



CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD

AGENDA

DATE: July 11, 2019  
TIME: 6:00 P.M.  
PLACE: City Council Chambers, Bexley Municipal Building

1. Call to Order
2. Roll Call
3. Approval of Minutes from the June 13th, 2019 ARB meeting.
4. Public Comment:

5. New Business:

a. Application No.: 19-44 A  
Applicant: Todd Parker, F5 Design/Architecture Inc.  
Owner: Jeffrey & Jennifer McCloskey  
Location: 2270 E. Broad Street  
**ARB Request:** The applicant is seeking architectural review and approval to allow an addition to the sunroom, located on the east side of the principal structure.

b. Application No.: 19012 A  
Applicant: Dan Morgan Behal Sampson Dietz  
Owner: Drs. Krishna & Deepa Mannava  
Location: 138 S. Parkview Avenue  
**ARB Request:** The applicant is seeking architectural review and approval to allow the existing attached garage to become enclosed living space, add a 3-car attached garage, and modifications to the existing principal structure. The modifications include adding sloped roofs to existing dormers, remove and replace the non-original entry porch structure, and replace the in-ground pool with a patio space. Portions of the garden wall along Elm Avenue will also be removed.

c. Application No.: 19-53  
Applicant: Pete Foster  
Owner: Mr. Phillip Rothrock & Mrs. Diane Meves  
Location: 37 N. Ardmore  
**ARB Request:** The applicant is seeking architectural review and approval to allow a

two-story addition to the west side of the principal structure, and also a porch and an attached garage on the south end of the principal structure.

- d. Application No.: 1BA-19-58  
Applicant: Elite Home Remodeling  
Owner: Anna Burrow  
Location: 2598 Ruhl Avenue  
**ARB Request:** The applicant is seeking architectural review and approval to allow an open porch addition to the rear of the principal structure.
  
- e. Application No.: BA-19-60  
Applicant: Gary J. Alexander  
Owner: John & Nicole Reehil  
Location: 154 Stanbery Avenue  
**ARB Request:** The applicant is seeking architectural review and approval to allow an addition to the south side of the principal structure.
  
- f. Application No.: 19-61  
Applicant: Amy Lauerhass  
Owner: Laura Dehlendorf  
Location: 205 N. Stanwood Road  
**ARB Request:** The applicant is seeking architectural review and approval to allow a two-story addition to the rear (west side) of the principal structure.
  
- g. Application No.: BA-19-62  
Applicant: Amy Lauerhass  
Owner: Babak Djourabchi  
Location: 2336 Bryden Road  
**ARB Request:** The applicant is seeking architectural review and approval to allow an addition to the northeast corner of the principal structure and a second story addition to the rear over the existing 1-story section. The applicant also proposes to convert the existing attached garage to living space. A new 2-car detached garage will be added.
  
- h. Application No.: MA-19-154  
Applicant: Amy Lauerhass  
Owner:Carolynn & Scott Ziance  
Location: 154 S. Dawson  
**ARB Request:** The applicant is seeking architectural review and recommendation to the Board of Zoning and Planning, to allow a front porch addition, replacement of all windows in casement style and new trim details.



PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD

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The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. If the applicant or his representative is not in attendance at such meeting, the Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

- a. Application No.: 19-44 A  
Applicant: Todd Parker, F5 Design/Architecture Inc.  
Owner: Jeffrey & Jennifer McCloskey  
Location: 2270 E. Broad Street

**ARB Request:** The applicant is seeking architectural review and approval to allow an addition to the sunroom, located on the east side of the principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 06-27-2019



**PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD**

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- a. Application No.: 19-44 A  
Applicant: Todd Parker, F5 Design/Architecture Inc.  
Owner: Jeffrey & Jennifer McCloskey  
Location: 2270 E. Broad Street

**ARB Request:** The applicant is seeking architectural review and approval to allow an addition to the sunroom, located on the east side of the principal structure.

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Mailed by: 05-30-2019

# CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

- Architectural Review    Conditional Use    Demolition    Planned Unit Dev.    Rezoning    Landscape Review    Special Permit

### Property & Project Information:

Property Address:

Brief Project Description:

### Applicant Information:

Applicant Name:

Applicant Address:  ,  ,

Applicant Email & Phone:

### Property Owner Information:

Owner Name:

Owner Address:  ,  ,

Owner Email & Phone:

### Attorney/Agent Information:

Agent Name:

Agent Address:  ,  ,

Agent Email & Phone:

- Completed Worksheets:**    Project Worksheet (Sheet A)    Architectural Review (Sheet B)    Tree Commission (Sheet D)

### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:  Date:

Owner Signature:  Date:

Agent Signature:  Date:

**PAID**  
*Cash*

**Internal Use:**   *BA 19-44*

Application #:    Board Referrals:    ARB    BZAP    City Council    Tree Commission

Staff Signature:    Date:



## Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

### Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation. \$

### Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation \$
- \$600.00 cap \$
- \$50.00 resubmittal fee \$

### Variance Review

Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text"/>
All others:	\$90.00	\$ <input type="text"/>

### Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text"/>
Replatting or new plat:	\$250.00	\$ <input type="text"/>

### Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>
Fences and walls:	\$65.00	\$ <input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text"/>
Re-submittal Fee:	\$50.00	\$ <input type="text"/>

### Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text"/>

**Fee Total:** \$

## Project Worksheet

Residential       Commercial

Property Address:

2270 E Broad St. Bexley, OH 43209

Zoning District:

- R-1 (25% Building & 40% Overall)
- R-2 (25% Building & 50% Overall)
- R-3 (25% Building & 50% Overall)
- R-6 (35% Building & 60% Overall)
- R-12 (35% Building & 70% Overall)
- Other:

*\* Overall coverage includes hardscape*

Lot Info:

Width (ft.):       Depth (ft.):       Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):

Proposed Addition (SF):

Removing (SF):       (Type of Structure):

Proposed new primary structure or residence (SF):

Total Square Footage:

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

Proposed Addition (SF):

Proposed New Structure (SF):

Total of all garage and accessory structures (SF):

Total building lot coverage (SF):

Is this replacing an existing garage and/or accessory structure?      Yes      No

New Structure Type:

Ridge Height:

Is there a 2nd floor?       Yes       No

2nd Floor SF:

=      % of lot

Hardscape:

Existing Driveway (SF):       Existing Patio (SF):       Existing Private Sidewalk (SF):

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

Totals:

Total overall lot coverage (SF):  =  % of lot

Applicant Initial:

JBM

<b>Internal Use:</b>	Staff Review Date: <input type="text"/>	<input type="checkbox"/> Meets Zoning	<input type="checkbox"/> ARB Only	<input type="checkbox"/> Variance or Modifications Needed
Staff Comments: <input style="width: 90%;" type="text"/>				Staff Initial: <input style="width: 50px;" type="text"/>

## Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing     House or Principal Structure     Garage Only     House & Garage

Existing Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Shingle Manufacturer:

New Roof Style & Color:

Windows     House or Principal Structure     Garage Only     House & Garage

Existing Window Type:     Casement     Fixed     Exterior Storm     Other:   
 Double Hung     Awning     Horizontal Sliding

Existing Window Materials:     Aluminum Clad Wood     Wood     Metal  
 Vinyl Clad Wood     Aluminum     Other:

New Window Manufacturer:

New Window Style/Mat./Color:

Doors     House or Principal Structure     Garage Only     House & Garage

Existing Entrance Door Type:     Wood     Insulated Metal     Fiberglass     Sidelights     Transom Windows

Existing Garage Door Type:     Wood     Insulated Metal     Fiberglass

Door Finish:     Stained     Painted

Proposed Door Type:  Style:  Color:

Exterior Trim

Existing Door Trim:     Cedar     Redwood     Pine     Std. Lumber Profile  
 Wood Composite     Aluminum Clad     Molding     Vinyl     Other:

Proposed New Door Trim:

Existing Window Trim:     Wood     Redwood     Pine     Std. Lumber Profile  
 Vinyl     Other:

Proposed New Window Trim:  Trim Color(s):

Do the Proposed Changes Affect the Overhangs?     Yes     No

## Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Natural Stone	natural stone to match existing as close as possible
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Siding	smooth cedar, painted Brilliant White
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	

**Staff Confirmation (to be completed by Residential Design Consultant:**

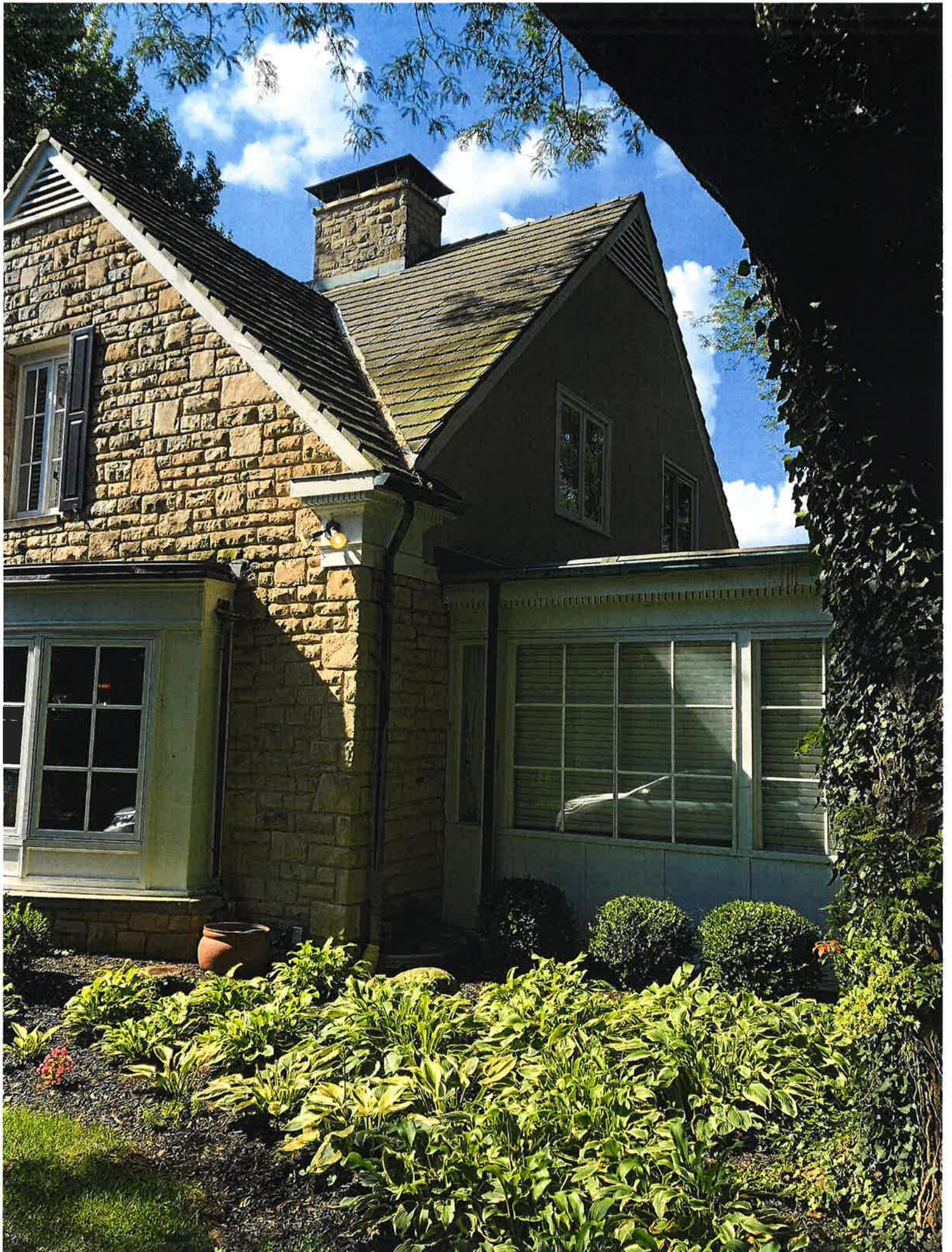
Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

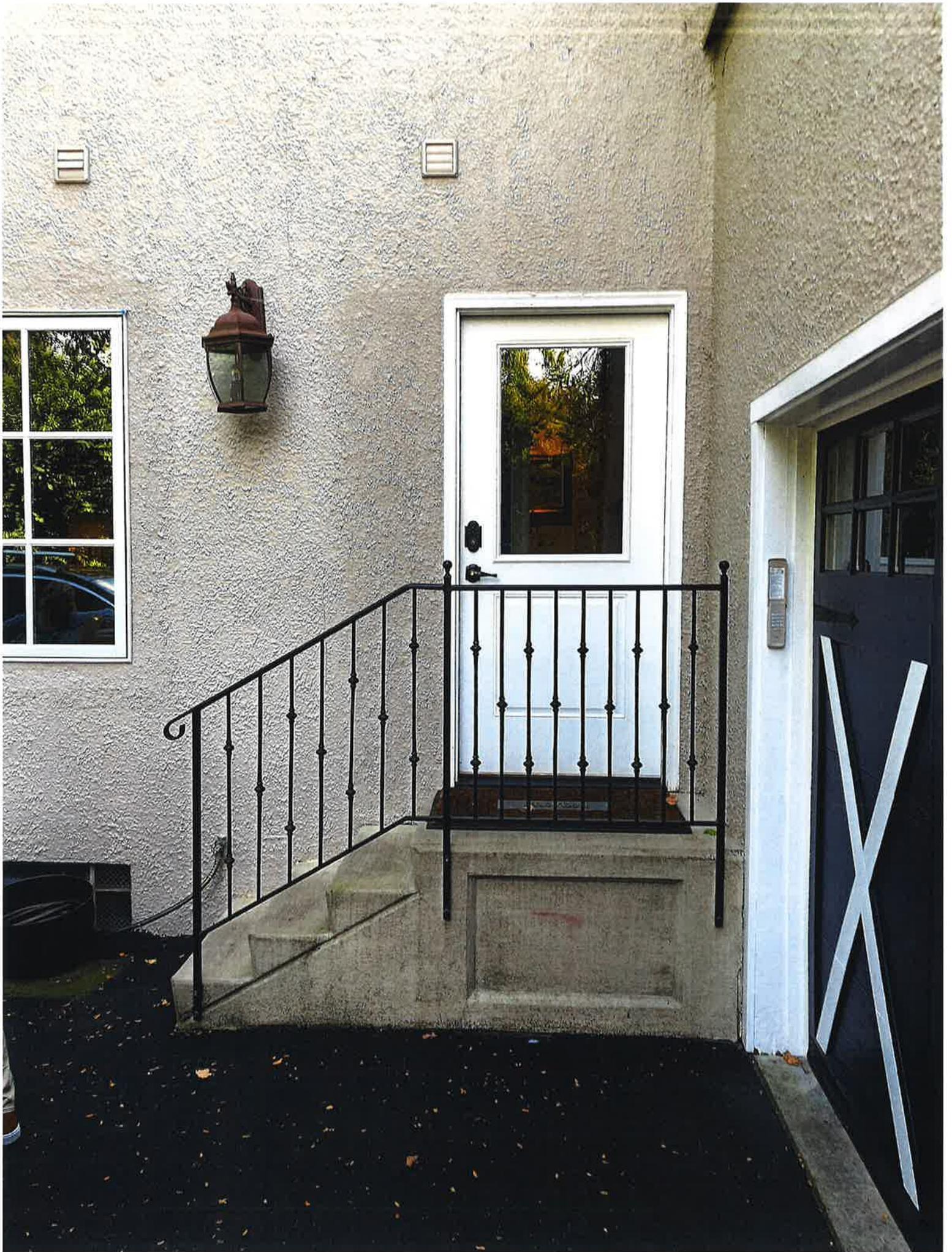














PROJECT NAME:

## McCLOSKEY RESIDENCE

2270 E BROAD ST  
 COLUMBUS, OHIO  
 43209

### PERMIT SET

SEAL/SIGNATURE



Drawings and specifications as instruments of professional service shall remain the property of the Architect. These documents are not to be used in whole or in part, for any other projects not at the specified address, without the prior written authorization of F5 Design/Architecture Inc. C. 2016

Builder

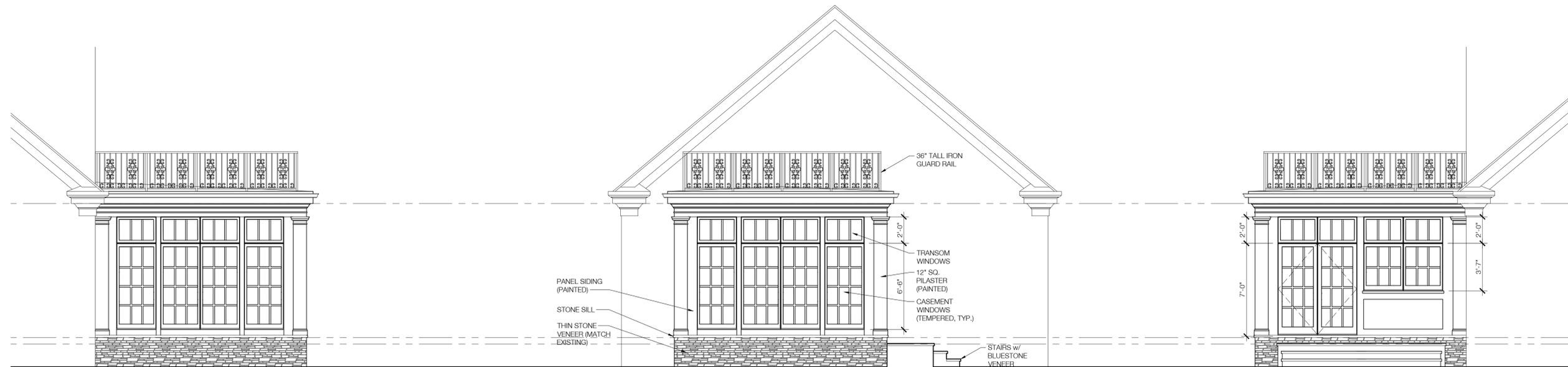
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PROJECT NO. 18041

PLANS & ELEVATIONS

25 MAR 2019

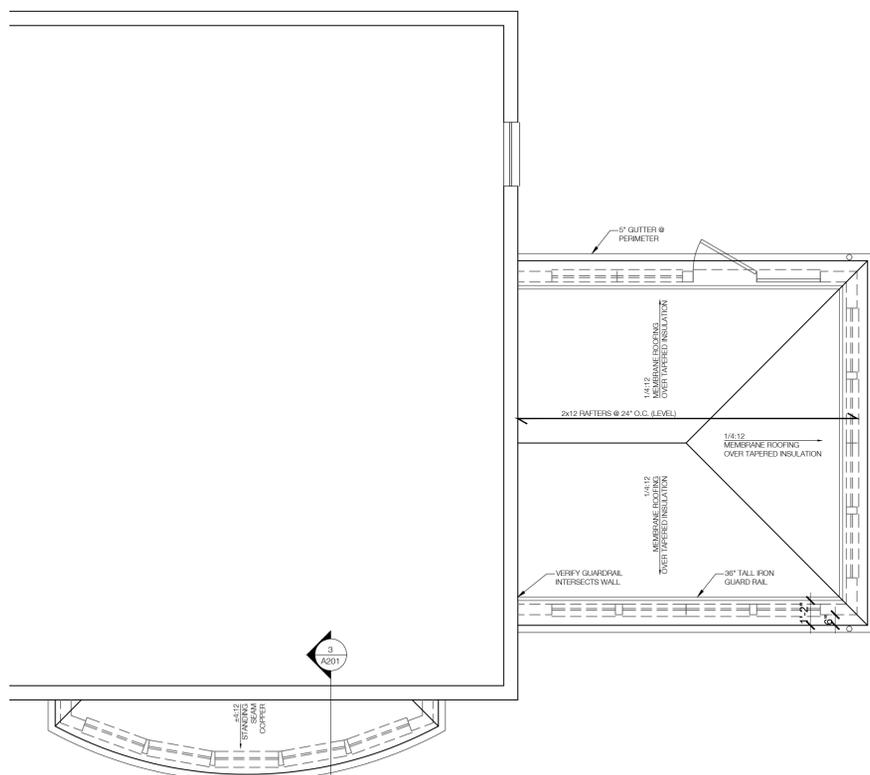
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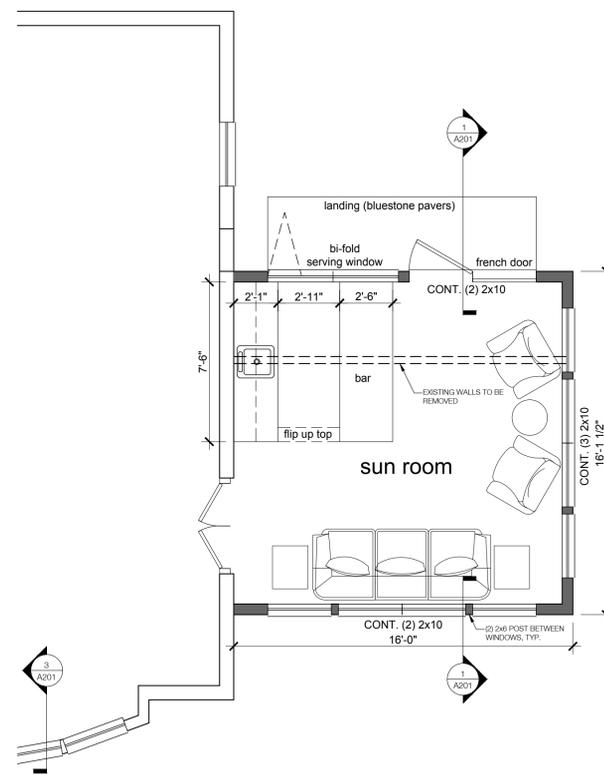
6 SOUTH ELEVATION  
 A100 1/4" = 1'-0"

5 EAST ELEVATION  
 A100 1/4" = 1'-0"

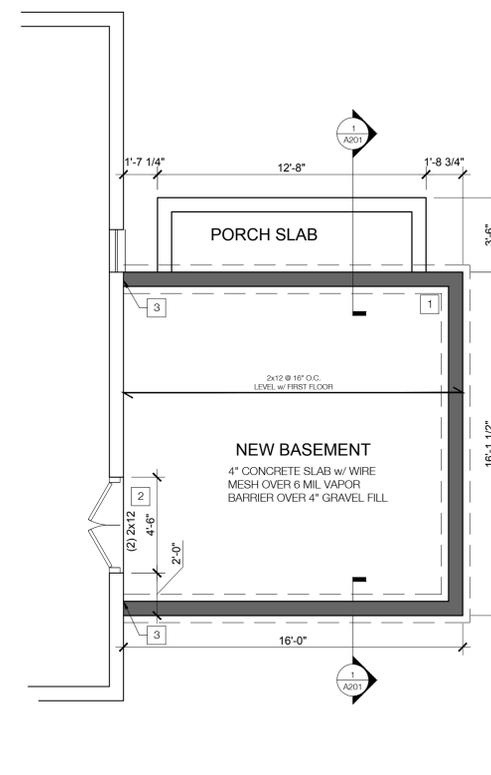
4 NORTH ELEVATION  
 A100 1/4" = 1'-0"



3 ROOF PLAN  
 A100 1/4" = 1'-0"



2 FIRST FLOOR PLAN  
 A100 1/4" = 1'-0"



1 FOUNDATION PLAN  
 A100 1/4" = 1'-0"

EXISTING FOUNDATION WALL  
 NEW FOUNDATION WALL

#### FLOOR PLAN CODED NOTES

- 8" WIDE CMU FOUNDATION WALL ON CONT. 16" WIDE x 8" DEEP FOOTING w/ (2) CONT. #4 BAR TYP. FOR ALL NEW WALLS - MATCH HEIGHT OF EXISTING BASEMENT WALLS
- CUT NEW OPENING IN EXISTING BASEMENT WALL
- 16" LONG #4 BAR SPACED EVERY 16" GROUTED @ CONNECTION OF NEW FOUNDATION WALL AND EXISTING
- EXTERIOR WALLS TO BE 10'-0" TALL PRE-CUT 2x6 @ 16" O.C. FILLED w/ R-21 INSULATION, 7/16" OSB SHEATHING & HOUSE WRAP U.N.O.
- INTERIOR WALL SURFACE TO BE 1/2" GYP. BD., CEILINGS TO BE 5/8" GYP. BD., TYP. U.N.O.

# A100

PROJECT NAME:

## McCLOSKEY RESIDENCE

2270 E BROAD ST  
 COLUMBUS, OHIO  
 43209

### PERMIT SET

SEAL/SIGNATURE



EXP. 12/31/2019

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Builder

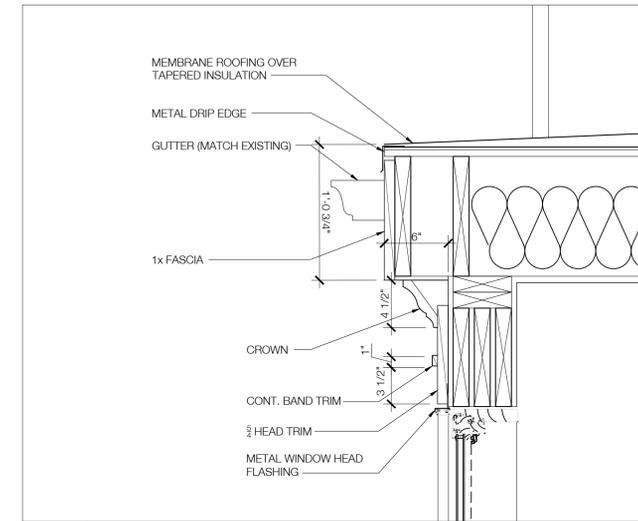
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PROJECT NO. 18041

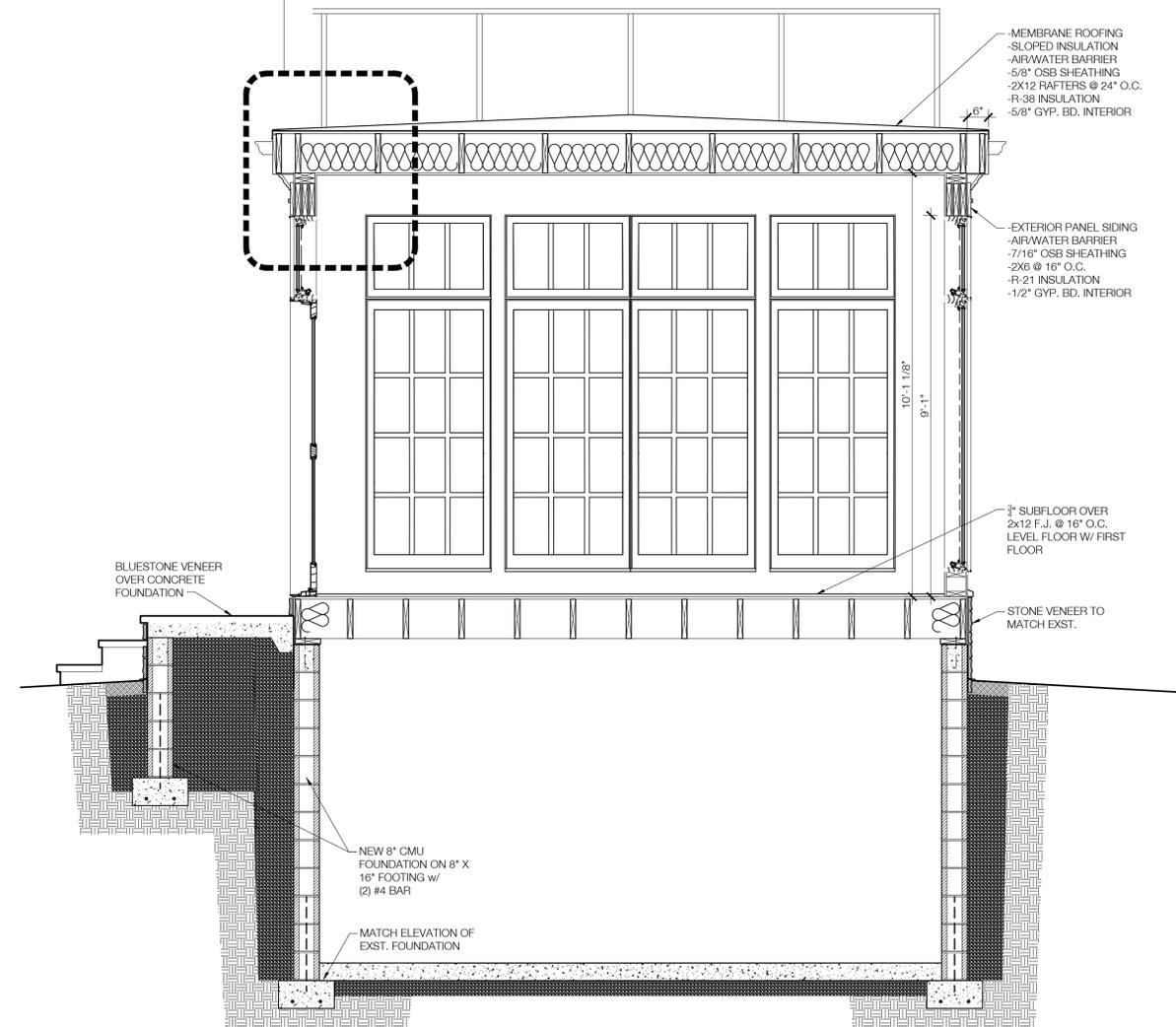
BUILDING SECTIONS

25 MAR 2019

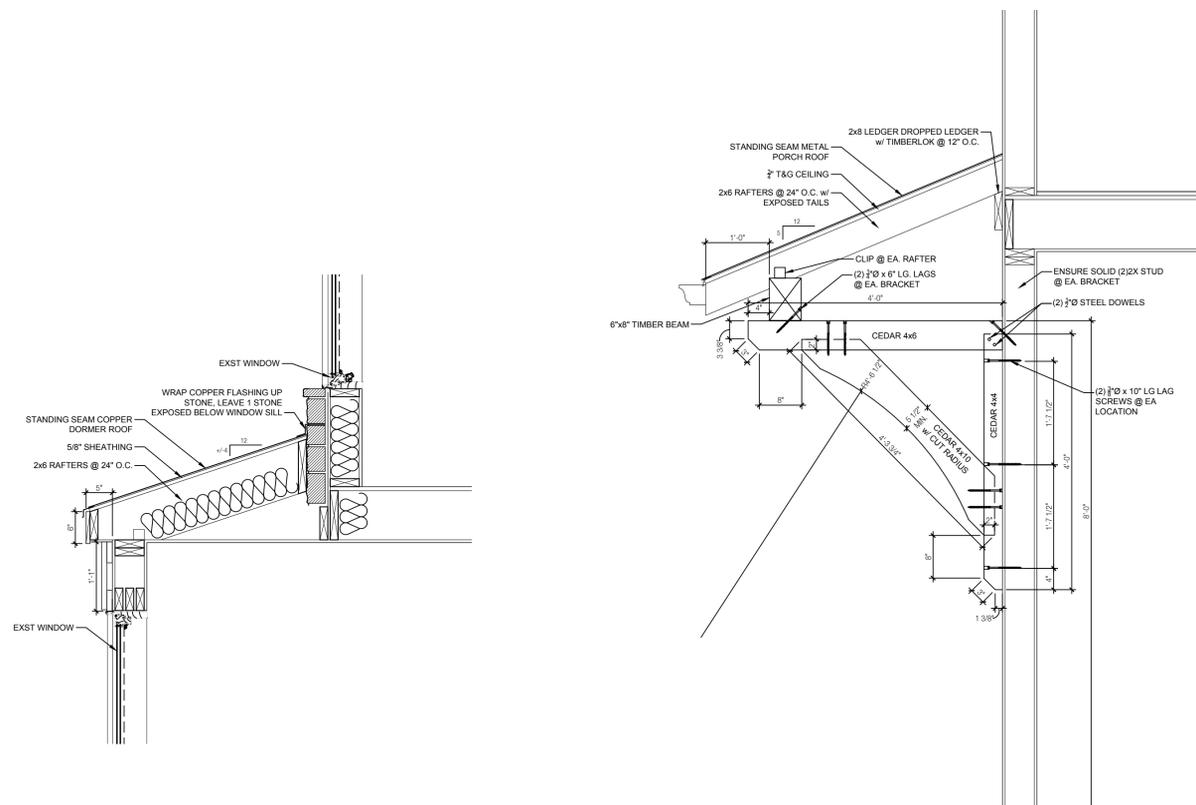
# A200



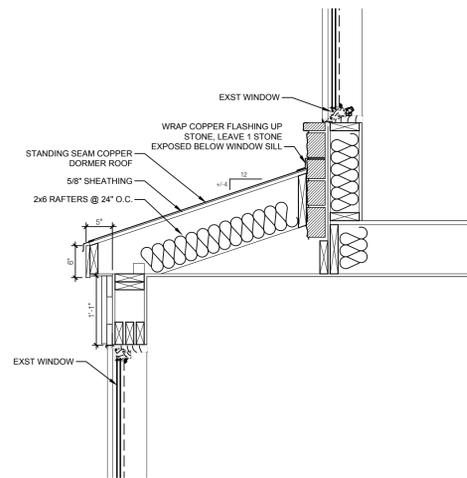
4 EAVE DETAIL  
 A200 1-1/2" = 1'-0"



1 BUILDING SECTION  
 A200 1/2" = 1'-0"



2 ROOF OVERHANG DETAIL  
 A200 3/4" = 1'-0"



3 BAY WINDOW ROOF DETAIL  
 A200 3/4" = 1'-0"

PROJECT NAME:

## McCLOSKEY RESIDENCE

2270 E BROAD ST  
 COLUMBUS, OHIO  
 43209

### PERMIT SET

SEAL/SIGNATURE



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Builder

SCALE: N.T.S.

