

CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review
- Conditional Use
- Demolition
- Planned Unit Dev.
- Rezoning
- Landscape Review
- Special Permit

Property & Project Information:

Property Address: 110 S. Stanwood Rd Bexley OH 43209

Brief Project Description: 18x19 addition, provides new Kitchen, mcdroom, and new upstairs master bedroom & master bath

Applicant Information:

Applicant Name: Nathan Render & Taj Bendor

Applicant Address: 110 S. Stanwood Rd, Bexley, OH 43209

Applicant Email & Phone: Nathan.Render@gmail.com (847) 917-3531

Property Owner Information:

Owner Name: Nathan Render & Taj Bendor

Owner Address: 110 S. Stanwood Rd, Bexley, OH 43209

Owner Email & Phone: Nathan.Render@gmail.com (847) 917-3531

Attorney/Agent Information:

Agent Name:

Agent Address: , ,

Agent Email & Phone:

Completed Worksheets: Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet D)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: [Signature] Date: 5/7/19

Owner Signature: [Signature] Date: 5/7/19

Agent Signature: Date:

Internal Use:	
Application #:	<u></u> Board Referrals: <input type="checkbox"/> ARB <input type="checkbox"/> BZAP <input type="checkbox"/> City Council <input type="checkbox"/> Tree Commission
Staff Signature:	<u></u> Date: <u></u>

Project Worksheet

Residential Commercial

Property Address:

110 S. Stanwood Rd. Bexley, OH 43209

Zoning District:

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

* Overall coverage includes hardscape

Lot Info:

Width (ft.):

50

Depth (ft.):

144

Total Area (SF):

6970

Primary Structure Info:

Existing Footprint (SF):

1114

Proposed Addition (SF):

373

Removing (SF):

-

(Type of Structure):

-

Proposed new primary structure or residence (SF):

Total Square Footage:

2,592

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

410

New Structure Type:

-

Proposed Addition (SF):

-

Ridge Height:

-

Proposed New Structure (SF):

-

Is there a 2nd floor?

Yes

No

Total of all garage and accessory structures (SF):

410

2nd Floor SF:

-

Total building lot coverage (SF):

1897

= 27 % of lot

Is this replacing an existing garage and/or accessory structure? Yes No

Hardscape:

Existing Driveway (SF):

1013

Existing Patio (SF):

N/A

Existing Private Sidewalk (SF):

N/A

Proposed Additional Hardscape (SF):

213

Total Hardscape (SF):

1226

Totals:

Total overall lot coverage (SF):

3123

= 44.8 % of lot

Applicant Initial:

NSR

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:

CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

<input type="checkbox"/> Roofing	<input checked="" type="checkbox"/> House or Principal Structure	<input type="checkbox"/> Garage Only	<input type="checkbox"/> House & Garage
Existing Roof Type:	<input checked="" type="checkbox"/> Slate	<input type="checkbox"/> Clay Tile	<input type="checkbox"/> Wood Shake
	<input type="checkbox"/> Arch. Dimensional Shingles	<input type="checkbox"/> EPDM Rubber	<input type="checkbox"/> TPO Rubber
New Roof Type:	<input type="checkbox"/> Slate	<input type="checkbox"/> Clay Tile	<input type="checkbox"/> Wood Shake
	<input checked="" type="checkbox"/> Arch. Dimensional Shingles	<input type="checkbox"/> EPDM Rubber	<input type="checkbox"/> TPO Rubber
New Shingle Manufacturer:	<input type="text" value="Owens Corning"/>		
New Roof Style & Color:	<input type="text"/>		

<input checked="" type="checkbox"/> Windows	<input checked="" type="checkbox"/> House or Principal Structure	<input type="checkbox"/> Garage Only	<input type="checkbox"/> House & Garage
Existing Window Type:	<input type="checkbox"/> Casement	<input type="checkbox"/> Fixed	<input type="checkbox"/> Exterior Storm
	<input checked="" type="checkbox"/> Double Hung	<input type="checkbox"/> Awning	<input type="checkbox"/> Horizontal Sliding
Existing Window Materials:	<input type="checkbox"/> Aluminum Clad Wood	<input type="checkbox"/> Wood	<input type="checkbox"/> Metal
	<input checked="" type="checkbox"/> Vinyl Clad Wood	<input type="checkbox"/> Aluminum	<input type="checkbox"/> Other: <input type="text"/>
New Window Manufacturer:	<input type="text" value="Parsati"/>		
New Window Style/Mat./Color:	<input type="text" value="double hung white to match"/>		

<input type="checkbox"/> Doors	<input checked="" type="checkbox"/> House or Principal Structure	<input type="checkbox"/> Garage Only	<input type="checkbox"/> House & Garage
Existing Entrance Door Type:	<input checked="" type="checkbox"/> Wood	<input type="checkbox"/> Insulated Metal	<input type="checkbox"/> Fiberglass
	<input type="checkbox"/> Sidelights	<input type="checkbox"/> Transom Windows	
Existing Garage Door Type:	<input type="checkbox"/> Wood	<input checked="" type="checkbox"/> Insulated Metal	<input type="checkbox"/> Fiberglass
Door Finish:	<input type="checkbox"/> Stained	<input checked="" type="checkbox"/> Painted	
Proposed Door Type:	<input type="text" value="Parsati"/>	Style: <input type="text" value="Full-light"/>	Color: <input type="text" value="TBD"/>

