Lin. Ft.	150 Lin. Ft.	160 Lin. Ft.	
Shingles	34	36	38	Squares
15# Wall & Roof Building Felt	2328 Sq. Ft.	2484 Sq. Ft.	2584 Sq. Ft.	
Roofing Starter Roll	—	—	—	
Roof Sheathing	35 Sheets	36 Sheets	38 Sheets	4"x8"x½" Orient Strand Board
Rafters	34 Pcs.	38 Pcs.	38 Pcs.	2x8-20'
Ridge Board	2 Pcs.	2 Pcs.	2 Pcs.	2x10-16'
Collar Ties	6 Pcs.	6 Pcs.	6 Pcs.	2x4-10'
Rake Ladder Framing	13 Pcs.	13 Pcs.	13 Pcs.	2x4-8'
Gable Studs	16 Pcs.	12 Pcs.	12 Pcs.	2x4-8'
	10 Pcs.	8 Pcs.	8 Pcs.	2x4-12'
	—	—	6 Pcs.	2x4-14'
Ice and Water Shield	52 Lin. Ft.	52 Lin. Ft.	60 Lin. Ft.	
Hardware				
16d Coated Sinker Nails	30 lbs.	35 lbs.	40 lbs.	
8d Coated Sinker Nails	50 lbs.	55 lbs.	60 lbs.	
¾" Galvanized Roofing Nails	25 lbs.	30 lbs.	35 lbs.	
16d Galvanized Door Finish Nails	2 lbs.	2 lbs.	2 lbs.	
Siding Nails	30 lbs.	30 lbs.	30 lbs.	
Joist Hangers	72 Pcs.	72 Pcs.	80 Pcs.	

The materials and quantities listed for this plan are estimates only. We suggest you carefully review the above materials and quantities before purchasing. Your building materials supplier will help with any questions concerning materials, availability and quantities.



THE WILLISTON Two-Car Gable Entry Garage with Loft

Instructions

Save time and avoid mistakes later... take a moment to carefully study each plan sheet now.

Evaluate Your Needs

When evaluating your needs, consider the purpose of your new garage. Will it be used as shelter for your cars and a workshop, or for storage of bicycles, a lawn mower, gardening equipment and household items?

Once you determine the purpose of your garage, it is recommended that you check with your local building department concerning local restrictions that may limit its size. Then, obtain a building permit from the appropriate officials.

Your successful garage begins with proper site planning. Consider the proximity of the structure in relation to the house, location of the driveway and the size of the garage, in comparison to your lot size and dimensions. It's also a good idea to fit your garage around your landscaping and your neighbors' buildings. Also, determine the locations of all windows and doors to ensure optimum light, storage and security.

Before starting construction, contact your local utility companies to locate and identify underground utilities (gas, water, sewer, septic system, cable television lines, etc.).

Options

As you examine this plan and your needs concerning the use of this garage, you may wish to keep in mind the many available options. Some options to consider before building are: trusses, electrical switch and outlet placement, siding type, a walkway around the garage, insulation, sewer and water, and the many different styles of windows, skylights and privacy doors. Take a moment to consider these and other options before you begin construction.

Remember, take your time in making your decisions. If you make an error in a project this big, the mistake can be huge and expensive.

Tip from the Pros: Before building, use stakes and string to mark the area where your garage and driveway will be constructed. This will give you a better picture of the exact size and location of the garage on your building site, and ensure continuity with your neighbors' buildings.

Please Note:

This plan has been developed for the experienced do-it-yourselfer, and is intended for use by knowledgeable persons trained in and familiar with generally accepted construction methods, techniques and standards. This project should not be attempted by anyone without these qualifications.

Although the architectural drawings in this plan carefully follow professional building standards and requirements, your building codes may differ. Somerset Publishing strongly recommends that you have your local building inspector review these plans before beginning construction, and have your work inspected at different stages. All building codes supersede the enclosed architectural drawings and step-by-step construction information.

Read through and understand these instructions completely before you begin construction. The instructions included in this plan are as clear, concise and comprehensive as possible, however, they are not intended to be the final word in construction. It may be wise to obtain a good reference book to aid you in the understanding of these instructions.

Tip from the Pros: When ordering materials include an extra 12 studs and 12 extra 16-ft 2x4's to use as temporary braces and to replace any badly warped wood. Also, order the framing materials, including roofing plywood and shingles, for delivery first. Then, call for the finish materials after you get the garage roof on and have a place to store them.

Construction

Check building code requirements for side and rear building set backs from property lines. Then check the drainage of your location and make any landscaping changes necessary to direct moisture away from the site.

Foundation and Floor

This plan has three foundation options: floating slab, concrete block wall, and a poured concrete wall. See Details A, B and C. When determining which foundation plan is best for you, consider your climate, resources and local building codes. Check with your local building department, or inspector, on which option applies to the building codes in your area.

Accurate foundation work is critical to the success of this garage. In order for the walls and roof to be constructed as this plan calls for, the garage foundation must be level, square, and built to the exact dimensions as specified in this plan. To successfully work with concrete you are dependent upon many factors, which include: building of proper forms, depth and thickness of the concrete, the concrete mix, and setting time. Because of this, we strongly recommend you hire a contractor who specializes in concrete work.

Framing the Structure Wall Framing

Tip from the Pros: Before you begin assembling the wall frame, make sure you have chosen the windows, overhead garage door and entry doors for your structure. Then use the manufacturer's rough opening and installation guidelines when constructing the wall frame.

1. Check the foundation to make sure it is square. Measure the diagonals between the opposite corners of where the sill plates will attach to the foundation. In order to maintain square, the lengths of these diagonals must match exactly when the sill plates are installed. If not, placement of the sole plates on the foundation can be adjusted slightly to square the framing.

Design No. SOM-07100

THE WILLISTON

Copyright © 1997. Published by Somerset Publishing Incorporated, Minneapolis, MN. All rights reserved, including the right of reproduction, in whole or in part, and in any form.

Every attempt has been made to avoid errors in the preparation of this plan. Therefore, Somerset Publishing Inc. cannot guarantee against human error. The builder must check for all information, dimensions and details in this plan, including the materials called for, in the construction of this plan. Somerset Publishing Inc. is unable to accept liability above the purchase price of these plans. Please report any errors or omissions of this plan to Somerset Publishing, 2110 Washington Street NE, Minneapolis, MN 55418.

UCANDO
DO-IT-YOURSELF SERIES™
PROJECT PLAN NO. 14505

Continued to page 2

Page
1
of 10 Pages

- Once the sill plate (.40 pressure-treated 2x6s) locations are determined, start at one corner of the foundation and place a sill plate on top of the anchor bolts with the corners of the sill plates aligned. Tap the sill plate with a hammer to mark the positions of the anchor bolts on the wood. Install the sill sealer between the 2x6 treated sill plate and the foundation, then drill the anchor bolt holes in the sill plate and lay in place. Repeat this process for each sill plate. Do not tighten the sill plates to the foundation, yet.

Tip from the Pros: Building codes require that any wood within 8" of the ground (6" in some regions) be either pressure treated or a rot resistant species like heartwood of cedar or redwood. Pressure treated wood is much less expensive.

- Refer to Wall Framing Elevations.** Assemble and erect wall frames one side at a time, and if you don't have many helpers, assemble larger walls in smaller sections. Start with a side wall and cut the top plates and the 2x4 sill plates to length and lay them next to each other. Make sure the joints of the top plates and the sill plates are staggered by at least four feet, and are located over the center of a wall stud. Now mark stud locations for both the top and sill plates. Consider window and door placement at this time.

Money Saving Tip: One way to cut costs is to select a wall sheathing with a finished exterior, so you don't have to add siding.

- Lay the top and sill plates apart and on edge, parallel to each other, and place studs in between the plates where marked. Attach the sill and top plates to the studs by nailing through the plate and into the stud with 16d (3-1/2") nails. If fire blocks are required, install them 4' above the bottom of the sole plate in a staggered pattern. For door and window placement, check the manufacturer's rough opening dimensions and installation guidelines and install rough openings now.

Tip from the Pros: The first stud after the corner stud (or studs) should start 15-1/2" from the corner of the garage, so the edges of the sheathing fall on the centers of the studs.

- Nail together two 2x8s with a 1/2" plywood spacer to use as headers over the service door and windows.
- Install extra studs at one corner where the wall frames meet. **See Corner Framing Detail D.**
- Now is a good time to add a section of the second top plate over any joints on the longer walls. This helps to make the wall frame more stable as it is raised.
- With the frame still lying on its side, check for square by measuring corner to corner diagonally. These measurements must be equal. If not, adjust the frame until the measurements are equal. To keep the frame square, install 1x4 let-in bracing, see Framing Detail.
- Transfer anchor bolt placement to the 2x4 framing sill plates.

Important: In this garage design, the side wall opposite the stairs supports the loft beam. To accomplish this, three 2x4 studs are nailed together in the side wall. **See the garage Floor Plan, Framing Elevations and Building Cross Section H for additional details.**

- You can add sheathing to the wall now, or after it has been raised. If you add sheathing at this point, it will add a lot of weight and you will need plenty of help in raising the wall. Sheathing is recommended on the front of the garage, let-in bracing is impractical because of the garage door opening.

- Raise the wall. For this step get some helpers to assist you in "walking up" the wall to its correct position. Once the wall is in place, brace the wall with 2x4 braces and check the wall for plumb, start with the ends first, then check the middle of the wall. Make any corrections by adjusting the braces. Check the wall for square, measure the diagonals and make any necessary adjustments.

- Frame and raise the other walls in the same manner.

- When each wall is aligned and square, secure the sill plates to the foundation by tightening the nuts and washers to the anchor bolts. Check the corners for plumb, then nail the end walls into the corner posts.

- When the corners have been secured, add the second top plate to all walls. Make sure the joints are staggered from the first top plate joints by at least 4'. Remember to overlap the second top plate at the corners, as shown in the **Framing Detail**.

Setting the Overhead Door Header

Installing the overhead door header is easy, however, we recommend you hire a professional to install the overhead garage door. Installing the garage door's tension spring is very tricky and can be very dangerous when done incorrectly.

- Move to the front of the garage and frame the two short walls on each side of the garage door. Make sure each side of the garage door has two trimmer studs. **Refer to the overhead door manufacturer's rough opening instructions for exact measurements.**
- Cut the Microlam header to length and place it on top of the trimmers. Once it is in place, nail through the king stud into the header.
- The header is heavy, make sure you securely brace the short walls to keep them stable.
- Measure, cut, and install the cripple studs every 16" o.c. on the top of the header. Then install the top plates over the cripple studs.

Sheathing

Install the sheathing on the wall frames if you have not done so already. Start at one corner of the building and work your way around. Make sure the sheathing hangs below the foundation's 2x6 sill plate by at least 1/2".

Install the Steel Support Columns and Interior Beam

- See Sections E and F** for steel column and beam installation. Install the steel columns over the footings according to manufacturer's instructions.

- Install the loft beam over the bearing column and the support beams.

Important: The beam called for in this plan is a different height than the loft floor joists. You will have to notch the top plates over the wall's support column to receive the beam. This will keep the top of the beam level with the top of the joists.

- Adjust the columns to level and support the beam.

Room in the Attic Truss Option

The "Room in the Attic" truss allows you to build a garage, with a loft, without installing floor joists and building rafters. This truss option does not provide all of the storage space that we have designed in this plan, but it is much simpler, less costly and less time consuming to build. Consult with your building materials supplier about pitch and span availability.

Flooring Joists for the Loft

- See Floor Joist Framing Plan.** Across the front of the garage, lay out the locations of the flooring joists every 16" o.c. across the double top plate and transfer these locations to the interior beam, making sure the joists are square to the beam.

- Measure each joist and cut to length, allowing 1-1/2" for the rim joist. Nail joist hangers on one end of the joist and install the joists in their locations. Don't forget the double joist and header for the stairs.

- On the front of the building, install the loft rim beam on the double top plate and nail through the loft rim beam into the floor joists.

- On the other side of the loft floor, transfer the joist locations from the beam to the double top plate. Finish this side as the first.

- After the floor joists are up, install the bridging between the joists. Bridging keeps the joists from twisting and adds strength to the structure.

Laying the Loft Floor

- See Section H, Framing Elevations and the Floor Joist Framing Plan.** Flooring must be installed perpendicular to the joists. From the front of the building, measure 48" out from the rim joist on both sides of the garage and snap a chalk line across the joists. Lay the first row of flooring with edges flush to the chalk line, making sure the flooring joints fall on a joist, and nail into place.

- Begin the second row with a half sheet of flooring. This will stagger the joints from row to row. Finish the flooring.

- Next, add the loft sill plates around the edges of the loft flooring. The rafters and gable end studs will be toe nailed into the sill plates.

Installing the Stairs

See Stair Detail in Section H. This plan assumes that there will be fourteen risers and thirteen steps. It is likely that your garage may be different. Building codes for stairs and railings vary in different parts of the country. Check your local codes and with your building inspector before and during stair construction. Also, get yourself a good reference book to supplement the stair detail.

Tip from the Pros: Here are some general step building rules to follow. Keep each step the same height. The standard height for each step is from 7 to 7-1/2 inches; the standard tread is from 11 to 12 inches deep. You can reduce the height of each step to as little as 5 inches. If you do this, increase the tread depth by the same amount you reduce the height.

An option you may wish to consider are folding stairs. Folding stairs come in a kit and attach to the loft joists or trusses. When you need access to the loft, you simply pull the stairs down from the garage ceiling. When you are finished, the stairs fold up neatly, back into the ceiling. Folding stairs are very convenient and will provide you with more floor space in your garage.

Framing the Roof

Hand Framed Rafter

Choose the roof pitch option you prefer. These instructions are based on the assumption that you have built your garage to the exact width of the plan. **Caution:** If the width of the garage varies by more than 1", the correct rafter length will have to be determined. Use a reference book that details roof construction in addition to these instructions.

- See Rafter Templates.** Cut one rafter and use as a template. Temporarily install this rafter and check the fit of the bird's-mouth and tail cuts. If the first rafter is cut correctly, use it as a pattern in building the rafter for the other side. Hold the rafters in place with a scrap of wood the thickness of the ridgebeam. Then, check the fit of the rafters at both sides of the building and their slope. If the fit is correct, use the first rafter as a pattern for the others.

- The gable endwalls require framing different from the rafters. Do not set the first rafter on the end of the building, the first rafter should be placed no more than 24" in from the end of the garage.

- Starting on one side of the garage, toenail the rafter into the loft sill plate and use a metal anchor to fasten the rafter to the loft rim beam. At the ridge, toenail through the rafter into the ridge board or through the face of the ridge board into the rafter. Remember the ridge board must extend over the edge of the garage to support the rake ladder framing. **See Detail G.**

- Support the other end of the ridge board with a temporary brace, making sure the ridge board is level.

- From the first rafter, lay out the other rafter positions (usually 24" o.c.) on the loft sill plate. The last rafter placement will vary depending on the length of your garage, but must be no more than 24 inches.

- Transfer the rafter locations to the other end of the garage and to the ridge board. Now construct and install the remaining rafters.

- See Section H.** Install collar ties. Make sure when you install the collar ties, you give yourself plenty of headroom. Nail the collar ties into the rafter as shown on the plan.

Gable End Wall Framing

- See Detail G.** The easiest way to build the gable end wall and the rake is to first construct the 2x4 ladder framing for the rake. Determine the length of the 2x4 ladder by measuring from the rafter to the edge of the rake. Take into consideration the thickness of the fascia and the sub fascia.

- To determine the length of the 2x4 gable end wall top plate, measure from a rafter tail to the ridge board. This will be the length of the top plate.

- Pre-assemble the ladder framing by nailing the 2x4 lookouts to the 2x4 gable endwall top plate every 16" o.c. Then, with some help, lift the ladder framing into place and temporarily brace. Nail through the rafter into the end of the lookouts with 16d nails.

- Each gable end wall stud must be individually measured, cut, and beveled then placed directly over a wall framing stud. Toe nail the studs into the loft sill plate and into the gable wall top plate

Now the Roofing

Tip from the Pros: If your roof has a steep pitch or if you feel somewhat insecure about working on a roof, nail 2x4 cleats to the roof to provide safer footing. Also, sawdust on the roof sheathing makes for a very slippery surface, use caution.

- Install the 1x8 cedar fascia to the ends of the rafter tails, the 2x6 sub fascia and 1x8 fascia to the gable ladder ends as shown in **Detail G**. Miter the corners for a neater appearance.

- To install the roof sheathing, measure up 48-1/4" from the ends of the eaves and snap a chalk line as a guide when installing the first row of sheathing. This will keep the sheathing square to the trusses. The ends of the plywood sheathing should fall on the center of a truss and overlap the gable overhangs.

Tip from the Pros: Rafters have a tendency to warp a bit. It is a good idea to mark the upper edge of the sheathing every 24" and align the center of the rafters with your marks to keep them running straight.