PROJECT NO. 18041

FRONT DOOR

25 MAR 2019

# A300



1 FRONT DOOR  
 A300 N.T.S.



PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD and/or  
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, July 11, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

a. Application No.: 19012 A

Applicant: Dan Morgan Behal Sampson Dietz

Owner: Drs. Krishna & Deepa Mannava

Location: 138 S. Parkview Avenue

**ARB Request:** The applicant is seeking architectural review and approval to allow the existing attached garage to become enclosed living space, add a 3-car attached garage, and modifications to the existing principal structure. The modifications include adding sloped roofs to existing dormers, remove and replace the non-original entry porch structure, and replace the in-ground pool with a patio space. Portions of the garden wall along Elm Avenue will also be removed.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 2-28-2019



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CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD and/or  
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, March 14, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

a. Application No.: 19012 A

Applicant: John Behal, Behal Sampson Dietz

Owner: Drs. Krishna & Deepa Mannava

Location: 138 S. Parkview Avenue

**ARB Request:** The applicant is seeking architectural review and approval to allow the existing attached garage to become enclosed living space, add a 3-car attached garage, and modifications to the existing principal structure. The modifications include adding sloped roofs to existing dormers, remove and replace the non-original entry porch structure, and replace the in-ground pool with a patio space. Portions of the garden wall along Elm Avenue will also be removed.

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Mailed by: 2-28-2019

BA

# SHEET A.1 CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

- Architectural Review
- Conditional Use
- Demolition
- Planned Unit Dev.
- Rezoning
- Landscape Review
- Special Permit

### Property & Project Information:

Property Address:

Brief Project Description:

### Applicant Information:

Applicant Name:

Applicant Address:

Applicant Email & Phone:

### Property Owner Information:

Owner Name:

Owner Address:

Owner Email & Phone:

### Attorney/Agent Information:

Agent Name:

Agent Address:

Agent Email & Phone:

- Completed Worksheets:  Project Worksheet (Sheet A)  Architectural Review (Sheet B)  Tree Commission (Sheet D)

### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:  Date:

Owner Signature:  Date:

Agent Signature:  Date:

Internal Use:

Application #:  Board Referrals:  ARB  BZAP  City Council  Tree Commission

Staff Signature:  Date:

## Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$ 300,000

### Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation
- \$5.00 for each additional \$10,000 valuation.

\$

\$

### Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation
- \$5.00 for each additional \$10,000 valuation
- \$600.00 cap
- \$50.00 resubmittal fee

\$ 90.00

\$ 150.00

\$

\$

### Variance Review

Single Family: \$100.00

Commercial Property: \$100.00

Fences or Special Permits: \$65.00

All others: \$90.00

\$

\$

\$

\$

### Zoning Fees

Rezoning:

- \$250.00 up to 1 acre site
- \$60.00 for each additional acre (or part thereof)

Requests for amendment to PUD Plans: \$300.00

Split of lot or existing parcel: \$250.00

Replatting or new plat: \$250.00

\$

\$

\$

\$

\$

### Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>
Fences and walls:	\$65.00	\$ <input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text"/>
Re-submittal Fee:	\$50.00	\$ <input type="text"/>

### Appeals

Appeal of ARB decision to BZAP: \$50.00

Appeal of BZAP decision to City Council: \$250.00

\$

\$

**Fee Total:** \$ 240.00

## Project Worksheet

Residential  Commercial

Property Address:

138 South Parkview Ave

Zoning District:

R-3

- R-1 (25% Building & 40% Overall)
- R-2 (25% Building & 50% Overall)
- R-3 (25% Building & 50% Overall)
- R-6 (35% Building & 60% Overall)
- R-12 (35% Building & 70% Overall)
- Other:

\* Overall coverage includes hardscape

Lot Info:

Width (ft.): 100 Depth (ft.): 250 Total Area (SF): 25,000

Primary Structure Info:

Existing Footprint (SF): 3250  
 Proposed Addition (SF): 1060  
 Removing (SF): - (Type of Structure: )  
 Proposed new primary structure or residence (SF): 4310  
 Total Square Footage: 4310

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

N/A

Existing Footprint (SF):  New Structure Type:   
 Proposed Addition (SF):  Ridge Height:   
 Proposed New Structure (SF):  Is there a 2nd floor?  Yes  No  
 Total of all garage and accessory structures (SF):  2nd Floor SF:   
 Total building lot coverage (SF):  =  % of lot  
 Is this replacing an existing garage and/or accessory structure?  Yes  No

Hardscape:

Existing Driveway (SF): 2124 Existing Patio (SF): 3018 Existing Private Sidewalk (SF): 175  
 Proposed Additional Hardscape (SF): 0  
 Total Hardscape (SF): 5317

Totals:

Total overall lot coverage (SF): 9627 = 39 % of lot

Applicant Initial:

JP

**Internal Use:** Staff Review Date:   Meets Zoning  ARB Only  Variance or Modifications Needed

Staff Comments:  Staff Initial:



## Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing     House or Principal Structure     Garage Only     House & Garage

Existing Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Shingle Manufacturer: Match Existing Slate

New Roof Style & Color: Bronze Painted Metal Standing Seam (Aged Copper Look)

Windows     House or Principal Structure     Garage Only     House & Garage

Existing Window Type:     Casement     Fixed     Exterior Storm     Other:   
 Double Hung     Awning     Horizontal Sliding

Existing Window Materials:     Aluminum Clad Wood     Wood     Metal  
 Vinyl Clad Wood     Aluminum     Other:

New Window Manufacturer: Pella

New Window Style/Mat./Color: Contemporary Series (Narrow Side Line) Wood-clad black

Doors     House or Principal Structure     Garage Only     House & Garage

Existing Entrance Door Type:     Wood     Insulated Metal     Fiberglass     Sidelights     Transom Windows

Existing Garage Door Type:     Wood     Insulated Metal     Fiberglass

Door Finish:     Stained     Painted

Proposed Door Type: ceavage    Wood    Style: Carrage Style    Color: not determined

Exterior Trim

Existing Door Trim:     Cedar     Redwood     Pine     Std. Lumber Profile  
 Wood Composite     Aluminum Clad     Molding     Vinyl     Other:

Proposed New Door Trim: match existing

Existing Window Trim:     Wood     Redwood     Pine     Std. Lumber Profile  
 Vinyl     Other:

Proposed New Window Trim: match existing    Trim Color(s): not determined

Do the Proposed Changes Affect the Overhangs?     Yes     No

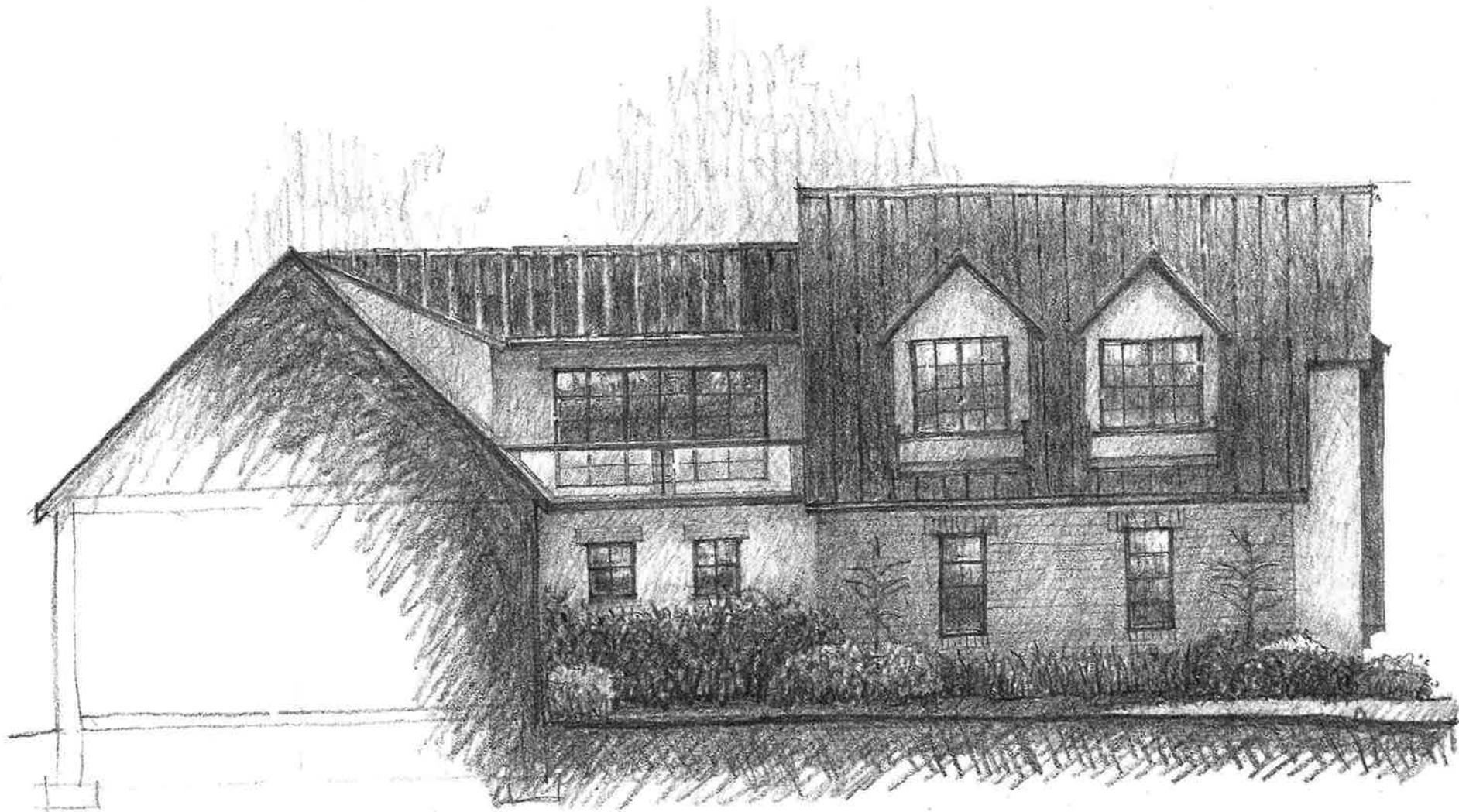


BEHAL || SAMPSON || DIETZ  
ARCHITECTURE & CONSTRUCTION

**Attachment to 138 South Parkview Application**

Scope of Work:

- Remove pool and replace south facing terraces.
- Remove portions of non-conforming garden wall.
- Remove and replace non-original entrance “porch” structure.
- Add sloped roof to existing dormers.
- Replace single glazed metal windows with narrow line black clad wood windows.
- Add attached garage with additional living space above. Modify driveway.
- Renovate existing garage space into living spaces.







SCHEMATIC DESIGN DRAWINGS FOR

**MANNAVA RESIDENCE**  
138 S. PARKVIEW  
BEXLEY, OHIO  
7.03.19

S. PARKVIEW AVE.

138 S. PARKVIEW AVE.

ELM AVE.



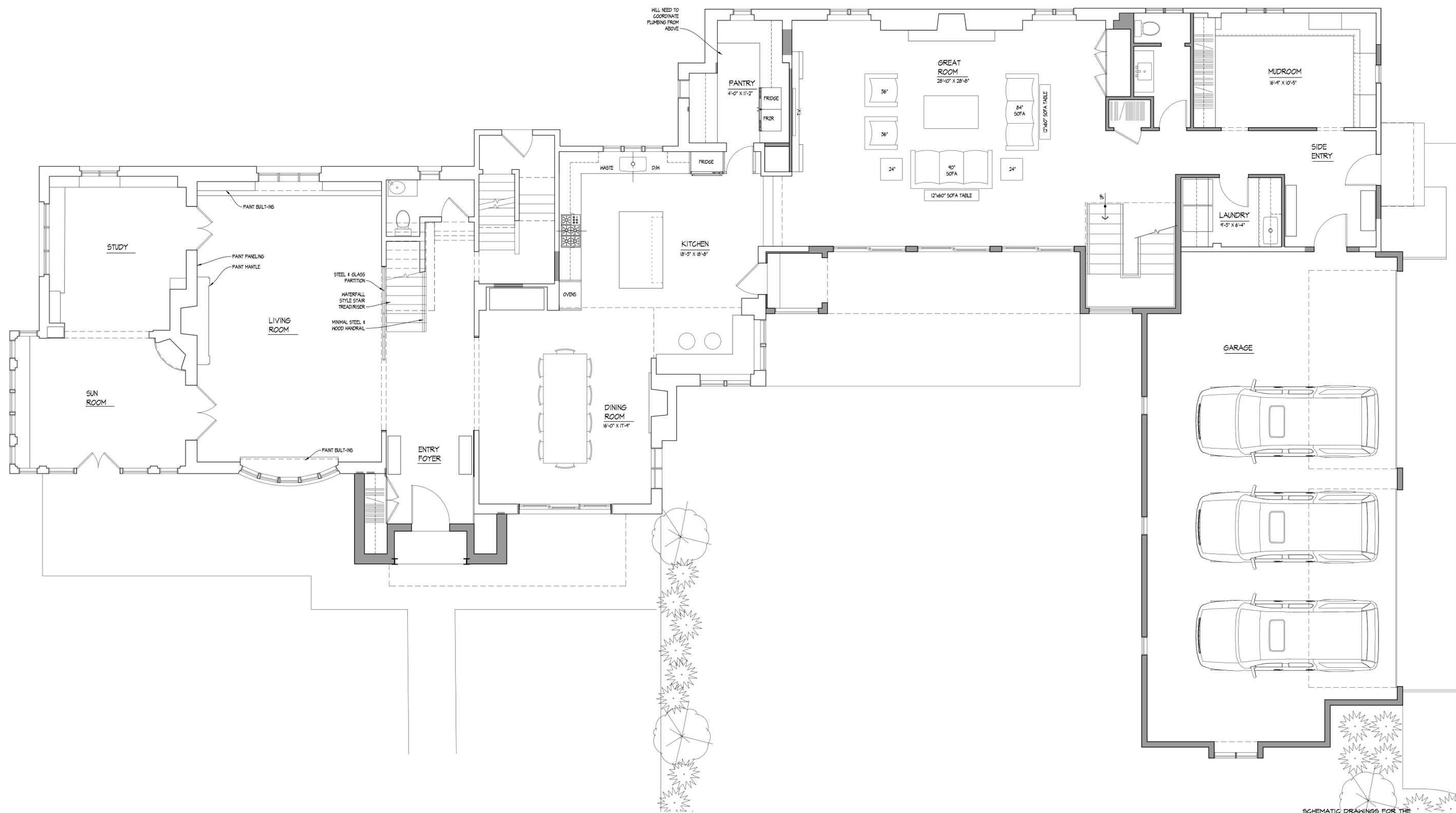
SITE PLAN  
SCALE: 3/32" = 1'-0"



SCHEMATIC DRAWINGS FOR THE  
MANNAYA RESIDENCE

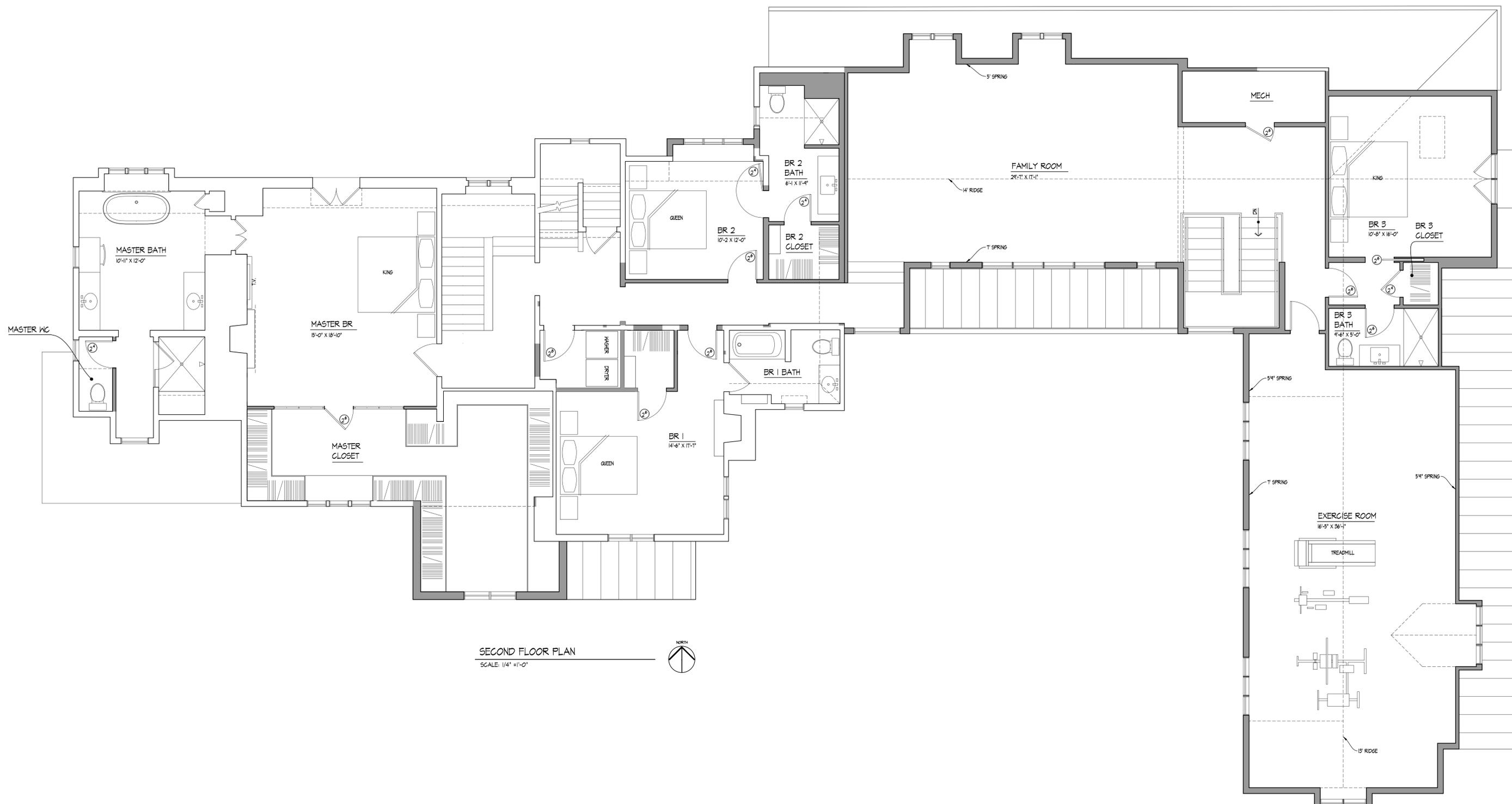
138 S. PARKVIEW  
BEXLEY, OHIO 43209

1.3.2019



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"





SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"



CODED ELEVATION NOTES	
MARK	NOTE
1	EXISTING STONE
2	EXISTING STUCCO
3	SMOOTH STUCCO
4	BRICK
5	EXISTING WOOD TRIM
6	WOOD TRIM
8	EXISTING SLATE ROOF
9	SALVAGED SLATE ROOF
10	STANDING SEAM METAL ROOF
11	STEEL & WOOD ANCHOR W/ TENSION CABLES & TURNBUCKLES
12	HALF ROUND GUTTER
13	METAL BOX GUTTER
14	ROUND DOWNSPOUT
15	METAL GUARD-RAIL
16	STEEL BEAM
17	EXISTING MASONRY CHIMNEY
18	ALUMINUM CLAD WOOD WINDOW
19	NEW EXTERIOR DOOR
20	STEEL & WOOD DOOR
21	METAL & GLASS OVERHEAD DOORS
22	GABLE VENT



THIRD FLR. F.F.  
 118' - 4"

SECOND FLR. CLG  
 117' - 4 1/4"

SECOND FLR. F.F.  
 109' - 4 3/4"

FIRST FLR. CLG  
 108' - 4"

SECOND FLOOR - ADDITION  
 107' - 10 3/4"

FIRST FLR. F.F. (MAIN HOUSE)  
 100' - 0"

FIRST FLR. F.F. (GARAGE WING)  
 98' - 11"

SOUTH ELEVATION  
 1/4" = 1'-0"

SCHEMATIC DESIGN DRAWINGS FOR

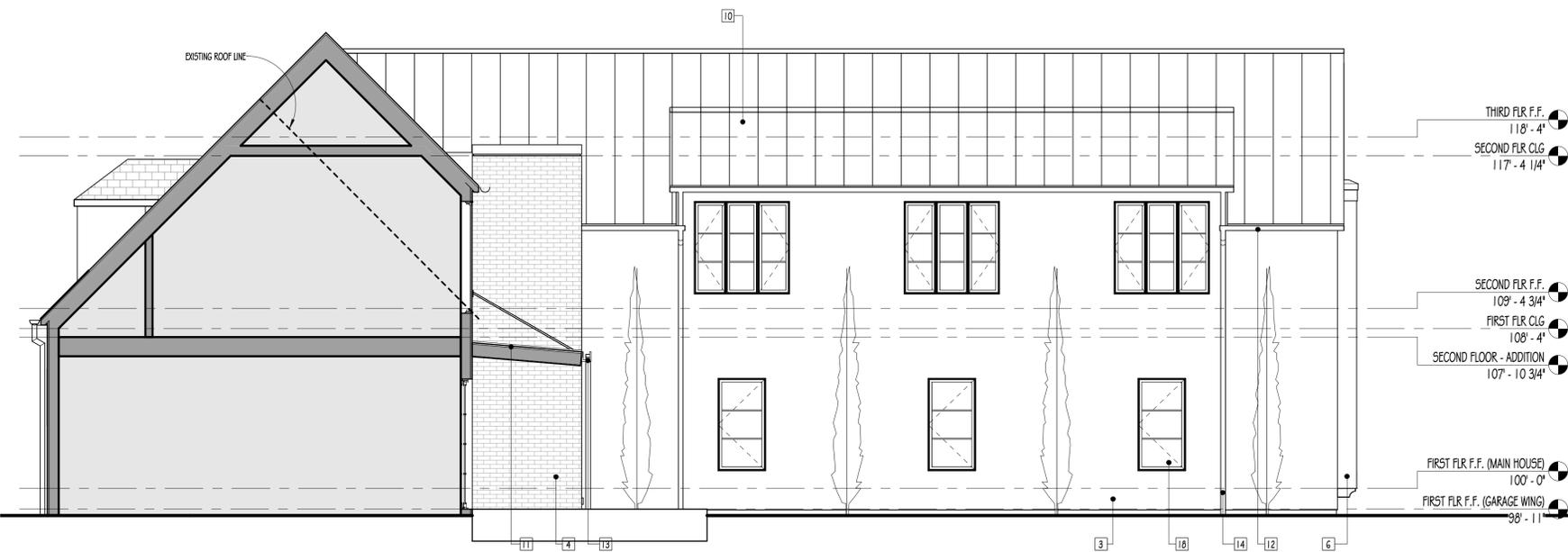
**MANNAVA RESIDENCE**  
 138 S. PARKVIEW  
 BEXLEY, OHIO  
 7.03.19

BEHAL SAMPSON DIETZ  
 990 WEST THIRD AVE.  
 COLUMBUS, OHIO 43212

CODED ELEVATION NOTES	
MARK	NOTE
1	EXISTING STONE
2	EXISTING STUCCO
3	SMOOTH STUCCO
4	BRICK
5	EXISTING WOOD TRIM
6	WOOD TRIM
8	EXISTING SLATE ROOF
9	SALVAGED SLATE ROOF
10	STANDING SEAM METAL ROOF
11	STEEL 4 WOOD ANNING W/ TENSION CABLES 4 TURBUCKELS
12	HALF ROUND GUTTER
13	METAL BOX GUTTER
14	ROUND DOWNSPOUT
15	METAL GUARD-RAIL
16	STEEL BEAM
17	EXISTING MASONRY CHIMNEY
18	ALUMINUM CLAD WOOD WINDOW
19	NEW EXTERIOR DOOR
20	STEEL 4 WOOD DOOR
21	METAL 4 GLASS OVERHEAD DOORS
22	CABLE VENT



EAST ELEVATION  
 1/4" = 1'-0"



WEST ELEVATION  
 1/4" = 1'-0"



SCHEMATIC DESIGN DRAWINGS FOR

**MANNAVA RESIDENCE**  
 138 S. PARKVIEW  
 BEXLEY, OHIO  
 7.03.19



WEST ELEVATION  
 1/4" = 1'-0"

CODED ELEVATION NOTES	
MARK	NOTE
1	EXISTING STONE
2	EXISTING STUCCO
3	SMOOTH STUCCO
4	BRICK
5	EXISTING WOOD TRIM
6	WOOD TRIM
8	EXISTING SLATE ROOF
9	SALVAGED SLATE ROOF
10	STANDING SEAM METAL ROOF
11	STEEL & WOOD ANCHING W/ TENSION CABLES & TURNBUCKLES
12	HALF ROUND GUTTER
13	METAL BOX GUTTER
14	ROUND DOWNSPOUT
15	METAL GUARD-RAIL
16	STEEL BEAM
17	EXISTING MASONRY CHIMNEY
18	ALUMINUM CLAD WOOD WINDOW
19	NEW EXTERIOR DOOR
20	STEEL & WOOD DOOR
21	METAL & GLASS OVERHEAD DOORS
22	GABLE VENT



NORTH ELEVATION  
 1/4" = 1'-0"

SCHEMATIC DESIGN DRAWINGS FOR

**MANNAVA RESIDENCE**  
 138 S. PARKVIEW  
 BEXLEY, OHIO  
 7.03.19





















PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, July 11, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. If the applicant or his representative is not in attendance at such meeting, the Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

- a. Application No.: 19-53
- Applicant: Pete Foster
- Owner: Mr. Phillip Rothrock & Mrs. Diane Meves
- Location: 37 N. Ardmore

**ARB Request:** The applicant is seeking architectural review and approval to allow a two-story addition to the west side of the principal structure, and also a porch and an attached garage on the south end of the principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 06-27-2019

## Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review  
  Conditional Use  
  Demolition  
  Planned Unit Dev.  
  Rezoning  
  Landscape Review  
  Special Permit

**Property & Project Information:**

Property Address: **37 NORTH ARDMORE**

Brief Project Description: **NEW TWO STORY ADDITION TO BOTH THE SOUTH & WEST OF THE EXISTING TWO STORY RESIDENCE.**

**Applicant Information:**

Applicant Name: **PETE FOSTER RESIDENTIAL DESIGN**

Applicant Address: **685 MONTROSE AVE**, **BEXLEY**, **OH** **43209**

Applicant Email & Phone: **pctcfastball@aol.com** **614.778.4701**

**Property Owner Information:**

Owner Name: **MR. PAUL PROTHROCK & MRS. DIANE MEVES**

Owner Address: **37 NORTH ARDMORE**, **BEXLEY**, **OH** **43209**

Owner Email & Phone: **prothrocks@gmail.com** **614.565.4194**

**Attorney/Agent Information:** **diane.meves@gmail.com**

Agent Name: \_\_\_\_\_

Agent Address: \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_, \_\_\_\_\_

Agent Email & Phone: \_\_\_\_\_

- Completed Worksheets:**  
  Project Worksheet (Sheet A)  
  Architectural Review (Sheet B)  
  Tree Commission (Sheet D)

**Signatures:**

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:  Date: **6/21/19**

Owner Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Agent Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**Internal Use:**

Application #: \_\_\_\_\_ Referrals:  
  ARB  
  BZAP  
  City Council  
  Tree Commission

Staff Signature: \_\_\_\_\_ Date: \_\_\_\_\_

## Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$ 250,000

### Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation. \$

### Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation \$
- \$600.00 cap \$
- \$50.00 resubmittal fee \$

### Variance Review

Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text"/>
All others:	\$90.00	\$ <input type="text"/>

### Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text"/>
Replatting or new plat:	\$250.00	\$ <input type="text"/>

### Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>
Fences and walls:	\$65.00	\$ <input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text"/>
Re-submittal Fee:	\$50.00	\$ <input type="text"/>

### Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text"/>

**RESUBMITTAL FEE** → Fee Total: \$ 50.00

## Project Worksheet

Residential       Commercial

Property Address:

37 NORTH ARMORE

Zoning District:

R-6

- R-1 (25% Building & 40% Overall)       R-6 (35% Building & 60% Overall)  
 R-2 (25% Building & 50% Overall)       R-12 (35% Building & 70% Overall)  
 R-3 (25% Building & 50% Overall)       Other:

\* Overall coverage includes hardscape

Lot Info:

Width (ft.): 80.5      Depth (ft.): 148.5      Total Area (SF): 11,927

Primary Structure Info:

Existing Footprint (SF): 864  
Proposed Addition (SF): 1544  
Removing (SF):   
Proposed new primary structure or residence (SF):   
Total Square Footage: TOTAL FOOTPRINT 2056

1192  
1st = house = 568 + garage = 624  
2nd = 352  
(Type of Structure):

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):       New Structure Type:   
Proposed Addition (SF):       Ridge Height:   
Proposed New Structure (SF):       Is there a 2nd floor?  Yes  No  
Total of all garage and accessory structures (SF):       2nd Floor SF:   
Total building lot coverage (SF):  =  % of lot  
Is this replacing an existing garage and/or accessory structure?  Yes  No

Hardscape:

Existing Driveway (SF):       Existing Patio (SF):       Existing Private Sidewalk (SF): 100  
Proposed Additional Hardscape (SF): 416  
Total Hardscape (SF): 516      ← 256 DRIVE 160 PATIO

Totals:

Total overall lot coverage (SF): 2572 = 22% of lot

Applicant Initial:

Internal Use:

Staff Review Date:        Meets Zoning       ARB Only       Variance or Modifications Needed

Staff Comments:

Staff Initial:

## Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

**Roofing**     House or Principal Structure     Garage Only     House & Garage

Existing Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Shingle Manufacturer:

New Roof Style & Color:

**Windows**     House or Principal Structure     Garage Only     House & Garage

Existing Window Type:     Casement     Fixed     Exterior Storm     Other:   
 Double Hung     Awning     Horizontal Sliding

Existing Window Materials:     Aluminum Clad Wood     Wood     Metal  
 Vinyl Clad Wood     Aluminum     Other:

New Window Manufacturer:

New Window Style/Mat./Color:

**Doors**     House or Principal Structure     Garage Only     House & Garage

Existing Entrance Door Type:     Wood     Insulated Metal     Fiberglass     Sidelights     Transom Windows

Existing Garage Door Type:     Wood     Insulated Metal     Fiberglass

Door Finish:     Stained     Painted

Proposed Door Type:  Style:  Color:

**Exterior Trim**

Existing Door Trim:     Cedar     Redwood     Pine     Std. Lumber Profile  
 Wood Composite     Aluminum Clad     Molding     Vinyl     Other:

Proposed New Door Trim:

Existing Window Trim:     Wood     Redwood     Pine     Std. Lumber Profile  
 Vinyl     Other:

Proposed New Window Trim:  Trim Color(s):

Do the Proposed Changes Affect the Overhangs?     Yes     No

## Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other	JAM'S HARDI 6" EXPOSURE - UNDECIDED

**Staff Confirmation (to be completed by Residential Design Consultant:**

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:





PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD and/or  
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, July 11, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 1BA-19-58  
Applicant: Elite Home Remodeling  
Owner: Anna Burrow  
Location: 2598 Ruhl Avenue  
**ARB Request:** The applicant is seeking architectural review and approval to allow an open porch addition to the rear of the principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 6-28-2019

# CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

- Architectural Review    Conditional Use    Demolition    Planned Unit Dev.    Rezoning    Special Permit

### Property & Project Information:

Property Address:

2598 Ruff Ave Columbus, OH 43209

Brief Project Description:

open covered porch

### Applicant Information:

Applicant Name:

Elite Home Remodeling

Applicant Address:

6295-A Busch Blvd Columbus OH 43229

Applicant Email & Phone:

RSHARMON43@HOTMAIL.COM 614-785-6700

Property Owner Information:

TWITCHHELL1@MSN.COM

Owner Name:

ANNA BURROWS

Owner Address:

2598 Ruff Ave Columbus OH 43209

Owner Email & Phone:

### Attorney/Agent Information:

Agent Name:

Tom Mitchell

Agent Address:

6295-A Busch Blvd Columbus OH 43229

Agent Email & Phone:

614-785-7670 (cell 614-419-5031) RSHARMON43@HOTMAIL.COM

Completed Worksheets:

- Project Worksheet (Sheet A)    Architectural Review (Sheet B)    Tree Commission (Sheet C)

### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:

Tom Mitchell

Date:

June 17, 2019

Owner Signature:

Date:

Agent Signature:

Tom Mitchell

Date:

**PAID**

### Internal Use:

Application #:

BA-19-58

Board Referrals:

- ARB    BZAP    City Council    Tree Commission

Staff Signature:

Date:

## Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$ 62,000.00

### Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project: - \$50.00 for 1st \$10,000 valuation \$   
 - \$5.00 for each additional \$10,000 valuation. \$

### Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project: - \$90.00 for the 1st \$10,000 valuation \$   
 - \$5.00 for each additional \$10,000 valuation \$   
 - \$600.00 cap \$   
 - \$50.00 resubmittal fee \$

### Variance Review

Single Family: \$100.00 \$   
 Commercial Property: \$100.00 \$   
 Fences or Special Permits: \$65.00 \$   
 All others: \$90.00 \$

### Zoning Fees

Rezoning: - \$250.00 up to 1 acre site \$   
 - \$60.00 for each additional acre (or part thereof) \$   
 Requests for amendment to PUD Plans: \$300.00 \$   
 Split of lot or existing parcel: \$250.00 \$   
 Replatting or new plat: \$250.00 \$

### Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>

Fences and walls: \$65.00 \$

Special Permit, Conditional Uses and All others: \$90.00 \$

Re-submittal Fee: \$50.00 \$

### Appeals

Appeal of ARB decision to BZAP: \$50.00 \$   
 Appeal of BZAP decision to City Council: \$250.00 \$

**Fee Total:** \$

## Project Worksheet

Residential       Commercial

Property Address:

Zoning District:

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

*\* Overall coverage includes hardscape*

Lot Info:

Width (ft.):

55

Depth (ft.):

130

Total Area (SF):

7,150

Primary Structure Info:

Existing Footprint (SF):

Proposed Addition (SF):

Removing (SF):

Proposed new primary structure or residence (SF):

Total Square Footage:

774

(Type of Structure):

OPEN PORCH

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

Proposed Addition (SF):

74

Proposed New Structure (SF):

Total of all garage and accessory structures (SF):

Total building lot coverage (SF):

New Structure Type:

OPEN PORCH

Ridge Height:

Is there a 2nd floor?

Yes

No

2nd Floor SF:

=  % of lot

Is this replacing an existing garage and/or accessory structure?