<input checked="" type="checkbox"/> Exterior Trim			
Existing Door Trim:	<input type="checkbox"/> Cedar	<input type="checkbox"/> Redwood	<input type="checkbox"/> Pine
	<input type="checkbox"/> Std. Lumber Profile	<input type="checkbox"/> Wood Composite	<input checked="" type="checkbox"/> Aluminum Clad
Proposed New Door Trim:	<input type="text" value="Vinyl & alum to match existing"/>	<input type="checkbox"/> Molding	<input checked="" type="checkbox"/> Vinyl
Existing Window Trim:	<input type="checkbox"/> Wood	<input type="checkbox"/> Redwood	<input type="checkbox"/> Pine
	<input type="checkbox"/> Std. Lumber Profile	<input type="checkbox"/> Vinyl	<input type="checkbox"/> Other: <input type="text"/>
Proposed New Window Trim:	<input type="text" value="Vinyl & alum to match existing"/>	Trim Color(s):	<input type="text" value="White"/>
Do the Proposed Changes Affect the Overhangs?	<input type="checkbox"/> Yes	<input type="checkbox"/> No	

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Natural Stone	<u>Limestone</u>
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Stucco	<u>White</u>
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Vinyl Siding	<u>White to match (e)</u>
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	

Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

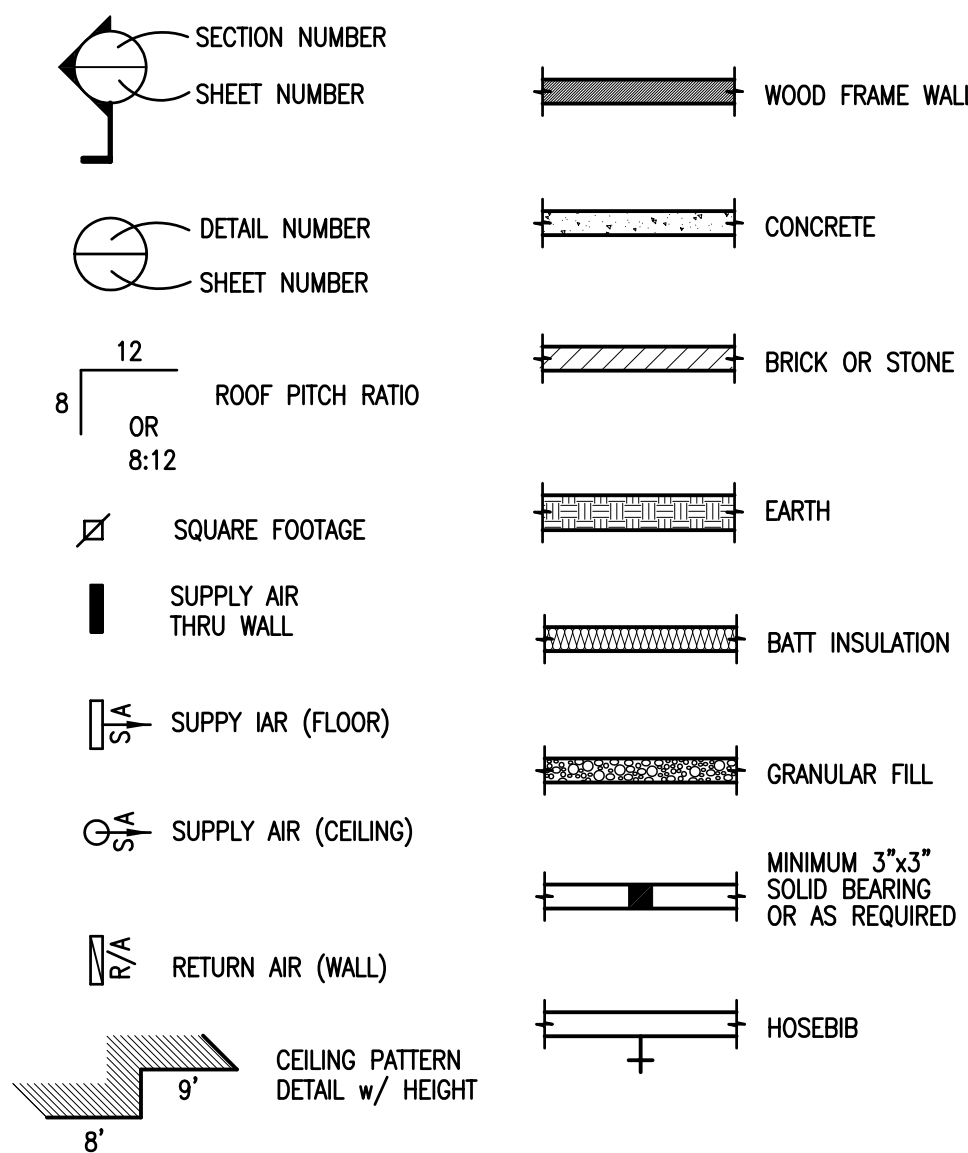
Staff Initials:



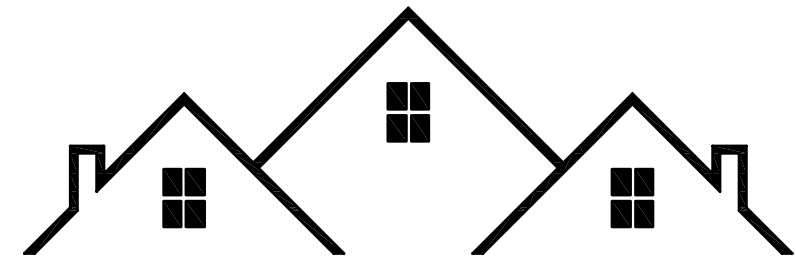
ABBREVIATIONS

ADJ.	Adjustable	KIT.	Kitchen
ALUM.	Aluminum		
A.B.	Anchor Bolt		
∠	Angle		
APPROX.	Approximate	L.V.L.	Laminated Veneer Lumber
ASPH.	Asphalt	LAV.	Lavatory
AWN.	Awning	LN.	Linen
		LV.	Living
		L.S.	Lazy Susan
BSMT.	Basement		
BRC	Bearing	MAX.	Maximum
BTW.	Between	MBR.	Master Bedroom
BLK	Block	M.C.	Medicine Cabinet
BLKG	Blocking	MICRO.	Microwave
BD	Board	MIN.	.001 Inch
BOT.	Bottom	MIN.	Minimum
BLDG.	Building	Misc.	Miscellaneous
		M.O.	Masonry Opening
CANT.	Cantilever		
C.J.	Ceiling Joist	NO.	Number
CLG.	Ceiling	N.T.S.	Not To Scale
CEIL.	Ceiling	N.I.C.	Not In Contract
CER.	Ceramic		
CHIM.	Chimney		
C.M.U.	Concrete Masonry Unit		
C.O.	Cases Opening	O.C.	On Center
COMB.	Combination	O.H.D.	Over Head Door
COMP.	Compact	OPNG.	Opening
CONC.	Concrete	OPP	Opposite
CSD.	Cased	O.D.	Outside Diameter
C.T.	Ceramic Tile		
CAB.	Cabinet	P.C.	Pull Chain
C.O.	Clean Out	PICT.	Picture
COL.	Column	POLY.	Polyethylene
CONST.	Construction	PROJ.	Projection
CONT.	Continuous		
CONTR.	Contractor		
CRS.	Courses		
DBL.	Double	RAD.	Radius
DET.	Detail	RAFT.	Rafters
D.H.	Double Hung	REFER.	Refrigerator
DIA.	Diameter	RM.	Room
D/W	Dishwasher	R.O.	Rough Opening
DN.	Down	R.S.	Rough Sawn
DRY.	Dryer	REQ'D	Required
DRY.	Down Spout	R	Risers
DWG.	Drawing	R/W	Right of Way
DIM.	Dimension		
EA.	Each	SEC.	Second
ELEV.	Elevation	SHWR.	Shower
ENT.	Entertainment	S.L.	Side Life
EXP.	Expansion	SLDR.	Slider
EXT.	Exterior	STA.	Stationary
EXIST.	Existing	STD.	Standard
ELEC.	Electric	STL.	Steel
		STRUCT.	Structural
F/G	Fiber Glass	T.C.	Trash Compactor
FIN.	Finished	T. & G.	Tounge & Groove
FIXT.	Fixture	TRANS.	Transom
F.J.	Floor Joist	TRAP.	Trapzoid
FLR.	Floor	TYF.	Typical
FLOUR.	Flourescent		
FTG.	Footing		
FT	Foot	U.L.	Underlayment
FLRG	Flooring	UNEX.	Unexcavated
FND	Foundation		
FUR	Furring		
		WASH.	Washer
		WD.	Wood
CALV.	Galvanized	W.F.	Wide Flange
GARB. DISP.	Garbage Disposal	W.H.	Water Heater
G. & N.	Glued & Nailed	W.W.M	Welded Wire Mesh
G.L.L.	Gas Log Lighter		
GLS	Glass	⊙	at
GEN	General	C	Center Line
		P	Property Line
HDR.	Header	1R-1S	One Rod One Shelf
HGT	Height	1R-2S	One Rod Two Shelves
H.B.	Hose Bib	2R-2S	Two Rods Two Shelves
		S4S	Surface Four Sides
		2S	Two Shelves
		5S	Five Shelves
		6S	Six Shelves
INSUL.	Insulation	2W	Two Wide
INT.	Interior	3W	Three Wide
		4W	Four Wide
JST.	Joist	5W	Five Wide

SYMBOLS



Home Addition For: Tal Bendor & Nathan Render



EDWARDS RESIDENTIAL DESIGN

2437 SEVILLE STREET
LANCASTER, OHIO 43130
PH/FX: (740) 654-6014
CELL: (740) 808-1180

EDWARDS RESIDENTIAL DESIGNS or Ron Edwards assumes no liability for any home constructed from this plan. Great care and diligence has gone into the preparation of the design and engineering of this plan. However this does not guarantee perfection; the contractor shall verify and be responsible for all conditions on the job. It is recommended that the purchaser of these plans consult a local architect or engineer of your choice, and check with your local code agency prior to start of actual construction. Changes made from these plans without the consent of the designer are unauthorized and shall relieve the designer of responsibility for all consequences arising from such changes. Only a qualified designer, architect, contractor or structural engineer should attempt modifying any portion of this design.

DRAWING INDEX

A001	TITLE SHEET
A101	EXTERIOR ELEVATIONS
A201	BASEMENT FOUNDATION PLAN
A301	FIRST FLOOR PLANS
A302	SECOND FLOOR PLANS
A401	BUILDING SECTIONS, ROOF PLAN AND DETAILS
P101	PLUMBING PLANS
M101	HVAC PLANS
E101	ELECTRICAL PLANS

CUSTOMER INFORMATION

TAL BENDOR AND NATHAN RENDER
110 S. STANWOOD ROAD
BEXLEY, OHIO 43209

JOB SITE:

110 S. STANWOOD ROAD
BEXLEY, OHIO 43209

BUILDING STATISTICS

CRAWL SPACE ADDITION:	373 SQ. FT.
FIRST FLOOR AREA:	373 SQ. FT.
SECOND FLOOR AREA:	373 SQ. FT.
TOTAL FLOOR AREA:	746 SQ. FT.