- Attach the sheathing, starting at the rafter tail ends and work up. As you work up, stagger the sheathing joints so they don't align on the same rafter as the previous row. Use 8d nails to fasten the sheathing to the trusses spaced 6" along the edges and 12" elsewhere.

- Snap a chalk line along the outside edge of the gable overhang and trim the overlapping sheathing.

- Attach the metal drip edge along the lower roof edges.

- Install the roofing starter material over the lower roof edges to at least 12" over the stud wall. Cover the remainder of the sheathing with 15 lb. roofing felt. Starting at the base, work up, stapling or tacking each row. Overlap the previous row by 12".

- Then nail the metal roof edge up the gable edges of the roof, placing it over the felt.

- Now comes the fun part, shingling. Follow the manufacturer's instructions closely, they are printed on each bundle of shingles.

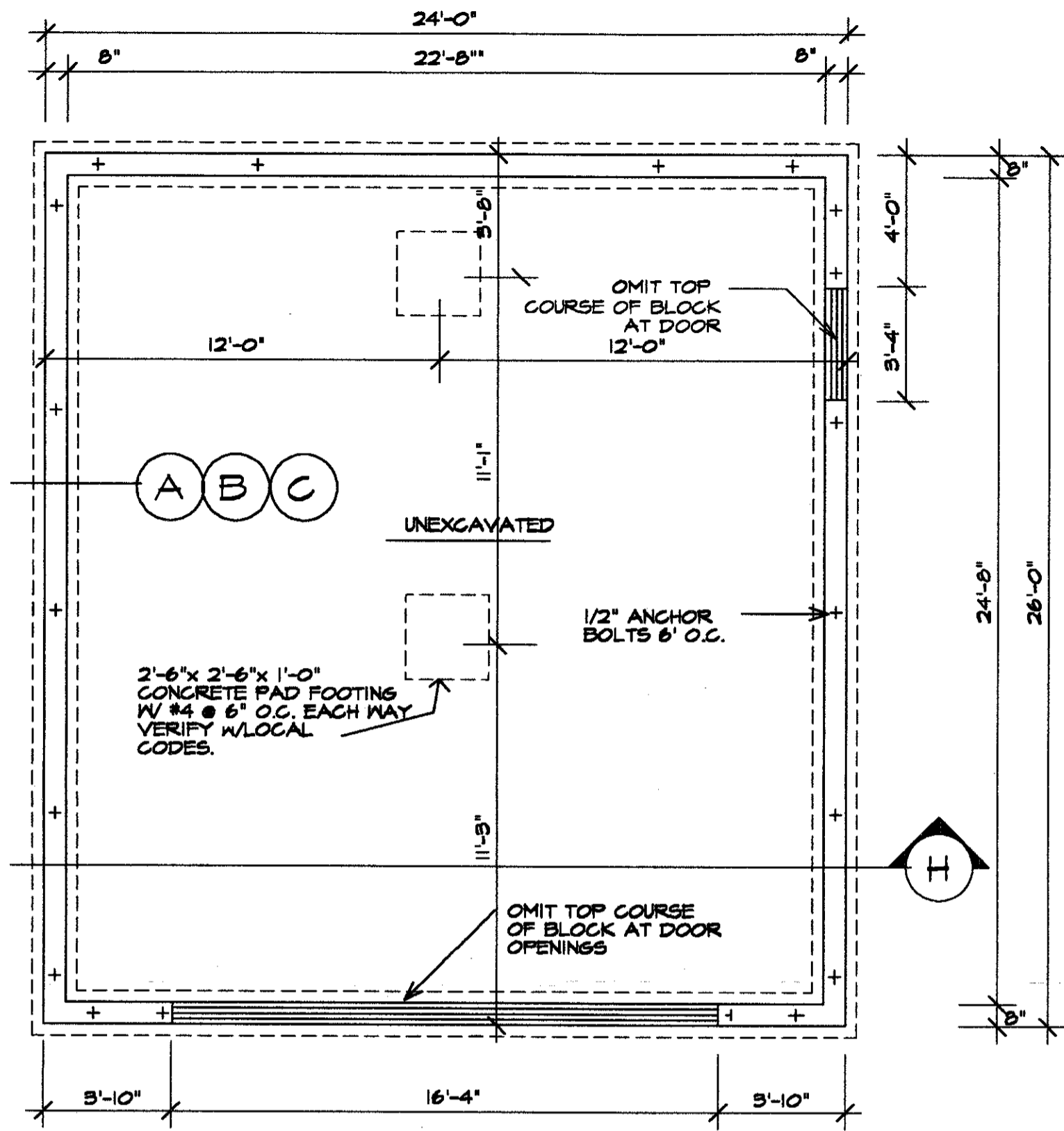
Next the Soffits

- See the soffit detail in Construction Section H and Detail G.** Install a 2x2 ledger board on all sides of the garage. The bottom of the ledger should be level with the bottom of the rafter tails. Install the fascia over the rafter tail.

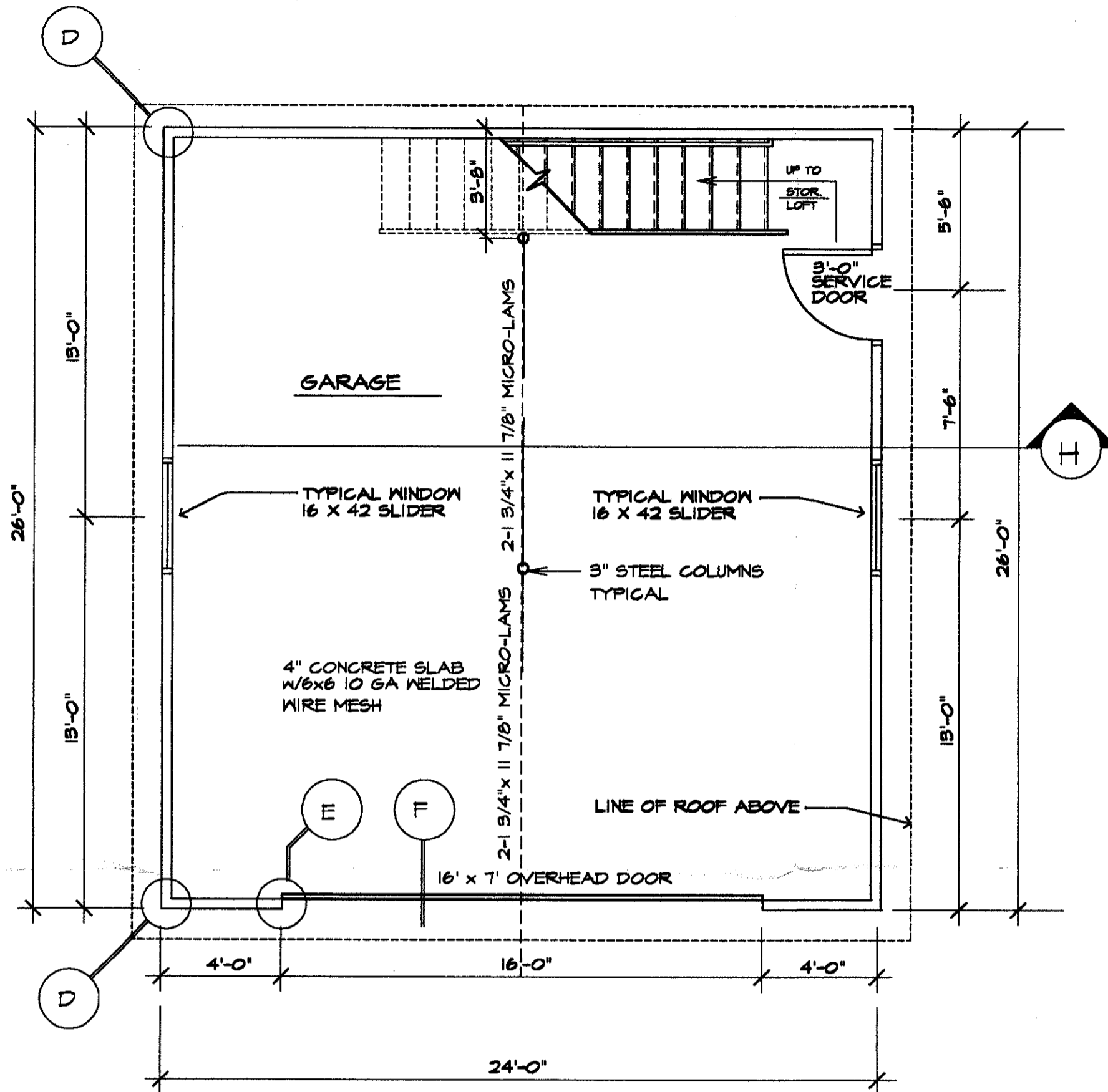
- Place the lookouts next to each rafter tail and between the fascia and the ledger, making sure it is level. Toe nail the lookout to the ledger and nail to the rafter tail and fascia. Install the soffit, nailing to each lookout and rafter tail.

- The frieze board is installed after the sheathing and before the siding.

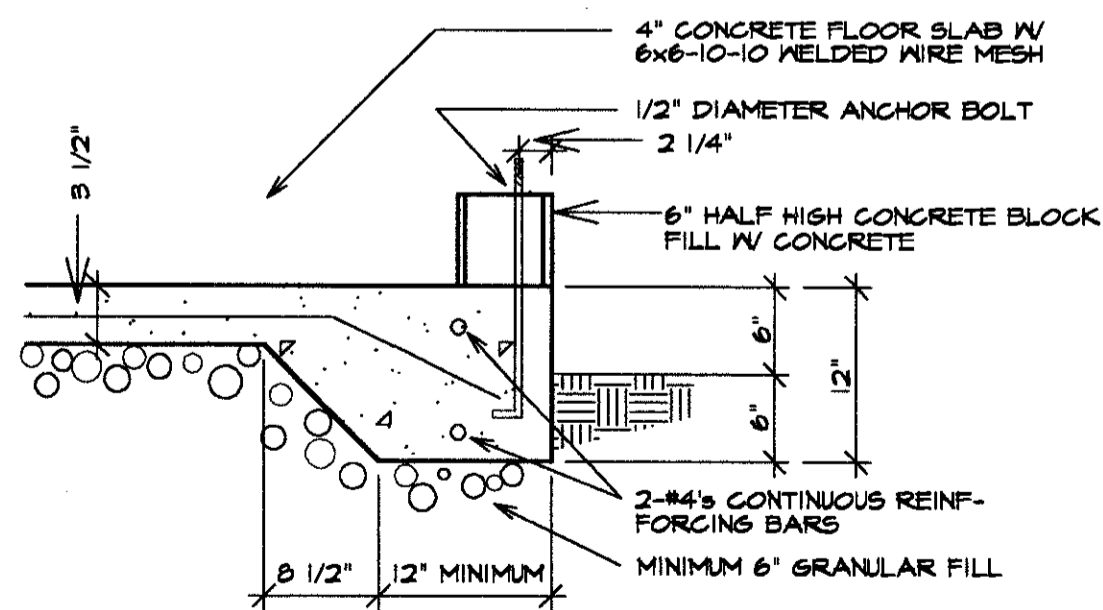
Continued to page 4



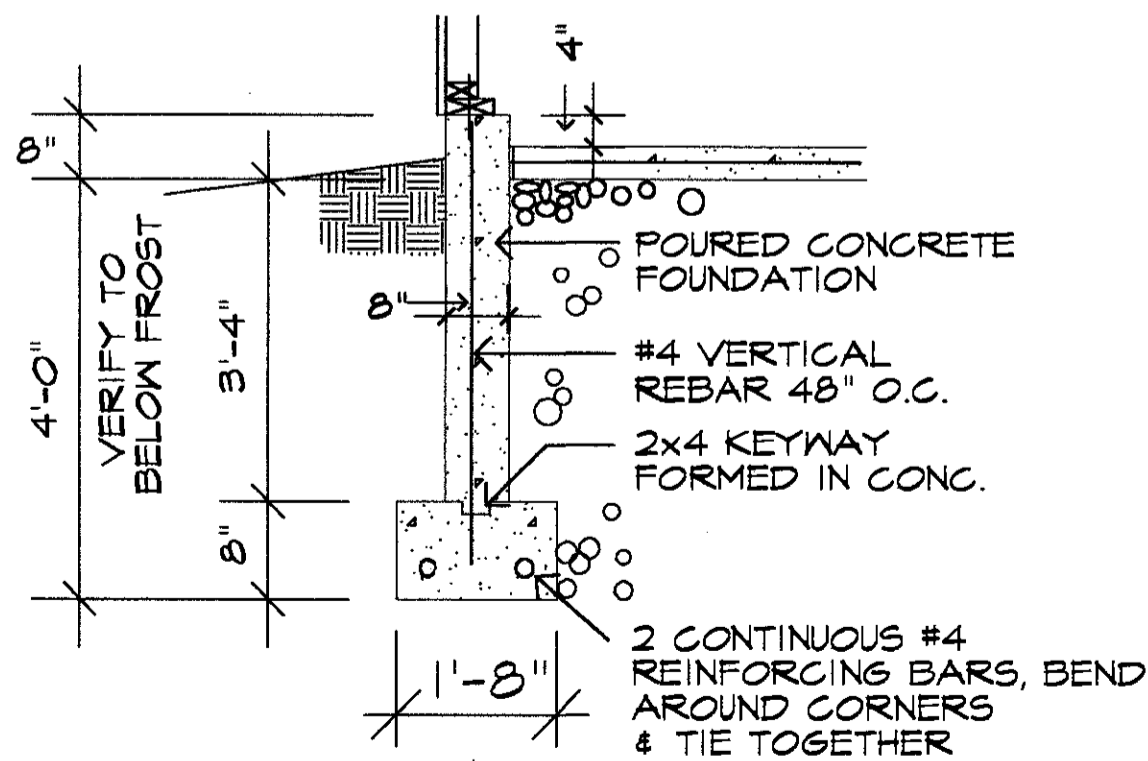
24' x 26' FOOTING & FOUNDATION PLAN
GABLE ENTRY SCALE 1/4"=1'-0"



24' x 26' FLOOR PLAN
GABLE ENTRY SCALE 1/4"=1'-0"



A FLOATING SLAB
DETAIL



B POURED FOUNDATION
at FROST FOOTING

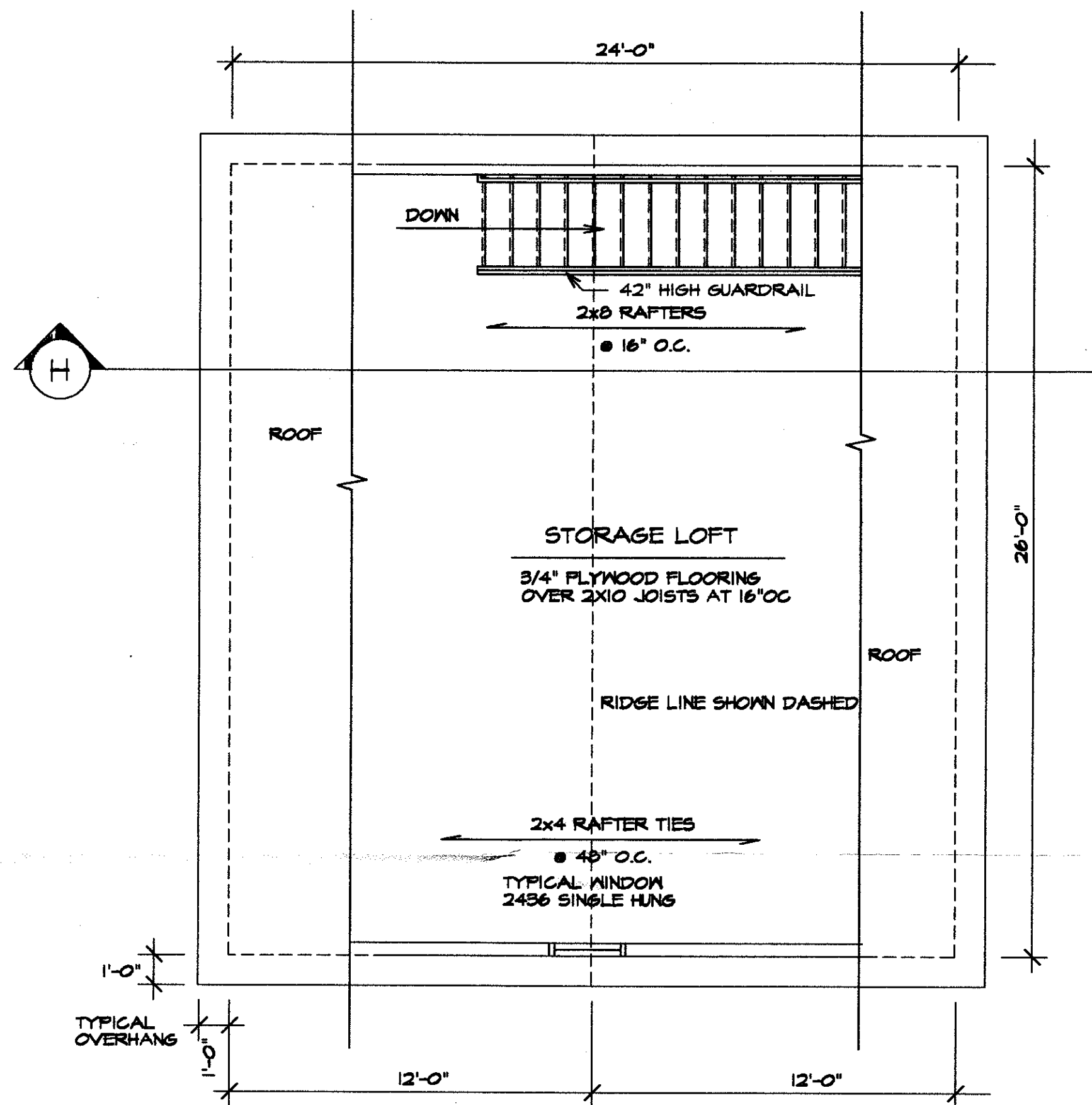
UCANDO
DO-IT-YOURSELF SERIES™
PROJECT PLAN NO. 14505

Copyright © 1997, Published by Somerset Publishing Incorporated, Minneapolis, MN. All rights reserved, including the right of reproduction, in whole or in part, and in any form.