Yes

No

Hardscape:

Existing Driveway (SF):

Existing Patio (SF):

Existing Private Sidewalk (SF):

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

Totals:

Total overall lot coverage (SF):

74

=  % of lot

Applicant Initial:

TWL

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:

## Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

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**Roofing**     House or Principal Structure     Garage Only     House & Garage

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 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Shingle Manufacturer:

New Roof Style & Color:

**Windows**     House or Principal Structure     Garage Only     House & Garage

Existing Window Type:     Casement     Fixed     Exterior Storm     Other:   
 Double Hung     Awning     Horizontal Sliding

Existing Window Materials:     Aluminum Clad Wood     Wood     Metal  
 Vinyl Clad Wood     Aluminum     Other:

New Window Manufacturer:

New Window Style/Mat./Color:

**Doors**     House or Principal Structure     Garage Only     House & Garage

Existing Entrance Door Type:     Wood     Insulated Metal     Fiberglass     Sidelights     Transom Windows  
Existing Garage Door Type:     Wood     Insulated Metal     Fiberglass

Door Finish:     Stained     Painted

Proposed Door Type:     Style:     Color:

**Exterior Trim**

Existing Door Trim:     Cedar     Redwood     Pine     Std. Lumber Profile  
 Wood Composite     Aluminum Clad     Molding     Vinyl     Other:

Proposed New Door Trim:

Existing Window Trim:     Wood     Redwood     Pine     Std. Lumber Profile  
 Vinyl     Other:

Proposed New Window Trim:     Trim Color(s):

Do the Proposed Changes Affect the Overhangs?     Yes     No

## Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Vinyl Siding	T.B.D.
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	

**Staff Confirmation (to be completed by Residential Design Consultant:**

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

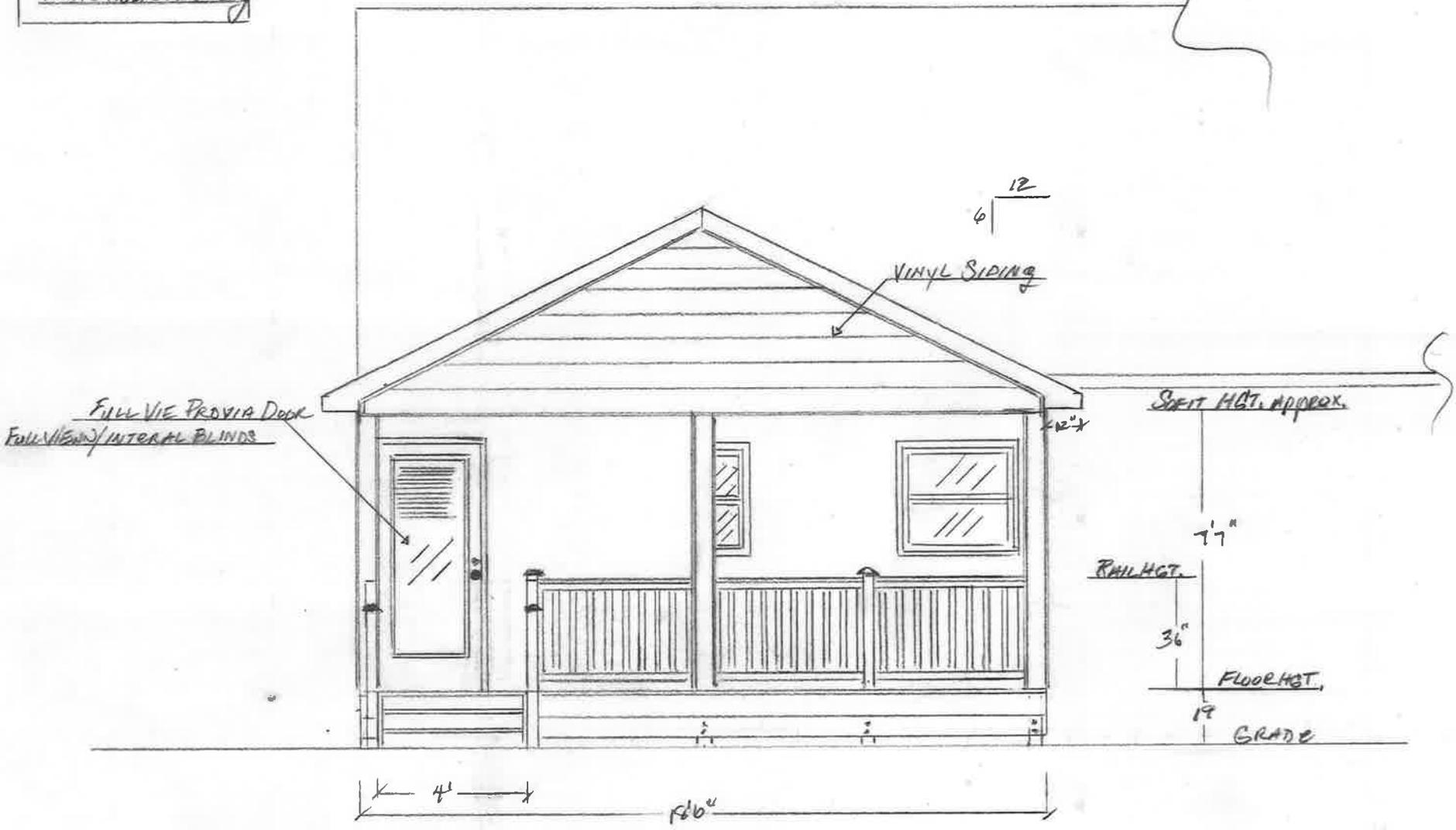
Staff Initials:



ANNA BARROWS  
2598 RUIHL AVE  
COLUMBUS OHIO  
43209

NORTH ELEVATION VIEW

DRAWN BY  
TOM MITCHELL  
ELITE HOME RENOVATING



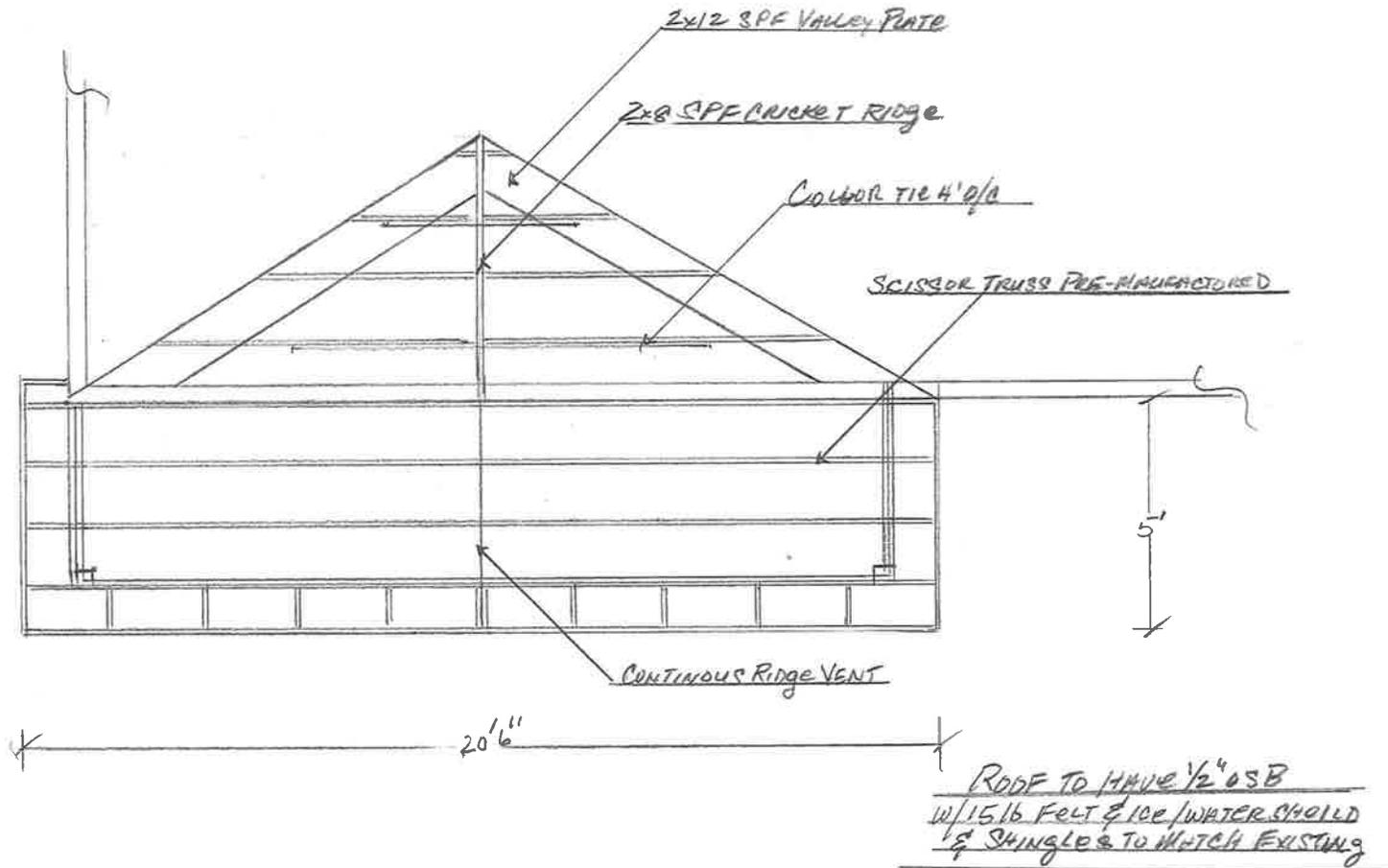
EAST ELEVATION VIEW

WEST ELEVATION VIEW



SCALE 1/4" = 1'

# ROOF & CRICKET DETAIL



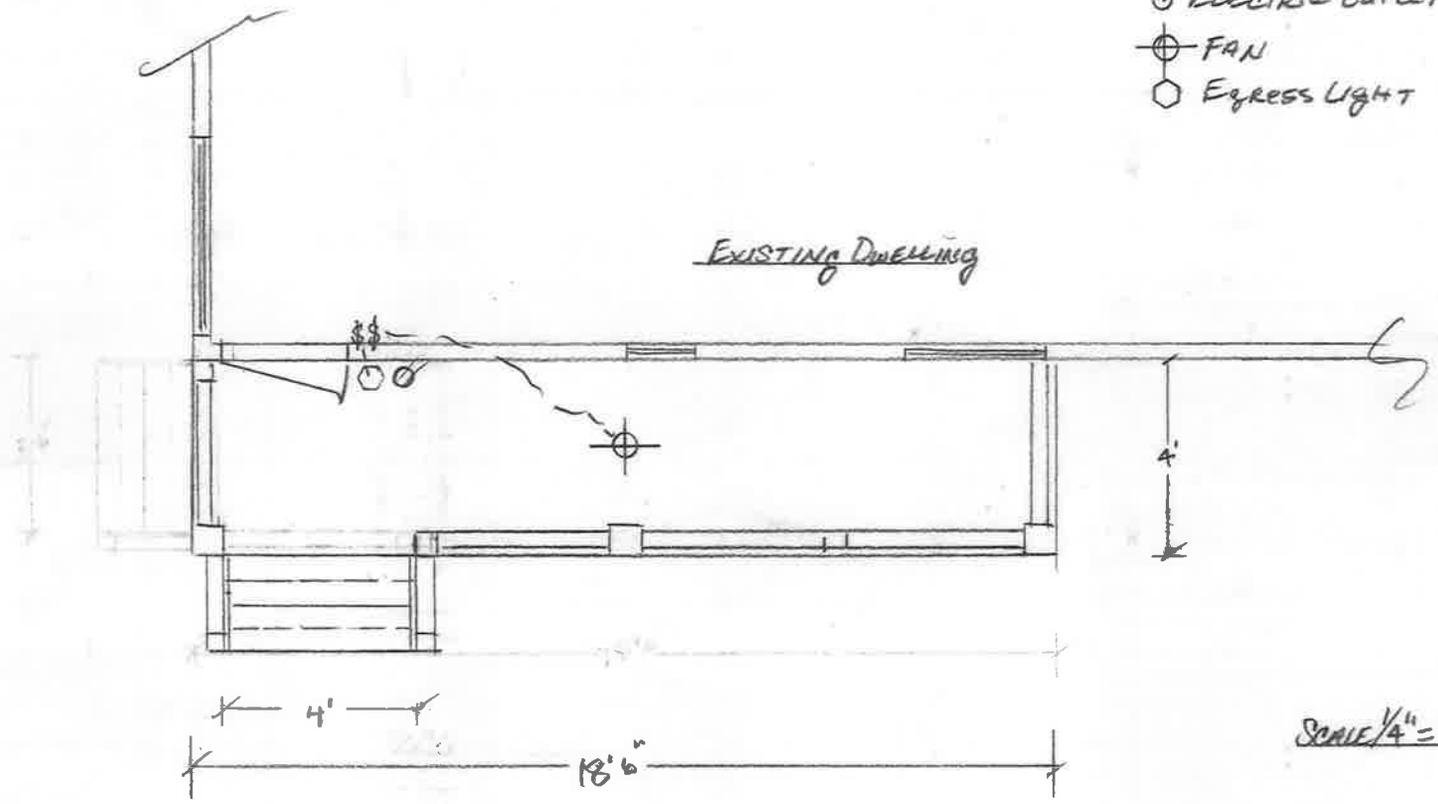
SCALE 1/4" = 1'

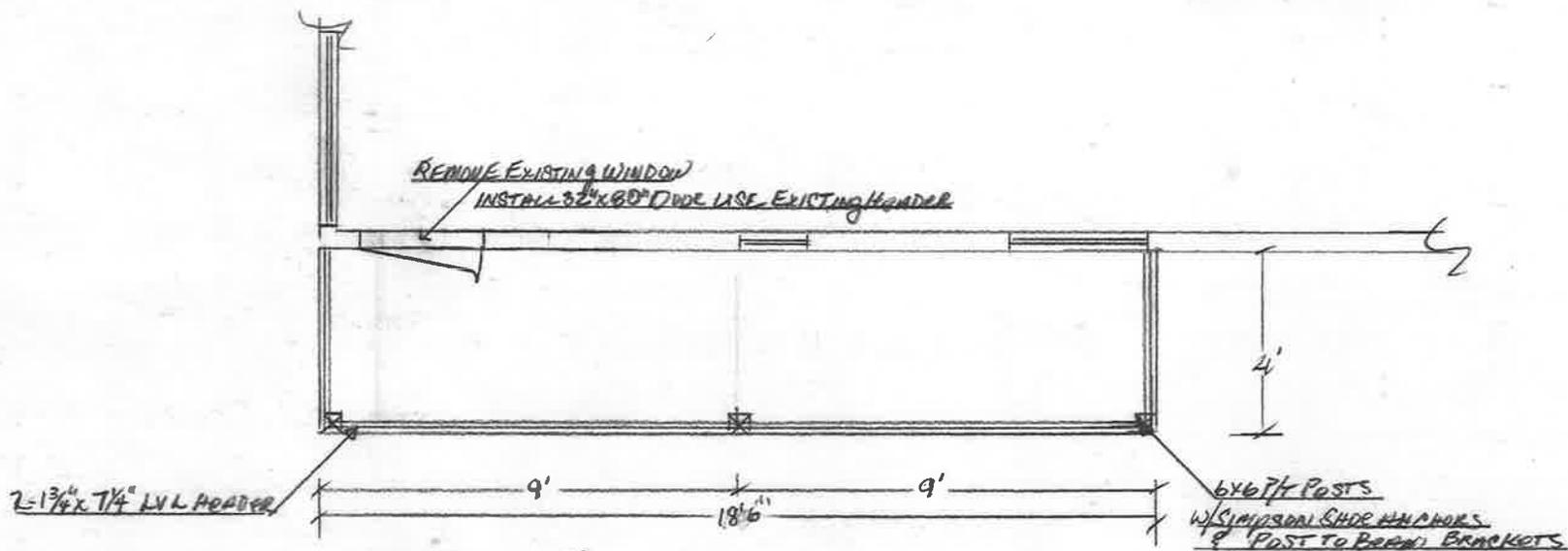


# PORCH PLAN VIEW

## ELECTRIC LEGEND

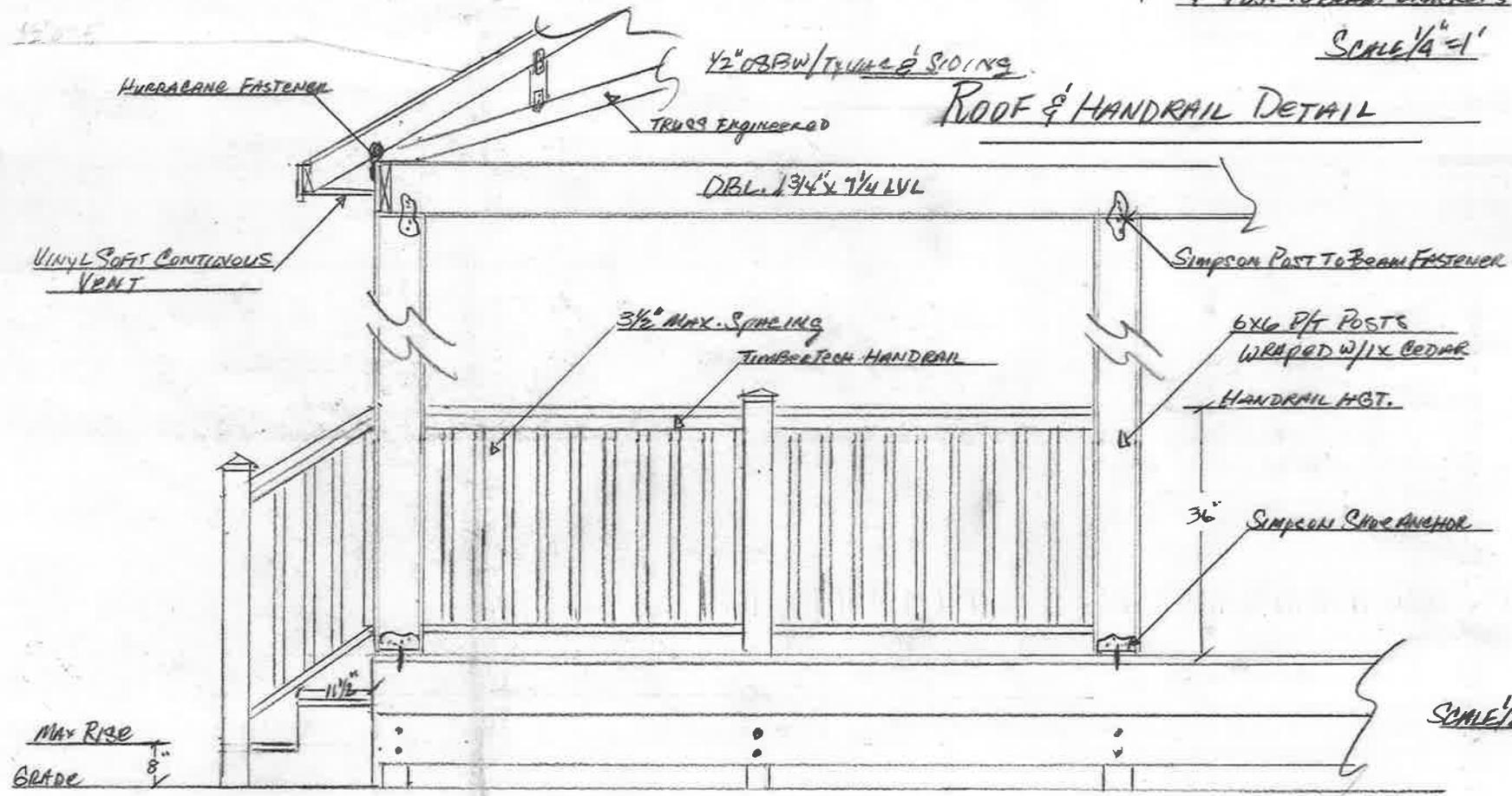
- \$ ELECTRIC SWITCH
- ⊙ ELECTRIC OUTLET
- ⊕ FAN
- EGRESS LIGHT





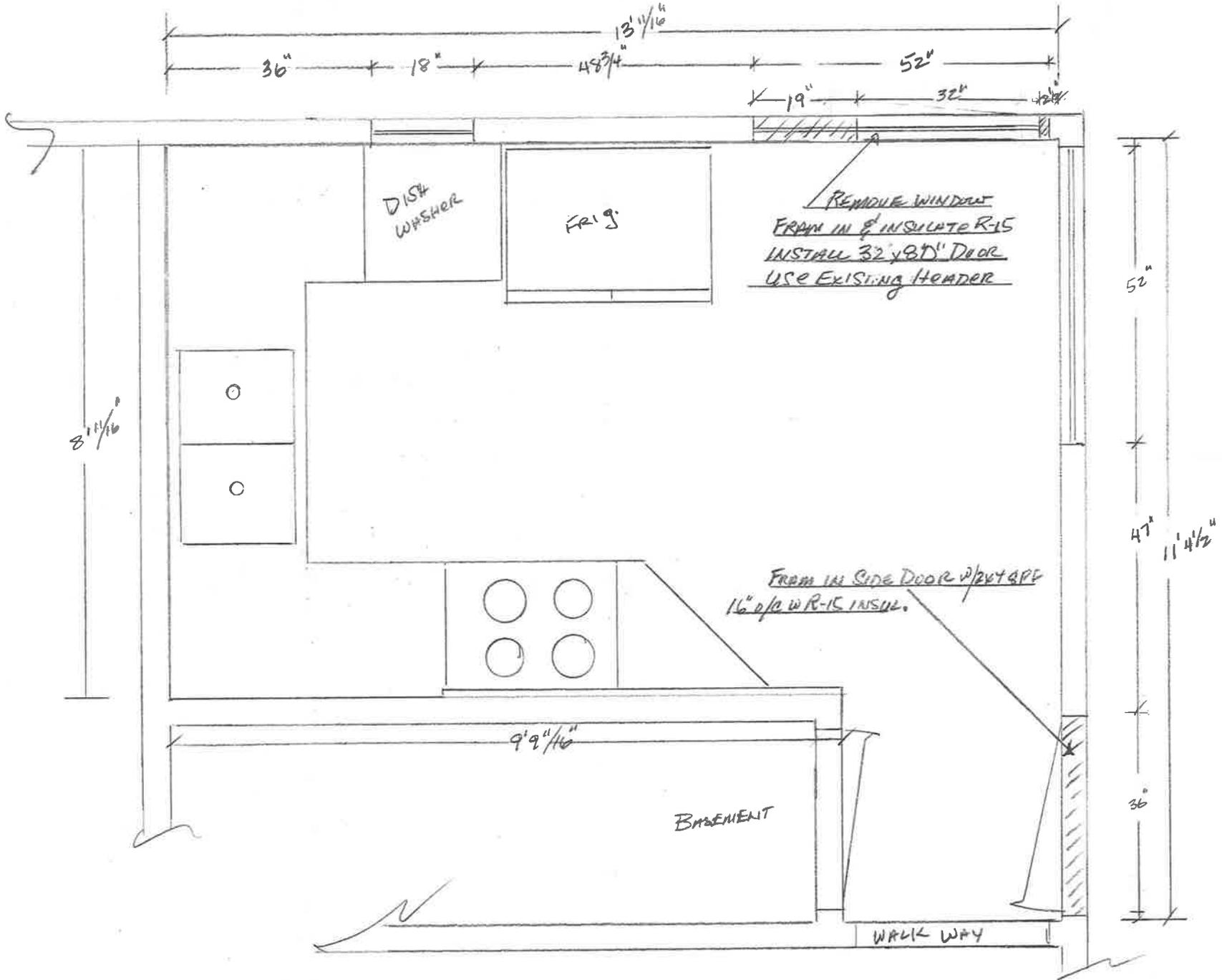
SCALE 1/4" = 1'

ROOF & HANDRAIL DETAIL

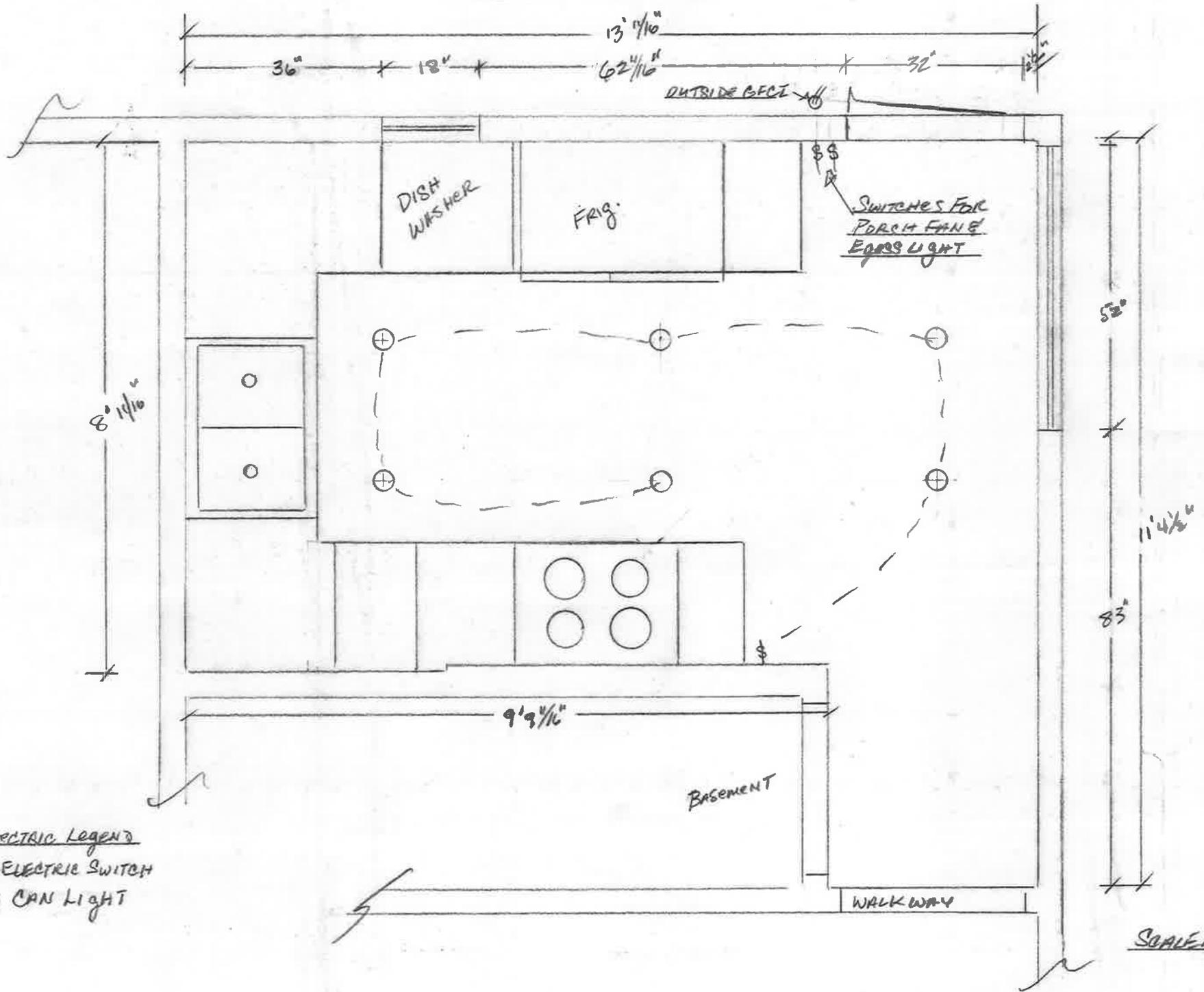


SCALE 1/2" = 1'

# EXISTING KITCHEN PLAN VIEW



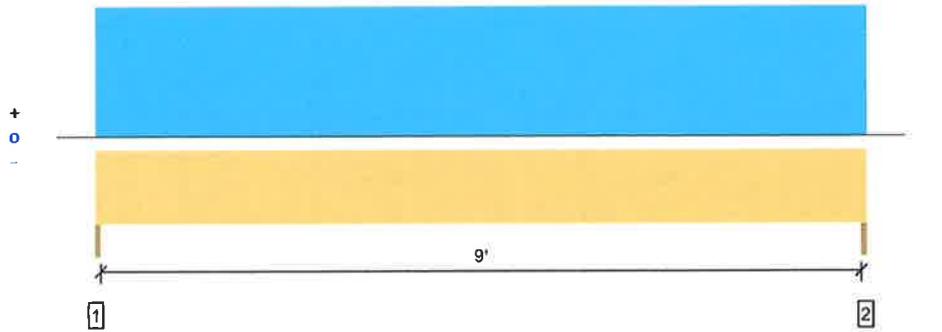
# NEW KITCHEN PLAN VIEW



ELECTRIC LEGEND  
 \$ ELECTRIC SWITCH  
 O CAN LIGHT

SCALE 1/2" = 1'

Overall Length: 9' 3"



All locations are measured from the outside face of left support (or left cantilever end). All dimensions are horizontal.

Design Results	Actual @ Location	Allowed	Result	LDF	Load: Combination (Pattern)
Member Reaction (lbs)	626 @ 0	3806 (1.50")	Passed (16%)	--	1.0 D + 1.0 S (All Spans)
Shear (lbs)	527 @ 8 3/4"	5544	Passed (10%)	1.15	1.0 D + 1.0 S (All Spans)
Moment (Ft-lbs)	1448 @ 4' 7 1/2"	8182	Passed (18%)	1.15	1.0 D + 1.0 S (All Spans)
Live Load Defl. (in)	0.063 @ 4' 7 1/2"	0.308	Passed (L/999+)	--	1.0 D + 1.0 S (All Spans)
Total Load Defl. (in)	0.107 @ 4' 7 1/2"	0.313	Passed (L/999+)	--	1.0 D + 1.0 S (All Spans)

System : Wall  
 Member Type : Header  
 Building Use : Residential  
 Building Code : IBC 2009  
 Design Methodology : ASD

- Deflection criteria: LL (L/360) and TL (5/16").
- Top Edge Bracing (Lu): Top compression edge must be braced at 9' 3" o/c unless detailed otherwise.
- Bottom Edge Bracing (Lu): Bottom compression edge must be braced at 9' 3" o/c unless detailed otherwise.

Supports	Bearing Length			Loads to Supports (lbs)				Accessories
	Total	Available	Required	Dead	Roof Live	Snow	Total	
1 - Trimmer - SPF	1.50"	1.50"	1.50"	256	370	370	996	None
2 - Trimmer - SPF	1.50"	1.50"	1.50"	256	370	370	996	None

Loads	Location (Side)	Tributary Width	Dead (0.90)	Roof Live (non-snow: 1.25)	Snow (1.15)	Comments
0 - Self Weight (PLF)	0 to 9' 3"	N/A	7.4			
1 - Uniform (PSF)	0 to 9' 3"	4'	12.0	20.0	20.0	Residential - Living Areas

**Weyerhaeuser Notes**

Weyerhaeuser warrants that the sizing of its products will be in accordance with Weyerhaeuser product design criteria and published design values. Weyerhaeuser expressly disclaims any other warranties related to the software. Use of this software is not intended to circumvent the need for a design professional as determined by the authority having jurisdiction. The designer of record, builder or framer is responsible to assure that this calculation is compatible with the overall project. Accessories (Rim Board, Blocking Panels and Squash Blocks) are not designed by this software. Products manufactured at Weyerhaeuser facilities are third-party certified to sustainable forestry standards. Weyerhaeuser Engineered Lumber Products have been evaluated by ICC ES under technical reports ESR-1153 and ESR-1387 and/or tested in accordance with applicable ASTM standards. For current code evaluation reports, Weyerhaeuser product literature and installation details refer to [www.weyerhaeuser.com/woodproducts/document-library](http://www.weyerhaeuser.com/woodproducts/document-library).

The product application, input design loads, dimensions and support information have been provided by Forte Software Operator



Forte Software Operator	Job Notes
Thomas Mitchell Elite Home Remodeling (614) 419-5031 tmitchell1@msn.com	

**Estimate**

Holmes Components - Sunbury  
 3477 N. County Rd. 605  
 Sunbury OH 43074  
 Phone: (740) 936-5077 FAX: (740) 936-5268



Quote In:	5/10/2019	Job Number:	19050089QQ
Quote Sent:		Customer Acct #:	
Order Date:		Job Category:	Roof
Estimator:	Lyndon Miller	Sales Rep:	Lee Gates
Truss Rep:		Sh. Delivery	
Customer P.O. #			

SOLD TO	Elite Home Remodeling	Job Name: Burrows Roof	Lot:	Subdiv:
	2598 Ruhl Ave Columbus OH 43209	Model:	Delivery Area	
SHIP TO		Job Notes:		

**Hangers**

QTY	TYPE	SIZE	LENGTH	NOTE
6	Hanger	One RT7		
<b>Total:</b>				

**Roof Trusses**

DIAGRAM	QTY	PLY	PITCH	LABEL	Height		OVERHANG		CANTILEVER		STUB		
					Shipping (Alternate)	Base Span	LEFT	RIGHT	LEFT	RIGHT	LEFT	RIGHT	
	3		6 / 12 3 / 12	R01	5-05-07	18-06-00	2 x 4	1-00-00	1-00-00				
	1		6 / 12 3 / 12	R01SE	5-05-07	18-06-00	2 x 4	1-00-00	1-00-00				
	<b>4</b>												<b>74.00</b>

- Price good for 30 days.
- Temporary and permanent bracing by others.