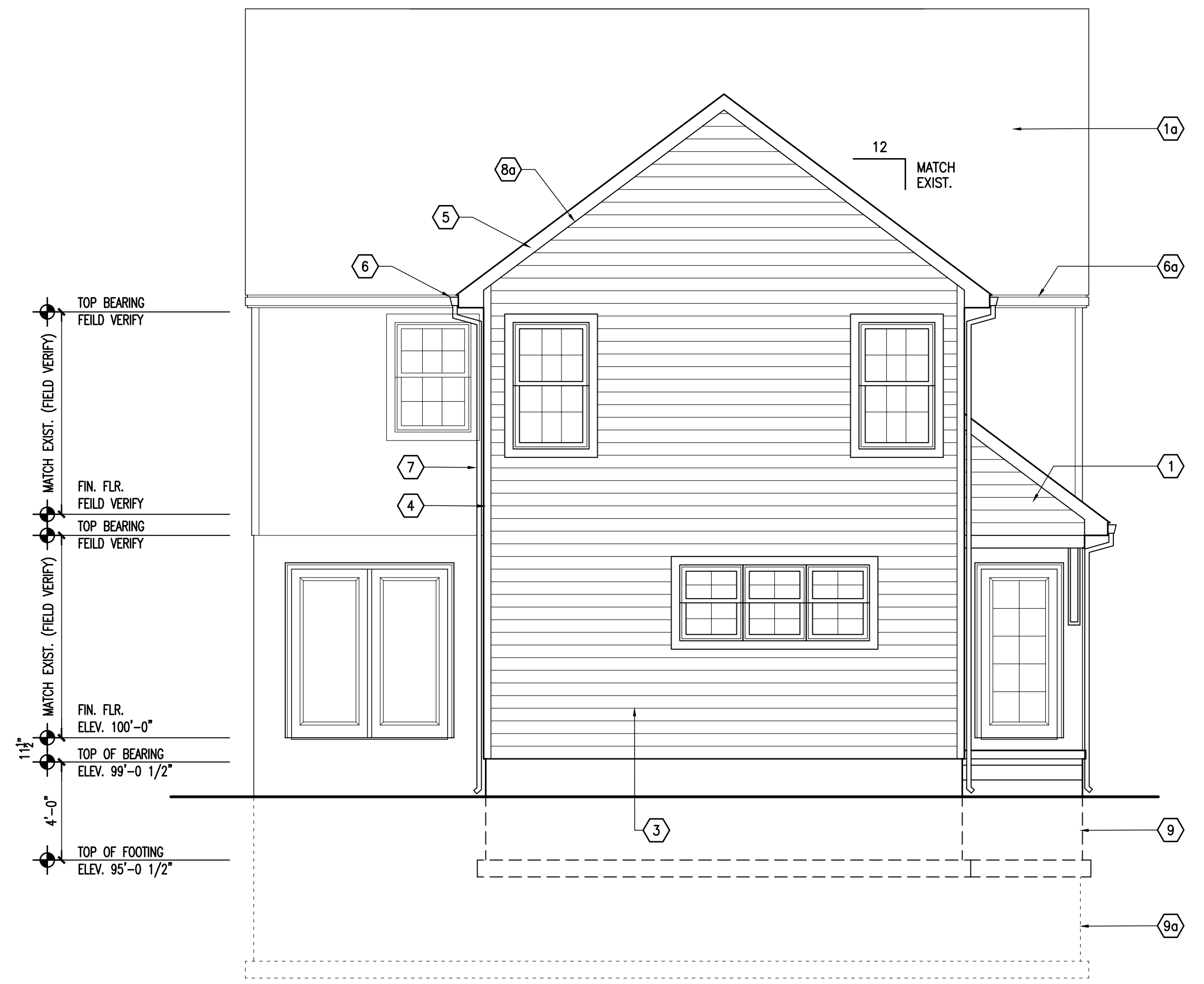
SHEET NUMBER
JOB NUMBER:
1908
DATE:
04/26/19

A001

EDWARDS RESIDENTIAL DESIGN or Ron Edwards assumes no liability for any home constructed from this plan. Great care and diligence has gone into the preparation of the design and engineering of this plan. However this does not guarantee perfection; the contractor shall verify and be responsible for all conditions on the job. It is recommended that the purchaser of these plans consult a local architect or engineer of your choice, and check with your local code agency prior to start of actual construction. Changes made from these plans without the consent of the designer are unauthorized and shall relieve the designer of responsibility for all consequences arising from such changes. Only a qualified designer, architect, contractor or structural engineer should attempt modifying any portion of this design.

PROJECT
 TAL BENDOR AND
 NATHAN RENDER
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209

JOB SITE:
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209



A rear elevation
 SCALE: 1/4" = 1'-0"



B left side elevation
 SCALE: 1/4" = 1'-0"



C right side elevation
 SCALE: 1/4" = 1'-0"

elevation notes:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN AS NON-VISUALLY OFFENSIVE LOCATIONS AS POSSIBLE. FOR EXAMPLE: FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO THE HOUSE WITH OWNER.
2. PLUMBING AND H.V.A.C. VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE
3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
4. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
5. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATION / ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION. PROVIDE PROPER SOFFIT VENTILATION AT OVERHANGS.

coded notes:

1. FIBERGLASS ASPHALT SHINGLES OVER 15# FELT OVER 7/16" O.S.B. SHINGLE COLOR AS SELECTED BY THE OWNER.
 - a. EXISTING SLATE ROOF SHINGLE TO REMAIN.
2. CONTINUOUS RIDGE VENT.
3. INSTALL NEW HORIZONTAL LAP VINYL SIDING. COLOR AS SELECTED BY THE OWNER.
4. VINYL CORNER TRIM.
5. METAL FASCIA TRIM OVER 2x TRIM BOARD.
6. INSTALL NEW METAL GUTTERS.
 - a. REMOVE AND REPLACE EXISTING METAL GUTTERS
7. INSTALL NEW METAL DOWN SPOUTS.
8. INSTALL VINYL SOFFIT.
 - a. RAKE - SOLID VINYL SOFFIT PANELS
 - b. EAVE - VENTED VINYL SOFFIT PANELS
9. LINE OF NEW FOUNDATION WALL BELOW GRADE.
 - a. APPROX. LINE OF EXISTING FOUNDATION BELOW GRADE
10. REMOVE AND RELOCATE EXISTING WINDOW AS SHOWN. SEE SECOND FLOOR PLAN SHEET A302.
11. 36" HIGH HANDRAIL MINIMUM, VERT. BALUSTERS 4" MIN. CLEARANCE.

JOB NUMBER:
1908

DATE:
05/12/19

DRAWN:
R.L.E.

CHECKED:
STAFF
SCALE:
AS NOTED

REVISIONS:

DRAWING TITLE:
EXTERIOR ELEVATIONS

SHEET NUMBER

A101

EDWARDS RESIDENTIAL DESIGN or Ron Edwards assumes no liability for any home constructed from this plan. Great care and diligence has gone into the preparation of the design and engineering of this plan. However this does not guarantee perfection; the contractor shall verify and be responsible for all conditions on the job. It is recommended that the purchaser of these plans consult a local architect or engineer of your choice, and check with your local code agency prior to start of actual construction. Changes made from these plans without the consent of the designer are unauthorized and shall relieve the designer of responsibility for all consequences arising from such changes. Only a qualified designer, architect, contractor or structural engineer should attempt modifying any portion of this design.

PROJECT
TAL BENDOR AND
NATHAN RENDER
110 S. STANWOOD ROAD
COLUMBUS, OHIO 43209

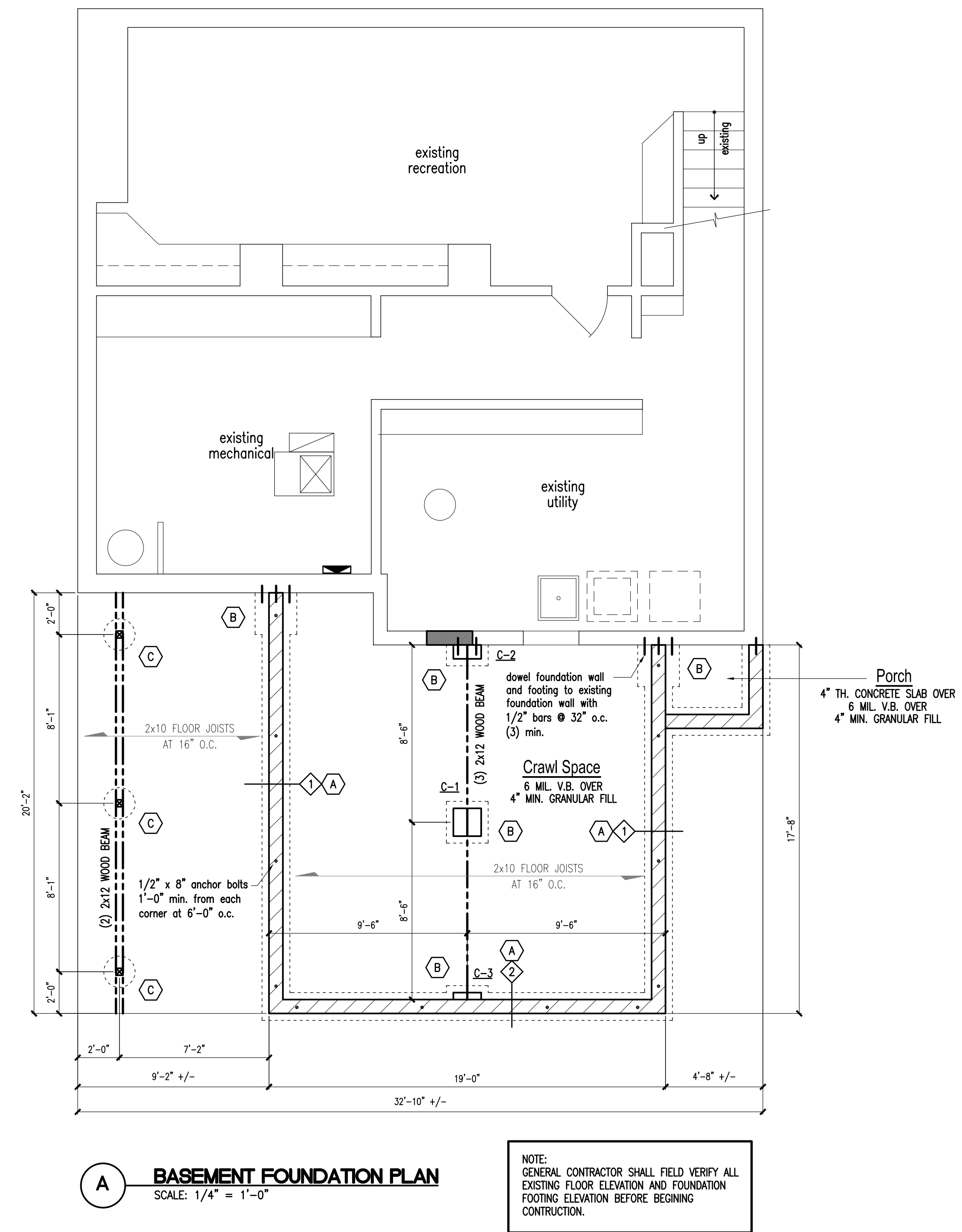
construction & framing notes:

- DESIGN LOADS ARE AS FOLLOWS PER SQ. FT. (IF APPLICABLE)

LOCATION	LIVE LOAD	DEAD LOAD	DEFLECTION LIMIT
1ST FLOOR	40 LB	10 LB	L/360
ATTIC (NO STORAGE)	10 LB	5 LB	L/240
ATTIC (STORAGE)	20 LB	10 LB	L/240
ROOF (WITH FINISHED CEILING)	30 LB (SNOW)	15 LB	L/240
ROOF (NO FINISHED CEILING)	30 LB	7 LB	L/180
DECKS	40 LB	10 LB	L/360
- LUMBER SHALL BE SOUTHERN YELLOW PINE, HEM-FIR OR DOUGLAS-FIR-LARCH WITH $F_b = 1450$ AND $E=1.6$ MINIMUM.
- ALL HEADERS SHALL BE FREE OF SPLITS, CHECK OR SHAKES.
- FLOOR CONSTRUCTION TO BE 3/4" TONGUE AND GROOVE SUBFLOOR WITH FINISH MATERIAL OVER.
- STAIR CONSTRUCTION SHALL BE MADE FROM (3) 3x12 STRINGERS, 2x OR 5/4" TREADS AND 3/4" THICK RISERS OR PRE-FABRICATED STAIR COMPONENTS.
- ALL WOOD PLATES IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED & SEALED WITH SILICONE.
- "MICRO-LAM" BEAMS SHALL HAVE $F_b = 2800$ P.S.I. VERIFY WITH LOCAL CODES.
- SPECIAL UPLIFT CONNECTORS AS INDICATED AT CANTILEVERED JOIST SHALL BE "SIMPSON STRONG-TIE" OR APPROVED EQUAL.
- ALL STRUCTURAL STEEL SHALL CONFORM WITH ASTM SPECIFICATION A-36.
- UNLESS NOTED OTHERWISE, PROVIDE A 2x PLATE FASTENED TO THE TOP FLANGE OF ALL STEEL BEAMS SECURELY FASTEN ALL CONNECTING RAFTERS AND JOISTS AS APPROVED BY GOVERNING CODES, UNLESS NOTED OTHERWISE.
- FLOOR FRAMING LAYOUT SHALL BE COORDINATED WITH THE GENERAL AND H.V.A.C. CONTRACTORS TO PROVIDE ACCESS CHASES AND UNOBSTRUCTED RUNS FOR H.V.A.C. DUCT WORK. FLOOR TRUSS LAYOUT TO BE ENGINEERED BY TRUSS MANUFACTURER.
- PROVIDE BRIDGING OR BLOCKING AT MIDSPAN OF JOISTS, RAFTERS AND TRUSSES. MAXIMUM SPACING BETWEEN BEARING WALLS AND BLOCKING IS 8'-0".

foundation notes:

- ALL FOOTINGS SHALL BEAR UPON VIRGIN, UNDISTURBED SOIL.
- ASSUMED SOIL SHALL BE SAND OR GRAVEL WITH MINIMUM TRACES OF DRY CLAY WITH A MINIMUM BEARING CAPACITY OF 2000 P.S.F.
- UNLESS NOTED OTHERWISE, ALL SLAB ON GRADE CONCRETE SHALL BE 3000 P.S.I. (28 DAY COMPRESSIVE STRENGTH) CONCRETE ON 4" SAND OR GRAVEL BASE MINIMUM. INTERIOR SLABS SHALL BE PLACED ON 6 MIL VAPOR BARRIER.
- INSTALL 1/2" EXPANSION JOINT MATERIAL BETWEEN ALL CONCRETE SLABS ON ADJOINING CONCRETE OR MASONRY WALLS OCCURRING IN UNHEATED INTERIOR SPACES OR AT EXTERIOR LOCATIONS.
- FOOTING SIZES SHOWN ARE ONLY TYPICAL FOR STATED SOIL PRESSURES AND CONTINENT COMPACTION; WHICHEVER IS MORE RESTRICTIVE.
- CONTRACTOR TO VERIFY FOOTINGS DEPTHS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS; WHICHEVER IS MORE RESTRICTIVE.
- PROVIDE PROTECTION FROM TERMITES AS REQUIRED BY LOCAL CODE. GARAGE SLABS TO HAVE CONTROL JOINTS PROVIDED AT MID POINTS IN BOTH DIRECTIONS.
- MASONRY VENEER SHALL BE ANCHORED WITH GALVANIZED CORRUGATED METAL BRICK WALL TIES, SPACED AT 16" O.C. HORIZONTALLY AND 24" O.C. VERTICALLY.
- PROVIDE 3/8" WEEP HOLES SPACED AT 48" O.C. WITHIN THE FIRST EXPOSED COURSE ABOVE GRADE.



A BASEMENT FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

NOTE:
GENERAL CONTRACTOR SHALL FIELD VERIFY ALL EXISTING FLOOR ELEVATION AND FOUNDATION FOOTING ELEVATION BEFORE BEGINNING CONSTRUCTION.