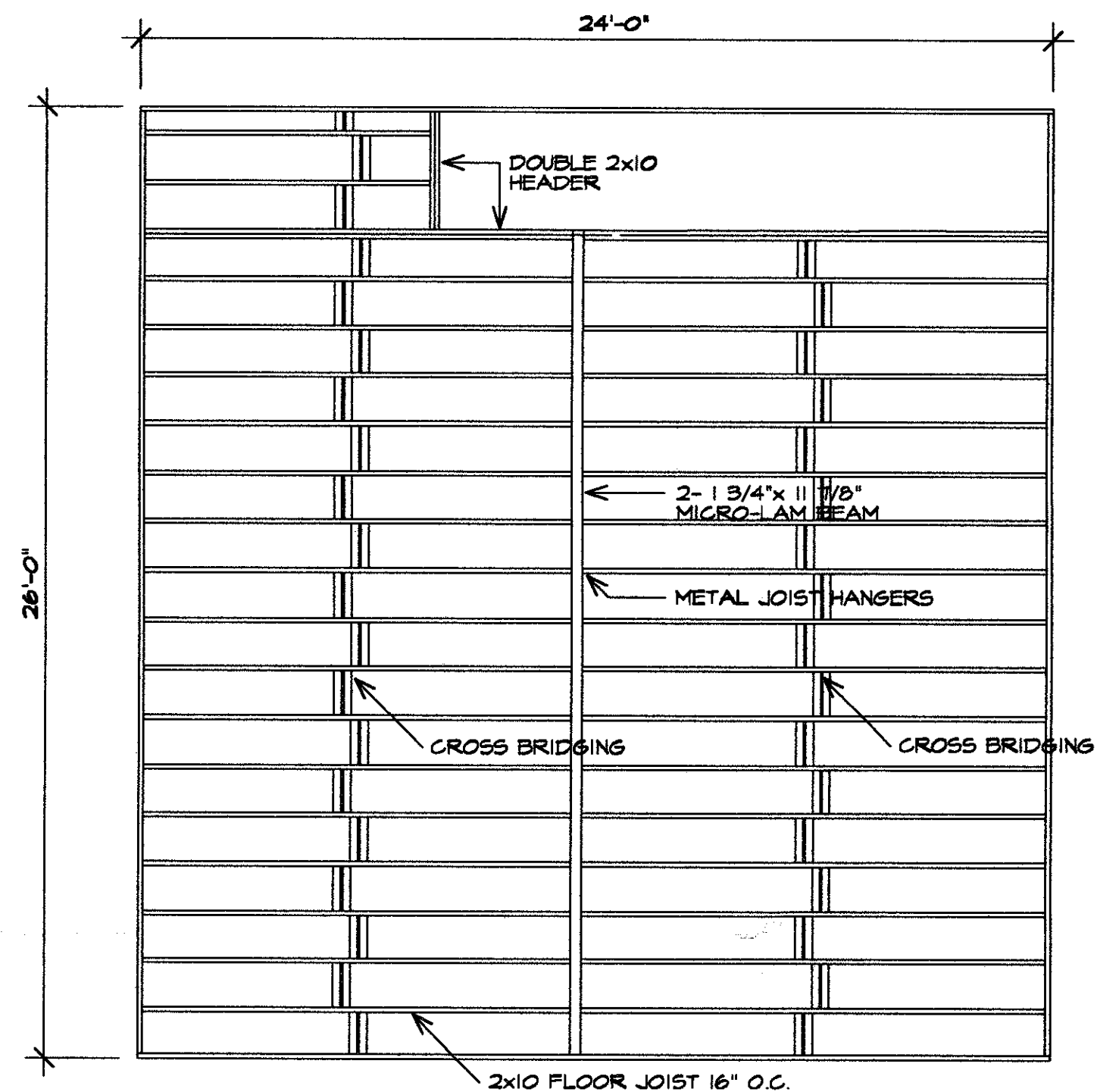
Errors and Omissions
Every attempt has been made to avoid errors in the preparation of this plan. Therefore, Somerset Publishing Inc. cannot guarantee against human error. The builder must check for all information, dimensions and details in this plan, including the materials called for, in the construction of this plan. Somerset Publishing Inc. is unable to accept liability above the purchase price of these plans. Please report any errors or omissions of this plan to Somerset Publishing, 2110 Washington Street NE, Minneapolis, MN 55418.

Design No. SOM-07100

THE WILLISTON



24' x 26' LOFT PLAN
GABLE ENTRY SCALE 1/4"=1'-0"



24' x 26' LOFT FRAMING PLAN
GABLE ENTRY SCALE 1/4"=1'-0"

The Siding is Next

Tip from the Pros: The siding you choose determines when you can install optional doors and windows. Follow the manufacturer's instructions when installing the siding.

Stucco Board, Plywood or Sheet Siding

1. Start installing the siding where you began the framing layout. Make sure the first sheet you lay is plumb and square to the building. Extend the siding 1/2" below the sole plate.

2. Make sure the siding edges meet over a stud. If the siding does not have overlapping joints, install a "batten" over the joint to keep the weather out.
3. If your garage needs more than one row of siding, make sure to install flashing between the top and lower panels.
4. Install trim on the corners of the building and where the siding meets the soffit.

Lap Siding

1. Lap siding must go over sheathing. Follow manufacturer's instructions.
2. Begin at the bottom of the building making sure the siding is level and straight. Use a chalk line and level to check your work. The first row of siding must extend 1/2" below the sole plate.

Details, Details, Details

Caulk the joints between the siding and all trim, and on any exposed joints. Seal the concrete floor, paying attention to the concrete supplier's instructions. Add electricity if desired. Paint or stain the exterior. Install any gutters and downspouts after painting. Enjoy your new garage!

Specifications

Design Loads

This structure is designed to withstand a live load of 40 pounds per square foot (P.S.F.). Roof bearing capacity can be altered by changing the size and spacing of the rafters. Check your local building code for local requirements. The size of the footings shown is based on a soil bearing pressure of 2000 P.S.F. Uplift has not been considered in the design of this building. All concrete must reach a minimum 28-day compressive strength of 3000 P.S.I. All lumber should be exterior grade with an allowable elasticity (e) of 1,400,000 P.S.I. and Fiber Stress in Bending of 1150 P.S.I.

Dimensions

Written dimensions take precedence over scale dimensions. Plan drawings take precedence over written instructions. For questions concerning the interpretation of this plan call 612-789-0618.

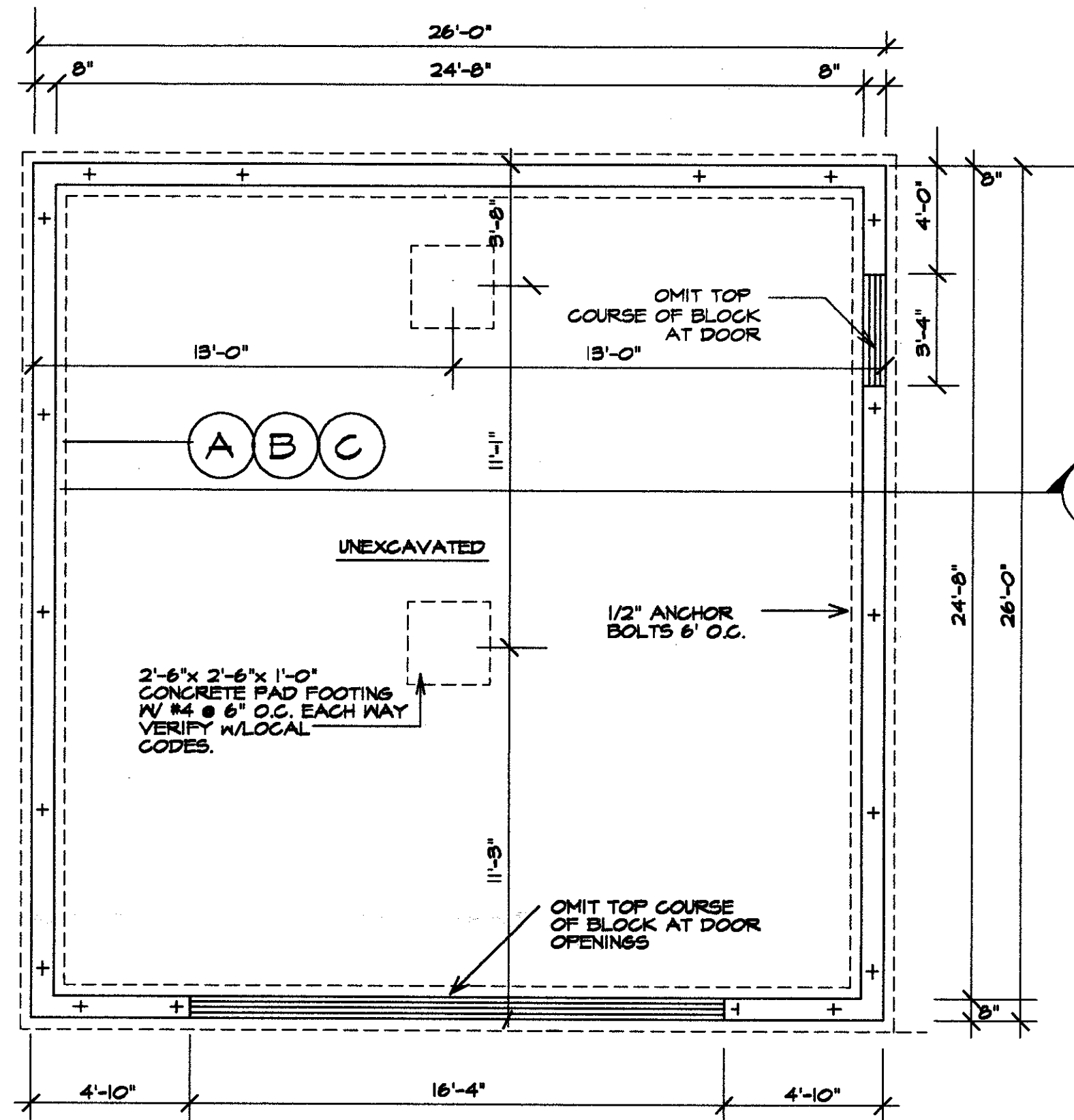
UCANDO
DO-IT-YOURSELF SERIES™
PROJECT PLAN NO. 14505

Copyright © 1997 Published by Somerset Publishing Incorporated, Minneapolis, MN. All rights reserved, including the right of reproduction, in whole or in part, and in any form.

Errors and Omissions
Every attempt has been made to avoid errors in the preparation of this plan. Therefore, Somerset Publishing Inc. cannot guarantee against human error. The builder must check for all information, dimensions and details in this plan, including the materials called for in the construction of this plan. Somerset Publishing Inc. is unable to accept liability above the purchase price of these plans. Please report any errors or omissions of this plan to Somerset Publishing, 2110 Washington Street NE, Minneapolis, MN 55418.

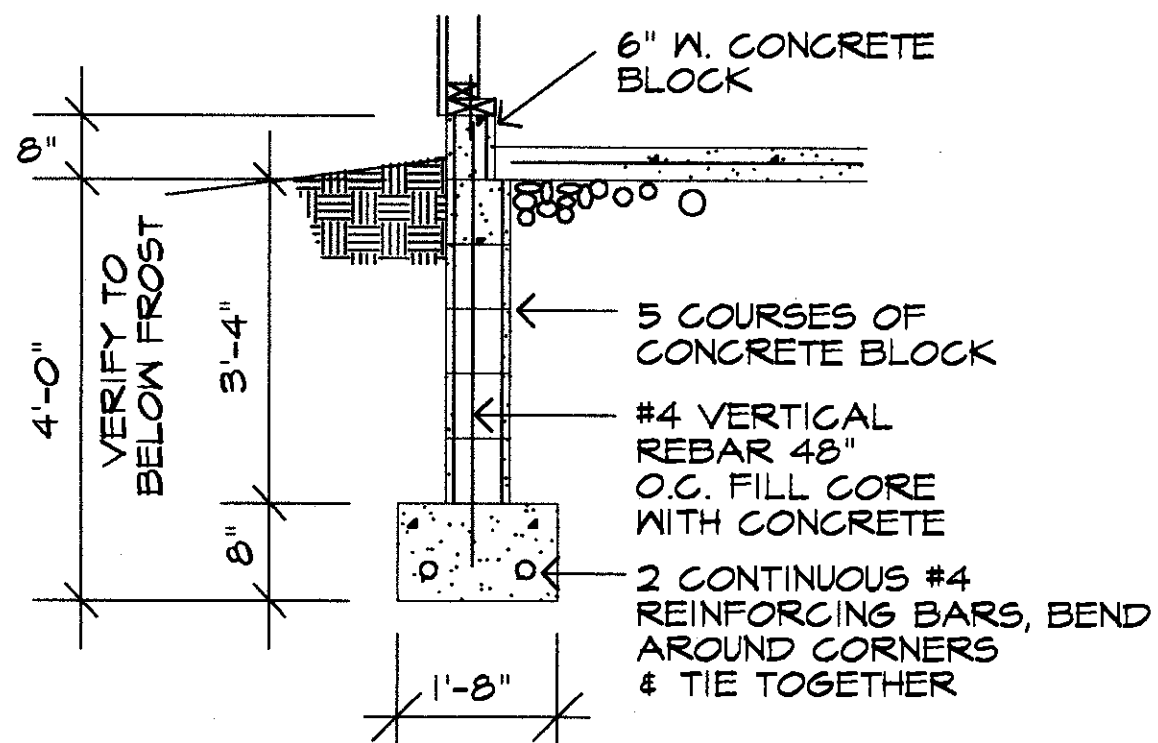
Design No. SOM-07100

THE WILLISTON

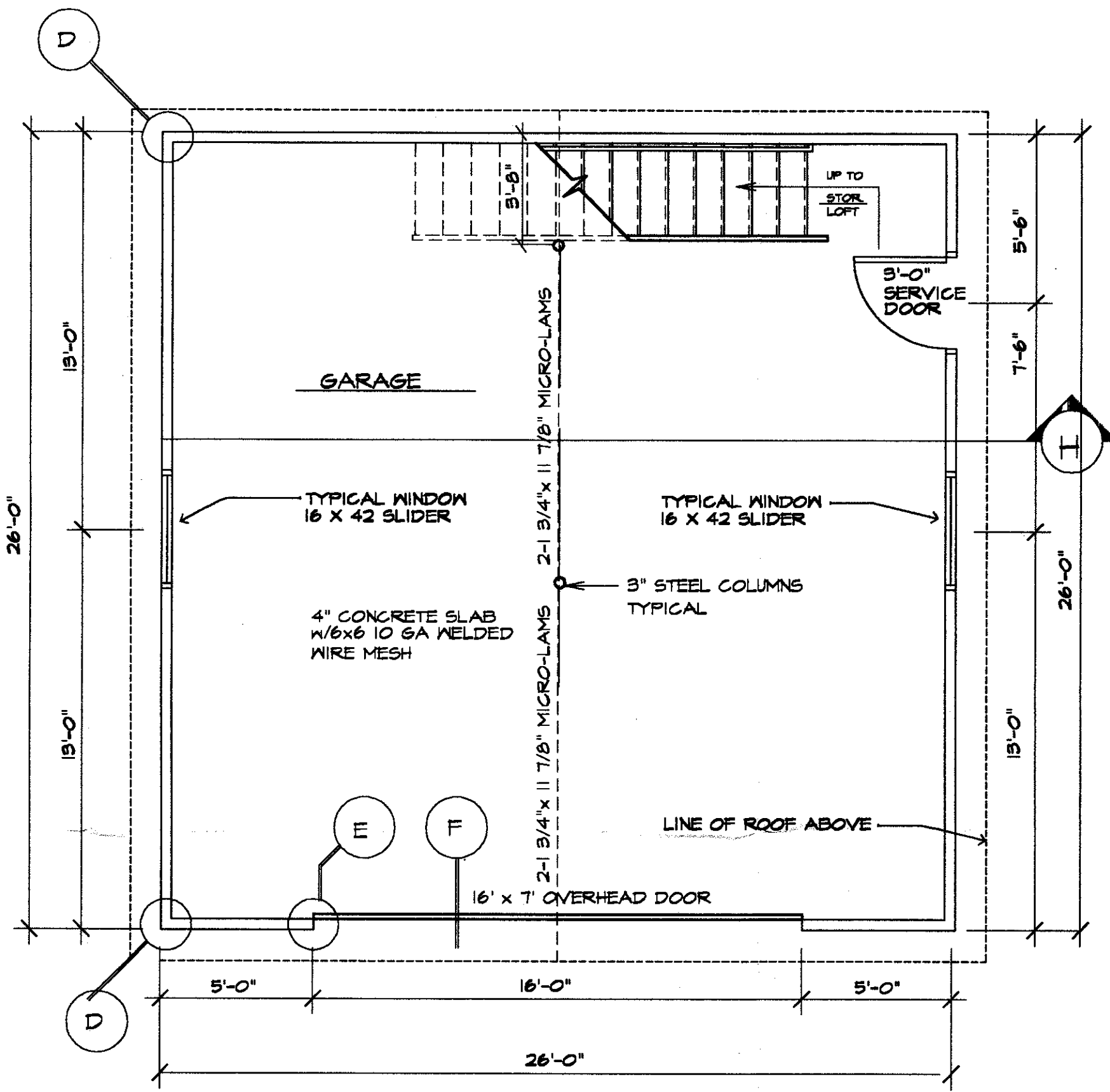


26' x 26' FOOTING & FOUNDATION PLAN

GABLE ENTRY SCALE 1/4"=1'-0"