NOTES:

Delivery	Included
Sub-Total	\$523.23
7% (7%)	\$36.63
<b>Grand Total</b>	<b>\$559.86</b>

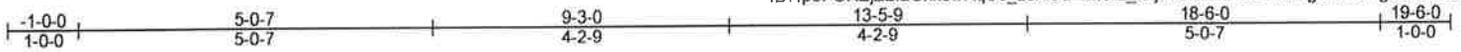
**Accepted by Seller**

BY: \_\_\_\_\_  
 TITLE: \_\_\_\_\_  
 DATE OF ACCEPTANCE: \_\_\_\_\_

**Accepted by Buyer**

PURCHASER: \_\_\_\_\_  
 BY: \_\_\_\_\_ TITLE: \_\_\_\_\_  
 ADDRESS: \_\_\_\_\_  
 PHONE: \_\_\_\_\_ DATE: \_\_\_\_\_

*OK JMD*



Scale = 1:32.6

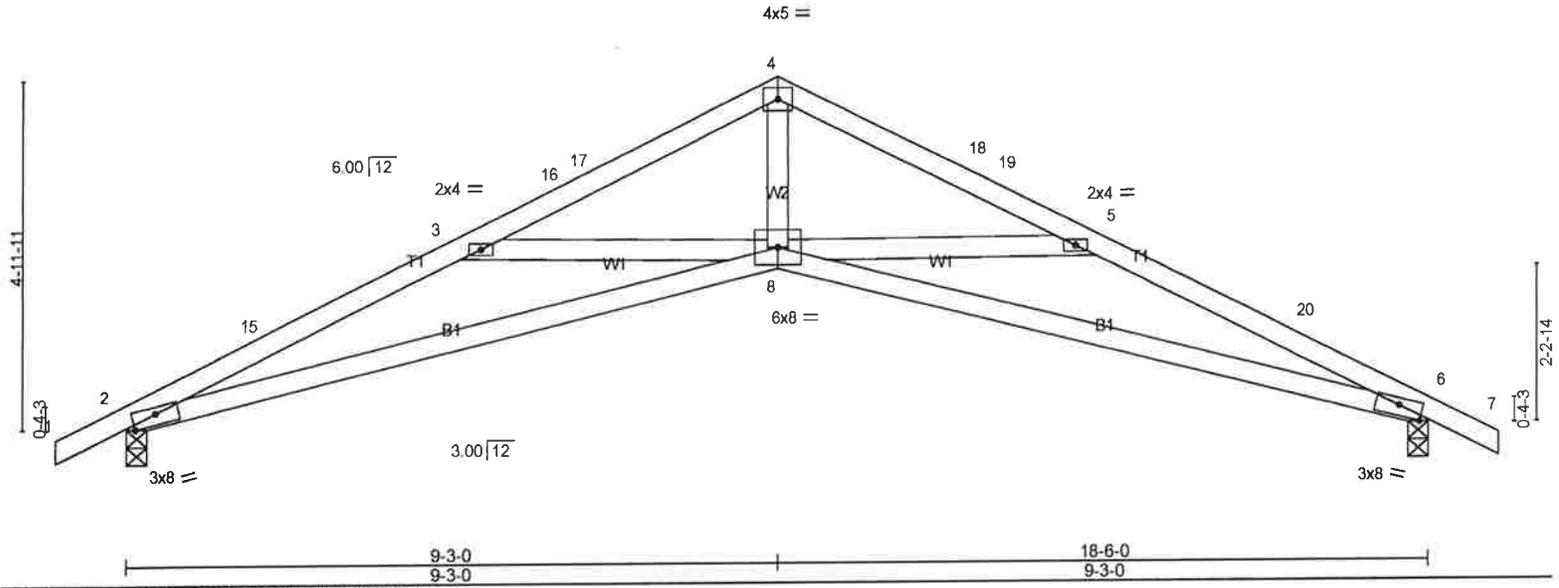


Plate Offsets (X,Y)-- [2:0-4-0,Edge], [6:0-4-0,Edge]

<b>LOADING</b> (psf)	<b>SPACING-</b>	<b>CSI.</b>	<b>DEFL.</b>	<b>PLATES</b>	<b>GRIP</b>
TCLL (roof) 20.0	2-0-0	TC 0.28	in (loc) l/def L/d	MT20	197/144
Snow (Pf/Pg) 15.4/20.0	Plate Grip DOL 1.15	BC 0.70	Vert(LL) -0.16 8-11 >999 240		
TCDL 10.0	Lumber DOL 1.15	WB 0.28	Vert(TL) -0.48 8-11 >465 180		
BCLL 0.0 *	Rep Stress Incr YES	Matrix-MS	Horz(TL) 0.21 6 n/a n/a		
BCDL 10.0	Code OHIORC13/TPI2007			Weight: 61 lb	FT = 20%

**LUMBER-**  
 TOP CHORD 2x4 SPF No.2  
 BOT CHORD 2x4 SPF No.2  
 WEBS 2x4 SPF No.2

**BRACING-**  
 TOP CHORD Structural wood sheathing directly applied or 3-10-1 oc purlins.  
 BOT CHORD Rigid ceiling directly applied or 10-0-0 oc bracing.

MiTek recommends that Stabilizers and required cross bracing be installed during truss erection, in accordance with Stabilizer Installation guide.

**REACTIONS.** (lb/size) 2=706/0-3-8 (min. 0-1-8), 6=706/0-3-8 (min. 0-1-8)  
 Max Horz 2=56(LC 12)  
 Max Uplift 2=-68(LC 12), 6=-68(LC 13)  
 Max Grav 2=800(LC 2), 6=800(LC 2)

**FORCES.** (lb) - Max. Comp./Max. Ten. - All forces 250 (lb) or less except when shown.  
 TOP CHORD 2-15=-2172/153, 3-15=-2124/172, 3-16=-1641/14, 16-17=-1589/16, 4-17=-1581/30,  
 4-18=-1581/40, 18-19=-1589/26, 5-19=-1641/23, 5-20=-2124/121, 6-20=-2172/102  
 BOT CHORD 2-8=-149/1977, 6-8=-66/1977  
 WEBS 4-8=0/1140, 3-8=-528/189, 5-8=-528/195

- NOTES-**
- Unbalanced roof live loads have been considered for this design.
  - Wind: ASCE 7-05; 90mph; TCDL=6.0psf; BCDL=6.0psf; h=25ft; Cat. II; Exp B; enclosed; MWFRS (low-rise) gable end zone and C-C Exterior(2) -1-0-0 to 2-0-0, Interior(1) 2-0-0 to 9-3-0, Exterior(2) 9-3-0 to 12-3-0 zone; cantilever left and right exposed; end vertical left and right exposed; C-C for members and forces & MWFRS for reactions shown; Lumber DOL=1.60 plate grip DOL=1.60
  - TCLL: ASCE 7-05; Pr=20.0 psf (roof live load: Lumber DOL=1.15 Plate DOL=1.15); Pg=20.0 psf (ground snow); Pf=15.4 psf (flat roof snow: Lumber DOL=1.15 Plate DOL=1.15); Category II; Exp B; Partially Exp.; Ct=1.1
  - Unbalanced snow loads have been considered for this design.
  - This truss has been designed for greater of min roof live load of 12.0 psf or 2.00 times flat roof load of 15.4 psf on overhangs non-concurrent with other live loads.
  - This truss has been designed for basic load combinations, which include cases with reductions for multiple concurrent live loads.
  - This truss has been designed for a 10.0 psf bottom chord live load nonconcurrent with any other live loads.
  - \* This truss has been designed for a live load of 20.0psf on the bottom chord in all areas where a rectangle 3-6-0 tall by 2-0-0 wide will fit between the bottom chord and any other members.
  - Bearing at joint(s) 2, 6 considers parallel to grain value using ANSI/TPI 1 angle to grain formula. Building designer should verify capacity of bearing surface.
  - Provide mechanical connection (by others) of truss to bearing plate capable of withstanding 100 lb uplift at joint(s) 2, 6.

**LOAD CASE(S)** Standard



②



- Summary
- Land Profile
- Residential
- Commercial
- Improvements
- Permits
- Mapping
- Sketch
- Photo
- StreetSmart
- Aerial Photos
- Transfers
- BOR Status
- CAUV Status
- Tax & Payments
- Tax Distribution
- Tax Calculators
- Value History
- Rental Contact
- Incentive Details
- Quick Links

ParcelID: 020-002417-00  
BURROWS ANNA M

Map-Rt



Franklin County Auditor Sources: Esri, HERE, Garmin, Intermap,



PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, July 11, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. If the applicant or his representative is not in attendance at such meeting, the Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

- a. Application No.: BA-19-60  
Applicant: Gary J. Alexander  
Owner: John & Nicole Reehil  
Location: 154 Stanbery Avenue

**ARB Request:** The applicant is seeking architectural review and approval to allow an addition to the south side of the principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 06-27-2019

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

Architectural Review    Conditional Use    Demolition    Planned Unit Dev.    Rezoning    Landscape Review    Special Permit

### Property & Project Information:

Property Address:

Brief Project Description:

### Applicant Information:

Applicant Name:

Applicant Address:

Applicant Email & Phone:

### Property Owner Information:

Owner Name:

Owner Address:

Owner Email & Phone:

### Attorney/Agent Information:

Agent Name:

Agent Address:

Agent Email & Phone:

### Completed Worksheets:

Project Worksheet (Sheet A)

Architectural Review (Sheet B)

Tree Commission (Sheet D)

### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:

Date:

Owner Signature:

Date:

Agent Signature:

Date:

### Internal Use:

Application #:

Board Referrals:     ARB     BZAP     City Council     Tree Commission

Staff Signature:

Date:

## Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

### Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation	\$
- \$5.00 for each additional \$10,000 valuation.	\$

### Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation	\$
- \$5.00 for each additional \$10,000 valuation	\$
- \$600.00 cap	\$
- \$50.00 resubmittal fee	\$

### Variance Review

Single Family:	\$100.00	\$
Commercial Property:	\$100.00	\$
Fences or Special Permits:	\$65.00	\$
All others:	\$90.00	\$

### Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$
	- \$60.00 for each additional acre (or part thereof)	\$
Requests for amendment to PUD Plans:	\$300.00	\$
Split of lot or existing parcel:	\$250.00	\$
Replatting or new plat:	\$250.00	\$

### Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$
\$5,001 to \$25,000	\$200.00	\$
\$25,001 to \$75,000	\$250.00	\$
\$75,001 to \$200,000	\$600.00	\$
\$200,001 to \$750,000	\$1,000.00	\$
Over \$750,000	\$350.00	\$
Fences and walls:	\$65.00	\$
Special Permit, Conditional Uses and All others:	\$90.00	\$
Re-submittal Fee:	\$50.00	\$

### Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$
Appeal of BZAP decision to City Council:	\$250.00	\$

**Fee Total:** \$



# CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Instructions: Application Requirements by Application Type

Requirements:	New Construction	Addition	Demolition	Windows, Doors, Deck, Pergola, Etc.	Rezoning	Conditional Use or Special Permit	Variance
Worksheet A: Cover Sheet & Fee Calculation	<input checked="" type="checkbox"/>						
Worksheet B: Project Worksheet	<input checked="" type="checkbox"/>						
Worksheet C: Architectural Review Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet D: Tree Commission Worksheet	<input type="checkbox"/>						
Worksheet E: Variance Worksheet	<input type="checkbox"/>						
Worksheet F: Fence Variance Worksheet	<input type="checkbox"/>						
Worksheet G: Demolition Worksheet	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Worksheet H: Rezoning Worksheet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Worksheet I: Conditional Use Worksheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
Worksheet J: Home Occupation Worksheet	<input type="checkbox"/>						
Site Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Floor Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Elevations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Architectural Details	<input type="checkbox"/>						
Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Photographs of Property	<input checked="" type="checkbox"/>						



= Required



= May Be Required



= Not Required

**PLEASE NOTE:** Incomplete information may result in the rejection of this submittal. Applications must be submitted by appointment. Please call 614-559-4240 to schedule.



# CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Instructions: Detailed Application Requirements

The application package must consist of one (1) complete printed set of all items listed below, as well as a single full-color PDF document with a complete set, in order of the checklist, of all the items listed below, as well as any additional documentation required in the Microsoft Word format. All requested documents must be submitted via the City’s Plan Application Upload portal:

[www.bexley.org/plans](http://www.bexley.org/plans).

### Document Submittal and Naming Requirements:

Documents submitted to the upload portal at [www.bexley.org/plans](http://www.bexley.org/plans) must be consolidated into a zip file which must be named using the following naming methodology:

[Year]-[Month]-[Day] [Application #] [Street #] [Street Direction - if applicable] [Street Name] [Project name - if applicable]

ex.: “2015-12-01 ARB-15-24 2242 East Main Bexley City Hall”

### Requirements by Exhibit Type:

<b>Architectural Details</b>	Architectural details drawn to scale of non-typical design elements. Plans shall be provided in a vector-based electronic format designed to print at a 2’ x 3’ original scale.	<b>File Type:</b> PDF
<b>Architectural Plan</b>	The plans must be drawn to Engineer’s scale and provide applicable information as itemized on the Zoning Review Checklist Form. Plans shall be provided in a vector-based electronic format designed to print at a 2’ x 3’ original scale.	<b>File Type:</b> PDF
<b>Exterior Elevations</b>	Exterior elevation drawings, to scale, designating and differentiating existing construction from proposed construction. Elevation drawings shall include indications of exterior materials, door and window styles, and notes as required to clearly communicate the concept of the design. Plans shall be provided in a vector-based electronic format designed to print at a 2’ x 3’ original scale.	<b>File Type:</b> PDF
<b>Floor Plan</b>	A floor plan, to scale, designating and differentiating existing construction from proposed construction. Plans shall include overall dimensions and notes, as required to clearly communicate the concept of the design. Plans shall be provided in a vector-based electronic format designed to print at a 2’ x 3’ original scale.	<b>File Type:</b> PDF
<b>Landscape Plan</b>	Landscape architectural plans, to scale, indicating all proposed plantings, botanical & common names, species and size of plants (see Tree Commission Worksheet D for complete requirements).	<b>File Type:</b> PDF
<b>Photographs</b>	Photographs to be provided of all sides of all structures on the property, as well as relevant site photographs. Photographs shall be provided as uncompressed JPEG files with a minimum width dimension of 1,000 pixels.	<b>File Type:</b> JPEG
<b>Site Plan</b>	The site plan must be drawn to Engineer’s scale and provide applicable information as itemized on the Zoning Review Checklist Form. Site plans shall be provided in a vector-based electronic format designed to print at a 2’ x 3’ original scale.	<b>File Type:</b> PDF

**PLEASE NOTE:** Incomplete information may result in the rejection of this submittal.  
If you have questions, please contact Kathy Rose at (614) 559-4200.

## Project Worksheet

Residential

Commercial

Property Address:

Zoning District:

R-1 (25% Building &amp; 40% Overall)

R-6 (35% Building &amp; 60% Overall)

R-2 (25% Building &amp; 50% Overall)

R-12 (35% Building &amp; 70% Overall)

R-3 (25% Building &amp; 50% Overall)

Other:

*\* Overall coverage includes hardscape*

Lot Info:

Width (ft.):

Depth (ft.):

Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):

Proposed Addition (SF):

Removing (SF):

(Type of Structure:)

Proposed new primary structure or residence (SF):

Total Square Footage:

Garage and/or Accessory  
Structure Info

(Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

New Structure Type:

Proposed Addition (SF):

Ridge Height:

Proposed New Structure (SF):

Is there a 2nd floor?

Yes

No

Total of all garage and accessory structures (SF):

2nd Floor SF:

Total building lot coverage (SF):

= % of lot

Is this replacing an existing garage and/or accessory structure?

Yes

No

Hardscape:

Existing Driveway (SF):

Existing Patio (SF):

Existing Private Sidewalk (SF):

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

Totals:

Total overall lot coverage (SF):

=

% of lot

Applicant Initial:

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:



## Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing	House or Principal Structure	Garage Only	House & Garage		
Existing Roof Type:	Slate		Clay Tile	Wood Shake	Std. 3-tab Asphalt Shingle
	Arch. Dimensional Shingles		EPDM Rubber	TPO Rubber	Metal
New Roof Type:	Slate		Clay Tile	Wood Shake	Std. 3-tab Asphalt Shingle
	Arch. Dimensional Shingles		EPDM Rubber	TPO Rubber	Metal
New Shingle Manufacturer:					
New Roof Style & Color:					

Windows	House or Principal Structure	Garage Only	House & Garage		
Existing Window Type:	Casement		Fixed	Exterior Storm	Other:
	Double Hung		Awning	Horizontal Sliding	
Existing Window Materials:	Aluminum Clad Wood		Wood	Metal	
	Vinyl Clad Wood		Aluminum	Other:	
New Window Manufacturer:					
New Window Style/Mat./Color:					

Doors	House or Principal Structure	Garage Only	House & Garage		
Existing Entrance Door Type:	Wood	Insulated Metal	Fiberglass	Sidelights	Transom Windows
Existing Garage Door Type:	Wood	Insulated Metal	Fiberglass		
Door Finish:	Stained	Painted			
Proposed Door Type:		Style:		Color:	

Exterior Trim					
Existing Door Trim:	Cedar	Redwood	Pine	Std. Lumber Profile	
	Wood Composite	Aluminum Clad	Molding	Vinyl	Other:
Proposed New Door Trim:					
Existing Window Trim:	Wood	Redwood	Pine	Std. Lumber Profile	
	Vinyl	Other:			
Proposed New Window Trim:				Trim Color(s):	
Do the Proposed Changes Affect the Overhangs?		Yes	No		

## Architectural Review Worksheet (Continued)

### Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
		Natural Stone	
		Cultured Stone	
		Brick	
		Mortar	
		Stucco	
		Wood Shingle	
		Wood Siding	
		Vinyl Siding	
		Aluminum Siding	
		Other	

### Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

## Tree & Public Gardens Commission Worksheet

City Right-of-Way Landscape

Commercial Landscape

New Build

Property Address:

Landscape Architect/Designer:

Architect/Designer Phone:

Architect/Designer E-mail:

Project Description:

### Review Guidelines and List of Criteria:

1. **Project Description**  
Design concept to include: brief narrative describing the area to be designed/changed; relevance/significance to the community; general impact and effect on community; procedures to implement plan. Description on sheet A.1 of Unified Planning Application is sufficient.
2. **Research:**  
Provide significant examples (articles, visuals, etc.) relating to the project, if applicable.
3. **Design Documentation Drawings**  
**Design Plan to Include:**
  - a. Existing conditions photographs
  - b. Site plan or location plan to illustrate context
  - c. Schematic plan drawing(s) to scale with a north directional arrow and bar scale. Sections and details as necessary for project clarity
  - d. Elevations of all the landscape orientations (north, south, east, west), perspectives, isometrics, axonometric renderings, and/or detailed model of design
  - e. Existing City trees indicated on plan. Provide Tree Protection Plan for City trees if applicable.
  - f. Proposed vegetation indicated on plan. Include botanical and common names, quantity, and installation size on plan
4. **Recommended information for Project Understanding:**
  - a. Irrigation and maintenance plans (may be required for commercial projects)
  - b. Hardscape layout and materials
  - c. Lighting locations and specifications
  - d. Fixtures, furniture and equipment
  - e. Accessories
  - f. Buildings
  - g. Other

All documentation should be clear, precise and complete. Package must be presented to the Commission two weeks prior to presentation. Tree Commissions meetings held on the third Wednesday of each month at 4:00 pm at Bexley City Hall. Recess in August.

Applicant Initial:

### Staff Confirmation:

In order to add review of your project to the agenda, staff must verify that the following items have been submitted along with the application:

- Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)
- Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above
- Applicant has been advised that Landscape Designer/Architect must be present at meeting

Staff Initial:

## Variance Worksheet

Variance requests will be heard by the Bexley Board of Zoning and Planning. Variances are based upon a legal determination of whether the request meets the variance criteria specified by Bexley City Code.

Variance criteria are outlined below in question format. Please provide your narrative response to the variance questions.

### Description of the Proposed Variance

Please provide a thorough description of the variance being sought, and the reason why.

### Variance Question 1

Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

### Variance Question 2

Is the variance substantial? Please describe.

### Variance Question 3

Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

## Variance Worksheet (Continued)

Variance requests will be heard by the Bexley Board of Zoning and Planning. Variances are based upon a legal determination of whether the request meets the variance criteria specified by Bexley City Code.

Variance criteria are outlined below in question format. Please provide your narrative response to the variance questions.

### Variance Question 4

Would the variance adversely affect the delivery of governmental services (e.g., water, sewer, garbage)? Please describe.

### Variance Question 5

Did the property owner purchase the property with knowledge of the zoning restriction? Please describe.

### Variance Question 6

Can the property owner's predicament feasibly be obviated through some method other than a variance? Please describe.

### Variance Question 7

Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

## Fence Variance Worksheet

### Background & Requirements

This worksheet is required to be reviewed and completed by property owners wishing to apply for a variance from the City's fence regulations. Fence regulations are outlined in the summary below. Please check next to the regulation you are seeking a variance from.

**Please attach a narrative to this worksheet that provides a description of how you plan to meet the pertinent outlined variance criteria**

### Side and Rear Yard Restrictions for Interior Lots (non-corner lots):

- **Height Limitations:** Maximum height of 72" (6') as measured from the average grade of that portion of the lot in the rear or side yard. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included within the seventy-two inch maximum height restriction.
- **Front Set-back Lines:** No side yard fence shall extend beyond the front set-back line or the existing front building façade, whichever is greater.
- **Finish Side Rules:** Any fence or wall erected along the front set back line, side or rear property lines must have the finished and not the structural side facing the adjacent property, or street. Interior lots having rear lot lines coincident with alley right-of-way shall be permitted to place the structural side of the fence facing the alley right of way. Chain link, wire mesh or other similar material allowed only along interior lot lines and along rear lot lines coincident with alley right-of-way.

### Side and Rear Yard Restrictions for Corner Lots:

- **Height Limitations:** No fence, wall or combination thereof shall exceed forty-eight inches in height in the side yard setback area as it faces a public or private street.
- **Special Permits for Taller Fencing:** Fencing or walls exceeding forty-eight inches in height, as measured from the average grade, may be allowed with a special permit from the Board of Zoning and Planning. The Board shall consider the following criteria in reviewing such applications.

### Side and Rear Yard Restrictions for Corner Lots: Criteria 1 - Compatibility

Describe how the proposed side yard fence or wall exceeding forty-eight inches in height and on the street side of a corner lot compatible with other properties in the neighborhood?

### Side and Rear Yard Restrictions for Corner Lots: Criteria 2 - Height

Please verify that the maximum height of such fence or wall shall not exceed seventy-two inches as measured from the average grade, as defined in Section 1230.06. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included within the seventy-two inch maximum height.

## Fence Variance Worksheet (Continued)

### Side and Rear Yard Restrictions for Corner Lots: Criteria 3 - Transparency

Fences exceeding forty-eight inches in height should include transparency in the upper 12" to 18" of the fence through the use of latticework, pickets, or other appropriate design elements. Describe how you have satisfied this requirement.

### Side and Rear Yard Restrictions for Corner Lots: Criteria 4 - Screening

A landscaping plan must be filed with the application for a special permit, indicating how such fencing or wall is to be screened from the street side elevation. The landscape plan should be designed in such a way as to mitigate the impact of a solid fence or wall as it relates to the street and other properties. Describe how the landscape plan addresses these items.

### Side and Rear Yard Restrictions for Corner Lots: Criteria 5 - Visibility and Safety

The installation of such fence or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement. Please describe any visibility/safety concerns with your design.

### Side and Rear Yard Restrictions for Corner Lots: Criteria 6 - Material Compatibility

No chain link, wire mesh or other similar material shall be installed on lot lines adjacent to public rights-of-way. Please verify that your design complies with this requirement.

### Side and Rear Yard Restrictions for Corner Lots: Criteria 7 - Finished Side

Any fence or wall erected on a lot located at the intersection of two or more streets must have the finished and not the structural side facing the adjacent property, alley or street. Please verify that your design complies with this requirement.

## Fence Variance Worksheet (continued)

### Front Yard Restrictions:

- No person shall erect any fence or wall in any residential zoning district, between the front yard setback line and the street except with the following exceptions:
  - Fences or walls which do not comply with this section may be allowed if approved as part of a detailed development plan for a Planned Unit Development District;
  - Decorative landscaping walls and fences which do not exceed twenty-four inches in height above ground level may be allowed after review in accordance with subsections (c)(1) through (c)(5) of Chapter 1256 BRC, and issuance of a permit by the Building Department; and
  - Decorative landscaping walls and fences which exceed twenty-four inches in height above ground level but not more than forty-two inches above ground level may be allowed with a special permit from the Board of Zoning and Planning. The Board of Zoning and Planning shall consider the following criteria in reviewing such applications:

• The proposed decorative landscape wall or fence is compatible with other properties in the neighborhood.	Yes	No
• The height of the fence or wall does not exceed the size permitted as above when measured from the average grade of the yard where the fence or wall is to be installed. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included in the maximum height.	Yes	No
• Posts, columns and finials may extend up to 6" above the maximum allowed height of the fence panels. CHAPTER 1264. FENCES AND WALLS City of Bexley Zoning Ordinance	Yes	No
• A landscaping plan shall be filed with the application indicating how such fencing and/or wall is to be integrated with existing front yard landscaping.	Yes	No
• The installation of such fence and/or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement.	Yes	No
• No chain link, wire mesh, concrete block or other similar type material shall be installed as a decorative landscape wall or fence.	Yes	No
• The fence and/or wall shall have a minimum of 50% transparency.	Yes	No
• That the lot exhibits unique characteristics that support the increase in fence height.	Yes	No

### Fences Adjacent to Commercial Districts

For residential lots abutting a commercial zoning district, no fence, wall or combination thereof shall exceed ninety-six inches in height along that abutting side, as measured from the average grade of that portion of the lot in the rear or side yard. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included within the ninety-six inch maximum height restriction. (a) Side yard fence shall be allowed to extend beyond the front set-back line of the house if adjacent to paved vehicular service areas including parking lots and service drives. Any fence or wall erected along the side or rear property lines must have the finished and not the structural side facing the adjacent property. (b) The installation of such fence or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement.

### Require Commercial Fences Adjacent to Residential Districts

For commercial uses abutting a residential zoning district, a fence, wall or combination thereof shall be installed along the lot line of adjacency except as otherwise determined for adjacent uses contained in the same Planned Unit Development District. Commercial uses with residential zoning districts located directly across a public alley must also meet this requirement along the interior alley line, subject to sight triangle requirements required by the city Building Department. (a) The height shall be ninety-six inches, as measured from the average grade of that portion of the lot. (b) Any fence or wall erected along the property lines of the commercial use must have the finished and not the structural side facing the adjacent property. (c) The installation of such fence or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement. (d) No chain link, wire mesh or other similar material shall be installed. (e) The fence design shall be 100-percent opaque from any viewing angle, and approved by the Building Department.

## Demolition Worksheet

### Background

Per Bexley Codified Ordinance, demolition of a residence which is determined to be historically or architecturally significant and worthy of preservation is prohibited in the absence of economic hardship or the existence of unusual and compelling circumstances. Please fill out this worksheet to aid in the determination of eligibility of your property for demolition.

### Process for Review

The Board, in deciding whether to issue a certificate of appropriateness approving the demolition or removal of an existing building or structure, shall determine the following:

1. That the structure to be demolished or removed is not historically or architecturally significant and worthy of preservation or;
2. If it is historically or architecturally significant and worthy of preservation, that denial of a certificate of appropriateness would cause:
  - i. A substantial economic hardship, or;
  - ii. That demolition is justified by the existence of unusual and compelling circumstances.
3. The Board may request and consider, among other evidence, a report concerning the proposed demolition and existing structure from a registered architect, historical conservator or other person with appropriate preservation experience.

### Worksheet: Historical & Architectural Significance

- |  |     |    |
|--|-----|----|
| 1. Is your property historically significant? Please attached supporting documentation. Recommended sources include ownership records, a letter from the Bexley Historical Society, etc.                       | Yes | No |
| 2. Is your property architecturally significant? Please attached supporting documentation. Recommended sources include a letter of opinion from an architect or expert with historical preservation expertise. | Yes | No |
| 3. If you answered "yes" to either question #1 or #2, please describe any economic hardship that results from being unable to demolish the primary residence, and attach any supporting evidence.              |     |    |
| 4. If you answered "yes" to either question #1 or #2, please describe any other unusual or compelling circumstances that require the demolition of the primary residence, and attach any supporting evidence.  |     |    |

### Worksheet: Replacement Plan Details

1. Please provide a definite plan for reuse of the site, including proposed replacement structures, by completing Worksheets B & C and any other pertinent worksheets, along with required exhibits.
2. Provide a narrative time schedule for the replacement project below.
3. Please provide a narrative of what impact the proposed replacement project will have on the subject property and the neighborhood.

## Rezoning Worksheet

**Existing Zoning:**

**Proposed Zoning:**

**Narrative Description of Rezoning:**

Please provide a reason for the rezoning request and a project description.

**Reason for rezoning request:**

**Project description:**

## Conditional Use Worksheet

### Background

The Board of Zoning and Planning shall have the power to approve applications for conditional uses specified in Chapters 1252 and 1254. The proposed use shall be approved if, and only if, it meets the intent of this Zoning Code and the intent of the zoning district in which the property is located, fits harmoniously with adjacent uses and structures and complies with all other provisions of this Zoning Code. The Board of Zoning and Planning has no obligation to approve a conditional use. This Zoning Code assumes that conditionally permitted uses are not appropriate unless an applicant proves that the use will not be detrimental to the public health, safety, or general welfare of the City or the neighborhood in which it is proposed.

An approved conditional use must be substantially operational within 2 years of its approval. Applications for any construction permits necessary for the operation of the conditional use must be filed within 1 year of approval. A conditional use permit may be revoked by BZAP if the Board finds the conditions of approval of the existing conditional use permit are not met or maintained, the property ceases to be operated as an approved conditional use, or the continuance of the conditional use would pose a substantial risk to the public health, safety and welfare. A conditional use permit shall not be revoked without providing notice to the permit holder and the opportunity to be heard. A conditional use permit shall automatically expire if it ceases operation for more than one year.

### Conditional Use Checklist

Conditional uses shall only be approved if the applicant proves the following factors are met. Please indicate your acknowledgement that your conditional use application meets the following criteria:

1. The use is consistent with the goals and policies of any adopted plans of the City of Bexley, including, but not limited to, the Main Street Guidelines.	Yes	No
2. The use will not have a negative impact on the neighboring land uses and the larger community because of the differences between the proposed use and existing uses in the community.	Yes	No
3. The use will not be hazardous to or have a negative impact on existing or future surrounding uses.	Yes	No
4. The use meets or satisfies the lot/yard or height requirements in the code and other general code provisions including landscape requirements, parking standards, and storm drainage requirements as existing or as may be adopted.	Yes	No
5. The use does not create an undue burden on existing public facilities and services such as street, utilities, school or refuse disposal.	Yes	No
6. The use is consistent with and/or furthers the City's economic goals and will not decrease property values or have a negative economic impact.	Yes	No
7. The use is in character and keeping and compatible with the adjacent structures and uses.	Yes	No
8. Any proposed construction will not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance.	Yes	No

**Please provide supporting information to the Conditional Use questions above by attachment to this worksheet - provide a narrative of how you meet the above criteria (1-8).**

## Home Occupation Worksheet

### Background & Checklist

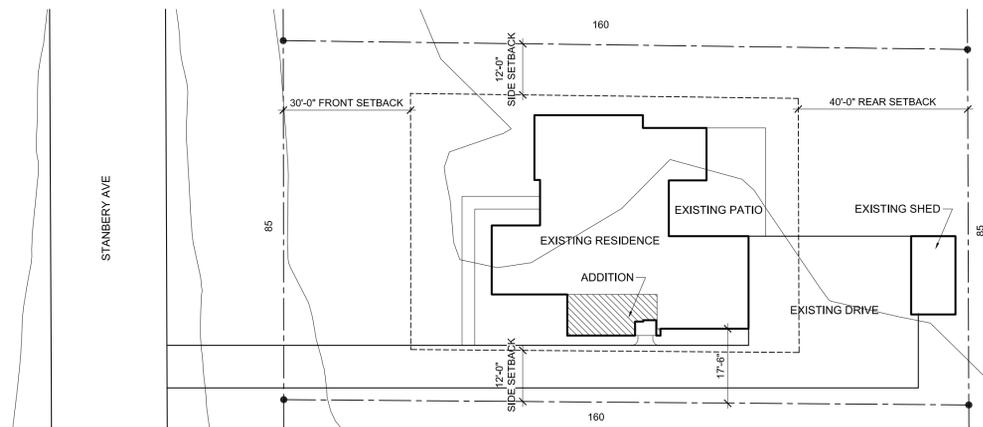
A home occupation may be allowed as a conditional use as specified in Chapter 1252 provided that the following additional conditions are met. Please indicate your acknowledgement that your home occupation use meets the following criteria:

**Business Name:**

**Business Description:**

1. No person other than members of the family residing on the premises shall be engaged in such occupation.	Yes	No
2. The use of the dwelling unit for the home occupation shall be clearly incidental and subordinate to its use for residential purposes by its occupants, and not more than twenty-five percent of the floor area of the dwelling unit shall be used in the conduct of the home occupation.	Yes	No
3. There shall be no change in the outside appearance of the building or premises, or other visible or nuisance evidence of the conduct of such home occupation.	Yes	No
4. There shall be no sales in connection with a home occupation.	Yes	No
5. No traffic shall be generated by a home occupation in greater volume than would normally be expected in a residential neighborhood.	Yes	No
6. Any need for parking generated by the conduct of a home occupation shall be met off the street and other than in a required front yard. The off-street parking spaces required for the home occupation shall be maintained in addition to the space or spaces required for the residence itself.	Yes	No

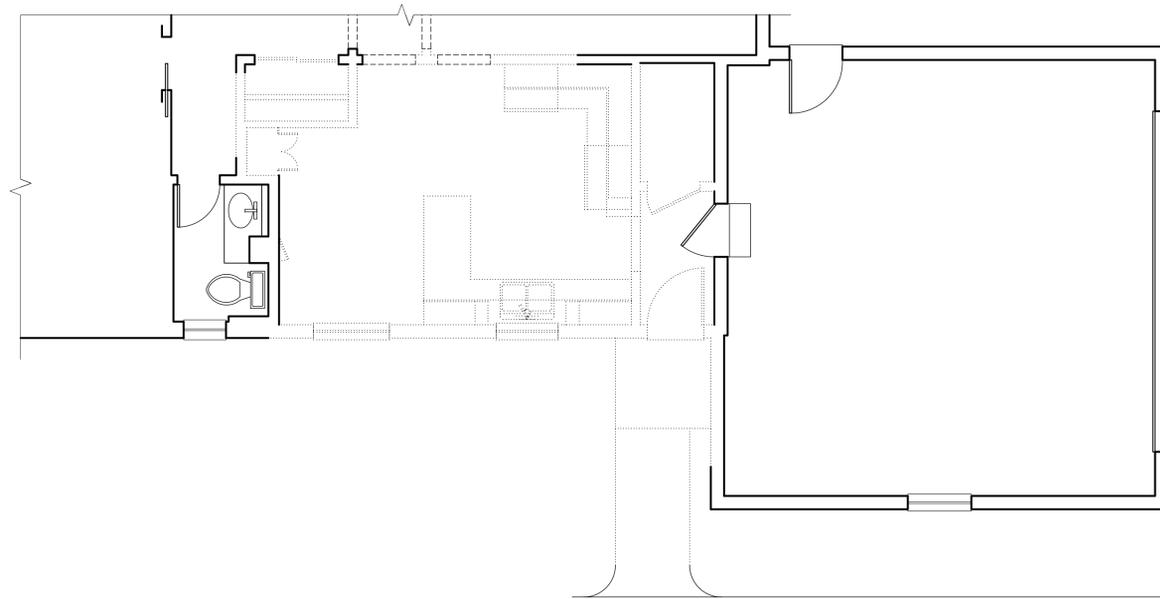
**Please provide supporting information to the Home Occupation questions above by attachment to this worksheet - provide a narrative of how you meet the above criteria (1-6).**