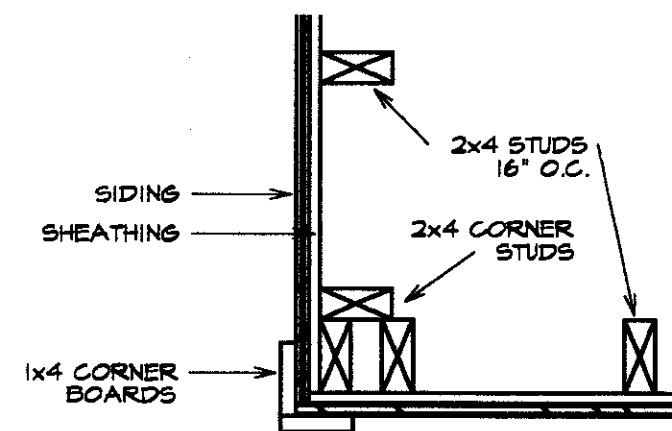


C FOUNDATION DETAIL at FROST FOOTING



26' x 26' FLOOR PLAN

GABLE ENTRY SCALE 1/4"=1'-0"



D TYPICAL CORNER DETAIL

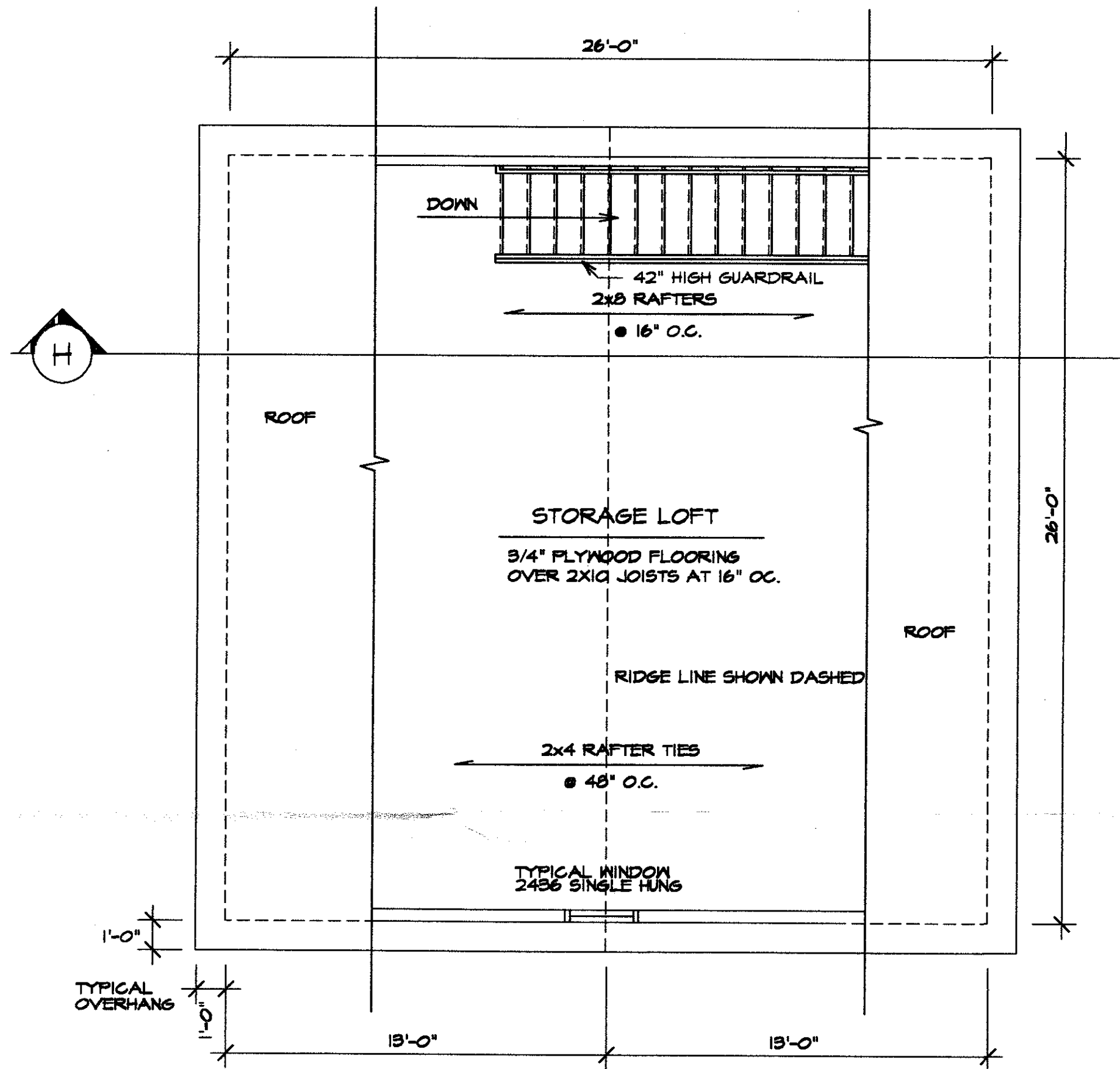
UCANDO
DO-IT-YOURSELF SERIES™
PROJECT PLAN NO. 14505

Copyright © 1997, Published by Somerset Publishing Incorporated, Minneapolis, MN. All rights reserved, including the right of reproduction, in whole or in part, and in any form.

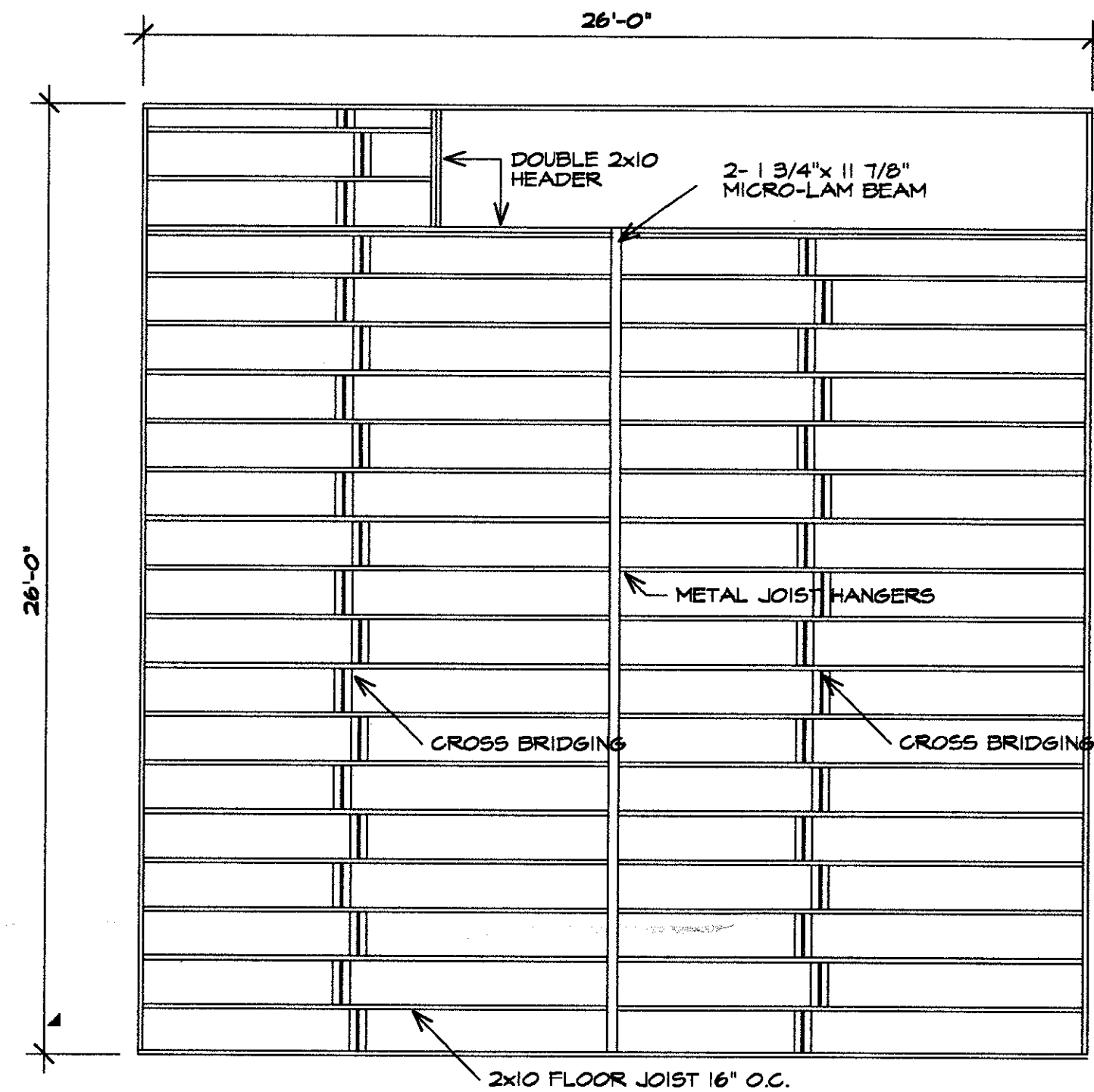
Errors and Omissions
Every attempt has been made to avoid errors in the preparation of this plan. Therefore, Somerset Publishing Inc. cannot guarantee against human error. The builder must check for all information, dimensions and details in this plan, including the materials called for, in the construction of this plan. Somerset Publishing, Inc. is unable to accept liability above the purchase price of these plans. Please report any errors or omissions of this plan to Somerset Publishing, 2110 Washington Street NE, Minneapolis, MN 55418.

Design No. SOM-07100

THE WILLISTON



26' x 26' LOFT PLAN
GABLE ENTRY SCALE 1/4"=1'-0"



26' x 26' FLOOR FRAMING PLAN
GABLE ENTRY SCALE 1/4"=1'-0"

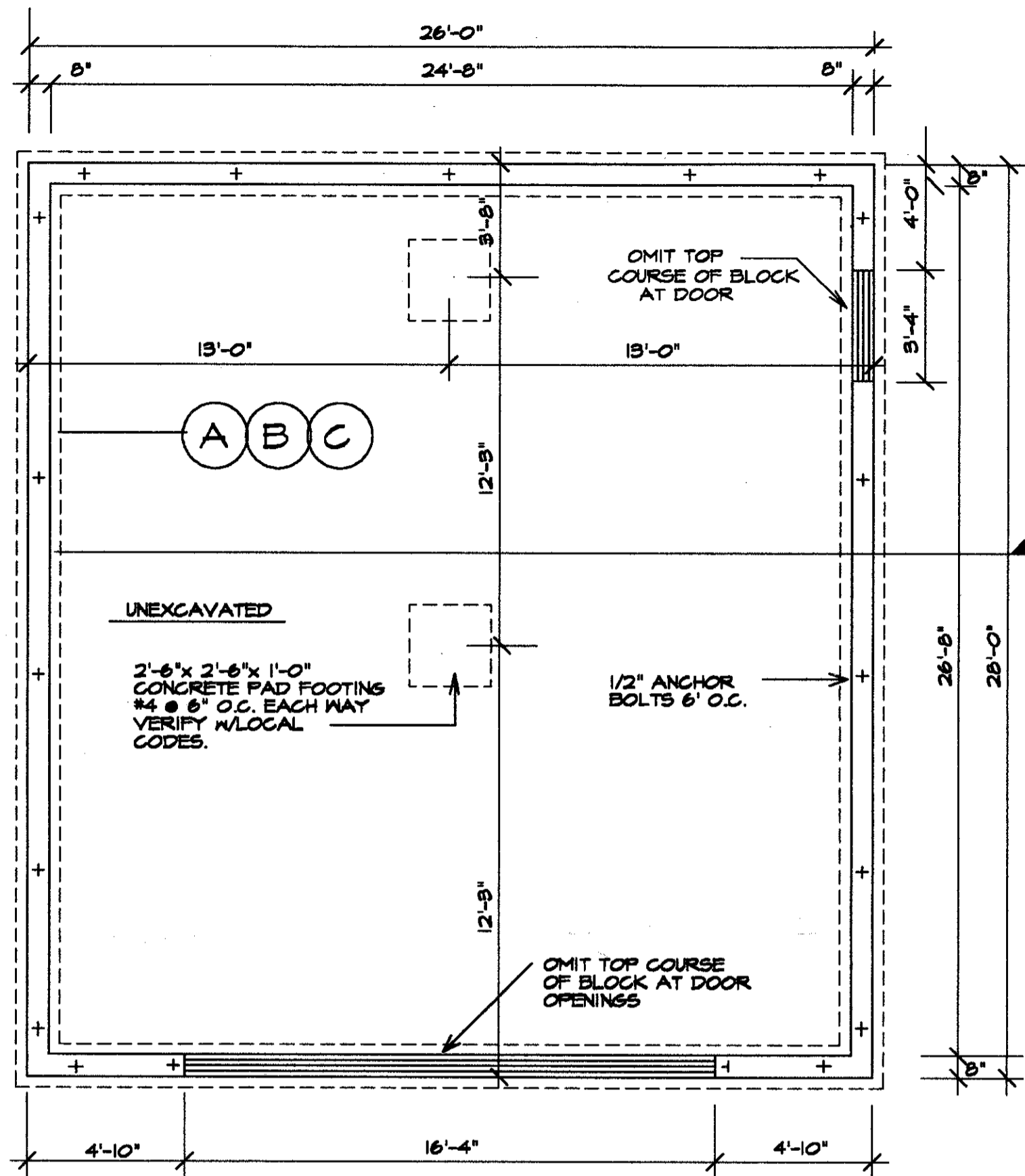
Copyright © 1997, Published by Somerset Publishing Incorporated, Minneapolis, MN. All rights reserved, including the right of reproduction, in whole or in part, and in any form.

Errors and Omissions
Every attempt has been made to avoid errors in the preparation of this plan. Therefore, Somerset Publishing Inc. cannot guarantee against human error. The builder must check for all information, dimensions and details in this plan, including the materials called for, in the construction of this plan. Somerset Publishing, Inc. is unable to accept liability above the purchase price of these plans. Please report any errors or omissions of this plan to Somerset Publishing, 2110 Washington Street, NE, Minneapolis, MN 55418.

Design No. SOM-07100

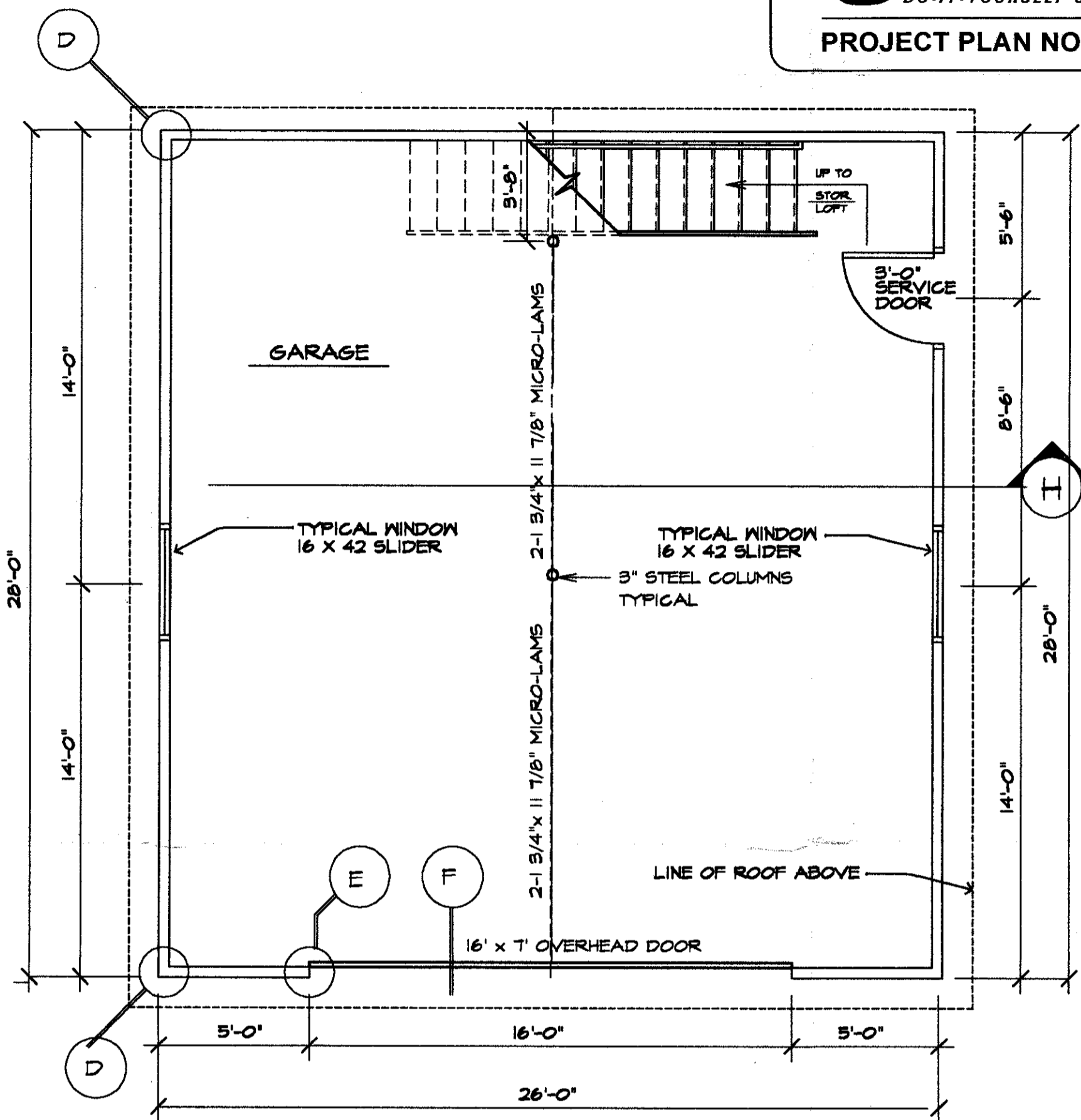
THE WILLISTON

UCANDO
DO-IT-YOURSELF SERIES™
PROJECT PLAN NO. 14505



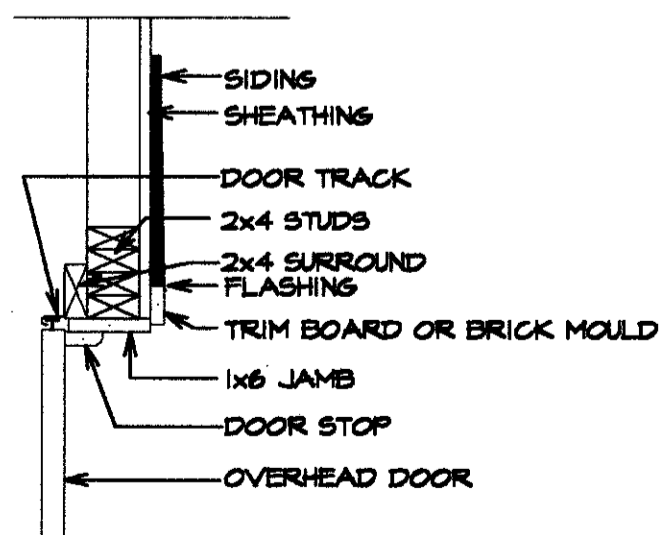
26' x 28' FOOTING & FOUNDATION PLAN

GABLE ENTRY SCALE 1/4"=1'-0"

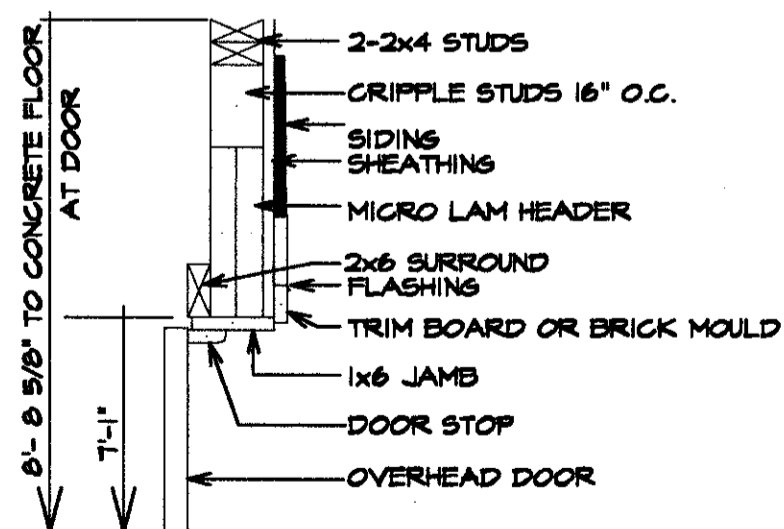


26' x 28' FLOOR PLAN

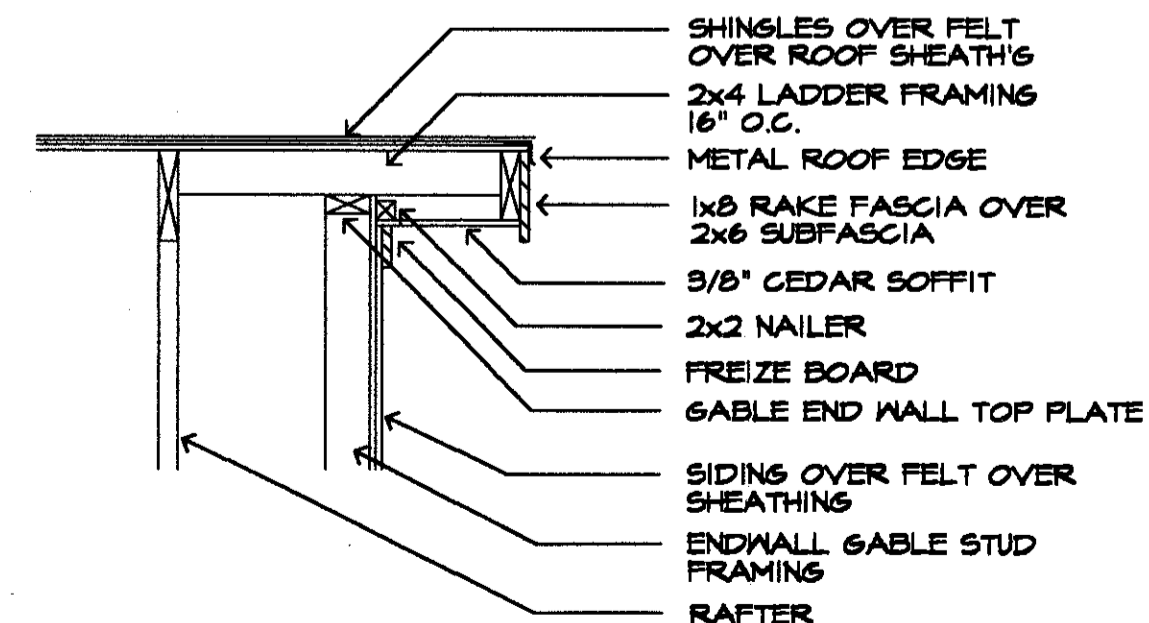
GABLE ENTRY SCALE 1/4"=1'-0"



E DETAIL of OVERHEAD DOOR JAMB



F DETAIL of OVERHEAD DOOR HEADER



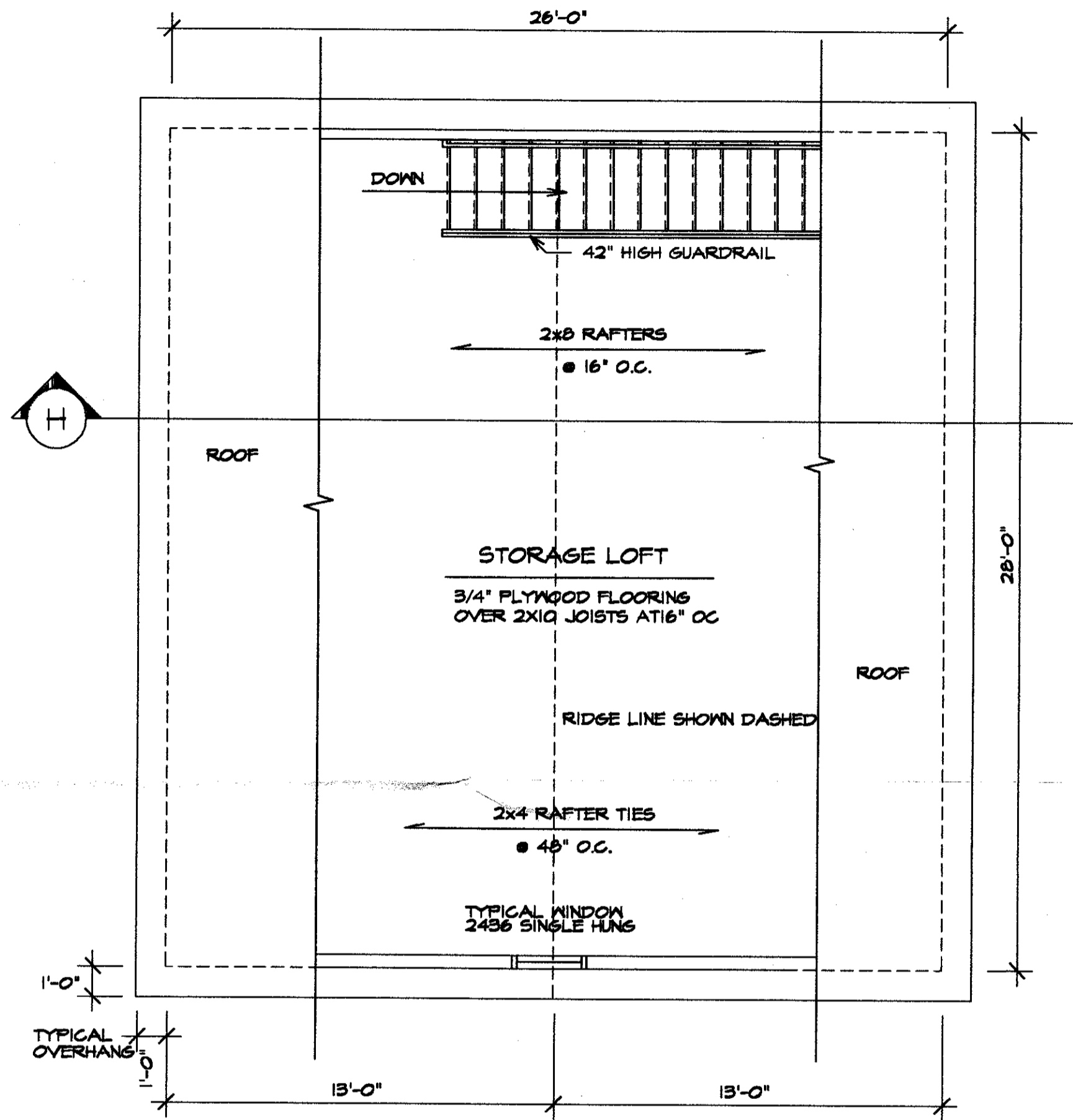
G RAKE DETAIL @ GABLE END

Copyright © 1997, Published by Somerset Publishing Incorporated, Minneapolis, MN. All rights reserved, including the right of reproduction, in whole or in part, and in any form.

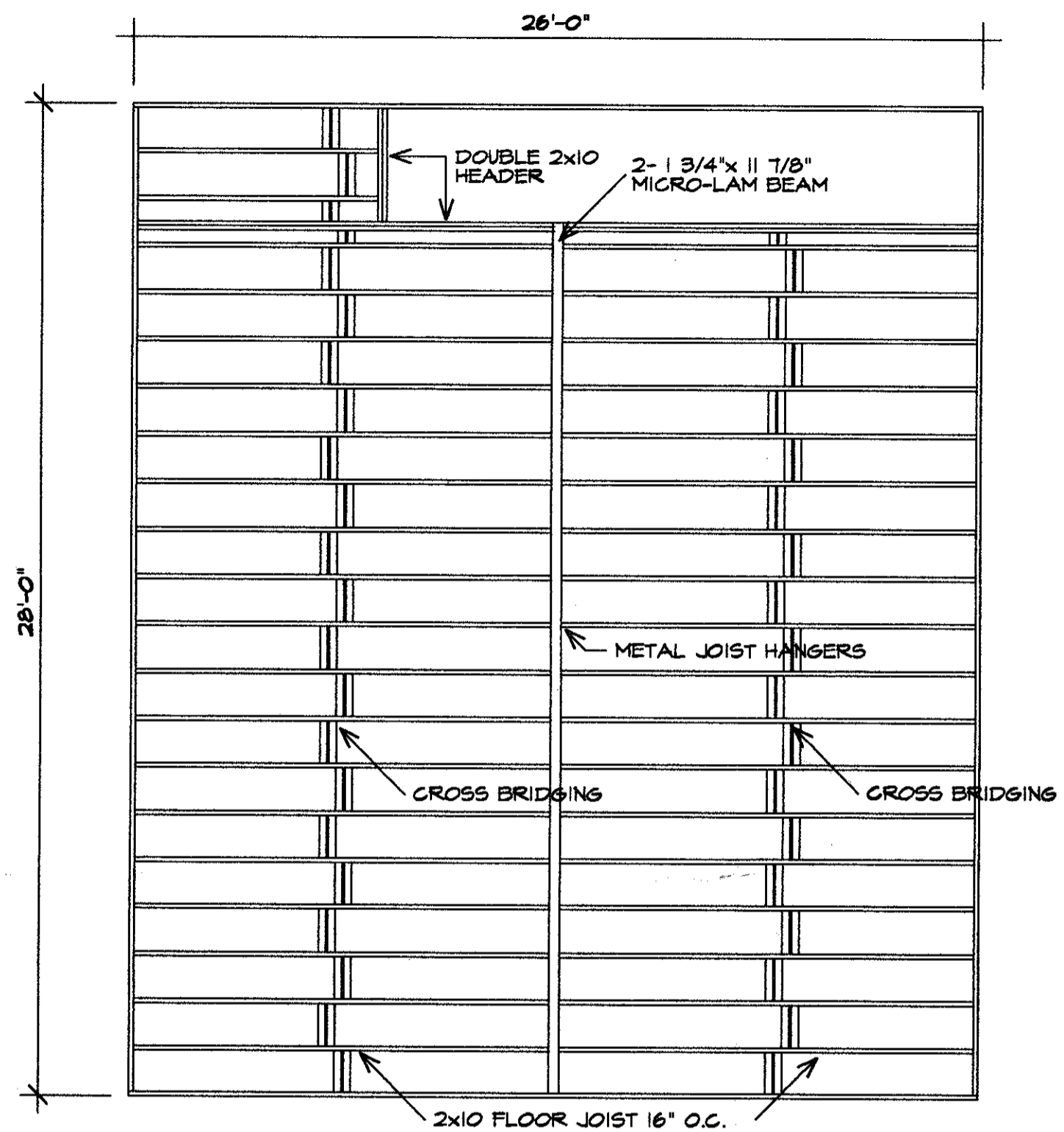
Errors and Omissions: Every attempt has been made to avoid errors in the preparation of this plan. Therefore, Somerset Publishing Inc. cannot guarantee against human error. The builder must check for all information, dimensions and details in this plan, including the materials called for in the construction of this plan. Somerset Publishing, Inc. is unable to accept liability above the purchase price of these plans. Please report any errors or omissions of this plan to Somerset Publishing: 2110 Washington Street NE, Minneapolis, MN 55418.