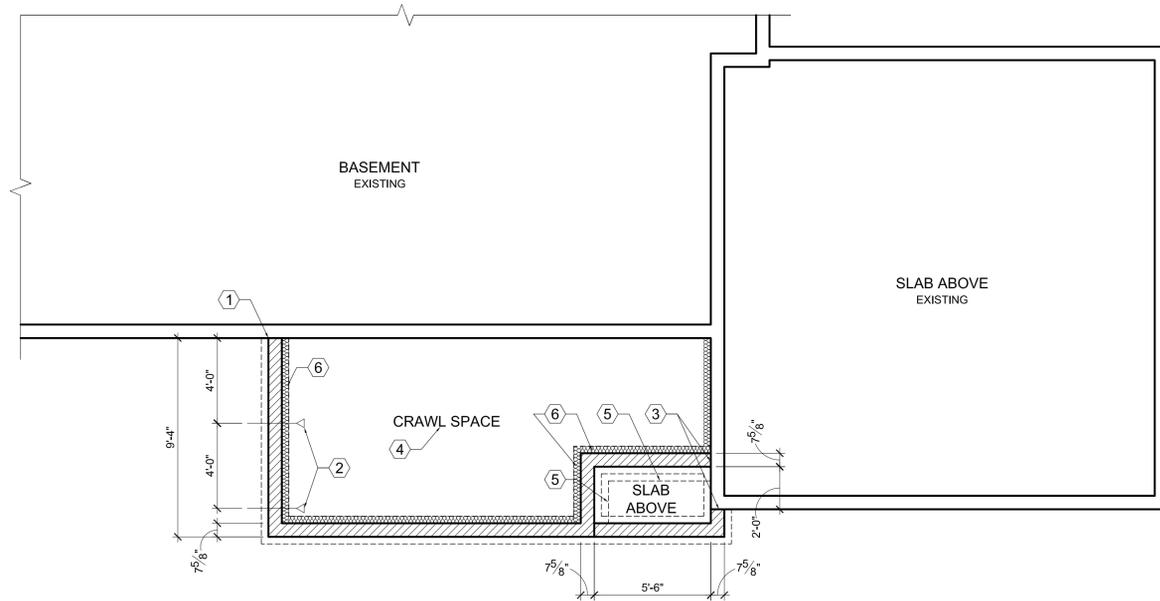
**SITE PLAN**  
SCALE: 1" = 20'-0"

ZONING INFORMATION

ZONING DISTRICT	R-3
PARCEL ID:	020-004258-00
LOT AREA	13,552 SQ. FT.
EXISTING BUILDING COVER	2,199 SQ. FT. 16% OF LOT AREA
ADDITION	188 SQ. FT.
PROPOSED BUILDING COVER	2,387 SQ. FT. 18% OF LOT AREA
PERMITTED BUILDING COVER	3,388 SQ. FT. 25% OF LOT AREA
DRIVEWAY	2,132 SQ. FT.
WALKS AND PATIO	649 SQ. FT.
TOTAL LOT COVER	5,168 SQ. FT. 38% OF LOT AREA
PERMITTED LOT COVER	6,776 SQ. FT. 50% OF LOT AREA



**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

- FOUNDATION PLAN NOTES**
1. BOTTOM OF NEW FOOTING TO ALIGN WITH EXISTING FOOTING STEP. MAXIMUM ELEVATION CHANGE 2'-0" PER STEP.
  2. BOTTOM OF NEW FOOTING TO ALIGN WITH EXISTING GARAGE FOOTING. G.C. TO CONFIRM EXISTING FOOTING IS AT LEAST 3'-0" BELOW GRADE
  3. CRAWL SPACE TO BE MECHANICALLY VENTILATED
  4. TURNOUT BLOCK TO SUPPORT SLAB ABOVE
  5. R-13 INSULATION DRAPE

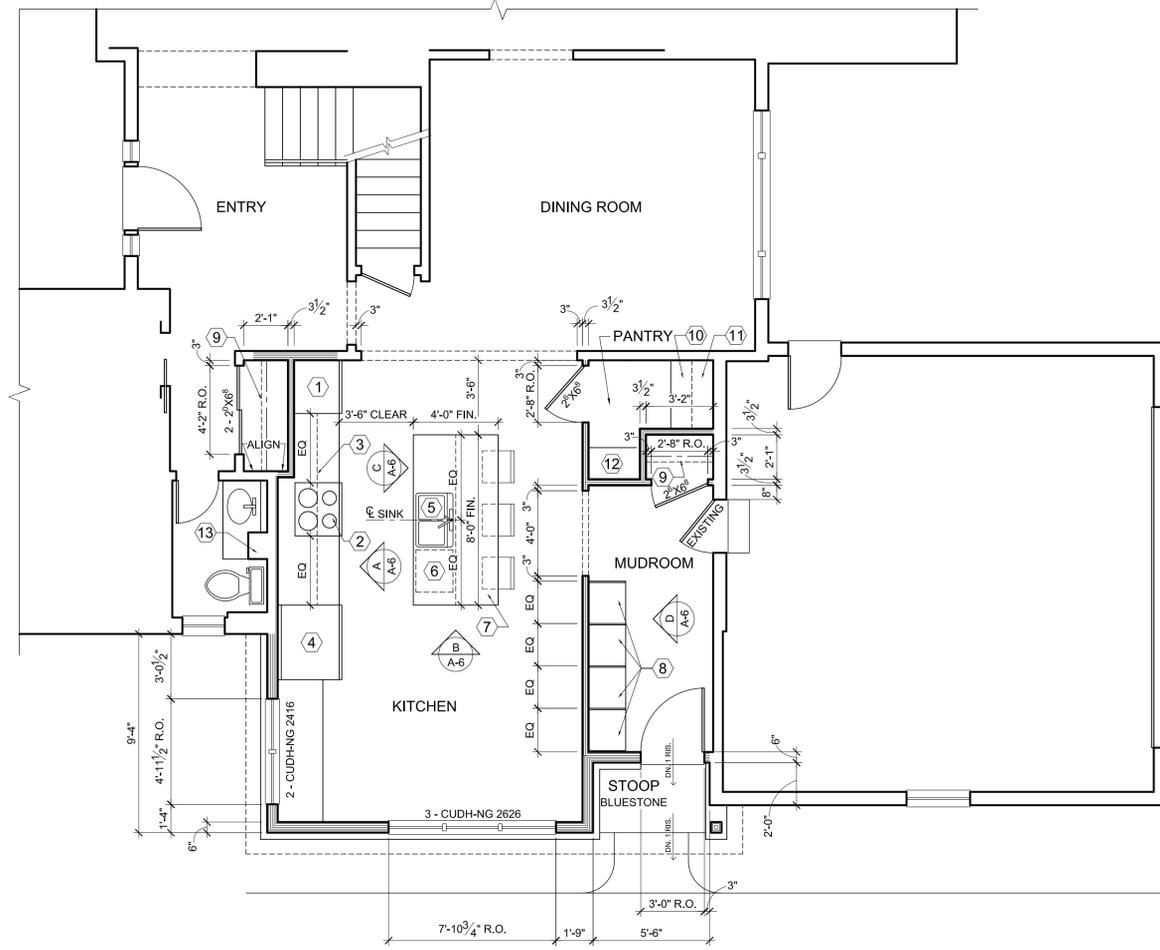
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**ADDITION & REMODELING  
THE REEHIL RESIDENCE  
154 STANBERY AVE**

Gary J. Alexander,  
Architect  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

ARCH. REVIEW: 06-13-19

**A-1**

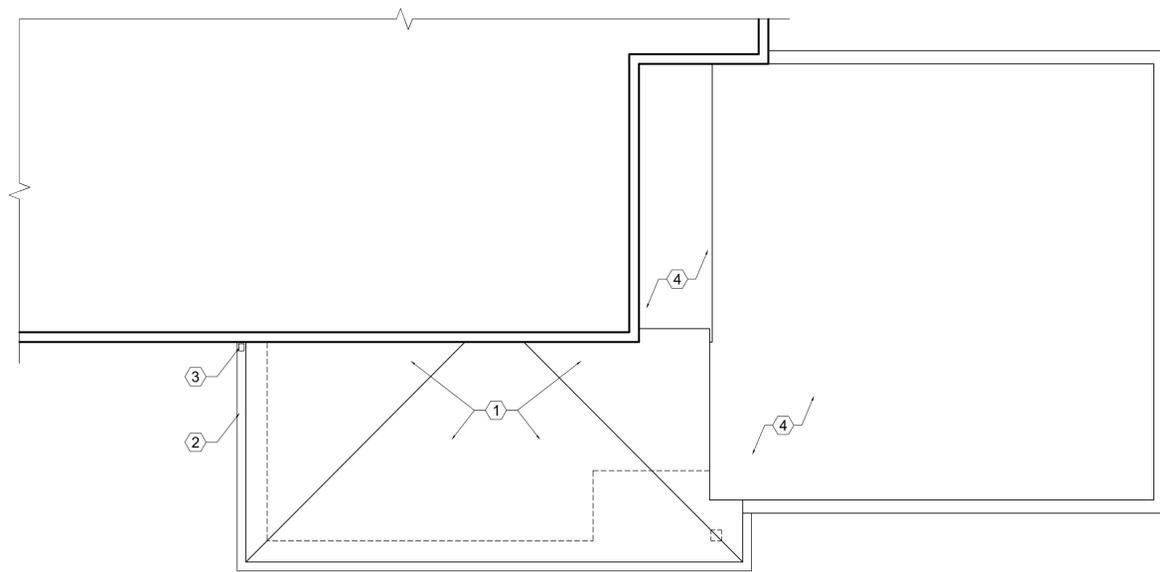


### FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

#### FIRST FLOOR PLAN NOTES

1. OVENS (2) WITH MICROWAVE
2. COOKTOP
3. DOWNDRAFT VENTING UNIT FOR COOKTOP
4. REFRIGERATOR WITH FREEZER
5. SINK WITH DISPOSAL
6. DISHWASHER
7. CANTILEVERED COUNTERTOP TO BE SUPPORTED WITH CONCEALED STEEL ANGLES. NUMBER AND LOCATION OF ANGLES TO BE DETERMINED BY COUNTERTOP FABRICATOR.
8. LOCKERS
9. ROD AND SHELF
10. COUNTERTOP, 3'-0" ABOVE FLOOR. SHELVES BELOW.
11. 1'-0" DEEP SHELVES ABOVE COUNTERTOP
12. 5 FIXED SHELVES. CONSULT OWNERS REGARDING SPACING OF SHELVES.
13. CLOTHES CHUTE TO REMAIN. G.C. TO CONSULT OWNERS REGARDING NEW ACCESS DOOR TO CHUTE FROM FIRST FLOOR.



### LOW ROOF PLAN

SCALE: 1/4" = 1'-0"

#### LOW ROOF PLAN NOTES

1. ASPHALT/FIBERGLASS SHINGLES TO MATCH EXISTING
2. 5" OGEE PROFILE PRE-FINISHED ALUMINUM GUTTER
3. PRE-FINISHED ALUMINUM DOWNSPOUT TO MATCH EXISTING
4. EXISTING ROOF SURFACE TO REMAIN

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ARCH. REVIEW: 06-13-19

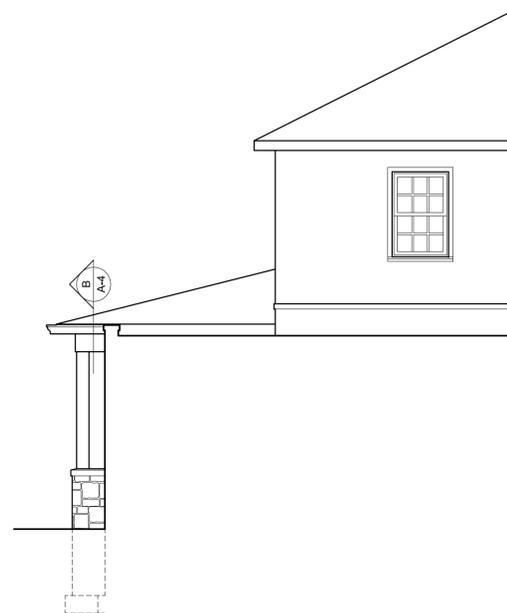
**A-2**



**FRONT (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"



**SIDE (SOUTH) ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR (EAST) ELEVATION**  
SCALE: 1/4" = 1'-0"

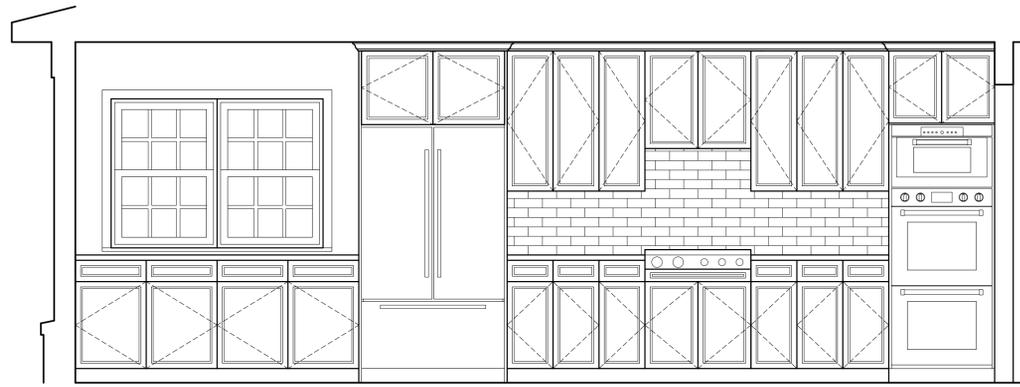
- ELEVATION MATERIALS LIST**
- ALL EXTERIOR WOOD TRIM TO BE REDWOOD OR SMOOTH FINISH CEDAR, UNLESS NOTED OTHERWISE. ALL SURFACES OF TRIM TO BE PRIMED PRIOR TO INSTALLATION. SAW CUTS AND NAIL HOLES TO BE PRIMED.
  - ALL GUTTERS AND DOWNSPOUTS TO CONNECT UNDERGROUND TO DRAIN TILE AND DRAIN TILE TO BE ROUTED TO CURB AT STREET. IF EXISTING DRAIN TILE ARE TO BE USED, CONTRACTOR TO VERIFY THAT EXISTING DRAIN TILE ARE OPERATING PROPERLY PRIOR TO CONNECTING NEW DOWNSPOUTS
- A. FIBERGLASS ASPHALT SHINGLES TO MATCH EXISTING
  - B. SIDEWALL FLASHING
  - C. 1X6 WOOD FASCIA
  - D. 5" OGEE PROFILE PRE-FINISHED ALUMINUM GUTTER
  - E. 1X10 WOOD TRIM
  - F. WOOD TRIM WITH HEAD FLASHING TO MATCH EXISTING
  - G. JAMB TRIM TO MATCH EXISTING
  - H. SILL TRIM TO MATCH EXISTING
  - I. STUCCO, COLOR AND TEXTURE TO MATCH EXISTING
  - J. 4" TALL LIMESTONE ACCENT BAND
  - K. CULTURED STONE, MATCH STONE AT FRONT OF HOUSE
  - L. PREFINISHED ALUMINUM DOWNSPOUT, MATCH EXISTING
  - M. DOWNSPOUT BOOT
  - N. 6X6 COLUMN WRAPPED IN 1X WOOD TRIM
  - O. WOOD KICKPLATE
  - P. RISERS AND TREADS COVERED IN BLUE STONE

**ADDITION & REMODELING  
THE REEHIL RESIDENCE  
154 STANBERY AVE**

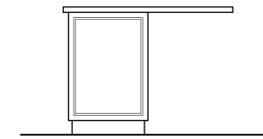
Gary J. Alexander,  
Architect  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

ARCH. REVIEW: 06-13-19

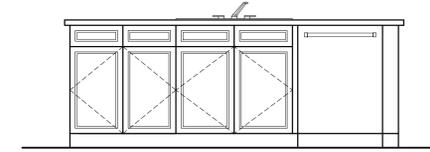
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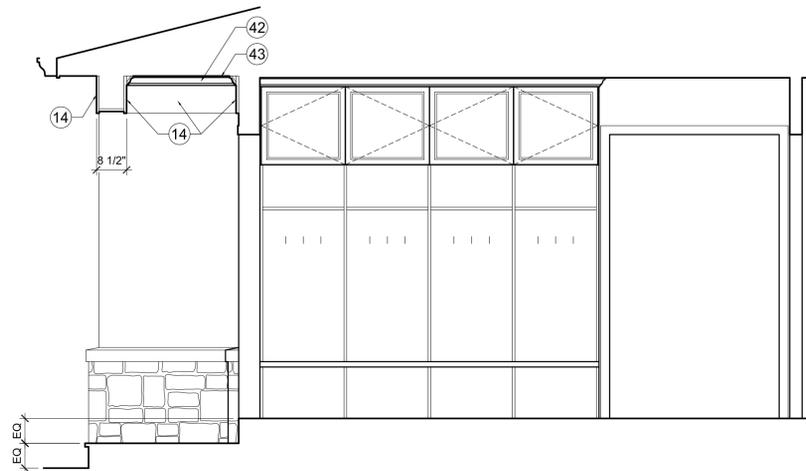
**(A) INTERIOR ELEVATIONS**  
SCALE: 1/2" = 1'-0"



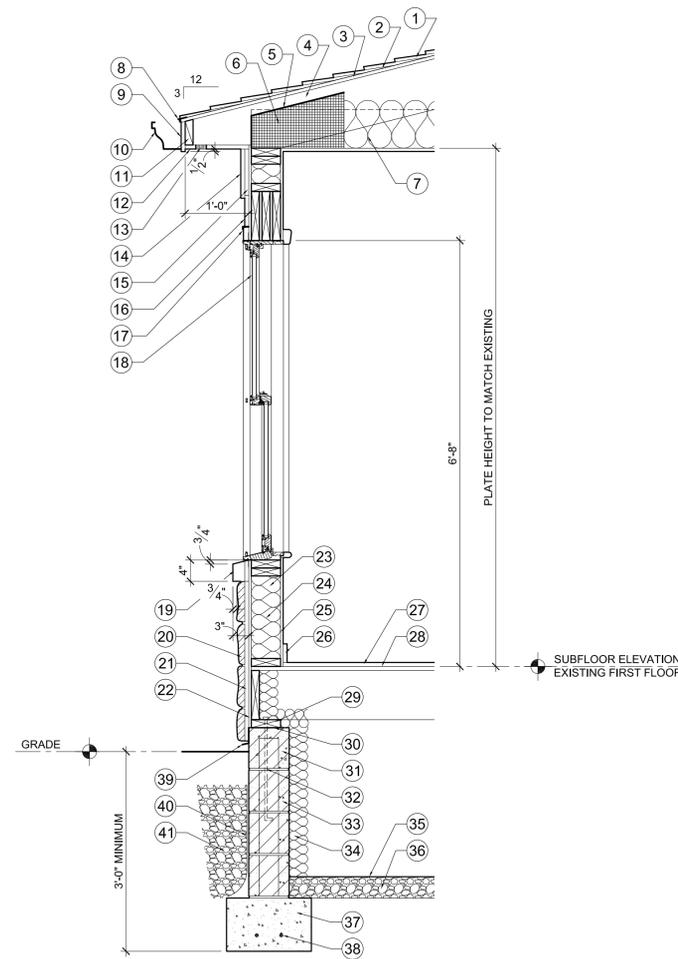
**(B)**



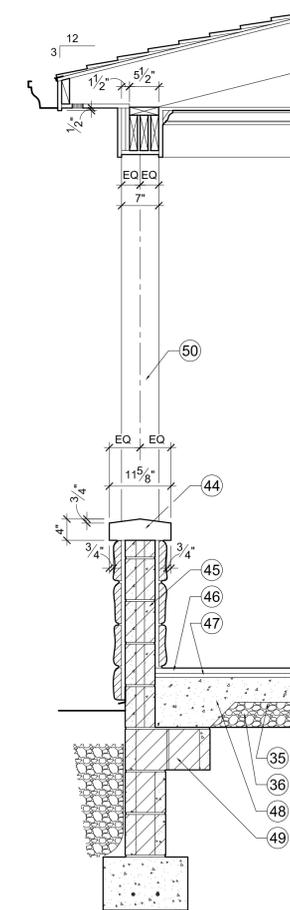
**(C)**



**(D)**



**(A) SECTION**  
SCALE: 3/4" = 1'-0"



**(B) SECTION**  
SCALE: 3/4" = 1'-0"

**MATERIALS LIST**

1. FIBERGLASS ASPHALT SHINGLES TO MATCH EXISTING
2. ICE AND WATERGUARD UNDERLAYMENT BENEATH ENTIRE ROOF SURFACE
3. 5/8" ROOF SHEATHING
4. AIR SPACE
5. INSULATION BAFFLE
6. BLOWN IN CLOSED CELL FOAM INSULATION R-VALUE OF 6 PER 1" OF THICKNESS
7. R-38 INSULATION
8. PRE-FINISHED METAL DRIP EDGE
9. 1X6 WOOD FASCIA
10. 5" OGEE PROFILE PRE-FINISHED ALUMINUM GUTTER
11. 2X SUBFASCIA
12. SOFFIT TO MATCH EXISTING
13. 2" CONTINUOUS SOFFIT VENT
14. 1X10 WOOD TRIM
15. 1X WOOD BLOCKING
16. STUCCO, COLOR AND TEXTURE TO MATCH EXISTING
17. WOOD TRIM WITH HEAD FLASHING TO MATCH EXISTING
18. WOOD CLAD DOUBLE-HUNG WINDOW
19. 4" TALL LIMESTONE ACCENT BAND
20. CULTURED STONE
21. WATER RESISTANT, BREATHABLE, AIR BARRIER, TYVEK HOMEWRAP OR EQUAL
22. 1/2" WALL SHEATHING
23. 2X6 STUDS @ 16" O.C.
24. R-21 INSULATION WITH VAPOR RETARDER
25. 1/2" GYPSUM WALLBOARD
26. BASE TRIM TO MATCH EXISTING
- 27.
28. 3/4" T&G PLYWOOD SUBFLOOR, GLUED AND NAILED
29. 2X6 TREAD WOOD SILL PLATE
30. FIBERGLASS SILL SEAL
31. 8X8X16 CMU TERMITE BLOCK
32. 1/2" DIAMETER ANCHOR BOLT, 1'-6" LONG, EMBEDDED AT LEAST 1'-3" DEEP, 6"-0" O.C. AND NOT MORE THAN 1'-0" FROM ANY CORNER
33. 8X8X16 CMU
34. R-13 INSULATION BLANKET
35. VAPOR BARRIER, 6MIL POLY
36. GRAVEL, 4" DEEP
37. 10X16 CONCRETE FOOTING
38. 2 - #5 REINFORCING BARS
39. FLASHING
40. DAMPPROOFING PER CODE REQUIREMENTS
41. GRAVEL BACKFILL TO WITHIN 1'-0" OF GRADE
42. CROWN MOLDING, CAPITAL CITY MILLWORK, KL313, 3/4" X 3/4"
43. BEADBOARD PORCH CEILING
44. CUT STONE CAP
45. 6" WIDE CMU
46. BLUESTONE
47. MORTAR SETTING BED
48. 4" CONCRETE SLAB
49. TURN-OUT BLOCK TO SUPPORT CONCRETE SLAB
50. 6X6 POST WRAPPED IN 1X WOOD TRIM

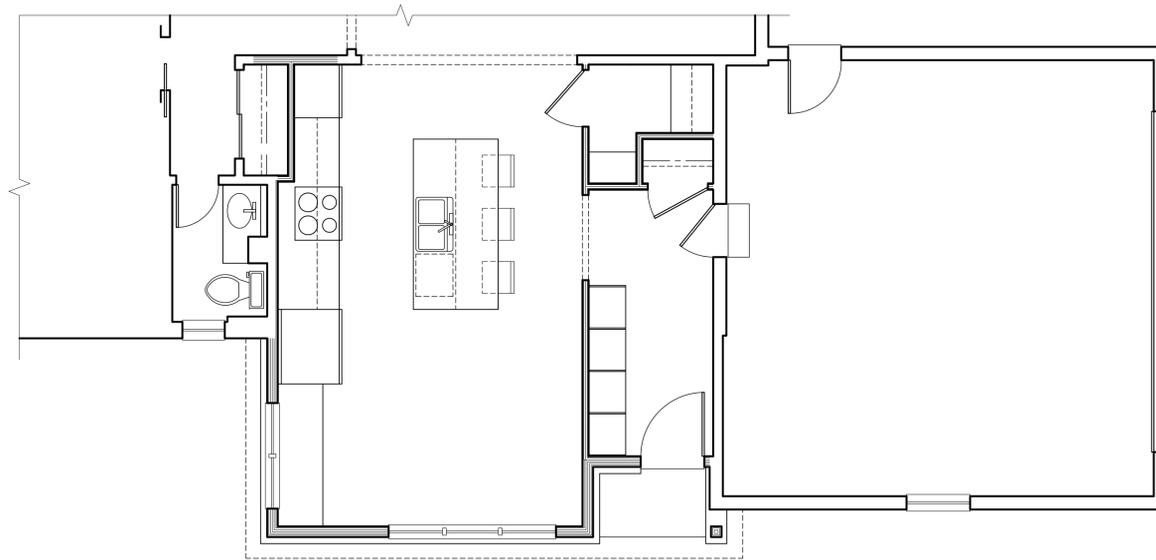
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**ADDITION & REMODELING  
THE REEHIL RESIDENCE  
154 STANBERY AVE**

Gary J. Alexander,  
Architect  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

ARCH. REVIEW: 06-13-19

**A-4**

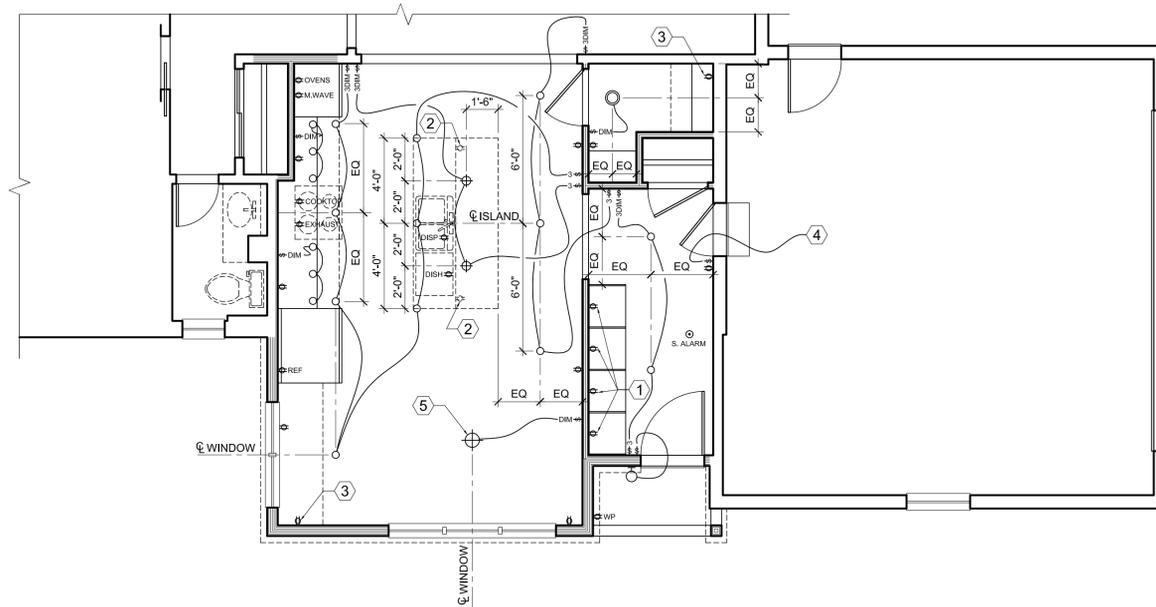


### LOW ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

LOW ROOF FRAMING PLAN NOTES

- 1.



### FIRST FLOOR LIGHTING / REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIGHTING / REFLECTED CEILING PLAN NOTES

1. RECEPTACLE ABOVE THE LOWEST SHELF FOR CHARGING STATION
2. RECEPTACLES BELOW CANTILEVERED COUNTERTOP
3. RECEPTACLE ABOVE COUNTERTOP
4. TO EXISTING FIXTURE IN GARAGE
5. COORDINATE LOCATION OF PENDANT FIXTURE WITH OWNER'S PLANNED LOCATION OF TABLE.

LIGHTING KEY

- 4" RECESSED CAN-TYPE FIXTURE WITH LED LAMP AND BULB EXTENDER
- ⊙ 6" RECESSED CAN-TYPE FIXTURE SEALED WITH DROPPED OPALEX TRIM
- ⊙ SURFACE MOUNTED WALL FIXTURE
- ⊕ PENDANT
- ⊖ UNDERCABINET LED LIGHTING
- ⊙ S. ALARM

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**ADDITION & REMODELING  
 THE REEHIL RESIDENCE  
 154 STANBERY AVE**

Gary J. Alexander,  
 Architect  
 1265 Neil Avenue, Columbus, Ohio 43201  
 (614) 487-0637

ARCH. REVIEW: 06-13-19  
**S-1/E-1**



PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, July 11th, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. If the applicant or his representative is not in attendance at such meeting, the Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

- a. Application No.: 19-61  
Applicant: Amy Lauerhass  
Owner: Laura Dehlendorf  
Location: 205 N. Stanwood Road

**ARB Request:** The applicant is seeking architectural review and approval to allow a two-story addition to the rear (west side) of the principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 06-27-2019

# CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

- Architectural Review  
  Conditional Use  
  Demolition  
  Planned Unit Dev.  
  Rezoning  
  Special Permit

### Property & Project Information:

Property Address:

Brief Project Description:

### Applicant Information:

Applicant Name:

Applicant Address:  ,  ,

Applicant Email & Phone:

### Property Owner Information:

Owner Name:

Owner Address:  ,  ,

Owner Email & Phone:

### Attorney/Agent Information:

Agent Name:

Agent Address:  ,  ,

Agent Email & Phone:

- Completed Worksheets:  Project Worksheet (Sheet A)  Architectural Review (Sheet B)  Tree Commission (Sheet C)

### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:  Digitally signed by Amy Lauerhass  
Date: 2019.06.11 13:35:26 -04'00' Date:

Owner Signature:  Date:

Agent Signature:  Date:

### Internal Use:

Application #:  Board Referrals:  ARB  BZAP  City Council  Tree Commission

Staff Signature:  Date:

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

- Architectural Review  
  Conditional Use  
  Demolition  
  Planned Unit Dev.  
  Rezoning  
  Special Permit

### Property & Project Information:

Property Address:

Brief Project Description:

### Applicant Information:

Applicant Name:

Applicant Address:  ,  ,

Applicant Email & Phone:

### Property Owner Information:

Owner Name:

Owner Address:  ,  ,

Owner Email & Phone:

### Attorney/Agent Information:

Agent Name:

Agent Address:  ,  ,

Agent Email & Phone:

- Completed Worksheets:  Project Worksheet (Sheet A)  
  Architectural Review (Sheet B)  
  Tree Commission (Sheet C)

### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:  Digitally signed by Amy Lauerhass  
Date:

Owner Signature:  Date:

Agent Signature:  Date:

**Internal Use:**

Application #:  Board Referrals:  ARB  
  BZAP  
  City Council  
  Tree Commission

Staff Signature:  Date:

## Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

<b>Minor Architectural Review (Ex. Roof, window, siding)</b>		
Based upon the valuation of the project:	- \$50.00 for 1st \$10,000 valuation	\$ <input type="text"/>
	- \$5.00 for each additional \$10,000 valuation.	\$ <input type="text"/>

<b>Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)</b>		
Based upon the valuation of the project:	- \$90.00 for the 1st \$10,000 valuation	\$ <input type="text" value="90.00"/>
	- \$5.00 for each additional \$10,000 valuation	\$ <input type="text" value="110.00"/>
	- \$600.00 cap	\$ <input type="text"/>
	- \$50.00 resubmittal fee	\$ <input type="text"/>

<b>Variance Review</b>		
Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text"/>
All others:	\$90.00	\$ <input type="text"/>

<b>Zoning Fees</b>		
Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text"/>
Replatting or new plat:	\$250.00	\$ <input type="text"/>

<b>Sign Review and Architectural Review for Commercial Properties</b>		
<b>Project Value</b>	<b>Fee</b>	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>
Fences and walls:	\$65.00	\$ <input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text"/>
Re-submittal Fee:	\$50.00	\$ <input type="text"/>

<b>Appeals</b>		
Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text"/>

**Fee Total:** \$

## Project Worksheet

Residential       Commercial

Property Address:

205 North Stanwood Road

Zoning District:

R-6

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

*\*Overall coverage includes hardscape*

Lot Info:

Width (ft.):

50

Depth (ft.):

134

Total Area (SF):

6697

Primary Structure Info:

Existing Footprint (SF):

863

Proposed Addition (SF):

369

Removing (SF):

(Type of Structure):

Proposed new primary structure or residence (SF):

Total Square Footage:

1232

Garage and/or Accessory  
Structure Info  
(Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

493

New Structure Type:

Proposed Addition (SF):

Ridge Height:

Proposed New Structure (SF):

Is there a 2nd floor?

Yes

No

Total of all garage and accessory structures (SF):

2nd Floor SF:

Total building lot coverage (SF):

1725

= 25.7 % of lot

Is this replacing an existing garage and/or accessory structure?