Design No. SOM-07100

THE WILLISTON



26' x 28' LOFT PLAN
GABLE ENTRY SCALE 1/4"=1'-0"



26' x 28' LOFT FRAMING PLAN
GABLE ENTRY SCALE 1/4"=1'-0"

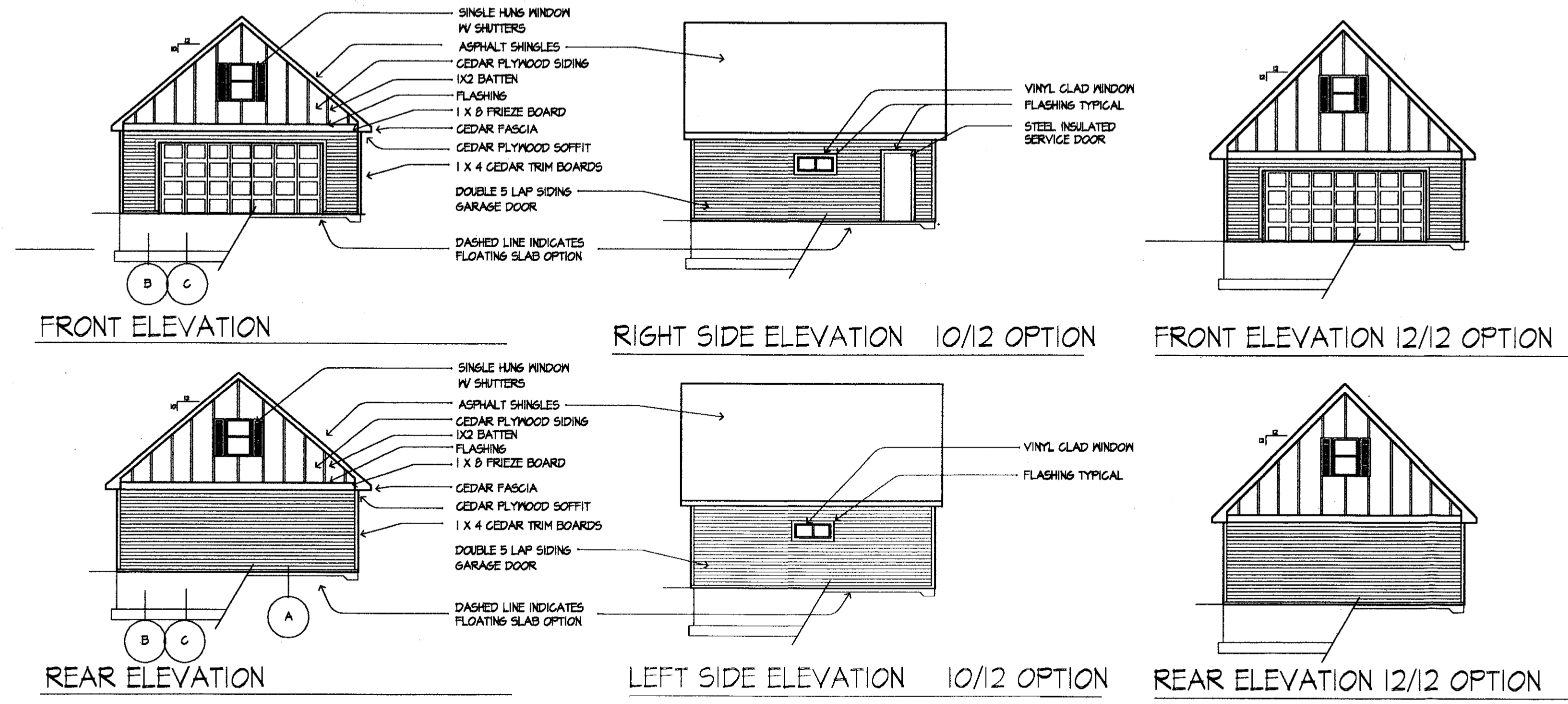
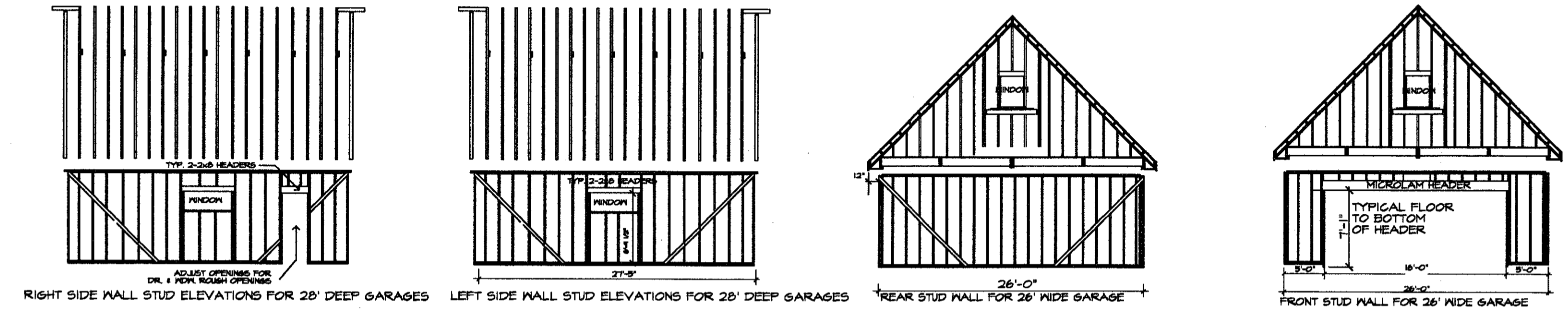
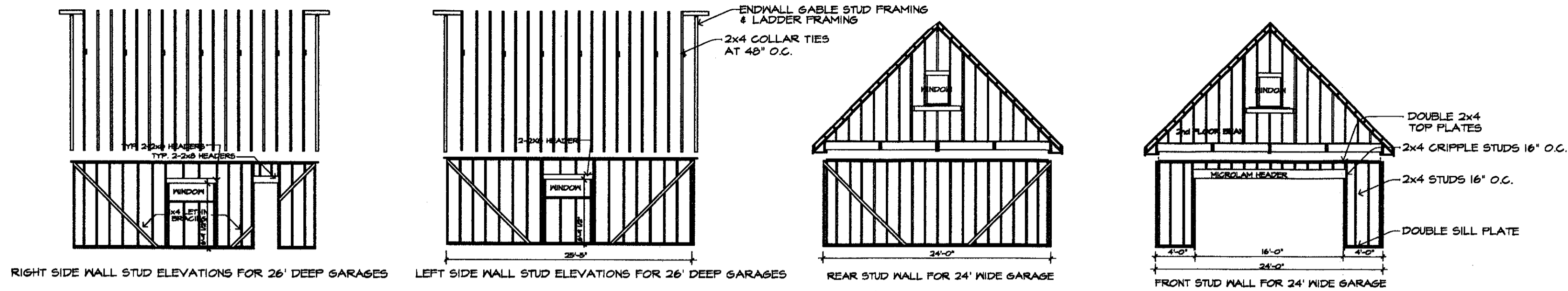
Copyright © 1997, Published by Somerset Publishing Incorporated, Minneapolis, MN. All rights reserved, including the right of reproduction, in whole or in part, and in any form.

Errors and Omissions
Every attempt has been made to avoid errors in the preparation of this plan. Therefore, Somerset Publishing Inc. cannot guarantee against human error. The builder must check for all information, dimensions and details in this plan, including the materials called for, in the construction of this plan. Somerset Publishing Inc. is unable to accept liability above the purchase price of these plans. Please report any errors or omissions of this plan to Somerset Publishing, 2110 Washington Street NE, Minneapolis, MN 55418.

Design No. SOM-07100

THE WILLISTON

UCANDO
DO-IT-YOURSELF SERIES™
PROJECT PLAN NO. 14505



Copyright © 1997, Published by Somerset Publishing Incorporated, Minneapolis, MN. All rights reserved, including the right of reproduction, in whole or in part, and in any form.

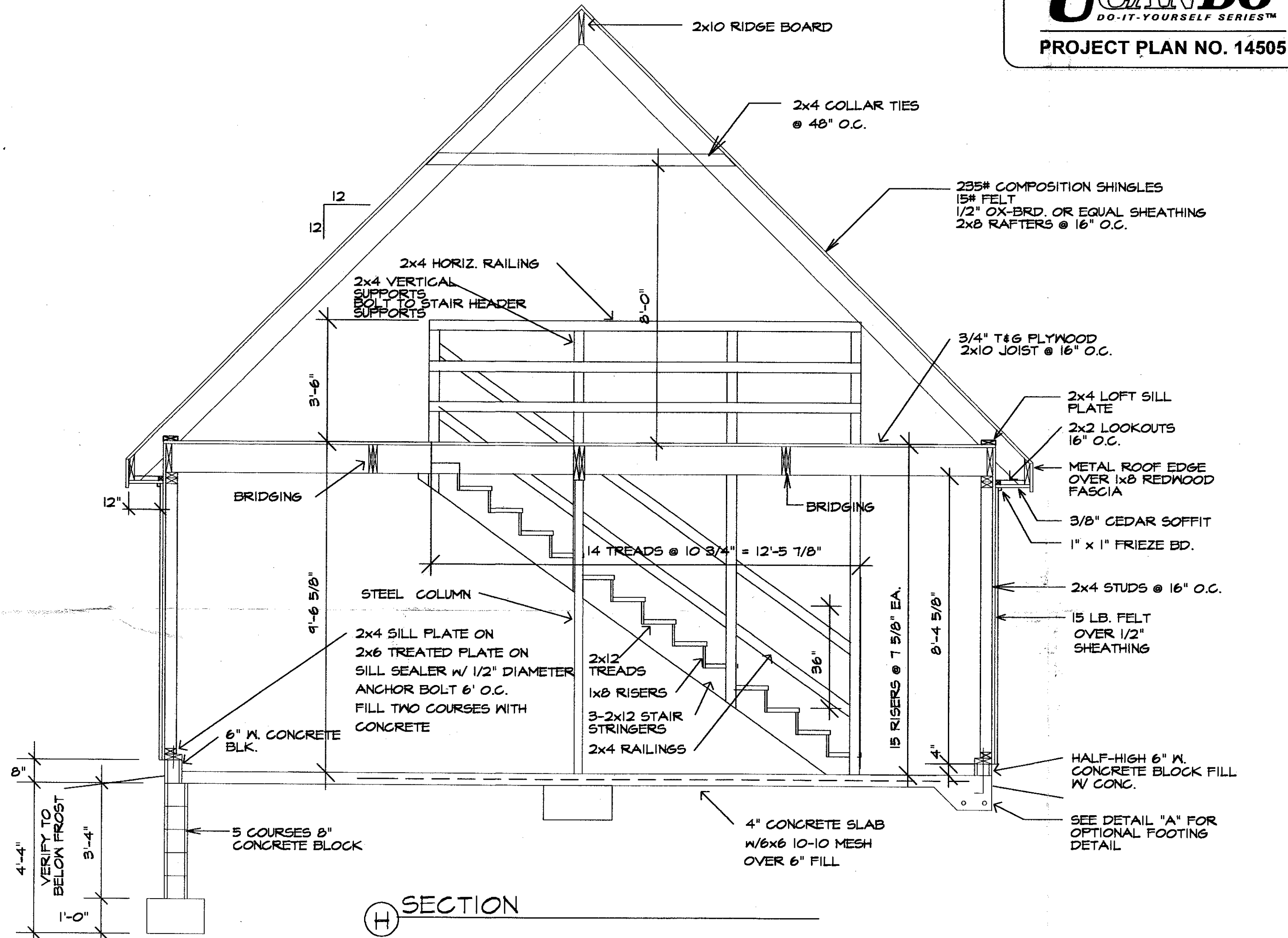
Errors and Omissions
Every attempt has been made to avoid errors in the preparation of this plan. Therefore, Somerset Publishing Inc. cannot guarantee against human error. The builder must check for all information, dimensions and details in this plan, including the materials called for in the construction of this plan. Somerset Publishing Inc. is unable to accept liability above the purchase price of these plans. Please report any errors or omissions of this plan to Somerset Publishing, 2110 Washington Street NE, Minneapolis, MN 55418.

UCANDO
DO-IT-YOURSELF SERIES™
PROJECT PLAN NO. 14505

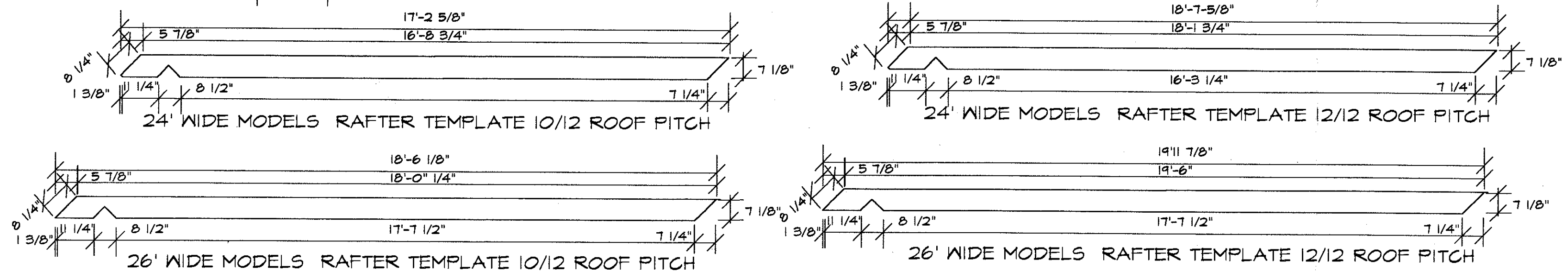
Design No. SOM-07100

THE WILLISTON

Page
9
of 10 Pages



(H) SECTION



Copyright © 1997, Published by Somerset Publishing Incorporated, Minneapolis, MN. All rights reserved, including the right of reproduction, in whole or in part, and in any form.

Errors and Omissions
Every attempt has been made to avoid errors in the preparation of this plan. Therefore, Somerset Publishing Inc. cannot guarantee against human error. The builder must check for all information, dimensions and details in this plan, including the materials called for, in the construction of this plan. Somerset Publishing Inc. is unable to accept liability above the purchase price of these plans. Please report any errors or omissions of this plan to Somerset Publishing, 2110 Washington Street NE, Minneapolis, MN 55418.

Design No. SOM-07100

THE WILLISTON





PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, November 14, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Bexley Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, December 5, 2019 at 6:00 PM.**, in City Council Chambers, Bexley City Hall, 2242 East main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

- a. Application No.: BZAP-19-16
Applicant: Brenda Ruf – Dave Fox Remodeling
Owner: Audrey & Tyler Stanley
Location: 177 N. Ardmore Rd.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a new screened porch addition at the front of the principal structure.

BZAP: The applicant is seeking architectural review and approval to allow a new screened porch addition at the front of the principal structure. The applicant is also seeking an 8.3' variance from Bexley Code Section 1252.15(a) which requires a 30' or average (in this case 39.8') front yard setback; whichever is greater, to allow the screened porch to be constructed 31.5' from the front property line.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 10-31-2019

***(BZAP)Board of Zoning & Planning
Application - Review of Variance
requests for Residential and
Commercial Development**

Applicant

 Dave Fox Remodeling
 614-459-7211 ext. 15
 bruf@davefox.com

Location

177 N ARDMORE RD
Bexley, OH 43209

BZAP-19-16

Submitted On: Oct 16, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT.

Addition of a screened porch to the front of the home

Architecture Review

true

Conditional Use

--

Demolition

--

Planned Unit Dev

--

Rezoning

--

Variance or Special Permit

true

What requires Major Architectural Review

Front Screened Porch Addition

What requires Minor Architectural Review

--

Major Architectural Review

true

Minor Architectural Review

--

A.1: Attorney / Agent Information

Agent Name

Brenda Ruf

Agent Address

3505 W. Dublin Granville Rd.

Agent Email

bruf@davefox.com

Agent Phone

614-459-7211 x 15

A.2: Fee Worksheet

Estimated Valuation of Project

40000

Minor Architectural Review

--

Major Architectural Review

true

Variance Review

true

Variance Review Type

Single Family

Zoning

false

Zoning Review Type

--

Sign Review and Architectural Review for Commercial Projects

--

Review Type

Special Permit, Conditional Uses and All Others

Appeal of ARB decision to BZAP

--

Appeal of BZAP decision to City Council

--

B: Project Worksheet: Property Information**Occupancy Type**

Residential

Zoning District

--

Use Classification

R-6 (35% Building and 60% Overall)

B: Project Worksheet: Lot Info**Width (ft)**

50

Depth (ft)

142

Total Area (SF)

7100

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)**

1504

Proposed Addition (SF)

156

Removing (SF)

0

Type of Structure

Brick home

Proposed New Primary Structure or Residence (SF)

1660

Total Square Footage

2886

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)**

1504

Proposed Addition (SF)

156

New Structure Type

Screened Porch

Ridge Height

13'

Proposed New Structure (SF)

156

Is there a 2nd Floor

No

Total of all garage and accessory structures (SF)

360

Total building lot coverage (SF)

2020

Total building lot coverage (% of lot)

29

Is this replacing an existing garage and/or accessory structure?

No

B: Project Worksheet: Hardscape**Existing Driveway (SF)**

1315

Existing Patio (SF)

516

Existing Private Sidewalk (SF)

162

Proposed Additional Hardscape (SF)

0

Total Hardscape (SF)

1993

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)**

4013

Total overall lot coverage (% of lot)

58

C.1 Architectural Review Worksheet: Roofing**Roofing**

true

Structure

House or Principal Structure

Existing Roof Type

Arch. Dimensional Shingles

New Roof Type

Arch. Dimensional Shingles

New Single Manufacturer

To match existing

New Roof Style and Color

Hip roof to match existing

C.1 Architectural Review Worksheet: Windows**Windows**

--

Structure

--

Existing Window Type

--

Existing Window Materials

--

New Window Manufacturer

--

New Window Style/Mat./Color

--

C.1 Architectural Review Worksheet: Doors**Doors**

true

Structure

House or Principal Structure

Existing Entrance Door Type

Wood

Existing Garage Door Type

--

Door Finish

Stained

Proposed Door Type

Adding wood screened door to porch from exterior

Proposed Door Style

Wood full length screened door per drawing

Proposed Door Color

Painted to match existing trim

C.1 Architectural Review Worksheet: Exterior Trim**Exterior Trim**

true

Existing Door Trim

--

Proposed New Door Trim

Wood

Existing Window Trim

Wood

Proposed New Window Trim

Wood

Trim Color(s)

to match existing

Do the proposed changes affect the overhangs?

No

C.2 Architectural Review Worksheet: Exterior Wall Finishes**Exterior Wall Finishes**

true

Existing Finishes

Other

Other Existing Finishes

Brick, Stucco, and Wood

Existing Finishes Manufacturer, Style, Color

--

Proposed Finishes

Other

Other Proposed Finishes

Wood and stucco

Proposed Finishes Manufacturer, Style, Color

To match existing

D: Tree & Public Gardens Commission Worksheet**Type of Landscape Project**

--

Landscape Architect/Designer

--

Architect/Designer Phone

--

Architect/Designer E-mail

--

Project Description

--

I have read and understand the above criteria

--

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

--

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

E.1 Variance Worksheet

Description of the Proposed Variance. Please provide a thorough description of the variance being sought and the reason why.

The current residence sits at the average front setback of the surrounding houses. Proposal is to add a screened porch to the front of the house that may encroach into the average setback.

1. Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

Variance would add living space and property value to the existing home. The space is currently vegetation.

2. Is the variance substantial? Please describe.

approximately 7'

3. Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

The porch addition will be similar in style to front porches in the neighborhood. Materials used will match existing house in color and texture. The majority of the porch addition will be screen material thereby maintaining open sight lines.

E.2 Variance Worksheet

4. Would the variance adversely affect the delivery of governmental services (e.g. water, sewer, garbage)? Please describe.

No

5. Did the property owner purchase the property with the knowledge of zoning restriction? Please describe.

Unknown

6. Can the property owner's predicament feasibly be obviated through some method other than a variance? Please describe.

No

7. Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

The addition that will encroach will not be a conditioned space. The majority of vertical planes will be open screening and not solid, maintaining the open view of the property.

F.1 Fence Variance Worksheet

Lot Type

--

Narrative description of how you plan to meet the pertinent outlined variance criteria

--

F.1-F.2 Fence Variance Worksheet: Side and Rear Yard Restrictions for Corner Lots

1. Compatibility: Describe how the proposed side yard fence or wall exceeding forty-eight inches in height and on the street side of a corner lot compatible with other properties in the neighborhood?

--

2. Height: Please verify that the maximum height of such fence or wall shall not exceed seventy-two inches as measured from the average grade, as defined in Section 1230.06. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included within the seventy-two inch maximum height.

--

3. Transparency: Fences exceeding forty-eight inches in height should include transparency in the upper 12” to 18” of the fence through the use of latticework, pickets, or other appropriate design elements. Describe how you have satisfied this requirement.

--

4. Screening: A landscaping plan must be filed with the application for a special permit, indicating how such fencing or wall is to be screened from the street side elevation. The landscape plan should be designed in such a way as to mitigate the impact of a solid fence or wall as it relates to the street and other properties. Describe how the landscape plan addresses these items.

--

5. Visibility and Safety: The installation of such fence or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement. Please describe any visibility/safety concerns with your design.

--

6. Material Compatibility: No chain link, wire mesh or other similar material shall be installed on lot lines adjacent to public rights-of-way. Please verify that your design complies with this requirement.

--

7. Finished Side: Any fence or wall erected on a lot located at the intersection of two or more streets must have the finished and not the structural side facing the adjacent property, alley or street. Please verify that your design complies with this requirement.

--

F.3 Fence Variance Worksheet

Front Yard Restrictions

--

Fences Adjacent to Commercial Districts

--

Require Commercial Fences Adjacent to Residential Districts

--

F.3 Fence Variance Worksheet: Front Yard Restrictions

The proposed decorative landscape wall or fence is compatible with other properties in the neighborhood.

--

The height of the fence or wall does not exceed the size permitted as above when measured from the average grade of the yard where the fence or wall is to be installed. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included in the maximum height.

--

Posts, columns and finials may extend up to 6” above the maximum allowed height of the fence panels. CHAPTER 1264. FENCES AND WALLS City of Bexley Zoning Ordinance

--

A landscaping plan shall be filed with the application indicating how such fencing and/ or wall is to be integrated with existing front yard landscaping.

--

The installation of such fence and/or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement.

--

The fence and/or wall shall have a minimum of 50% transparency.

--

No chain link, wire mesh, concrete block or other similar type material shall be installed as a decorative landscape wall or fence.

--

That the lot exhibits unique characteristics that support the increase in fence height.

--

G. Demolition Worksheet

Is your property historically significant? Please attached supporting documentation. Recommended sources include ownership records, a letter from the Bexley Historical Society, etc.

--

Is your property architecturally significant? Please attached supporting documentation. Recommended sources include a letter of opinion from an architect or expert with historical preservation expertise.

--

If you answered "yes" to either of the above two questions, please describe any economic hardship that results from being unable to demolish the primary residence, and attach any supporting evidence.

--

If you answered "yes" to either of the above two questions, please describe any other unusual or compelling circumstances that require the demolition of the primary residence, and attach any supporting evidence.

--

I will provide a definite plan for reuse of the site, including proposed replacement structures, by completing Worksheets B & C and any other pertinent worksheets, along with required exhibits.

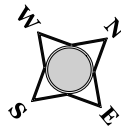
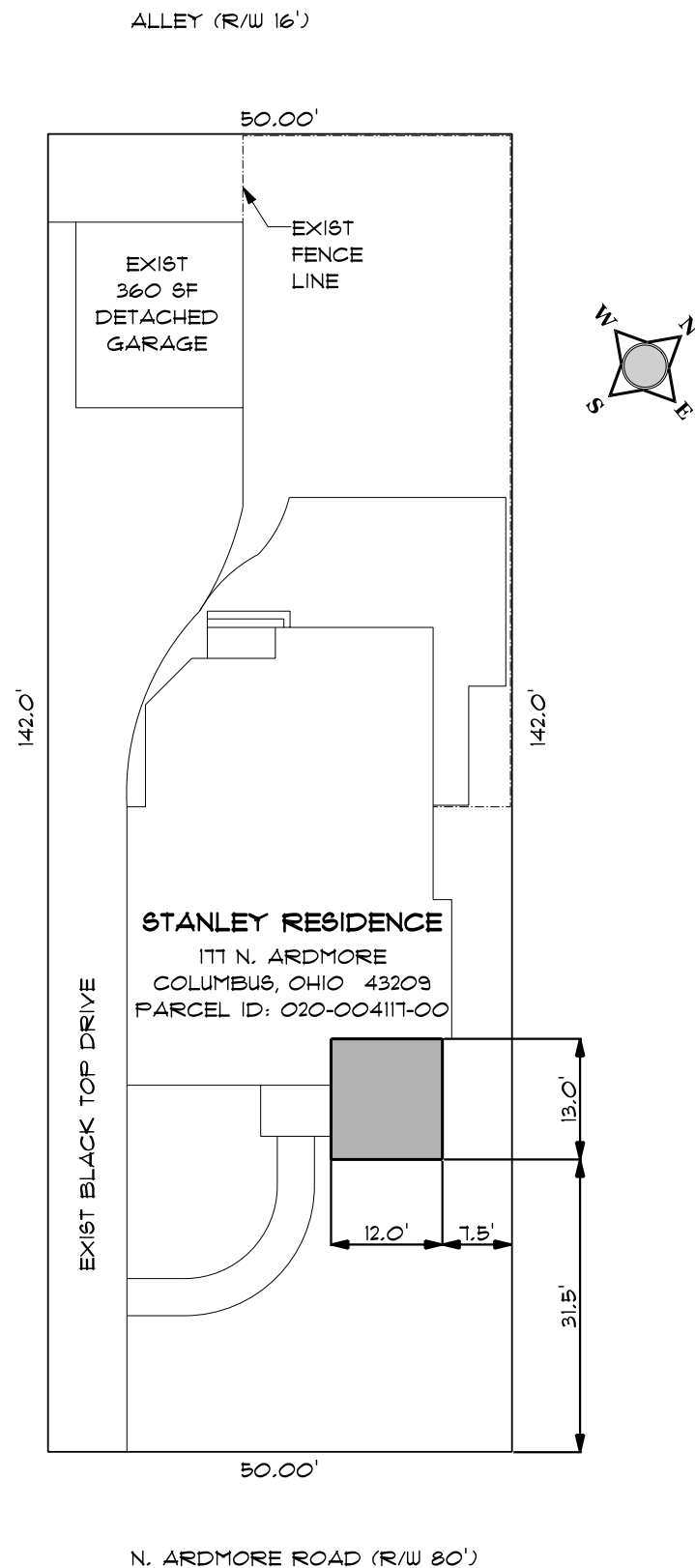
--

Provide a narrative time schedule for the replacement project

--

Please provide a narrative of what impact the proposed replacement project will have on the subject property and the neighborhood.

--



SITE NOTES:

EXISTING FOOTPRINT	1504 SF
TOTAL OF DETACHED GARAGE	360 SF
PROPOSED ADDITION	156 SF
RIDGE HEIGHT	13'0"
TOTAL BUILDING LOT COVERAGE	2020 SF
TOTAL PERCENTAGE OF LOT COVERAGE	29%
EXISTING DRIVEWAY	1315 SF
EXISTING PATIO	516 SF
EXISTING PRIVATE SIDEWALK	162 SF
TOTAL HARDSCAPE	1993 SF
TOTAL LOT COVERAGE	4013 SF
TOTAL PERCENTAGE OF LOT COVERAGE	58%

SITE PLAN

1" = 20'

FINISH GRADE SHALL FALL A MINIMUM OF 6" IN THE FIRST 10' FROM THE BUILDING PERIMETER.

EXISTING WALLS ARE DIMENSIONED TO DRYWALL
NEW WALLS ARE DIMENSIONED TO THE STUD.
UNLESS NOTED OTHERWISE

DAVE FOX
DESIGN • BUILD • REMODELERS
Owner:

3505 W. Dublin-Granville Rd; Columbus, OH 43235 www.davefox.com 614-459-7211

AUDREY & TYLER STANLEY
177 NORTH ARDMORE ROAD
BEXLEY, OHIO 43209

Design Plans: For use by agents of DFR only. Use or modifications of these plans without express permission of DFR is strictly prohibited. Mechanical plans to be verified by licensed contractor.

DESIGNED BY:
GREGG STADWICK
ID BY:
AMBER BOLIN
PM BY:
T.B.D.

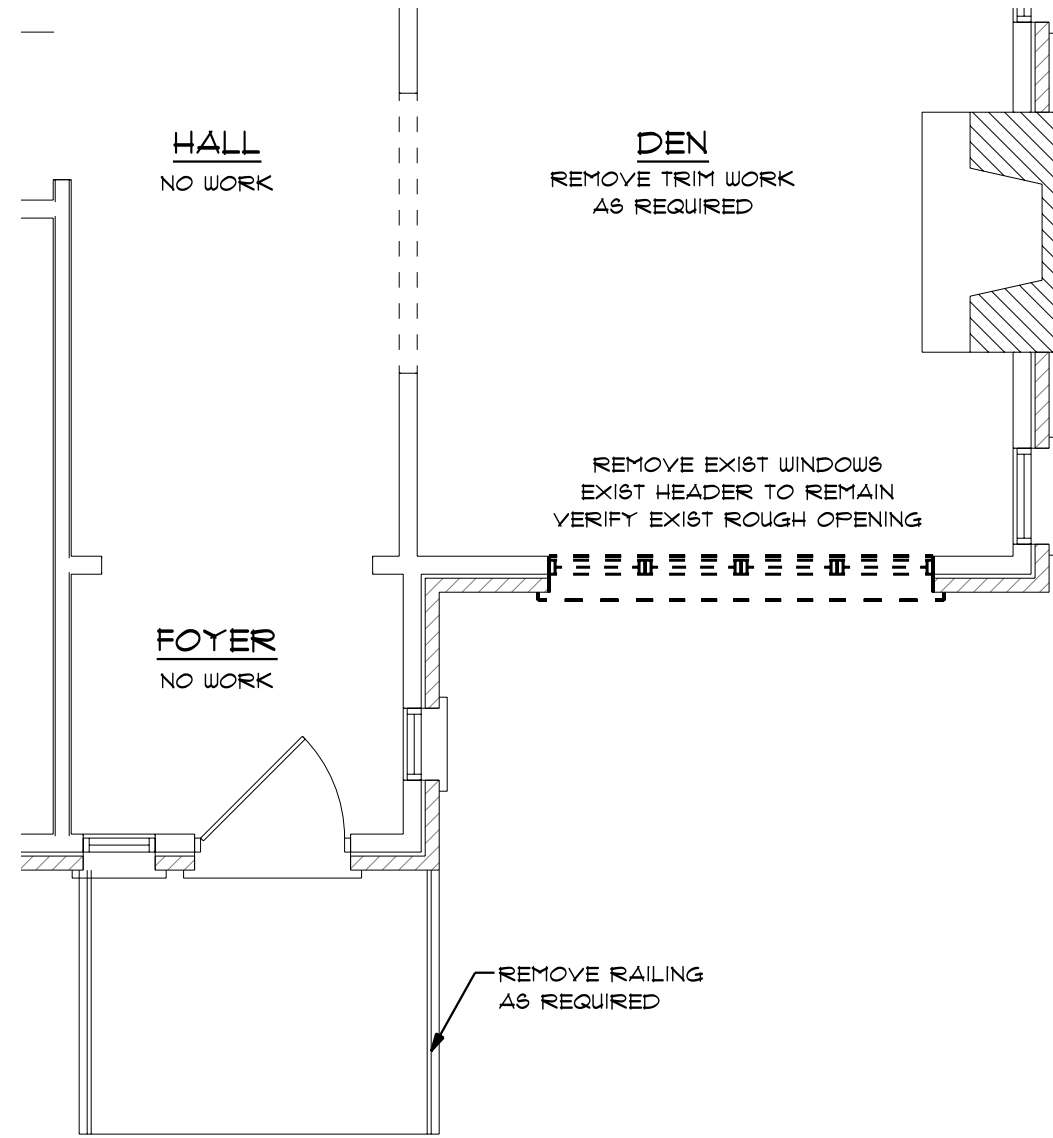
PROJ. #	1915123
DATE	10.15.19

SITE PLAN

SHEET #

1 OF 5

A-1



FIRST FLOOR DEMO PLAN

1/4" = 1'-0"

ALL NOTES ON PLANS REFER TO AREAS OF REMODEL ONLY U.N.O.

VERIFY ALL EXISTING CONDITIONS. ANY VARIATION SHOULD BE REPORTED TO PM

ALL DOORS, OPENINGS & WINDOWS ARE EXISTING UNLESS NOTED OTHERWISE

TEAR OUT, REMOVE & RELOCATE ALL ELECTRICAL. COORDINATE w/ NEW ELECTRIC PLAN.