Yes

No

Hardscape:

Existing Driveway (SF):

1270

Existing Patio (SF):

Existing Private Sidewalk (SF):

74

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

1344

Totals:

Total overall lot coverage (SF):

3069

= 45.8

% of lot

Applicant Initial:

AL

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:

## Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

**Roofing**     House or Principal Structure     Garage Only     House & Garage

Existing Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Shingle Manufacturer:

New Roof Style & Color:

**Windows**     House or Principal Structure     Garage Only     House & Garage

Existing Window Type:     Casement     Fixed     Exterior Storm     Other:   
 Double Hung     Awning     Horizontal Sliding

Existing Window Materials:     Aluminum Clad Wood     Wood     Metal  
 Vinyl Clad Wood     Aluminum     Other:

New Window Manufacturer:

New Window Style/Mat./Color:

**Doors**     House or Principal Structure     Garage Only     House & Garage

Existing Entrance Door Type:     Wood     Insulated Metal     Fiberglass     Sidelights     Transom Windows

Existing Garage Door Type:     Wood     Insulated Metal     Fiberglass

Door Finish:     Stained     Painted

Proposed Door Type:     Style:     Color:

**Exterior Trim**

Existing Door Trim:     Cedar     Redwood     Pine     Std. Lumber Profile  
 Wood Composite     Aluminum Clad     Molding     Vinyl     Other:

Proposed New Door Trim:

Existing Window Trim:     Wood     Redwood     Pine     Std. Lumber Profile  
 Vinyl     Other:

Proposed New Window Trim:     Trim Color(s):

Do the Proposed Changes Affect the Overhangs?     Yes     No

## Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Aluminum Siding	To Match Existing
<input type="checkbox"/>	<input type="checkbox"/>	Other	

**Staff Confirmation (to be completed by Residential Design Consultant:**

Date of Review:

Approved By:

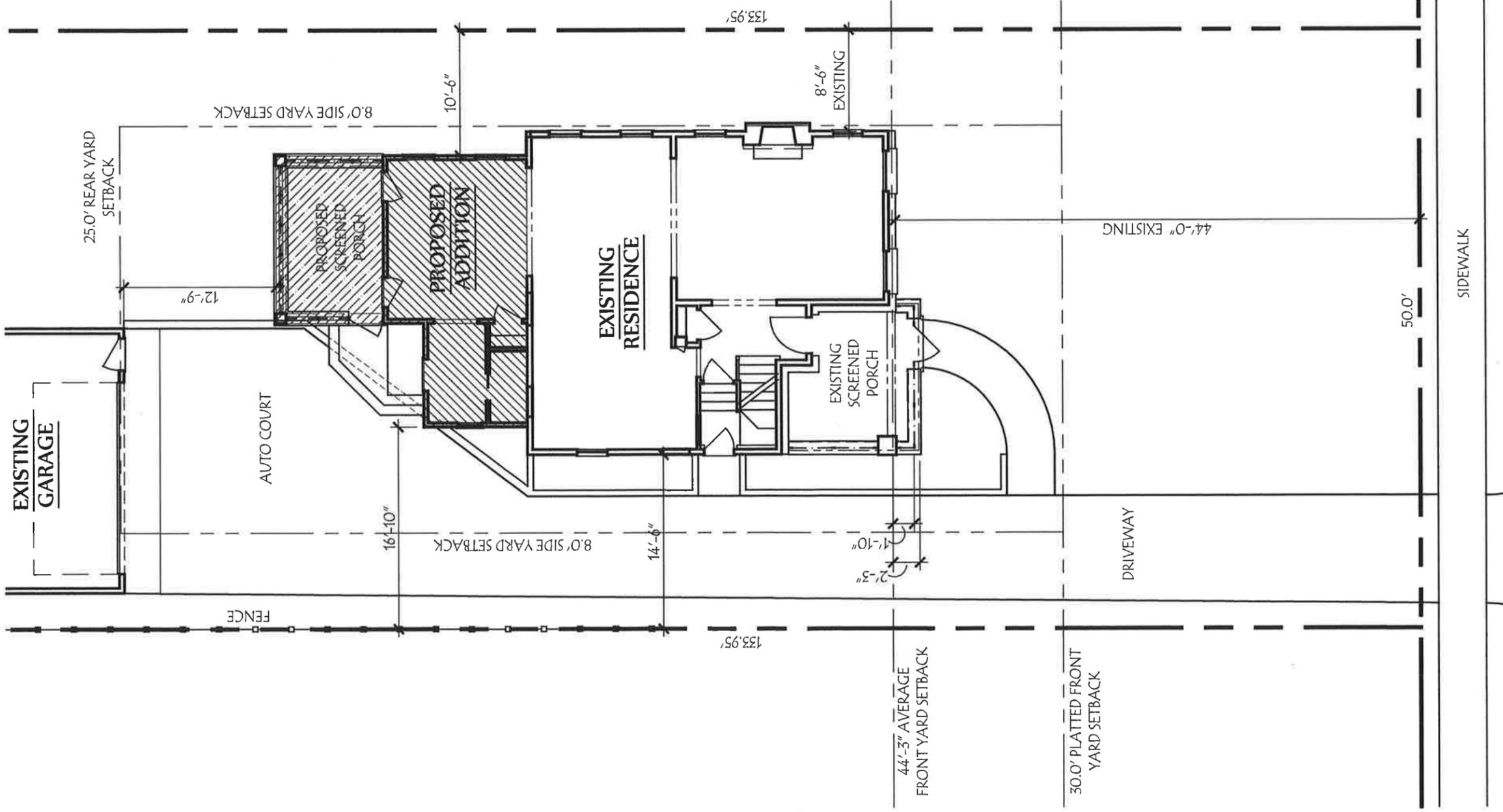
To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

# ADDITION & RENOVATION FOR: DEHLENDORF RESIDENCE

205 N. STANWOOD ROAD  
BEXLEY, OHIO 43209



**DEVELOPMENT INFORMATION**

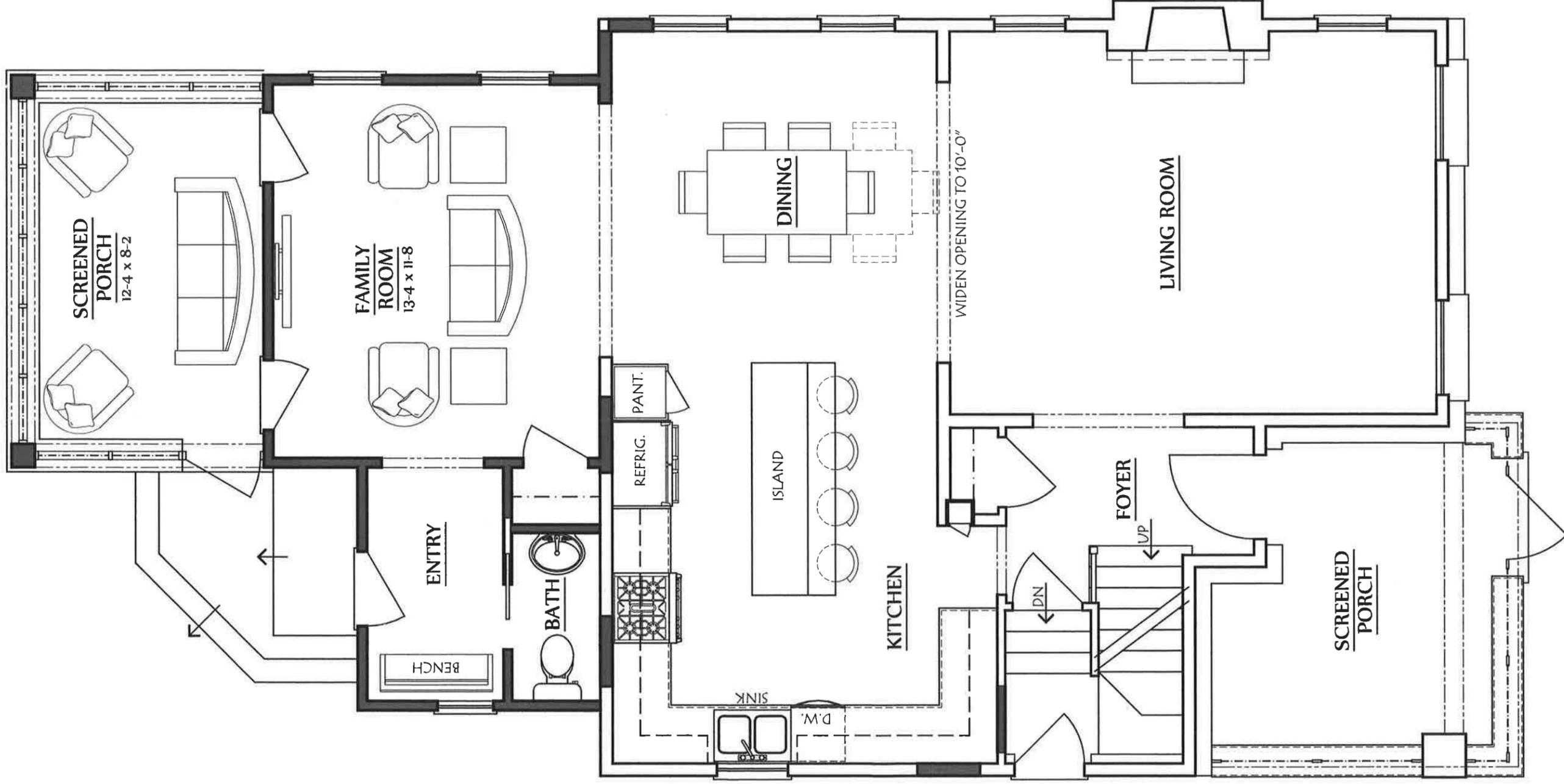
ZONING DESIGNATION	= R-6
TOTAL LAND AREA	= 6,697.5 SF
MAXIMUM BUILDING COVER	35% = 2,344 SF
PROPOSED LOT COVER:	
EXISTING HOUSE	= 863 SF
EXISTING GARAGE	= 493 SF
PROPOSED ADDITION	= 369 SF
<b>TOTAL BUILDING COVER</b>	<b>25.7% = 1725 SF</b>
MAXIMUM DEVELOP. COVER	60% = 4,018 SF
PROPOSED DEVELOP. COVER:	
BUILDING COVER	= 1725 SF
SIDEWALK	= 74 SF
DRIVEWAY	= 1270 SF
<b>TOTAL</b>	<b>45.8% = 3069 SF</b>

**SQUARE FOOTAGE**

EXISTING FIRST FLOOR	= 738 SF
EXISTING SECOND FLOOR	= 748 SF
<b>TOTAL MAIN RESIDENCE</b>	<b>= 1486 SF</b>
PROPOSED FIRST FLOOR	= 228 SF
PROPOSED SECOND FLOOR	= 327 SF
<b>TOTAL PROPOSED ADDITION</b>	<b>= 555 SF</b>
<b>TOTAL FINISHED RESIDENCE</b>	<b>= 2041 SF</b>



**Lauerhass Architecture**  
RENOVATION - ADDITION - NEW HOME  
753 Francis Ave. Bexley, OH 43209 614-371-3523

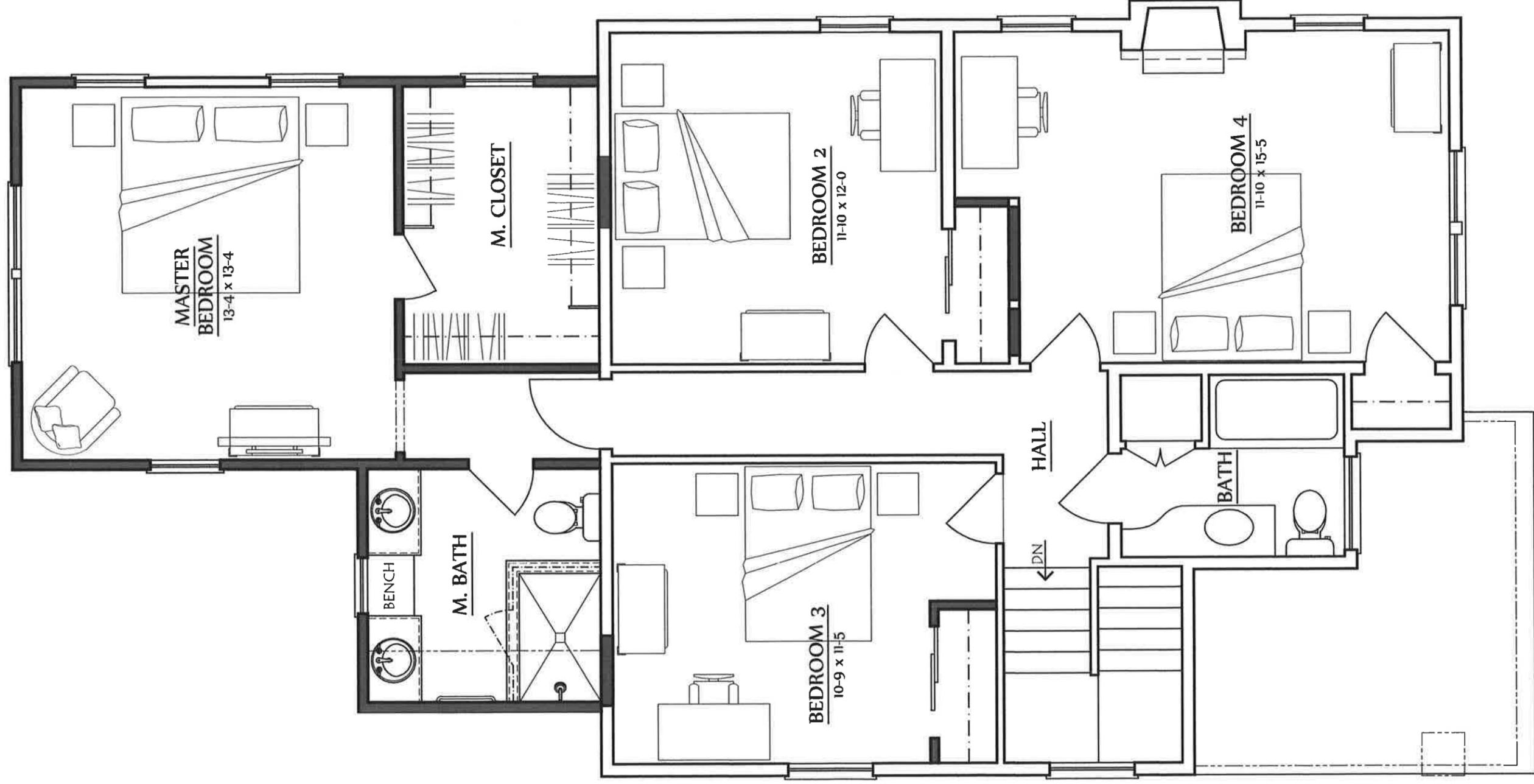


RECESS EXISTING  
DROPPED BEAM  
INTO CEILING

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**Date:** 12 June 2019  
**Drawing Title:** First Floor Plan  
**Project Name:** The Dehlendorf Residence  
**Project Number:** 19-009  
**Scale:** 1/4" = 1'-0"  
**Sheet Number:** A-1

**Lauerhass Architecture**  
RENOVATION - ADDITION - NEW HOME



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Date: **12 June 2019**

Drawing Title: **Second Floor Plan**

Scale: **1/4" = 1'-0"**

Project Number: **19-009**

Project Name: **The Dehlendorf Residence**

Sheet Number: **A-2**



**Lauerhass Architecture**  
RENOVATION - ADDITION - NEW HOME



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Date:  
12 June 2019

Drawing Title:  
**Rear Elevation**

Scale:  
1/4" = 1'-0"

Project Number:  
19-009

Project Name:  
The Dehlendorf Residence

Sheet Number:  
A-3



**Lauerhass Architecture**  
RENOVATION - ADDITION - NEW HOME



EAST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

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<b>Date:</b> 12 June 2019	<b>Drawing Title:</b> <b>Elevations</b>	<b>Scale:</b> 1/8" = 1'-0"
<b>Project Number:</b> 19-009	<b>Project Name:</b> The Dehlendorf Residence	<b>Sheet Number:</b> A-4





SOUTH ELEVATION



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

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 WRITTEN AUTHORIZATION OF THE ARCHITECT.

<u>Date:</u> 12 June 2019	<u>Drawing Title:</u> <b>Existing Photos</b>	<u>Scale:</u> n/a
<u>Project Number:</u> 19-009	<u>Project Name:</u> The Dehlendorf Residence	<u>Sheet Number:</u> A-5





PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, July 11, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. If the applicant or his representative is not in attendance at such meeting, the Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

- a. Application No.: BA-19-62  
Applicant: Amy Lauerhass  
Owner: Babak Djourabchi  
Location: 2336 Bryden Road

**ARB Request:** The applicant is seeking architectural review and approval to allow an addition to the northeast corner of the principal structure and a second story addition to the rear over the existing 1-story section. The applicant also proposes to convert the existing attached garage to living space. A new 2-car detached garage will be added.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 06-27-2019

BA 19-62 BA

# CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

- Architectural Review
- Conditional Use
- Demolition
- Planned Unit Dev.
- Rezoning
- Special Permit

### Property & Project Information:

Property Address:

Brief Project Description:

### Applicant Information:

Applicant Name:

Applicant Address:  ,  ,

Applicant Email & Phone:

### Property Owner Information:

Owner Name:

Owner Address:  ,  ,

Owner Email & Phone:

### Attorney/Agent Information:

Agent Name:

Agent Address:  ,  ,

Agent Email & Phone:

### Completed Worksheets:

- Project Worksheet (Sheet A)
- Architectural Review (Sheet B)
- Tree Commission (Sheet C)

### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:  Digitally signed by Amy Lauerhass  
Date: 2019.06.11 13:48:00 -04'00' Date:

Owner Signature:  Date:

Agent Signature:  Date:

**Internal Use:**

Application #:  Board Referrals:  ARB  BZAP  City Council  Tree Commission

Staff Signature:  Date:

## Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

### Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project: - \$50.00 for 1st \$10,000 valuation \$   
 - \$5.00 for each additional \$10,000 valuation. \$

### Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project: - \$90.00 for the 1st \$10,000 valuation \$   
 - \$5.00 for each additional \$10,000 valuation \$   
 - \$600.00 cap \$   
 - \$50.00 resubmittal fee \$

### Variance Review

Single Family: \$100.00 \$   
 Commercial Property: \$100.00 \$   
 Fences or Special Permits: \$65.00 \$   
 All others: \$90.00 \$

### Zoning Fees

Rezoning: - \$250.00 up to 1 acre site \$   
 - \$60.00 for each additional acre (or part thereof) \$   
 Requests for amendment to PUD Plans: \$300.00 \$   
 Split of lot or existing parcel: \$250.00 \$   
 Replatting or new plat: \$250.00 \$

### Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>
Fences and walls:	\$65.00	\$ <input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text"/>
Re-submittal Fee:	\$50.00	\$ <input type="text"/>

### Appeals

Appeal of ARB decision to BZAP: \$50.00 \$   
 Appeal of BZAP decision to City Council: \$250.00 \$

**Fee Total:** \$

## Project Worksheet

Residential       Commercial

Property Address:

2336 Bryden Road

Zoning District:

R-6

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

*\* Overall coverage includes hardscape*

Lot Info:

Width (ft.):     Depth (ft.):     Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):   
Proposed Addition (SF):   
Removing (SF):   
Proposed new primary structure or residence (SF):   
Total Square Footage:

(Type of Structure):

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):   
Proposed Addition (SF):   
Proposed New Structure (SF):   
Total of all garage and accessory structures (SF):   
Total building lot coverage (SF):

New Structure Type:   
Ridge Height:   
Is there a 2nd floor?     Yes     No  
2nd Floor SF:   
=  % of lot  
Is this replacing an existing garage and/or accessory structure?     Yes     No

Hardscape:

Existing Driveway (SF):     Existing Patio (SF):   
Proposed Additional Hardscape (SF):   
Total Hardscape (SF):

Totals:

Total overall lot coverage (SF):  =  % of lot

Applicant Initial:

AL

<b>Internal Use:</b>	Staff Review Date: <input type="text"/>	<input type="checkbox"/> Meets Zoning	<input type="checkbox"/> ARB Only	<input type="checkbox"/> Variance or Modifications Needed
	Staff Comments: <input type="text"/>	Staff Initial: <input type="text"/>		

## Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing     House or Principal Structure     Garage Only     House & Garage

Existing Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
                                   Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
                                   Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Shingle Manufacturer:   

New Roof Style & Color:   

Windows     House or Principal Structure     Garage Only     House & Garage

Existing Window Type:     Casement     Fixed     Exterior Storm     Other:   
                                   Double Hung     Awning     Horizontal Sliding

Existing Window Materials:     Aluminum Clad Wood     Wood     Metal  
                                   Vinyl Clad Wood     Aluminum     Other:

New Window Manufacturer:   

New Window Style/Mat./Color:   

Doors     House or Principal Structure     Garage Only     House & Garage

Existing Entrance Door Type:     Wood     Insulated Metal     Fiberglass     Sidelights     Transom Windows

Existing Garage Door Type:     Wood     Insulated Metal     Fiberglass

Door Finish:     Stained     Painted

Proposed Door Type:        Style:     Color:

Exterior Trim

Existing Door Trim:     Cedar     Redwood     Pine     Std. Lumber Profile  
                                   Wood Composite     Aluminum Clad     Molding     Vinyl     Other:

Proposed New Door Trim:   

Existing Window Trim:     Wood     Redwood     Pine     Std. Lumber Profile  
                                   Vinyl     Other:

Proposed New Window Trim:        Trim Color(s):

Do the Proposed Changes Affect the Overhangs?     Yes     No

## Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other	<input type="text" value="Fiber Cement Horizontal Siding"/>

**Staff Confirmation (to be completed by Residential Design Consultant:**

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

# CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

- Architectural Review  
  Conditional Use  
  Demolition  
  Planned Unit Dev.  
  Rezoning  
  Special Permit

### Property & Project Information:

Property Address: 23336 Bryden Road

Brief Project Description:  
 Addition of 142 sf addition to the northeast corner of the house  
 Addition of a second story on the one-story pieces of the existing house  
 Conversion of the existing attached garage into finished space; Addition of a new 2-car detached garage

### Applicant Information:

Applicant Name: Amy Lauerhass

Applicant Address: 753 Francis Ave., Bexley, OH 43209

Applicant Email & Phone: amy@lauerhassarchitecture.com 614-371-3523

### Property Owner Information:

Owner Name: Babak Djourabchi

Owner Address: 447 South Drexel Ave., Bexley, OH 43209

Owner Email & Phone: bdjourabchi@gmail.com 614-278-6800

### Attorney/Agent Information:

Agent Name: n/a

Agent Address:

Agent Email & Phone:

- Completed Worksheets:  Project Worksheet (Sheet A)  Architectural Review (Sheet B)  Tree Commission (Sheet C)

### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: Amy Lauerhass Digitally signed by Amy Lauerhass Date: 2019.08.11 13:48:00 -04'00' Date: 06.11.2019

Owner Signature: *B. Djourabchi* Date: 6/12/19

Agent Signature: Date:

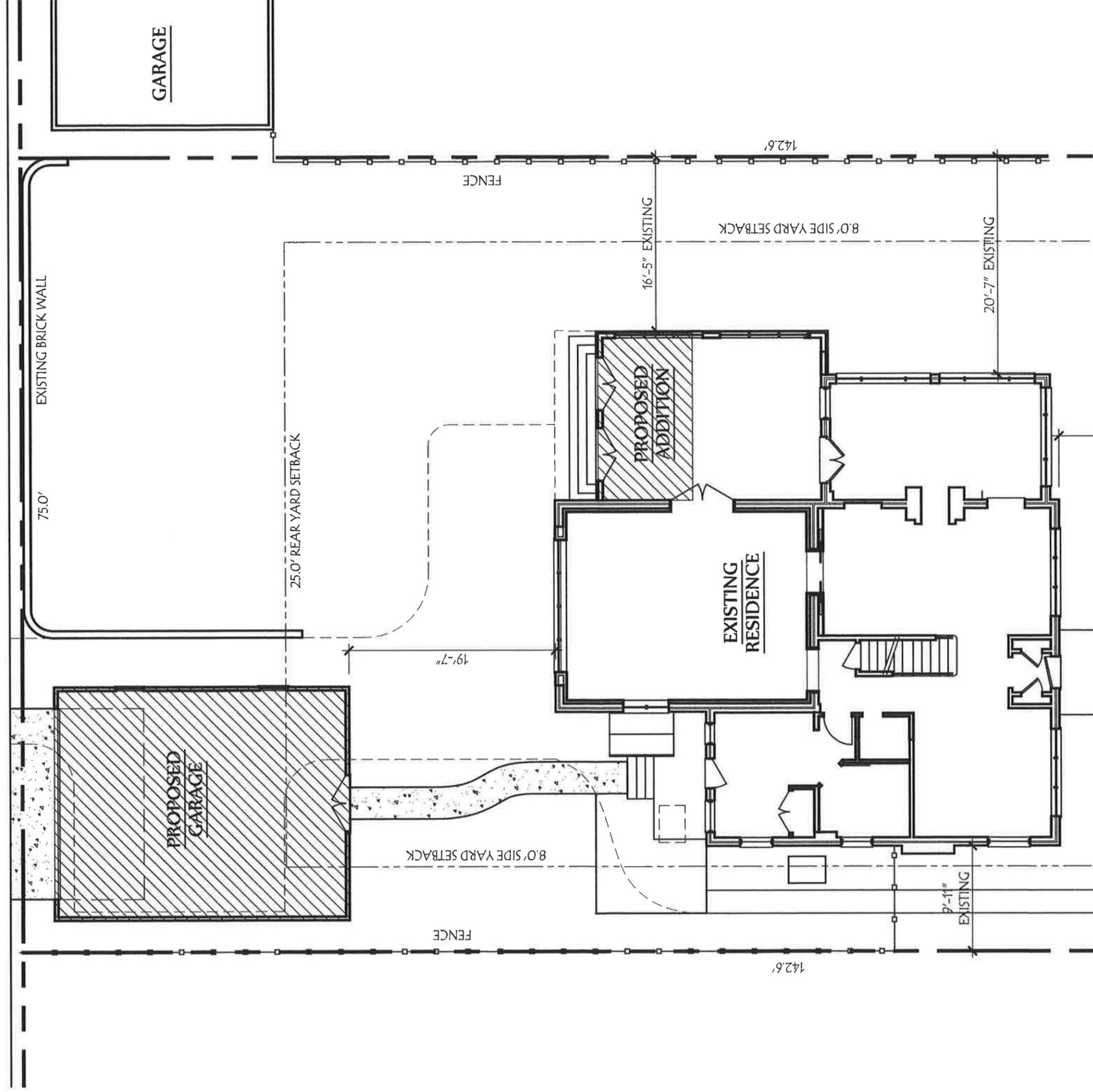
Internal Use:

Application #: Board Referrals:  ARB  BZAP  City Council  Tree Commission

Staff Signature: Date:

ADDITION & RENOVATION FOR:  
**Monica Welt & Babak Djourabchi**  
 2336 BRYDEN ROAD  
 BEXLEY, OHIO 43209

ALLEY  
 (15' R.O.W.)



**Site Plan**

SCALE: 1/10" = 1'-0"

**SQUARE FOOTAGE**

EXISTING FIRST FLOOR	= 1363 SF
EXISTING SECOND FLOOR	= 1381 SF
<b>TOTAL</b>	<b>= 2744 SF</b>
PROPOSED FIRST FLOOR (GARAGE)	= 431 SF
PROPOSED SECOND FLOOR	= 516 SF
<b>TOTAL PROPOSED ADDITION</b>	<b>= 947 SF</b>
<b>TOTAL FINISHED RESIDENCE</b>	<b>= 3691 SF</b>



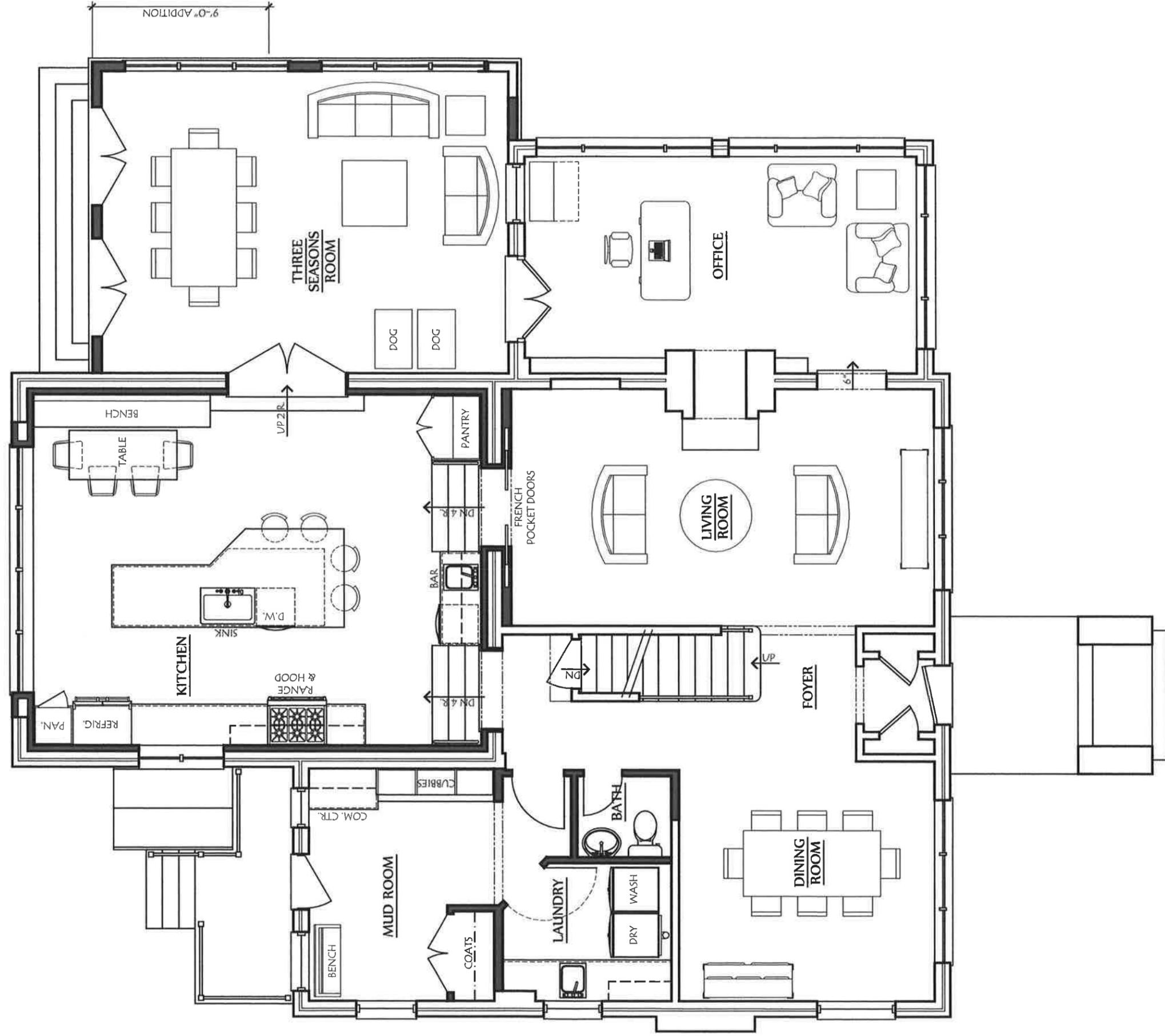
**Lauerhass Architecture**

RENOVATION - ADDITION - NEW HOME

753 Francis Ave. Bexley, OH 43209 614-371-3523

**DEVELOPMENT INFORMATION**

ZONING DESIGNATION	= R-6
TOTAL LAND AREA	= 10,695 SF
MAXIMUM BUILDING COVER	35 % = 3743 SF
PROPOSED LOT COVER:	
EXISTING HOUSE/GARAGE	= 1830 SF
PROPOSED ADDITION	= 142 SF
PROPOSED GARAGE	24 % = 616 SF
<b>TOTAL BUILDING COVER</b>	<b>= 2588 SF</b>
MAXIMUM DEVELOP. COVER	60 % = 6417 SF
PROPOSED DEVELOP. COVER:	
BUILDING COVER	= 2588 SF
SIDEWALKS	= 667 SF
DRIVEWAY	= 54 SF
PATIO	= 507 SF
<b>TOTAL</b>	<b>36 % = 3816 SF</b>



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Date: **11 June 2019**

Drawing Title: **First Floor Plan**

Scale: **3/16" = 1'-0"**

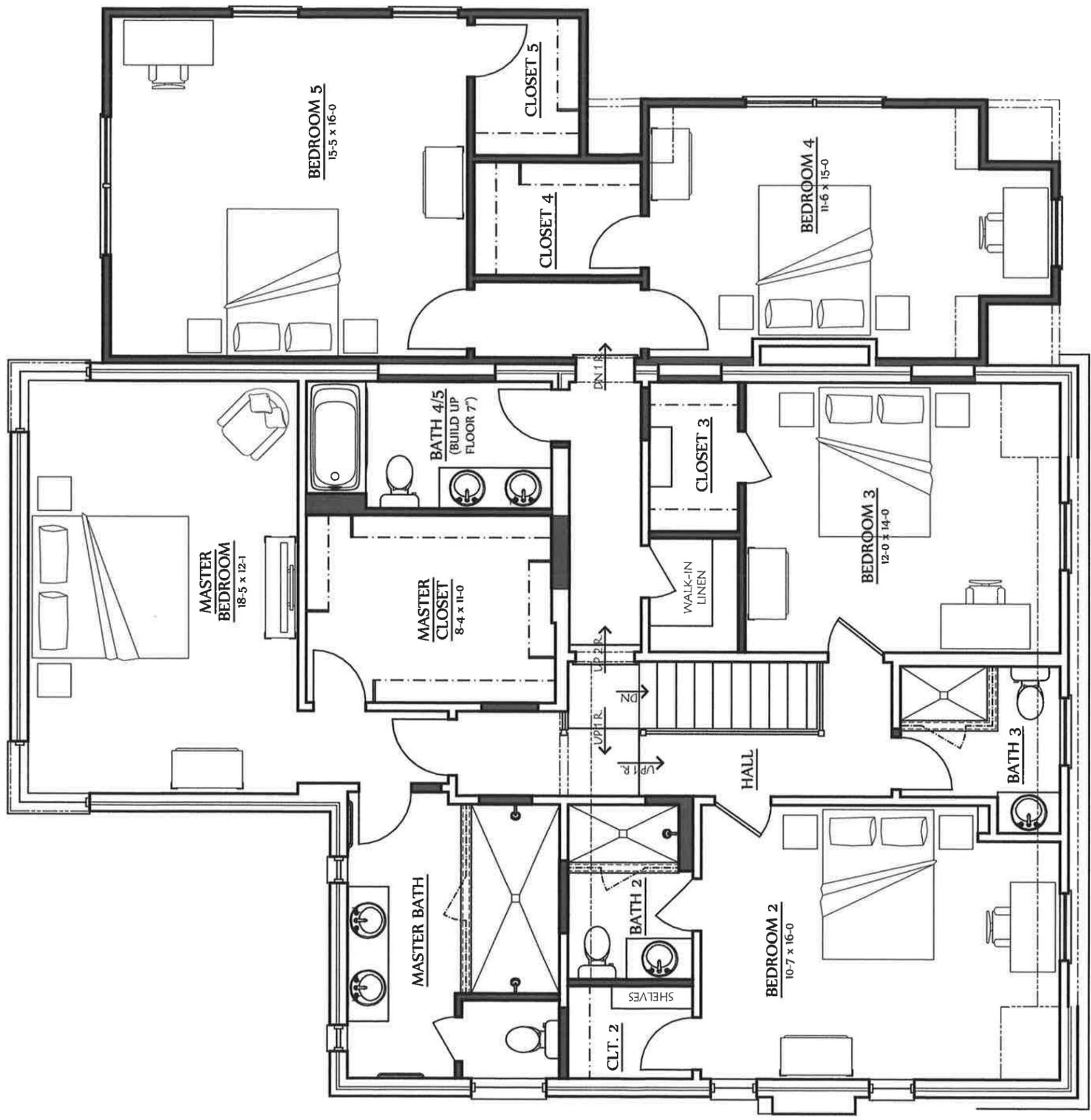
Project Number: **18-045**

Project Name: **2336 Bryden Road**

Sheet Number: **A-1**



**Lauerhass Architecture**  
RENOVATION - ADDITION - NEW HOME



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Date: **11 June 2019**

Drawing Title: **Second Floor Plan**

Scale: **3/16" = 1'-0"**

Project Number: **18-045**

Project Name: **2336 Bryden Road**

Sheet Number: **A-2**



**Lauerhass Architecture**  
RENOVATION - ADDITION - NEW HOME



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Date:  
11 June 2019

Project Number:  
18-045

Drawing Title:  
**Front Elevation**

Project Name:  
2336 Bryden Road

Scale:  
3/16" = 1'-0"

Sheet Number:  
A-3



**Lauerhass Architecture**  
RENOVATION - ADDITION - NEW HOME



WEST ELEVATION



NORTH ELEVATION



EAST ELEVATION

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ALL RIGHTS. INFORMATION CONTAINED HEREIN  
SHALL NOT BE USED WITHOUT THE EXPRESS  
WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:  
11 June 2019

Project Number:  
18-045

Drawing Title:  
**Elevations**

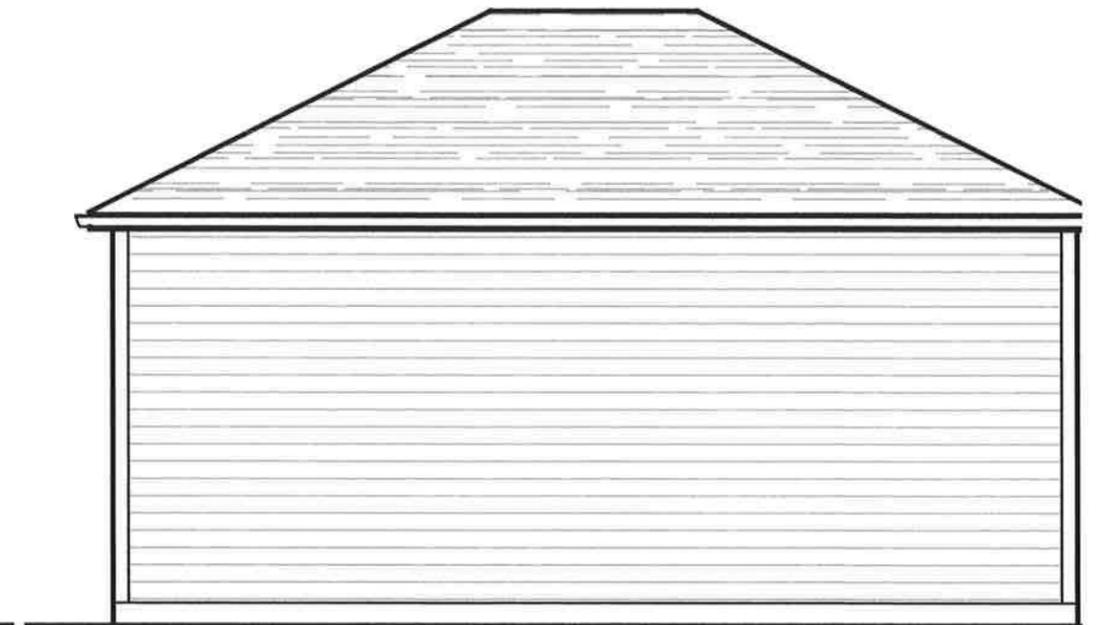
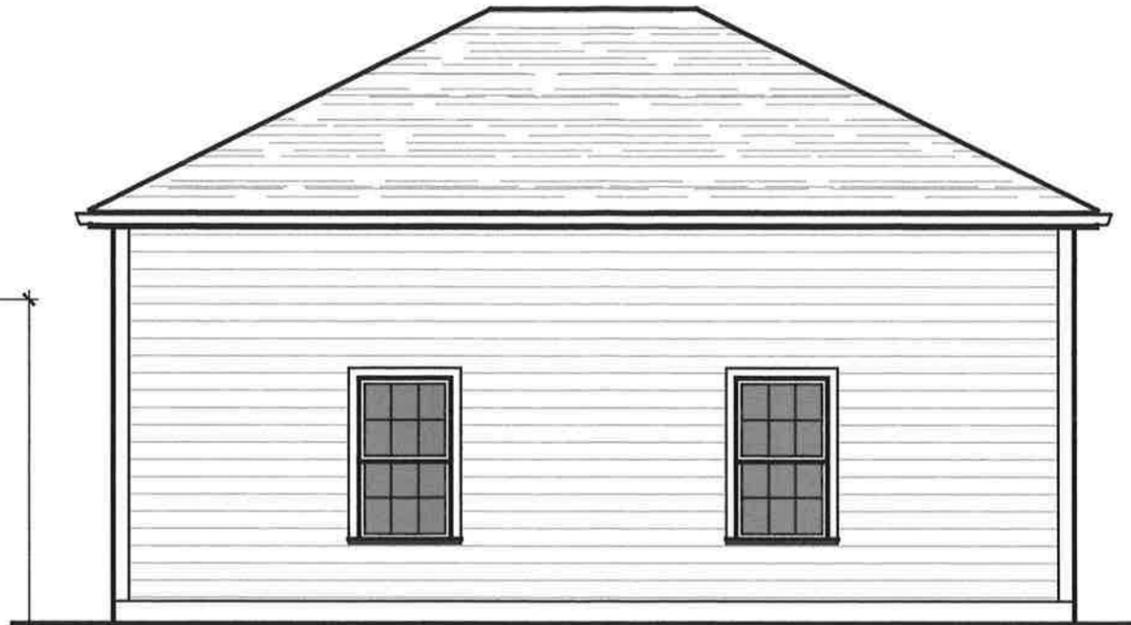
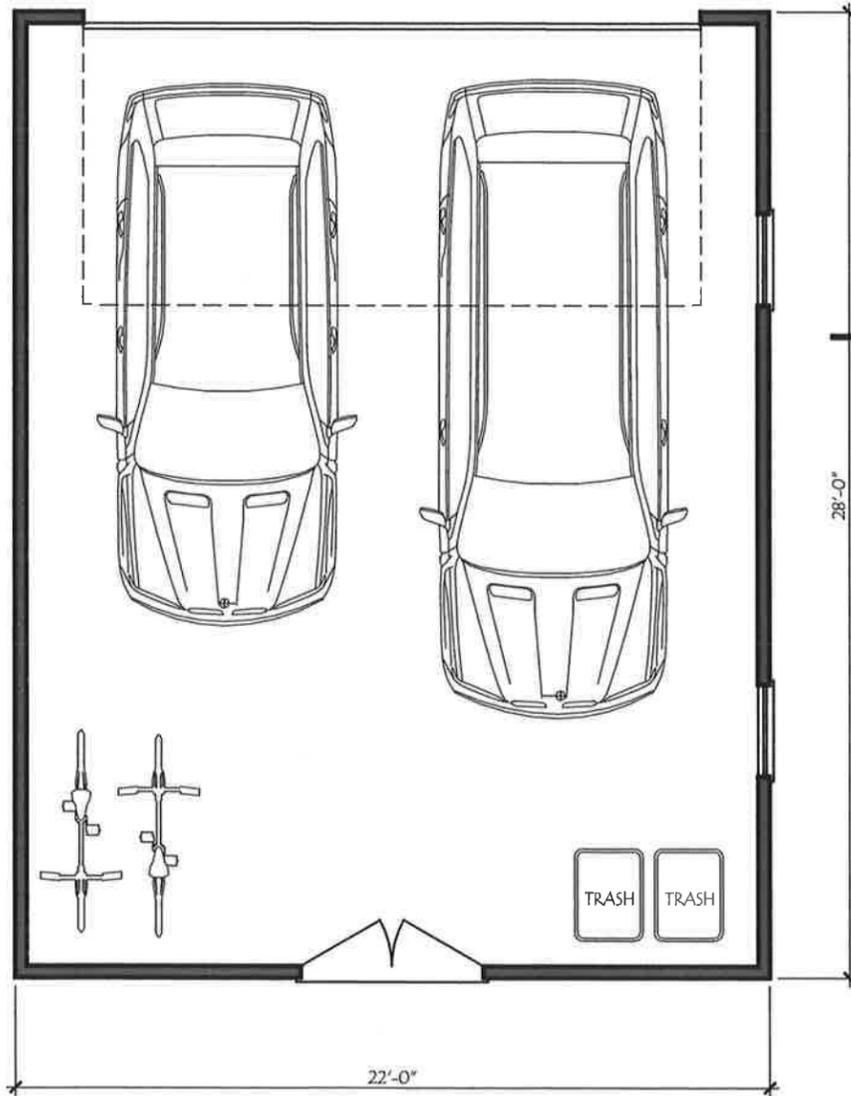
Project Name:  
2336 Bryden Road

Scale:  
1/8" = 1'-0"

Sheet Number:  
A-4



**Lauerhass Architecture**  
RENOVATION - ADDITION - NEW HOME



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<u>Date:</u> 11 June 2019	<u>Drawing Title:</u> <b>Garage Plan/Elev.</b>	<u>Scale:</u> 3/16" = 1'-0"
<u>Project Number:</u> 18-045	<u>Project Name:</u> 2336 Bryden Road	<u>Sheet Number:</u> A-5





EAST ELEVATION



WEST ELEVATION



NORTH ELEVATION



SOUTH ELEVATION

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<b>Date:</b> 11 June 2019	<b>Drawing Title:</b> <b>Existing Photos</b>	<b>Scale:</b> n/a
<b>Project Number:</b> 18-045	<b>Project Name:</b> 2336 Bryden Road	<b>Sheet Number:</b> A-6





PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, July 11, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. If the applicant or his representative is not in attendance at such meeting, the Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

- a. Application No.: BA-19-60  
Applicant: Gary J. Alexander  
Owner: John & Nicole Reehil  
Location: 154 Stanbery Avenue

**ARB Request:** The applicant is seeking architectural review and approval to allow an addition to the south side of the principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 06-27-2019

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

Architectural Review    Conditional Use    Demolition    Planned Unit Dev.    Rezoning    Landscape Review    Special Permit

#### Property & Project Information:

Property Address:

Brief Project Description:

#### Applicant Information:

Applicant Name:

Applicant Address:

Applicant Email & Phone:

#### Property Owner Information:

Owner Name:

Owner Address:

Owner Email & Phone:

#### Attorney/Agent Information:

Agent Name:

Agent Address:

Agent Email & Phone:

#### Completed Worksheets:

Project Worksheet (Sheet A)

Architectural Review (Sheet B)

Tree Commission (Sheet D)

#### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:

Date:

Owner Signature:

Date:

Agent Signature:

Date:

#### Internal Use:

Application #:

Board Referrals:     ARB     BZAP     City Council     Tree Commission

Staff Signature:

Date:

## Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

### Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation	\$
- \$5.00 for each additional \$10,000 valuation.	\$

### Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation	\$
- \$5.00 for each additional \$10,000 valuation	\$
- \$600.00 cap	\$
- \$50.00 resubmittal fee	\$

### Variance Review

Single Family:	\$100.00	\$
Commercial Property:	\$100.00	\$
Fences or Special Permits:	\$65.00	\$
All others:	\$90.00	\$

### Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$
	- \$60.00 for each additional acre (or part thereof)	\$
Requests for amendment to PUD Plans:	\$300.00	\$
Split of lot or existing parcel:	\$250.00	\$
Replatting or new plat:	\$250.00	\$

### Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$
\$5,001 to \$25,000	\$200.00	\$
\$25,001 to \$75,000	\$250.00	\$
\$75,001 to \$200,000	\$600.00	\$
\$200,001 to \$750,000	\$1,000.00	\$
Over \$750,000	\$350.00	\$
Fences and walls:	\$65.00	\$
Special Permit, Conditional Uses and All others:	\$90.00	\$
Re-submittal Fee:	\$50.00	\$

### Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$
Appeal of BZAP decision to City Council:	\$250.00	\$

**Fee Total:** \$



# CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Instructions: Application Requirements by Application Type

Requirements:	New Construction	Addition	Demolition	Windows, Doors, Deck, Pergola, Etc.	Rezoning	Conditional Use or Special Permit	Variance
Worksheet A: Cover Sheet & Fee Calculation	<input checked="" type="checkbox"/>						
Worksheet B: Project Worksheet	<input checked="" type="checkbox"/>						
Worksheet C: Architectural Review Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet D: Tree Commission Worksheet	<input type="checkbox"/>						
Worksheet E: Variance Worksheet	<input type="checkbox"/>						
Worksheet F: Fence Variance Worksheet	<input type="checkbox"/>						
Worksheet G: Demolition Worksheet	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Worksheet H: Rezoning Worksheet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Worksheet I: Conditional Use Worksheet	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>				
Worksheet J: Home Occupation Worksheet	<input type="checkbox"/>						
Site Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Floor Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Elevations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>
Architectural Details	<input type="checkbox"/>						
Landscape Plan	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Photographs of Property	<input checked="" type="checkbox"/>						



= Required



= May Be Required



= Not Required

**PLEASE NOTE:** Incomplete information may result in the rejection of this submittal. Applications must be submitted by appointment. Please call 614-559-4240 to schedule.



# CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Instructions: Detailed Application Requirements

The application package must consist of one (1) complete printed set of all items listed below, as well as a single full-color PDF document with a complete set, in order of the checklist, of all the items listed below, as well as any additional documentation required in the Microsoft Word format. All requested documents must be submitted via the City’s Plan Application Upload portal:

[www.bexley.org/plans](http://www.bexley.org/plans).

### Document Submittal and Naming Requirements:

Documents submitted to the upload portal at [www.bexley.org/plans](http://www.bexley.org/plans) must be consolidated into a zip file which must be named using the following naming methodology:

[Year]-[Month]-[Day] [Application #] [Street #] [Street Direction - if applicable] [Street Name] [Project name - if applicable]

ex.: “2015-12-01 ARB-15-24 2242 East Main Bexley City Hall”

### Requirements by Exhibit Type:

<b>Architectural Details</b>	Architectural details drawn to scale of non-typical design elements. Plans shall be provided in a vector-based electronic format designed to print at a 2’ x 3’ original scale.	<b>File Type:</b> PDF
<b>Architectural Plan</b>	The plans must be drawn to Engineer’s scale and provide applicable information as itemized on the Zoning Review Checklist Form. Plans shall be provided in a vector-based electronic format designed to print at a 2’ x 3’ original scale.	<b>File Type:</b> PDF
<b>Exterior Elevations</b>	Exterior elevation drawings, to scale, designating and differentiating existing construction from proposed construction. Elevation drawings shall include indications of exterior materials, door and window styles, and notes as required to clearly communicate the concept of the design. Plans shall be provided in a vector-based electronic format designed to print at a 2’ x 3’ original scale.	<b>File Type:</b> PDF
<b>Floor Plan</b>	A floor plan, to scale, designating and differentiating existing construction from proposed construction. Plans shall include overall dimensions and notes, as required to clearly communicate the concept of the design. Plans shall be provided in a vector-based electronic format designed to print at a 2’ x 3’ original scale.	<b>File Type:</b> PDF
<b>Landscape Plan</b>	Landscape architectural plans, to scale, indicating all proposed plantings, botanical & common names, species and size of plants (see Tree Commission Worksheet D for complete requirements).	<b>File Type:</b> PDF
<b>Photographs</b>	Photographs to be provided of all sides of all structures on the property, as well as relevant site photographs. Photographs shall be provided as uncompressed JPEG files with a minimum width dimension of 1,000 pixels.	<b>File Type:</b> JPEG
<b>Site Plan</b>	The site plan must be drawn to Engineer’s scale and provide applicable information as itemized on the Zoning Review Checklist Form. Site plans shall be provided in a vector-based electronic format designed to print at a 2’ x 3’ original scale.	<b>File Type:</b> PDF

**PLEASE NOTE:** Incomplete information may result in the rejection of this submittal.  
If you have questions, please contact Kathy Rose at (614) 559-4200.

## Project Worksheet

Residential

Commercial

Property Address:

Zoning District:

R-1 (25% Building &amp; 40% Overall)

R-6 (35% Building &amp; 60% Overall)

R-2 (25% Building &amp; 50% Overall)

R-12 (35% Building &amp; 70% Overall)

R-3 (25% Building &amp; 50% Overall)

Other:

*\* Overall coverage includes hardscape*

Lot Info:

Width (ft.):

Depth (ft.):

Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):

Proposed Addition (SF):

Removing (SF):

(Type of Structure:)

Proposed new primary structure or residence (SF):

Total Square Footage:

Garage and/or Accessory  
Structure Info

(Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

New Structure Type:

Proposed Addition (SF):

Ridge Height:

Proposed New Structure (SF):

Is there a 2nd floor?

Yes

No

Total of all garage and accessory structures (SF):

2nd Floor SF:

Total building lot coverage (SF):

= % of lot

Is this replacing an existing garage and/or accessory structure?

Yes

No

Hardscape:

Existing Driveway (SF):

Existing Patio (SF):

Existing Private Sidewalk (SF):

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

Totals:

Total overall lot coverage (SF):

=

% of lot

Applicant Initial:

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:



## Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing	House or Principal Structure	Garage Only	House & Garage		
Existing Roof Type:	Slate		Clay Tile	Wood Shake	Std. 3-tab Asphalt Shingle
	Arch. Dimensional Shingles		EPDM Rubber	TPO Rubber	Metal
New Roof Type:	Slate		Clay Tile	Wood Shake	Std. 3-tab Asphalt Shingle
	Arch. Dimensional Shingles		EPDM Rubber	TPO Rubber	Metal
New Shingle Manufacturer:					
New Roof Style & Color:					

Windows	House or Principal Structure	Garage Only	House & Garage		
Existing Window Type:	Casement		Fixed	Exterior Storm	Other:
	Double Hung		Awning	Horizontal Sliding	
Existing Window Materials:	Aluminum Clad Wood		Wood	Metal	
	Vinyl Clad Wood		Aluminum	Other:	
New Window Manufacturer:					
New Window Style/Mat./Color:					

Doors	House or Principal Structure	Garage Only	House & Garage		
Existing Entrance Door Type:	Wood	Insulated Metal	Fiberglass	Sidelights	Transom Windows
Existing Garage Door Type:	Wood	Insulated Metal	Fiberglass		
Door Finish:	Stained	Painted			
Proposed Door Type:		Style:		Color:	

Exterior Trim					
Existing Door Trim:	Cedar	Redwood	Pine	Std. Lumber Profile	
	Wood Composite	Aluminum Clad	Molding	Vinyl	Other:
Proposed New Door Trim:					
Existing Window Trim:	Wood	Redwood	Pine	Std. Lumber Profile	
	Vinyl	Other:			
Proposed New Window Trim:				Trim Color(s):	
Do the Proposed Changes Affect the Overhangs?		Yes	No		

## Architectural Review Worksheet (Continued)

---

### Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
		Natural Stone	
		Cultured Stone	
		Brick	
		Mortar	
		Stucco	
		Wood Shingle	
		Wood Siding	
		Vinyl Siding	
		Aluminum Siding	
		Other	

### Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

## Tree & Public Gardens Commission Worksheet

City Right-of-Way Landscape

Commercial Landscape

New Build

Property Address:

Landscape Architect/Designer:

Architect/Designer Phone:

Architect/Designer E-mail:

Project Description:

### Review Guidelines and List of Criteria:

1. **Project Description**  
Design concept to include: brief narrative describing the area to be designed/changed; relevance/significance to the community; general impact and effect on community; procedures to implement plan. Description on sheet A.1 of Unified Planning Application is sufficient.
2. **Research:**  
Provide significant examples (articles, visuals, etc.) relating to the project, if applicable.
3. **Design Documentation Drawings**  
**Design Plan to Include:**
  - a. Existing conditions photographs
  - b. Site plan or location plan to illustrate context
  - c. Schematic plan drawing(s) to scale with a north directional arrow and bar scale. Sections and details as necessary for project clarity
  - d. Elevations of all the landscape orientations (north, south, east, west), perspectives, isometrics, axonometric renderings, and/or detailed model of design
  - e. Existing City trees indicated on plan. Provide Tree Protection Plan for City trees if applicable.
  - f. Proposed vegetation indicated on plan. Include botanical and common names, quantity, and installation size on plan
4. **Recommended information for Project Understanding:**
  - a. Irrigation and maintenance plans (may be required for commercial projects)
  - b. Hardscape layout and materials
  - c. Lighting locations and specifications
  - d. Fixtures, furniture and equipment
  - e. Accessories
  - f. Buildings
  - g. Other

All documentation should be clear, precise and complete. Package must be presented to the Commission two weeks prior to presentation. Tree Commissions meetings held on the third Wednesday of each month at 4:00 pm at Bexley City Hall. Recess in August.

Applicant Initial:

### Staff Confirmation:

In order to add review of your project to the agenda, staff must verify that the following items have been submitted along with the application:

- Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)
- Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above
- Applicant has been advised that Landscape Designer/Architect must be present at meeting

Staff Initial:

## Variance Worksheet

Variance requests will be heard by the Bexley Board of Zoning and Planning. Variances are based upon a legal determination of whether the request meets the variance criteria specified by Bexley City Code.

Variance criteria are outlined below in question format. Please provide your narrative response to the variance questions.

### **Description of the Proposed Variance**

Please provide a thorough description of the variance being sought, and the reason why.

### **Variance Question 1**

Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

### **Variance Question 2**

Is the variance substantial? Please describe.

### **Variance Question 3**

Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

## Variance Worksheet (Continued)

Variance requests will be heard by the Bexley Board of Zoning and Planning. Variances are based upon a legal determination of whether the request meets the variance criteria specified by Bexley City Code.

Variance criteria are outlined below in question format. Please provide your narrative response to the variance questions.

### Variance Question 4

Would the variance adversely affect the delivery of governmental services (e.g., water, sewer, garbage)? Please describe.

### Variance Question 5

Did the property owner purchase the property with knowledge of the zoning restriction? Please describe.

### Variance Question 6

Can the property owner's predicament feasibly be obviated through some method other than a variance? Please describe.

### Variance Question 7

Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

## Fence Variance Worksheet

### Background & Requirements

This worksheet is required to be reviewed and completed by property owners wishing to apply for a variance from the City's fence regulations. Fence regulations are outlined in the summary below. Please check next to the regulation you are seeking a variance from.

**Please attach a narrative to this worksheet that provides a description of how you plan to meet the pertinent outlined variance criteria**

#### Side and Rear Yard Restrictions for Interior Lots (non-corner lots):

- **Height Limitations:** Maximum height of 72" (6') as measured from the average grade of that portion of the lot in the rear or side yard. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included within the seventy-two inch maximum height restriction.
- **Front Set-back Lines:** No side yard fence shall extend beyond the front set-back line or the existing front building façade, whichever is greater.
- **Finish Side Rules:** Any fence or wall erected along the front set back line, side or rear property lines must have the finished and not the structural side facing the adjacent property, or street. Interior lots having rear lot lines coincident with alley right-of-way shall be permitted to place the structural side of the fence facing the alley right of way. Chain link, wire mesh or other similar material allowed only along interior lot lines and along rear lot lines coincident with alley right-of-way.

#### Side and Rear Yard Restrictions for Corner Lots:

- **Height Limitations:** No fence, wall or combination thereof shall exceed forty-eight inches in height in the side yard setback area as it faces a public or private street.
- **Special Permits for Taller Fencing:** Fencing or walls exceeding forty-eight inches in height, as measured from the average grade, may be allowed with a special permit from the Board of Zoning and Planning. The Board shall consider the following criteria in reviewing such applications.

#### Side and Rear Yard Restrictions for Corner Lots: Criteria 1 - Compatibility

Describe how the proposed side yard fence or wall exceeding forty-eight inches in height and on the street side of a corner lot compatible with other properties in the neighborhood?

#### Side and Rear Yard Restrictions for Corner Lots: Criteria 2 - Height

Please verify that the maximum height of such fence or wall shall not exceed seventy-two inches as measured from the average grade, as defined in Section 1230.06. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included within the seventy-two inch maximum height.

## Fence Variance Worksheet (Continued)

### Side and Rear Yard Restrictions for Corner Lots: Criteria 3 - Transparency

Fences exceeding forty-eight inches in height should include transparency in the upper 12" to 18" of the fence through the use of latticework, pickets, or other appropriate design elements. Describe how you have satisfied this requirement.

### Side and Rear Yard Restrictions for Corner Lots: Criteria 4 - Screening

A landscaping plan must be filed with the application for a special permit, indicating how such fencing or wall is to be screened from the street side elevation. The landscape plan should be designed in such a way as to mitigate the impact of a solid fence or wall as it relates to the street and other properties. Describe how the landscape plan addresses these items.

### Side and Rear Yard Restrictions for Corner Lots: Criteria 5 - Visibility and Safety

The installation of such fence or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement. Please describe any visibility/safety concerns with your design.

### Side and Rear Yard Restrictions for Corner Lots: Criteria 6 - Material Compatibility

No chain link, wire mesh or other similar material shall be installed on lot lines adjacent to public rights-of-way. Please verify that your design complies with this requirement.

### Side and Rear Yard Restrictions for Corner Lots: Criteria 7 - Finished Side

Any fence or wall erected on a lot located at the intersection of two or more streets must have the finished and not the structural side facing the adjacent property, alley or street. Please verify that your design complies with this requirement.

## Fence Variance Worksheet (continued)

### Front Yard Restrictions:

- No person shall erect any fence or wall in any residential zoning district, between the front yard setback line and the street except with the following exceptions:
  - Fences or walls which do not comply with this section may be allowed if approved as part of a detailed development plan for a Planned Unit Development District;
  - Decorative landscaping walls and fences which do not exceed twenty-four inches in height above ground level may be allowed after review in accordance with subsections (c)(1) through (c)(5) of Chapter 1256 BRC, and issuance of a permit by the Building Department; and
  - Decorative landscaping walls and fences which exceed twenty-four inches in height above ground level but not more than forty-two inches above ground level may be allowed with a special permit from the Board of Zoning and Planning. The Board of Zoning and Planning shall consider the following criteria in reviewing such applications:

<ul style="list-style-type: none"> <li>The proposed decorative landscape wall or fence is compatible with other properties in the neighborhood.</li> </ul>	Yes	No
<ul style="list-style-type: none"> <li>The height of the fence or wall does not exceed the size permitted as above when measured from the average grade of the yard where the fence or wall is to be installed. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included in the maximum height.</li> </ul>	Yes	No
<ul style="list-style-type: none"> <li>Posts, columns and finials may extend up to 6" above the maximum allowed height of the fence panels. CHAPTER 1264. FENCES AND WALLS City of Bexley Zoning Ordinance</li> </ul>	Yes	No
<ul style="list-style-type: none"> <li>A landscaping plan shall be filed with the application indicating how such fencing and/or wall is to be integrated with existing front yard landscaping.</li> </ul>	Yes	No
<ul style="list-style-type: none"> <li>The installation of such fence and/or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement.</li> </ul>	Yes	No
<ul style="list-style-type: none"> <li>No chain link, wire mesh, concrete block or other similar type material shall be installed as a decorative landscape wall or fence.</li> </ul>	Yes	No
<ul style="list-style-type: none"> <li>The fence and/or wall shall have a minimum of 50% transparency.</li> </ul>	Yes	No
<ul style="list-style-type: none"> <li>That the lot exhibits unique characteristics that support the increase in fence height.</li> </ul>	Yes	No

### Fences Adjacent to Commercial Districts

For residential lots abutting a commercial zoning district, no fence, wall or combination thereof shall exceed ninety-six inches in height along that abutting side, as measured from the average grade of that portion of the lot in the rear or side yard. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included within the ninety-six inch maximum height restriction. (a) Side yard fence shall be allowed to extend beyond the front set-back line of the house if adjacent to paved vehicular service areas including parking lots and service drives. Any fence or wall erected along the side or rear property lines must have the finished and not the structural side facing the adjacent property. (b) The installation of such fence or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement.

### Require Commercial Fences Adjacent to Residential Districts

For commercial uses abutting a residential zoning district, a fence, wall or combination thereof shall be installed along the lot line of adjacency except as otherwise determined for adjacent uses contained in the same Planned Unit Development District. Commercial uses with residential zoning districts located directly across a public alley must also meet this requirement along the interior alley line, subject to sight triangle requirements required by the city Building Department. (a) The height shall be ninety-six inches, as measured from the average grade of that portion of the lot. (b) Any fence or wall erected along the property lines of the commercial use must have the finished and not the structural side facing the adjacent property. (c) The installation of such fence or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement. (d) No chain link, wire mesh or other similar material shall be installed. (e) The fence design shall be 100-percent opaque from any viewing angle, and approved by the Building Department.

## Demolition Worksheet

### Background

Per Bexley Codified Ordinance, demolition of a residence which is determined to be historically or architecturally significant and worthy of preservation is prohibited in the absence of economic hardship or the existence of unusual and compelling circumstances. Please fill out this worksheet to aid in the determination of eligibility of your property for demolition.

### Process for Review

The Board, in deciding whether to issue a certificate of appropriateness approving the demolition or removal of an existing building or structure, shall determine the following:

1. That the structure to be demolished or removed is not historically or architecturally significant and worthy of preservation or;
2. If it is historically or architecturally significant and worthy of preservation, that denial of a certificate of appropriateness would cause:
  - i. A substantial economic hardship, or;
  - ii. That demolition is justified by the existence of unusual and compelling circumstances.
3. The Board may request and consider, among other evidence, a report concerning the proposed demolition and existing structure from a registered architect, historical conservator or other person with appropriate preservation experience.

### Worksheet: Historical & Architectural Significance

- |  |     |    |
|--|-----|----|
| 1. Is your property historically significant? Please attached supporting documentation. Recommended sources include ownership records, a letter from the Bexley Historical Society, etc.                       | Yes | No |
| 2. Is your property architecturally significant? Please attached supporting documentation. Recommended sources include a letter of opinion from an architect or expert with historical preservation expertise. | Yes | No |
| 3. If you answered "yes" to either question #1 or #2, please describe any economic hardship that results from being unable to demolish the primary residence, and attach any supporting evidence.              |     |    |
| 4. If you answered "yes" to either question #1 or #2, please describe any other unusual or compelling circumstances that require the demolition of the primary residence, and attach any supporting evidence.  |     |    |

### Worksheet: Replacement Plan Details

1. Please provide a definite plan for reuse of the site, including proposed replacement structures, by completing Worksheets B & C and any other pertinent worksheets, along with required exhibits.
2. Provide a narrative time schedule for the replacement project below.
3. Please provide a narrative of what impact the proposed replacement project will have on the subject property and the neighborhood.

## Rezoning Worksheet

**Existing Zoning:**

**Proposed Zoning:**

**Narrative Description of Rezoning:**

Please provide a reason for the rezoning request and a project description.

**Reason for rezoning  
request:**

**Project description:**

## Conditional Use Worksheet

### Background

The Board of Zoning and Planning shall have the power to approve applications for conditional uses specified in Chapters 1252 and 1254. The proposed use shall be approved if, and only if, it meets the intent of this Zoning Code and the intent of the zoning district in which the property is located, fits harmoniously with adjacent uses and structures and complies with all other provisions of this Zoning Code. The Board of Zoning and Planning has no obligation to approve a conditional use. This Zoning Code assumes that conditionally permitted uses are not appropriate unless an applicant proves that the use will not be detrimental to the public health, safety, or general welfare of the City or the neighborhood in which it is proposed.

An approved conditional use must be substantially operational within 2 years of its approval. Applications for any construction permits necessary for the operation of the conditional use must be filed within 1 year of approval. A conditional use permit may be revoked by BZAP if the Board finds the conditions of approval of the existing conditional use permit are not met or maintained, the property ceases to be operated as an approved conditional use, or the continuance of the conditional use would pose a substantial risk to the public health, safety and welfare. A conditional use permit shall not be revoked without providing notice to the permit holder and the opportunity to be heard. A conditional use permit shall automatically expire if it ceases operation for more than one year.