EXISTING WALLS ARE
DIMENSIONED TO DRYWALL
NEW WALLS ARE DIMENSIONED
TO THE STUD.
UNLESS NOTED OTHERWISE

DAVE FOX
DESIGN • BUILD • REMODELERS
Owner: _____
Designer: _____

3505 W. Dublin-Granville Rd; Columbus, OH 43235 www.davefox.com 614-459-7211

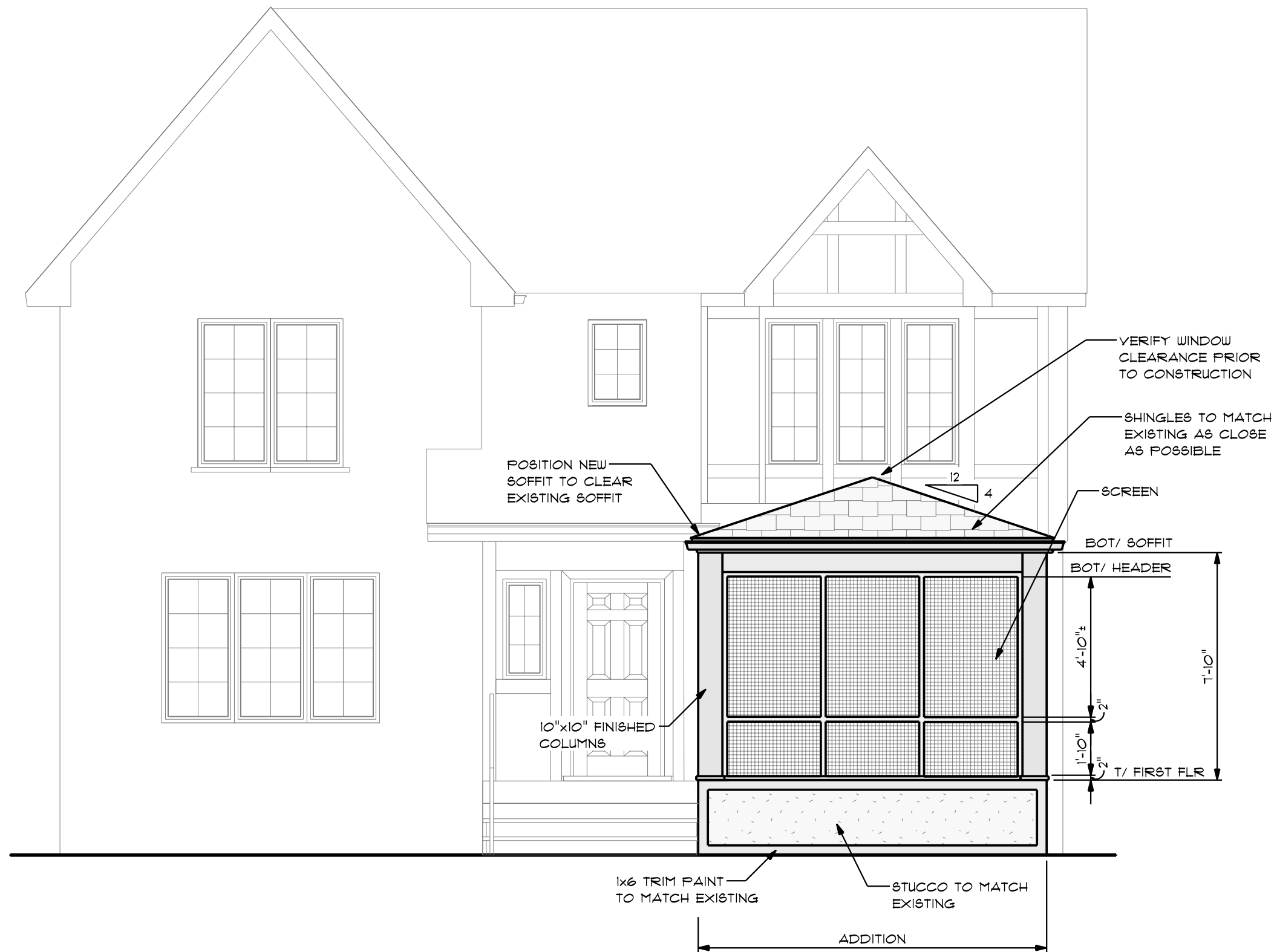
AUDREY & TYLER STANLEY
111 NORTH ARDMORE ROAD
BEXLEY, OHIO 43209

Design Plans: For use by agents of DFR only. Use or modifications of these plans without express permission of DFR is strictly prohibited. Mechanical plans to be verified by licensed contractor.

DESIGNED BY:
GREGG STADWICK
ID BY:
AMBER BOLIN
PM BY:
T.B.D.
PROJ. # 1915123
DATE 10.15.19

AS BUILT DEMO

SHEET #
A-2
2 OF 5



FRONT ELEVATION

1/4" = 1'-0"

DAVE FOX
DESIGN • BUILD • REMODELERS
Owner:

3505 W. Dublin-Granville Rd; Columbus, OH 43235 www.davefox.com 614-459-7211

AUDREY & TYLER STANLEY
 111 NORTH ARDMORE ROAD
 BEXLEY, OHIO 43209

Design Plans: For use by agents of DFR only. Use or modifications of these plans without express permission of DFR is strictly prohibited. Mechanical plans to be verified by licensed contractor.

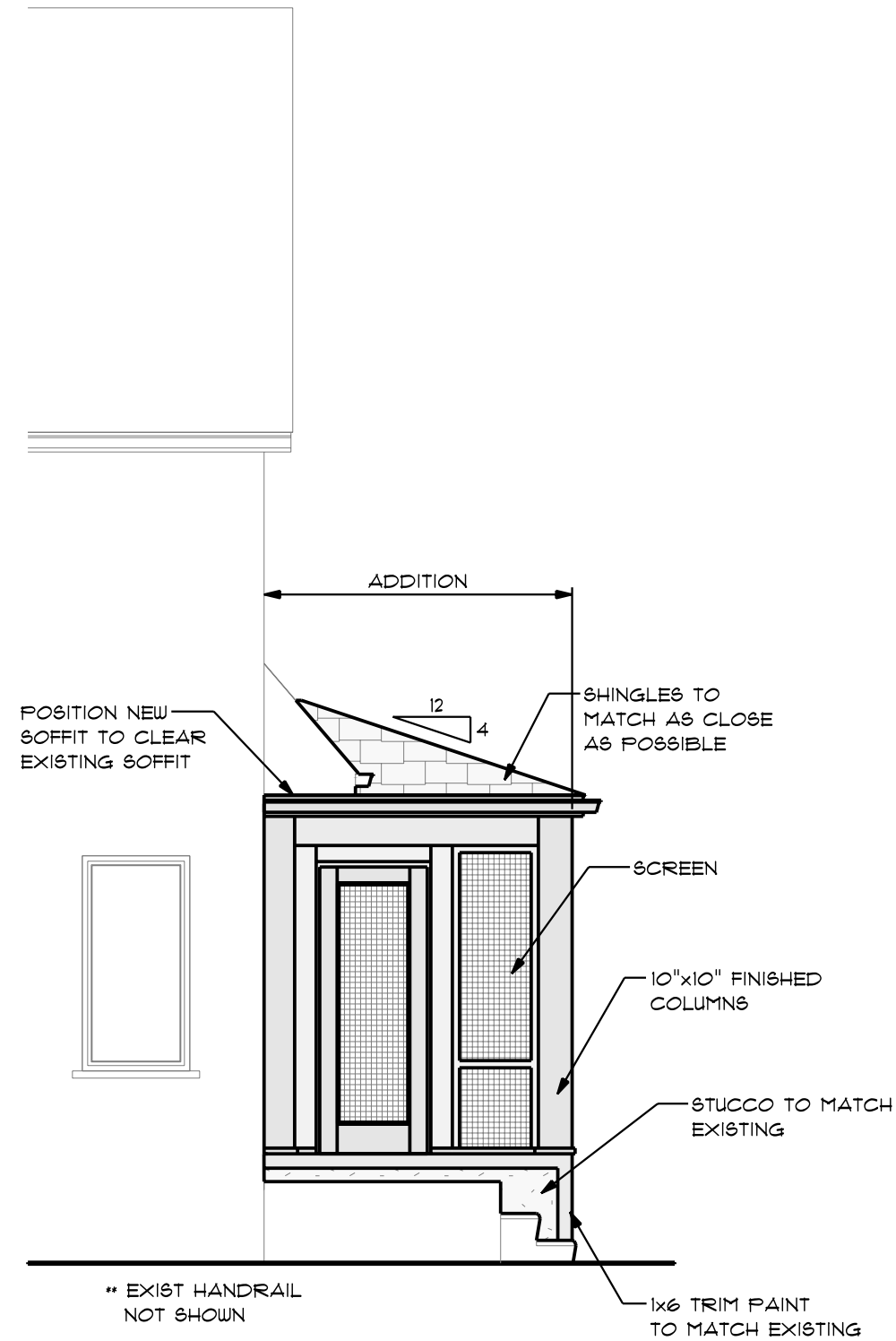
DESIGNED BY:
GREGG STADWICK
 ID BY:
AMBER BOLIN
 PM BY:
T.B.D.
 PROJ. # 1915123
 DATE 10.15.19

ELEVATIONS

SHEET #

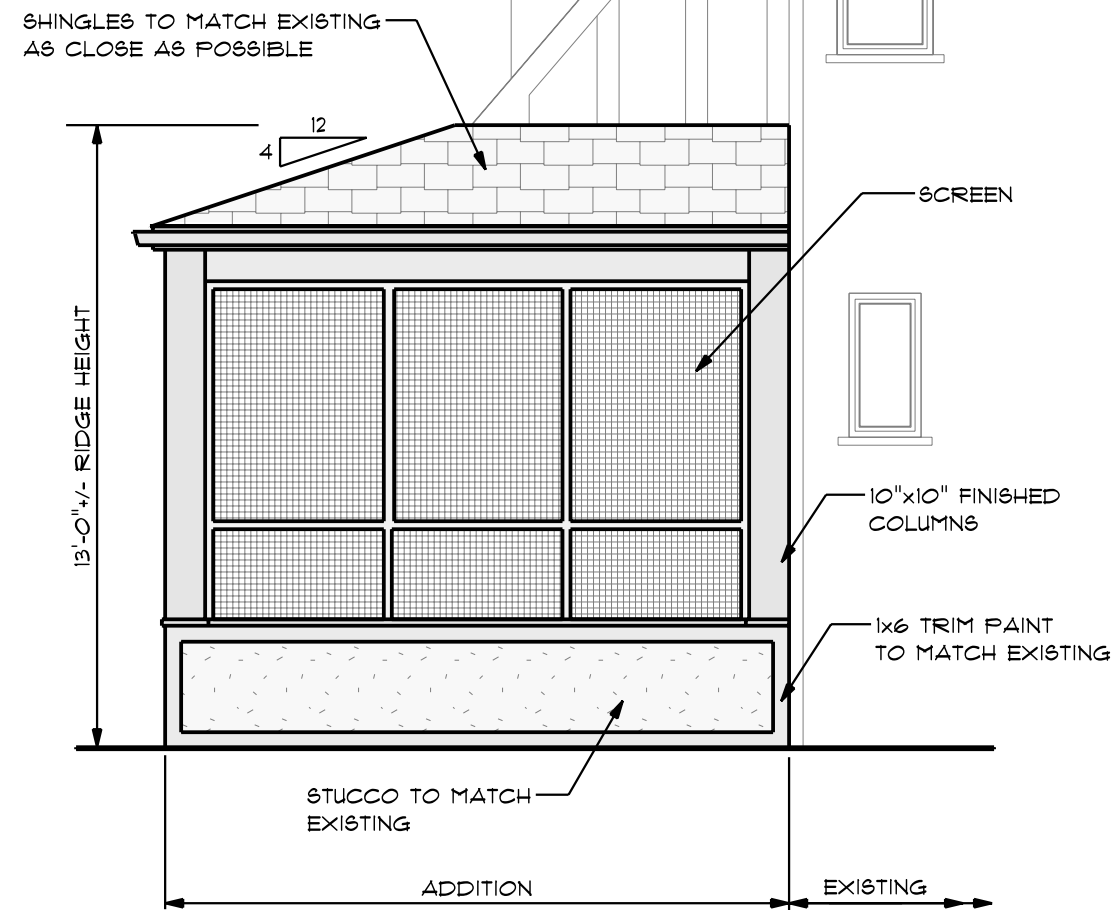
4 OF 5

A-4



LEFT SIDE ELEVATION

1/4" = 1'-0"



RIGHT SIDE ELEVATION

1/4" = EXISTING WALLS ARE DIMENSIONED TO DRYWALL
NEW WALLS ARE DIMENSIONED TO THE STUD.
UNLESS NOTED OTHERWISE

AUDREY & TYLER STANLEY
111 NORTH ARDMORE ROAD
BEXLEY, OHIO 43209

Design Plans: For use by agents of DFR only. Use or modifications of these plans without express permission of DFR is strictly prohibited. Mechanical plans to be verified by licensed contractor.

DESIGNED BY: GREGG STADWICK
ID BY: AMBER BOLIN
PM BY: T.B.D.
PROJ. # 1915123
DATE 10.15.19

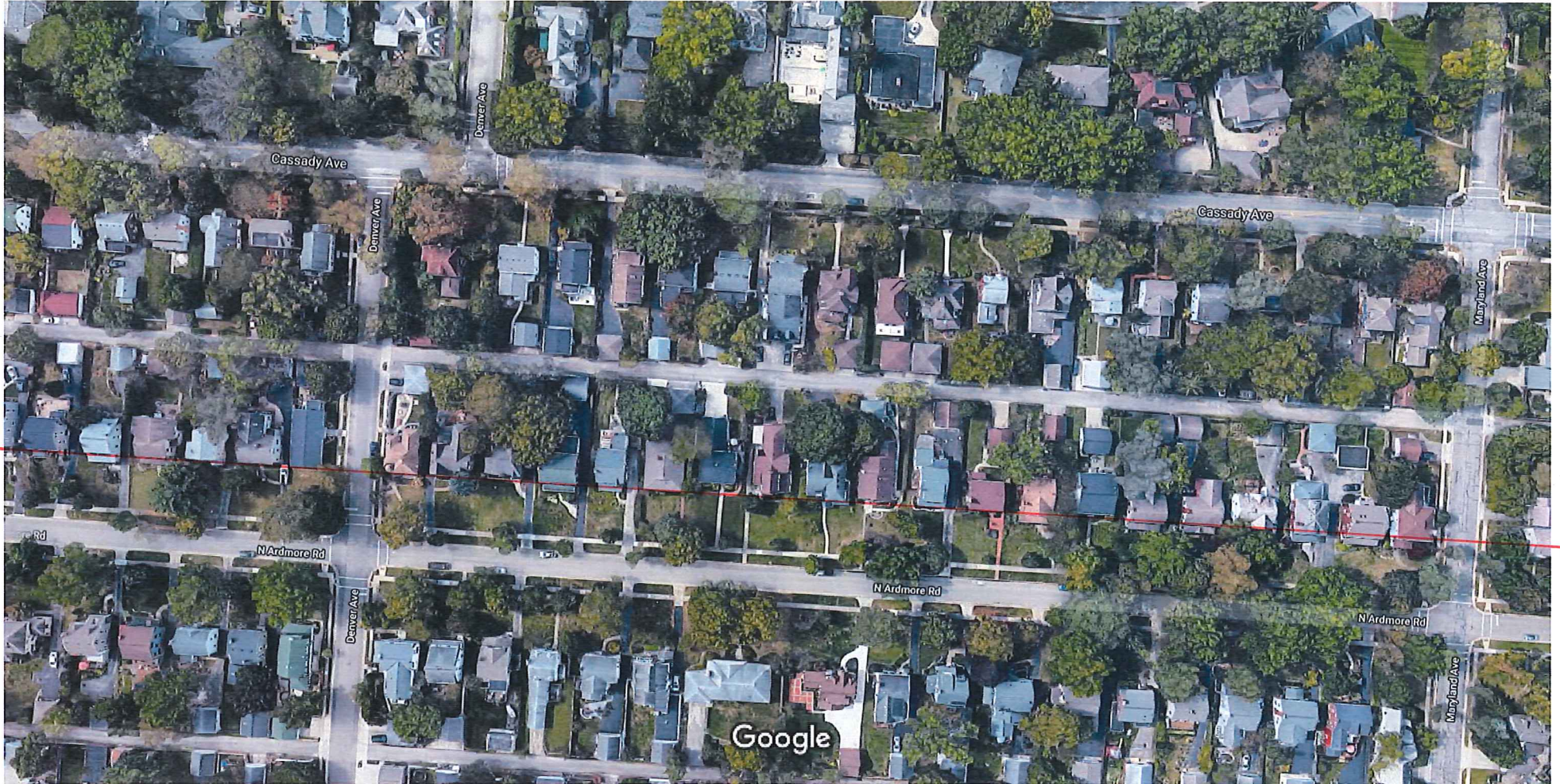
ELEVATIONS

SHEET #

A-5

5 OF 5

Google Maps 177 N Ardmore Rd



Imagery ©2019 Google, Imagery ©2019 Maxar Technologies, Map data ©2019 50 ft

↑
Pinching out back at 177 N. Ardmore compared to other houses on the street





Proposed Build Area