### Conditional Use Checklist

Conditional uses shall only be approved if the applicant proves the following factors are met. Please indicate your acknowledgement that your conditional use application meets the following criteria:

1. The use is consistent with the goals and policies of any adopted plans of the City of Bexley, including, but not limited to, the Main Street Guidelines.	Yes	No
2. The use will not have a negative impact on the neighboring land uses and the larger community because of the differences between the proposed use and existing uses in the community.	Yes	No
3. The use will not be hazardous to or have a negative impact on existing or future surrounding uses.	Yes	No
4. The use meets or satisfies the lot/yard or height requirements in the code and other general code provisions including landscape requirements, parking standards, and storm drainage requirements as existing or as may be adopted.	Yes	No
5. The use does not create an undue burden on existing public facilities and services such as street, utilities, school or refuse disposal.	Yes	No
6. The use is consistent with and/or furthers the City's economic goals and will not decrease property values or have a negative economic impact.	Yes	No
7. The use is in character and keeping and compatible with the adjacent structures and uses.	Yes	No
8. Any proposed construction will not result in the destruction, loss, or damage of a natural, scenic, or historic feature of major importance.	Yes	No

**Please provide supporting information to the Conditional Use questions above by attachment to this worksheet - provide a narrative of how you meet the above criteria (1-8).**

## Home Occupation Worksheet

### Background & Checklist

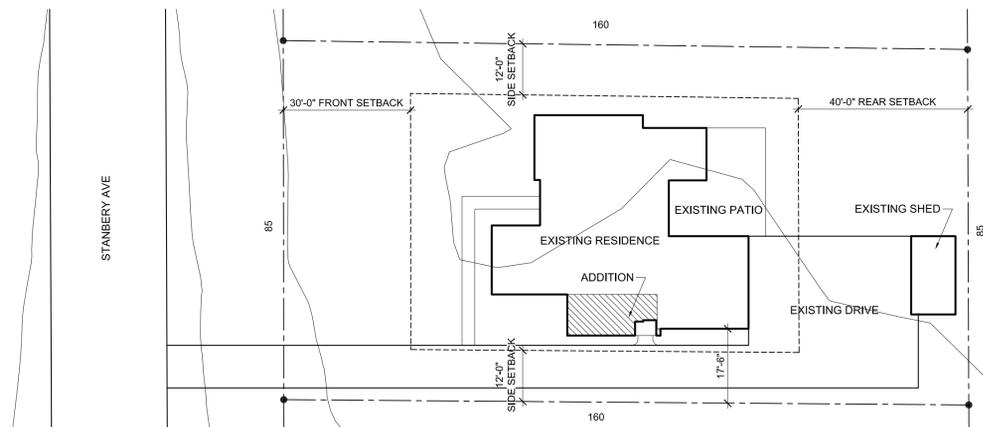
A home occupation may be allowed as a conditional use as specified in Chapter 1252 provided that the following additional conditions are met. Please indicate your acknowledgement that your home occupation use meets the following criteria:

**Business Name:**

**Business Description:**

1. No person other than members of the family residing on the premises shall be engaged in such occupation.	Yes	No
2. The use of the dwelling unit for the home occupation shall be clearly incidental and subordinate to its use for residential purposes by its occupants, and not more than twenty-five percent of the floor area of the dwelling unit shall be used in the conduct of the home occupation.	Yes	No
3. There shall be no change in the outside appearance of the building or premises, or other visible or nuisance evidence of the conduct of such home occupation.	Yes	No
4. There shall be no sales in connection with a home occupation.	Yes	No
5. No traffic shall be generated by a home occupation in greater volume than would normally be expected in a residential neighborhood.	Yes	No
6. Any need for parking generated by the conduct of a home occupation shall be met off the street and other than in a required front yard. The off-street parking spaces required for the home occupation shall be maintained in addition to the space or spaces required for the residence itself.	Yes	No

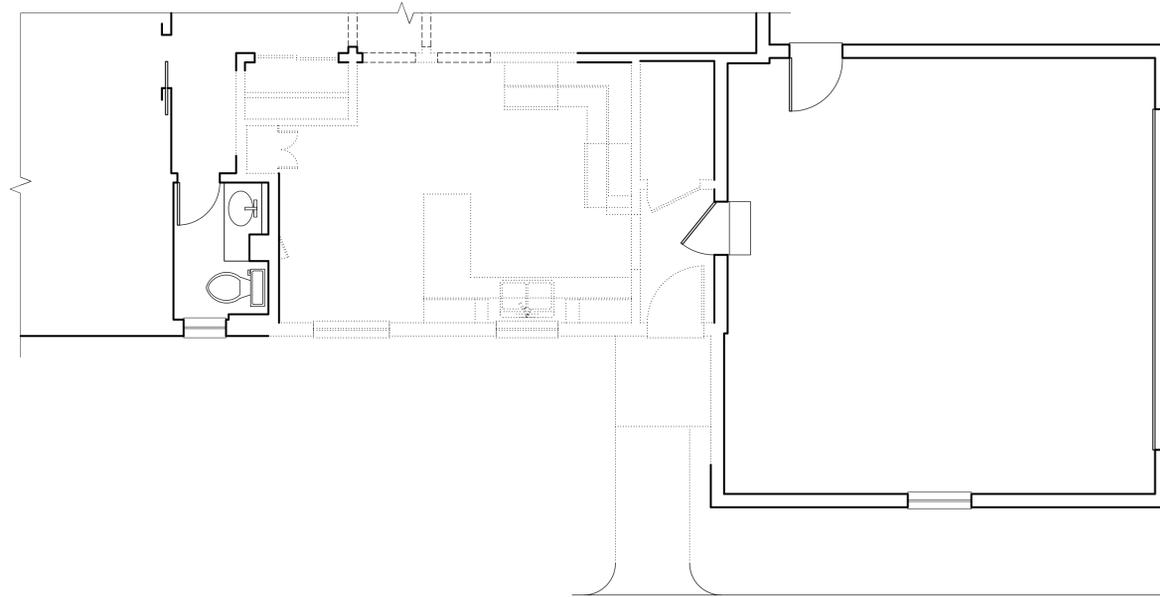
**Please provide supporting information to the Home Occupation questions above by attachment to this worksheet - provide a narrative of how you meet the above criteria (1-6).**



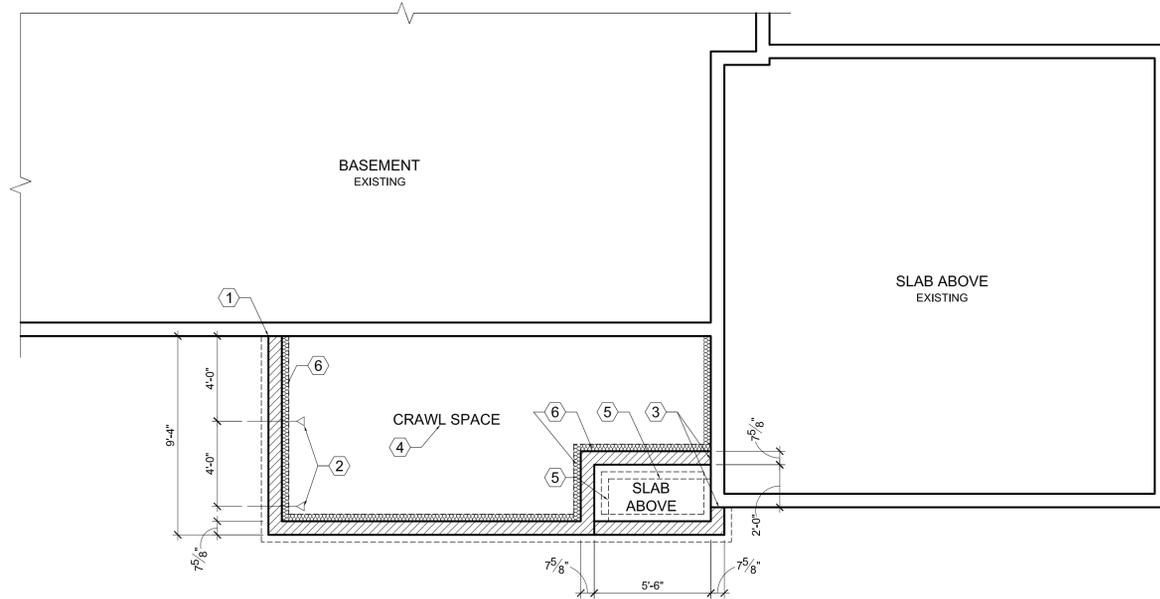
**SITE PLAN**  
SCALE: 1" = 20'-0"

ZONING INFORMATION

ZONING DISTRICT	R-3
PARCEL ID:	020-004258-00
LOT AREA	13,552 SQ. FT.
EXISTING BUILDING COVER	2,199 SQ. FT. 16% OF LOT AREA
ADDITION	188 SQ. FT.
PROPOSED BUILDING COVER	2,387 SQ. FT. 18% OF LOT AREA
PERMITTED BUILDING COVER	3,388 SQ. FT. 25% OF LOT AREA
DRIVEWAY	2,132 SQ. FT.
WALKS AND PATIO	649 SQ. FT.
TOTAL LOT COVER	5,168 SQ. FT. 38% OF LOT AREA
PERMITTED LOT COVER	6,776 SQ. FT. 50% OF LOT AREA



**FIRST FLOOR DEMOLITION PLAN**  
SCALE: 1/4" = 1'-0"



**FOUNDATION PLAN**  
SCALE: 1/4" = 1'-0"

- FOUNDATION PLAN NOTES**
1. BOTTOM OF NEW FOOTING TO ALIGN WITH EXISTING FOOTING STEP. MAXIMUM ELEVATION CHANGE 2'-0" PER STEP.
  2. BOTTOM OF NEW FOOTING TO ALIGN WITH EXISTING GARAGE FOOTING. G.C. TO CONFIRM EXISTING FOOTING IS AT LEAST 3'-0" BELOW GRADE
  3. CRAWL SPACE TO BE MECHANICALLY VENTILATED
  4. TURNOUT BLOCK TO SUPPORT SLAB ABOVE
  5. R-13 INSULATION DRAPE

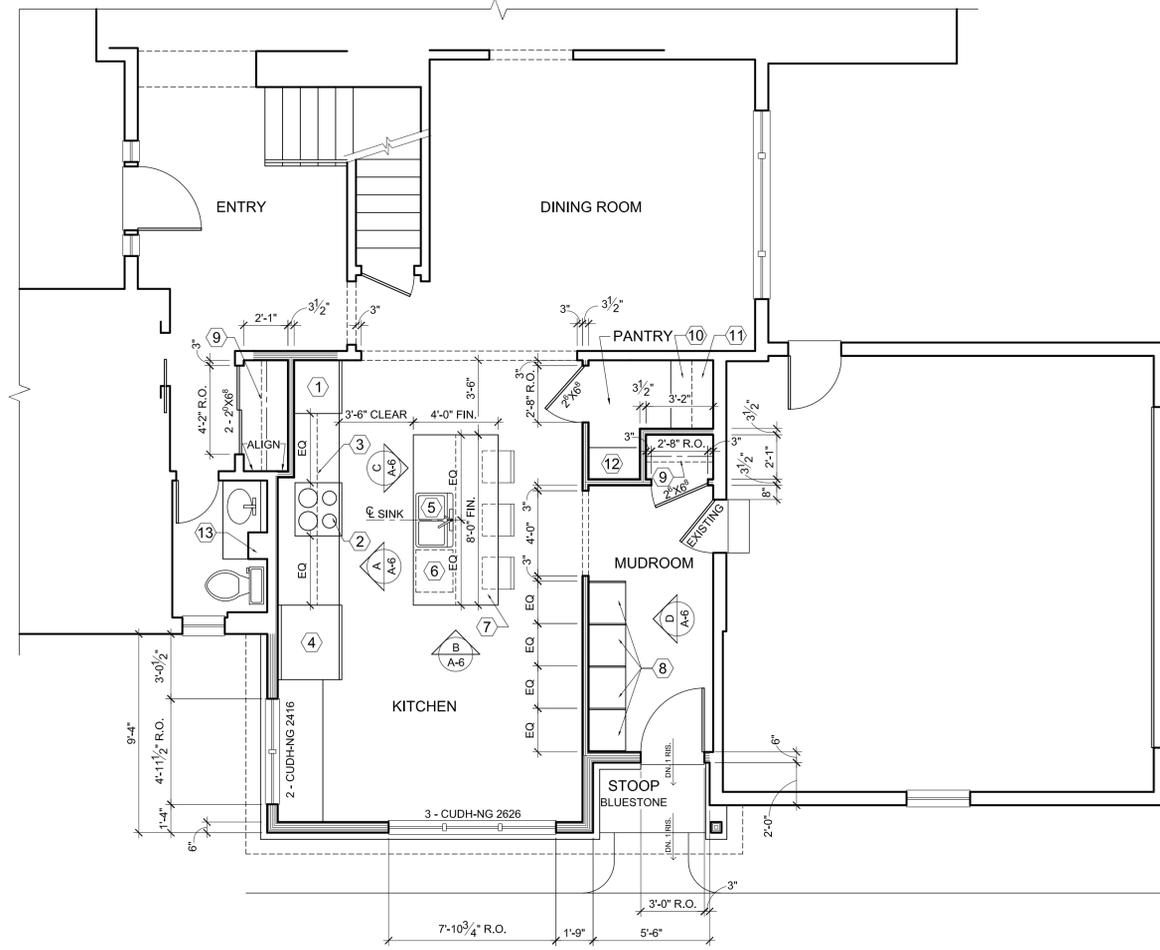
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**ADDITION & REMODELING  
THE REEHIL RESIDENCE  
154 STANBERY AVE**

Gary J. Alexander,  
Architect  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

ARCH. REVIEW: 06-13-19

**A-1**

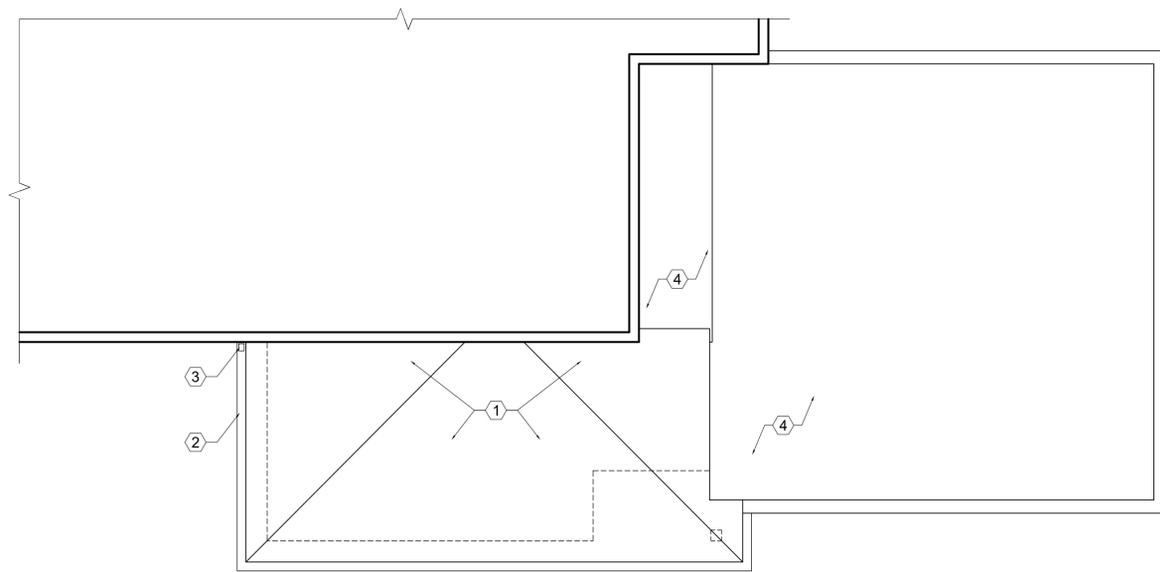


### FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

#### FIRST FLOOR PLAN NOTES

1. OVENS (2) WITH MICROWAVE
2. COOKTOP
3. DOWNDRAFT VENTING UNIT FOR COOKTOP
4. REFRIGERATOR WITH FREEZER
5. SINK WITH DISPOSAL
6. DISHWASHER
7. CANTILEVERED COUNTERTOP TO BE SUPPORTED WITH CONCEALED STEEL ANGLES. NUMBER AND LOCATION OF ANGLES TO BE DETERMINED BY COUNTERTOP FABRICATOR.
8. LOCKERS
9. ROD AND SHELF
10. COUNTERTOP, 3'-0" ABOVE FLOOR. SHELVES BELOW.
11. 1'-0" DEEP SHELVES ABOVE COUNTERTOP
12. 5 FIXED SHELVES. CONSULT OWNERS REGARDING SPACING OF SHELVES.
13. CLOTHES CHUTE TO REMAIN. G.C. TO CONSULT OWNERS REGARDING NEW ACCESS DOOR TO CHUTE FROM FIRST FLOOR.



### LOW ROOF PLAN

SCALE: 1/4" = 1'-0"

#### LOW ROOF PLAN NOTES

1. ASPHALT/FIBERGLASS SHINGLES TO MATCH EXISTING
2. 5" OGEE PROFILE PRE-FINISHED ALUMINUM GUTTER
3. PRE-FINISHED ALUMINUM DOWNSPOUT TO MATCH EXISTING
4. EXISTING ROOF SURFACE TO REMAIN

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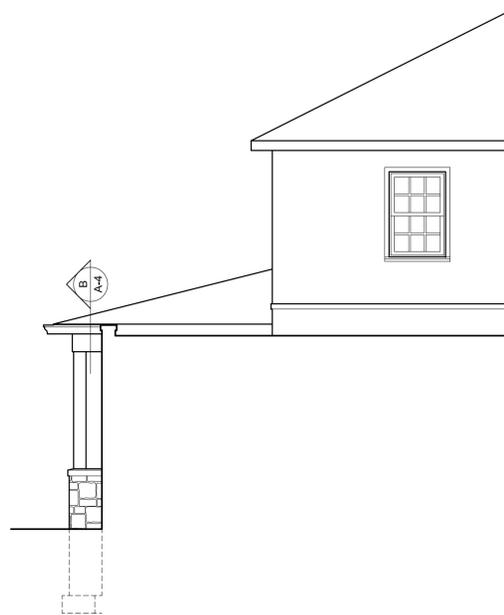
**A-2**



**FRONT (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"



**SIDE (SOUTH) ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR (EAST) ELEVATION**  
SCALE: 1/4" = 1'-0"

- ELEVATION MATERIALS LIST**
- ALL EXTERIOR WOOD TRIM TO BE REDWOOD OR SMOOTH FINISH CEDAR, UNLESS NOTED OTHERWISE. ALL SURFACES OF TRIM TO BE PRIMED PRIOR TO INSTALLATION. SAW CUTS AND NAIL HOLES TO BE PRIMED.
  - ALL GUTTERS AND DOWNSPOUTS TO CONNECT UNDERGROUND TO DRAIN TILE AND DRAIN TILE TO BE ROUTED TO CURB AT STREET. IF EXISTING DRAIN TILE ARE TO BE USED, CONTRACTOR TO VERIFY THAT EXISTING DRAIN TILE ARE OPERATING PROPERLY PRIOR TO CONNECTING NEW DOWNSPOUTS
- A. FIBERGLASS ASPHALT SHINGLES TO MATCH EXISTING
  - B. SIDEWALL FLASHING
  - C. 1X6 WOOD FASCIA
  - D. 5" OGEE PROFILE PRE-FINISHED ALUMINUM GUTTER
  - E. 1X10 WOOD TRIM
  - F. WOOD TRIM WITH HEAD FLASHING TO MATCH EXISTING
  - G. JAMB TRIM TO MATCH EXISTING
  - H. SILL TRIM TO MATCH EXISTING
  - I. STUCCO, COLOR AND TEXTURE TO MATCH EXISTING
  - J. 4" TALL LIMESTONE ACCENT BAND
  - K. CULTURED STONE, MATCH STONE AT FRONT OF HOUSE
  - L. PREFINISHED ALUMINUM DOWNSPOUT, MATCH EXISTING
  - M. DOWNSPOUT BOOT
  - N. 6X6 COLUMN WRAPPED IN 1X WOOD TRIM
  - O. WOOD KICKPLATE
  - P. RISERS AND TREADS COVERED IN BLUE STONE

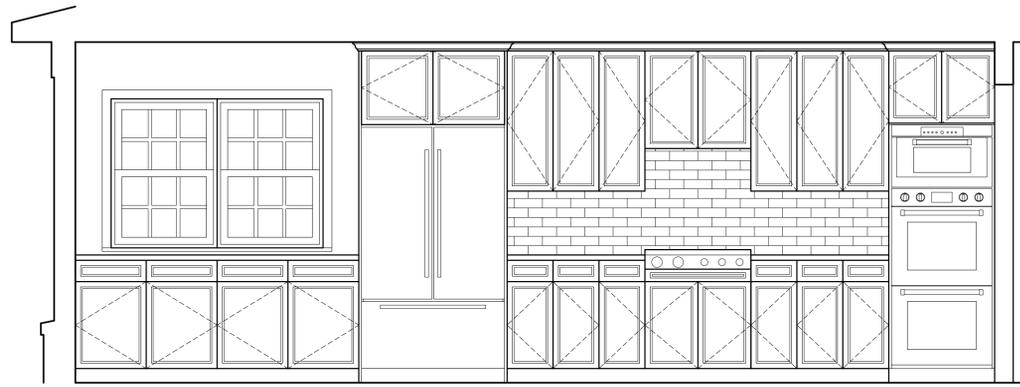
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**ADDITION & REMODELING  
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154 STANBERY AVE**

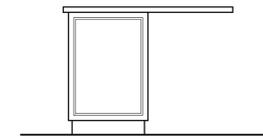
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ARCH. REVIEW: 06-13-19

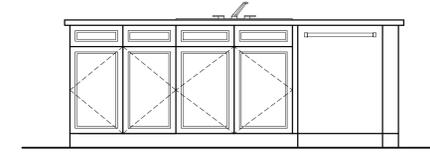
**A-3**



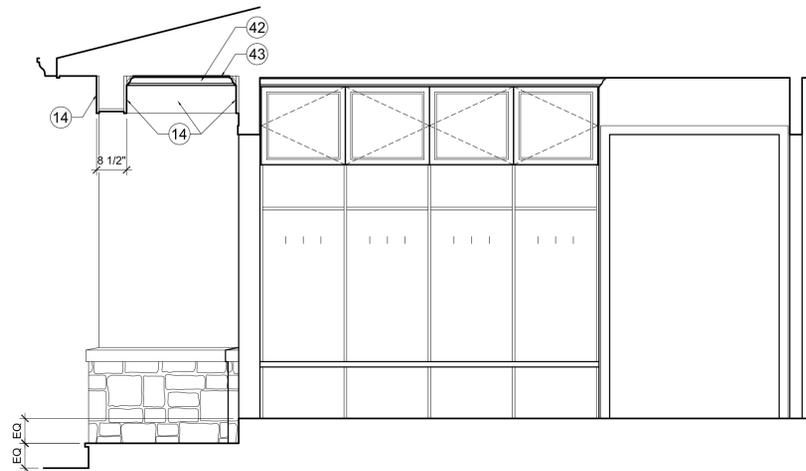
**(A) INTERIOR ELEVATIONS**  
SCALE: 1/2" = 1'-0"



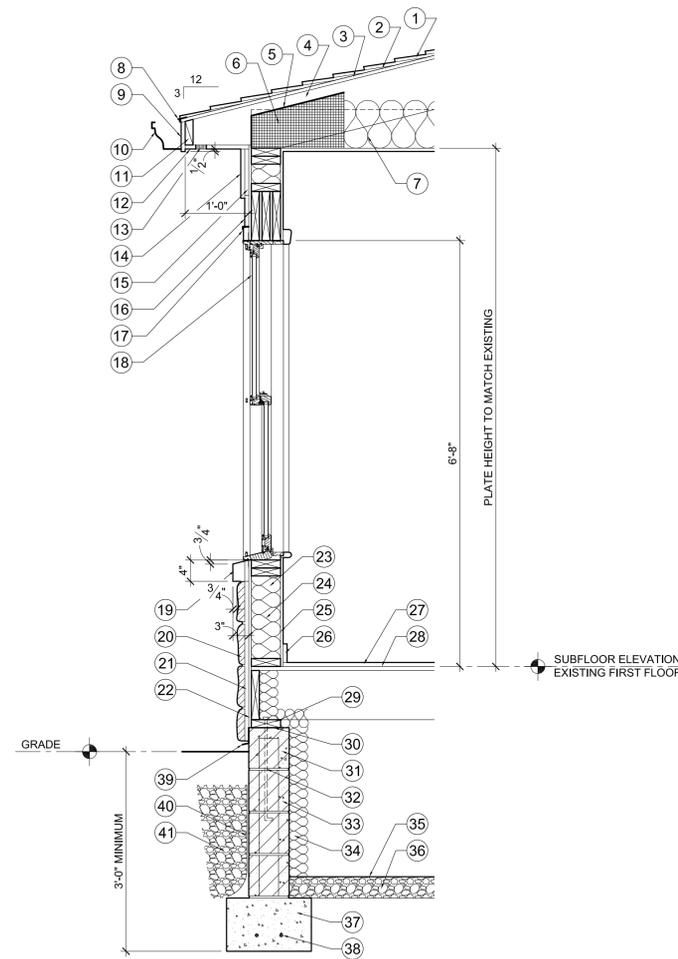
**(B)**



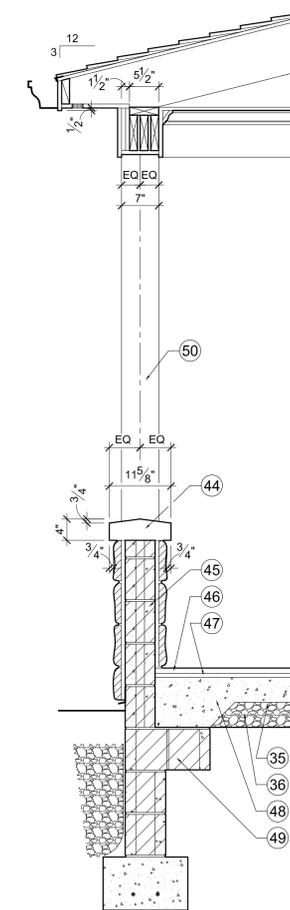
**(C)**



**(D)**



**(A) SECTION**  
SCALE: 3/4" = 1'-0"



**(B) SECTION**  
SCALE: 3/4" = 1'-0"

**MATERIALS LIST**

1. FIBERGLASS ASPHALT SHINGLES TO MATCH EXISTING
2. ICE AND WATERGUARD UNDERLAYMENT BENEATH ENTIRE ROOF SURFACE
3. 5/8" ROOF SHEATHING
4. AIR SPACE
5. INSULATION BAFFLE
6. BLOWN IN CLOSED CELL FOAM INSULATION R-VALUE OF 6 PER 1" OF THICKNESS
7. R-38 INSULATION
8. PRE-FINISHED METAL DRIP EDGE
9. 1X6 WOOD FASCIA
10. 5" OGEE PROFILE PRE-FINISHED ALUMINUM GUTTER
11. 2X SUBFASCIA
12. SOFFIT TO MATCH EXISTING
13. 2" CONTINUOUS SOFFIT VENT
14. 1X10 WOOD TRIM
15. 1X WOOD BLOCKING
16. STUCCO, COLOR AND TEXTURE TO MATCH EXISTING
17. WOOD TRIM WITH HEAD FLASHING TO MATCH EXISTING
18. WOOD CLAD DOUBLE-HUNG WINDOW
19. 4" TALL LIMESTONE ACCENT BAND
20. CULTURED STONE
21. WATER RESISTANT, BREATHABLE, AIR BARRIER, TYVEK HOMEWRAP OR EQUAL
22. 1/2" WALL SHEATHING
23. 2X6 STUDS @ 16" O.C.
24. R-21 INSULATION WITH VAPOR RETARDER
25. 1/2" GYPSUM WALLBOARD
26. BASE TRIM TO MATCH EXISTING
- 27.
28. 3/4" T&G PLYWOOD SUBFLOOR, GLUED AND NAILED
29. 2X6 TREAD WOOD SILL PLATE
30. FIBERGLASS SILL SEAL
31. 8X8X16 CMU TERMITE BLOCK
32. 1/2" DIAMETER ANCHOR BOLT, 1'-6" LONG, EMBEDDED AT LEAST 1'-3" DEEP, 6"-0" O.C. AND NOT MORE THAN 1'-0" FROM ANY CORNER
33. 8X8X16 CMU
34. R-13 INSULATION BLANKET
35. VAPOR BARRIER, 6MIL POLY
36. GRAVEL, 4" DEEP
37. 10X16 CONCRETE FOOTING
38. 2 - #5 REINFORCING BARS
39. FLASHING
40. DAMPPROOFING PER CODE REQUIREMENTS
41. GRAVEL BACKFILL TO WITHIN 1'-0" OF GRADE
42. CROWN MOLDING, CAPITAL CITY MILLWORK, KL313, 3/4" X 3/4"
43. BEADBOARD PORCH CEILING
44. CUT STONE CAP
45. 6" WIDE CMU
46. BLUESTONE
47. MORTAR SETTING BED
48. 4" CONCRETE SLAB
49. TURN-OUT BLOCK TO SUPPORT CONCRETE SLAB
50. 6X6 POST WRAPPED IN 1X WOOD TRIM

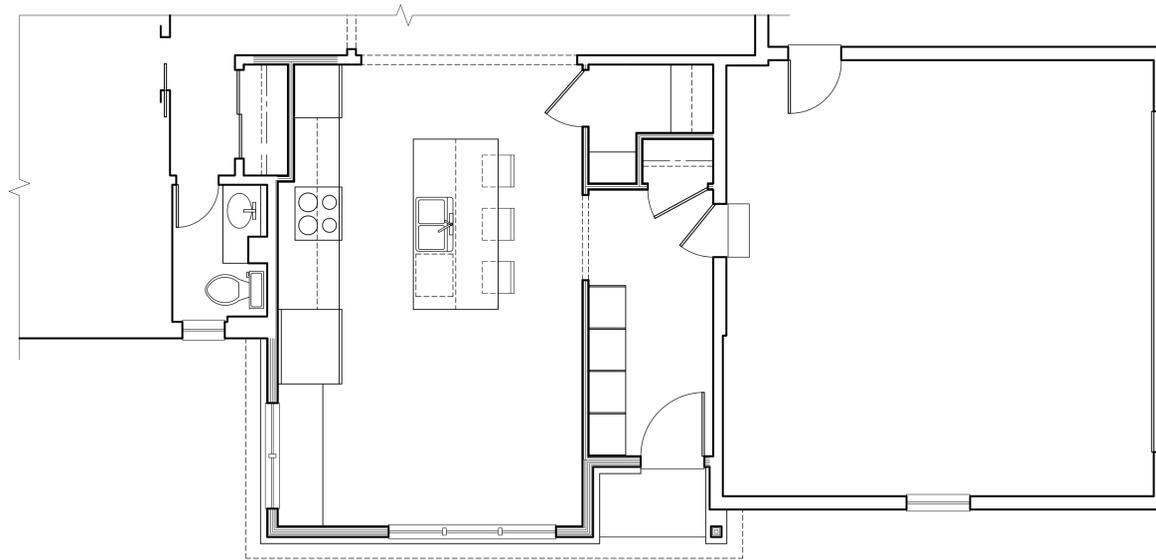
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**ADDITION & REMODELING  
THE REEHIL RESIDENCE  
154 STANBERY AVE**

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**A-4**

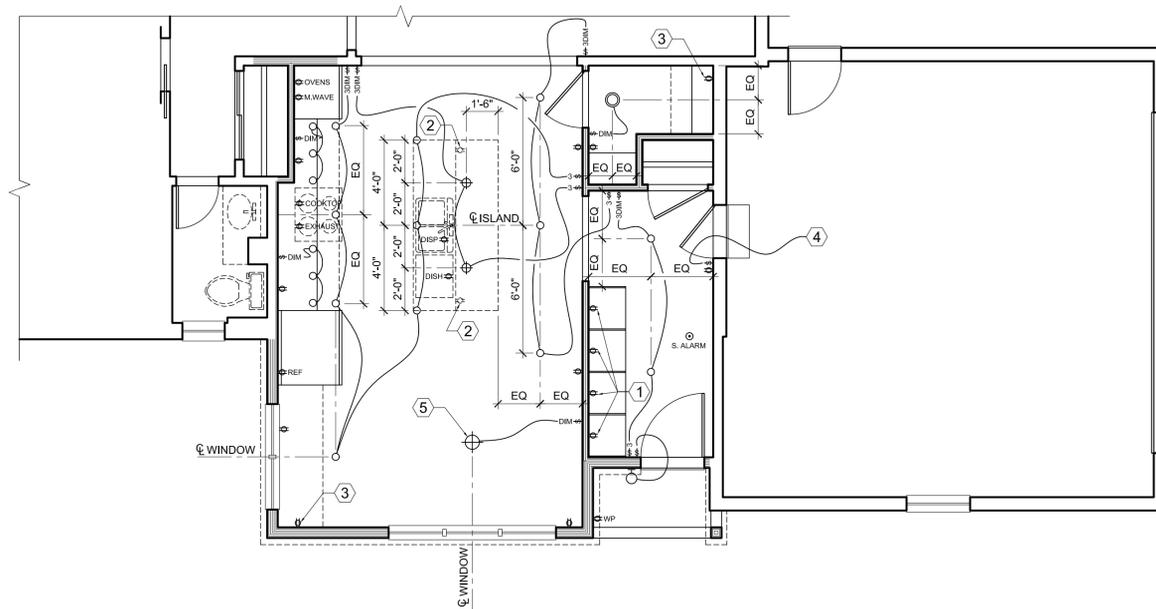


### LOW ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"

LOW ROOF FRAMING PLAN NOTES

- 1.



### FIRST FLOOR LIGHTING / REFLECTED CEILING PLAN

SCALE: 1/4" = 1'-0"

FIRST FLOOR LIGHTING / REFLECTED CEILING PLAN NOTES

1. RECEPTACLE ABOVE THE LOWEST SHELF FOR CHARGING STATION
2. RECEPTACLES BELOW CANTILEVERED COUNTERTOP
3. RECEPTACLE ABOVE COUNTERTOP
4. TO EXISTING FIXTURE IN GARAGE
5. COORDINATE LOCATION OF PENDANT FIXTURE WITH OWNER'S PLANNED LOCATION OF TABLE.

LIGHTING KEY

- 4" RECESSED CAN-TYPE FIXTURE WITH LED LAMP AND BULB EXTENDER
- ⊙ 6" RECESSED CAN-TYPE FIXTURE SEALED WITH DROPPED OPALEX TRIM
- ⊕ SURFACE MOUNTED WALL FIXTURE
- ⊕ PENDANT
- ⊕ UNDERCABINET LED LIGHTING
- ⊕ S. ALARM

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**S-1/E-1**