WALL LEGEND			
SYM.	DESCRIPTION	STRUCTURAL	WALL HEIGHT
1	8" CONCRETE BLOCK WALL	HORZ. REINF. AT 32" O/C	4'-0"
2	8" CONCRETE BLOCK WALL	N/A	2'-8"
	2x4 WOOD STUDS AT 16" O.C.	N/A	8'-0"

FOOTING LEGEND	
A	8"x16" CONTINUOUS CONCRETE FOOTING WITH 2 - #4 BARS CONTINUOUS
B	24"x24"x8" CONCRETE PAD
C	8"x18" DIA. CONCRETE PAD

COLUMN LEGEND	
C-1	16 X 16 CONCRETE BLOCK PEIR
C-2	16 X 8 CONCRETE BLOCK PEIR
C-3	16 X 4 CONCRETE BLOCK PEIR

JOB NUMBER:
1908

DATE:
05/12/19

DRAWN:
R.L.E.

CHECKED:
STAFF
SCALE:
AS NOTED

REVISIONS:

DRAWING TITLE:
BASEMENT
FOUNDATION PLAN

SHEET NUMBER

A201

EDWARDS RESIDENTIAL DESIGN or Ron Edwards assumes no liability for any home constructed from this plan. Great care and diligence has gone into the preparation of the design and engineering of this plan. However, this does not guarantee perfection; the contractor shall verify and be responsible for all conditions on the job. It is recommended that the purchaser of these plans consult a local architect or engineer of your choice, and check with your local code agency prior to start of actual construction. Changes made from these plans without the consent of the designer are unauthorized and shall relieve the designer of responsibility for all consequences arising from such changes. Only a qualified designer, architect, contractor or structural engineer should attempt modifying any portion of this design.

PROJECT
 TAL BENDOR AND
 NATHAN RENDER
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209

JOB SITE:
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209

JOB NUMBER:
 1908

DATE:
 05/12/19

DRAWN:
 R.L.E.

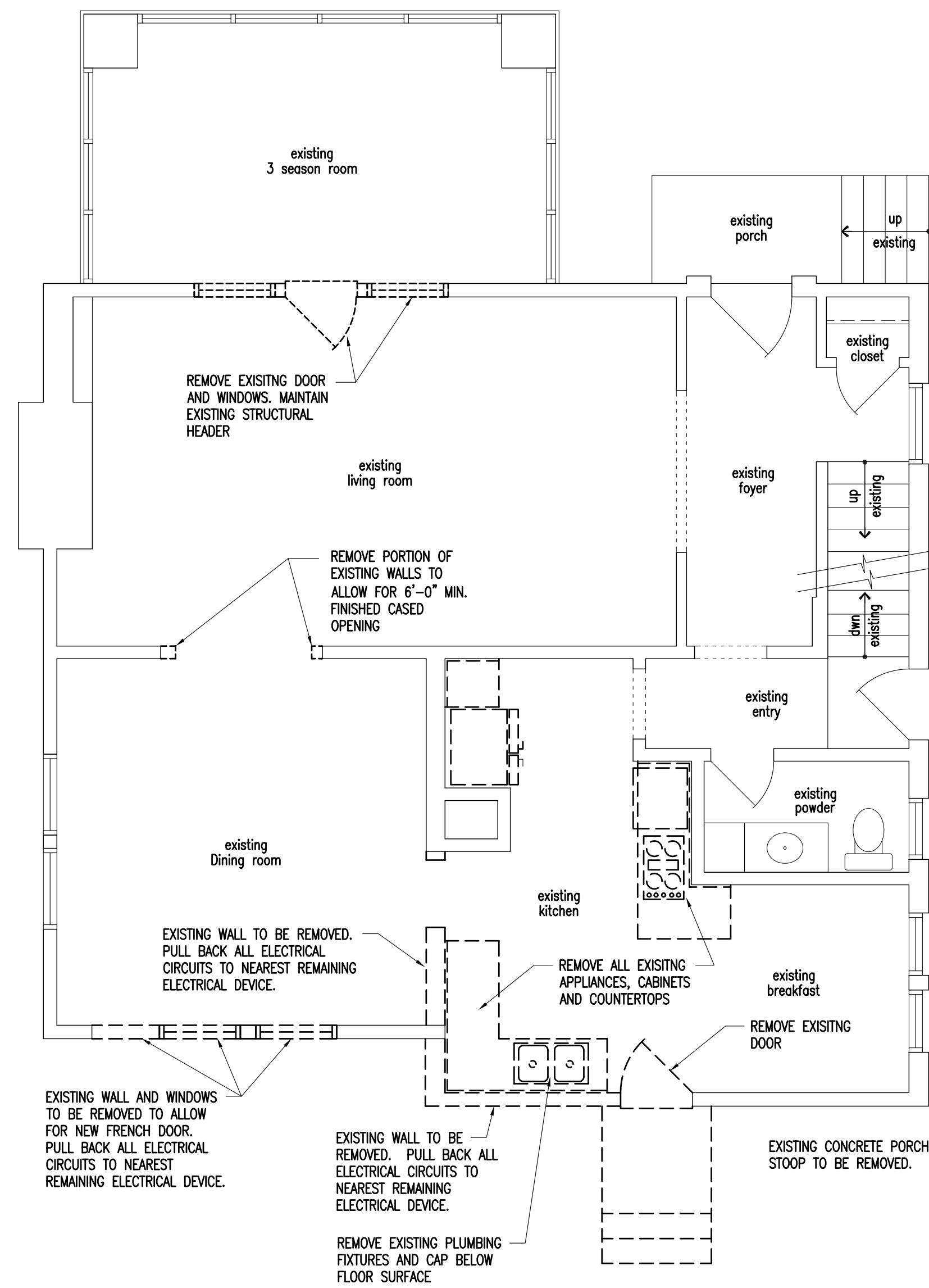
CHECKED:
 STAFF
SCALE:
 AS NOTED

REVISIONS:

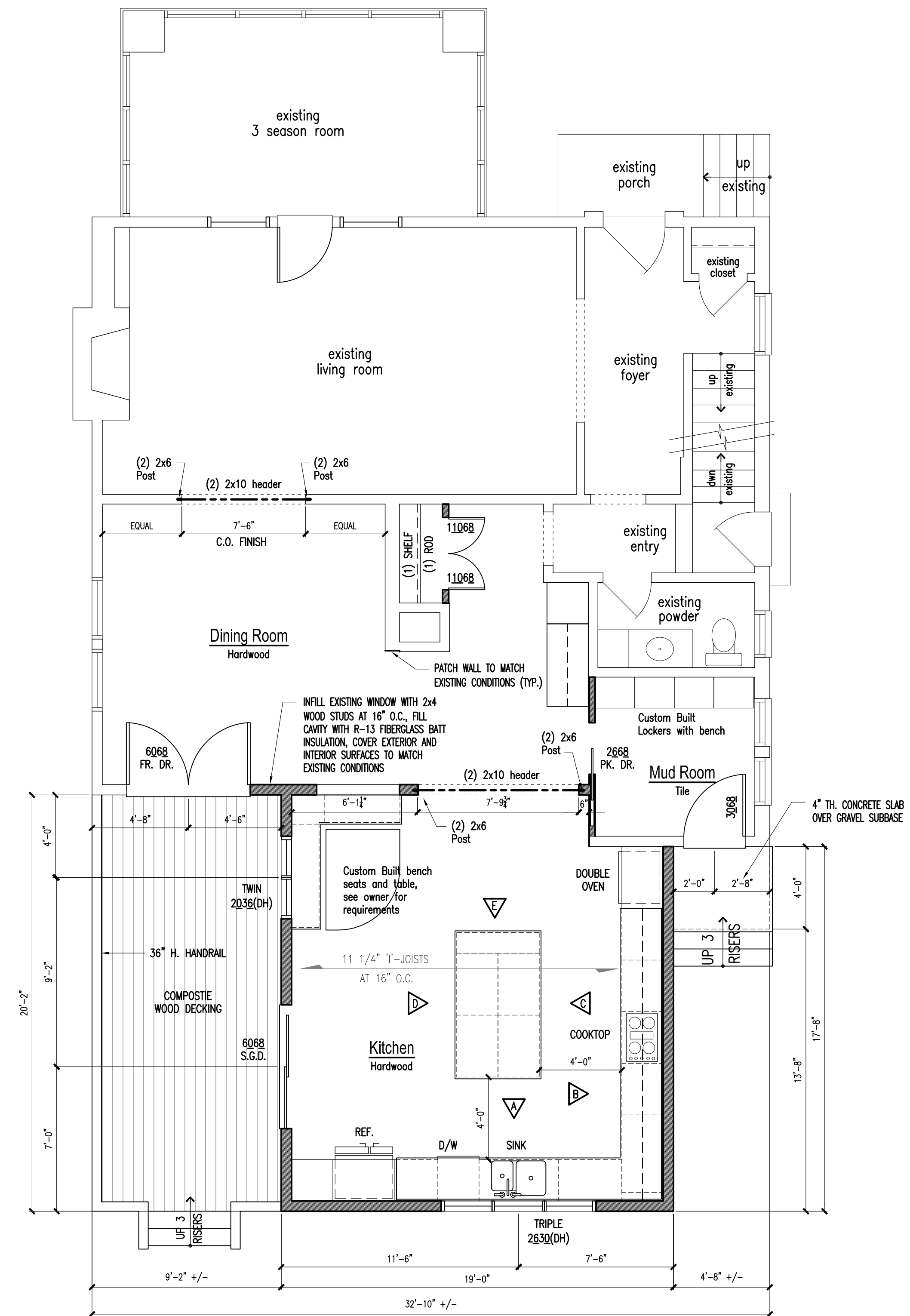
DRAWING TITLE:
 FIRST FLOOR PLAN

SHEET NUMBER

A301



A FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



B FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

floor plan notes:

- DO NOT SCALE ANY DRAWINGS IN THIS SET. FOLLOW THE DRAWINGS AS SHOWN ONLY. NOTIFY DESIGNER IF THERE ARE ANY INCONSISTENCIES.
- STANDARD EXTERIOR WALLS ARE 2x6 UNLESS NOTED OTHERWISE ON DRAWINGS.
- STANDARD INTERIOR WALLS ARE 2x4 UNLESS NOTED OTHERWISE ON DRAWINGS.
- STANDARD WALL HEIGHT IS 9'-1 1/8" ON FIRST FLOOR.
- JOISTS, BEAMS & HEADERS SIZES ARE BASED ON # 1 S.Y.P. OR EQUAL.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
- ALL EXTERIOR WINDOWS AND DOOR HEADERS SHALL BE (2) 2x10'S w/ 1/2" PLYWOOD FILLER MINIMUM. UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ALL ANGLED WALLS ARE TO BE 45 DEGREES UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- PREFABRICATED FIREPLACES, WOODSTOVES, ETC ARE TO BE U.L. APPROVED AND INSTALLED PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS AND CLEARANCES ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF THE CHIMNEY CHASE AS CONSTRUCTED.
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- WINDOWS SIZES INDICATED ON THE PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM THE VIEW OF THE PUBLIC. THE VISUAL IMPACT SHALL BE MINIMAL, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
- BEDROOM WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20". A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 4.3" FROM FINISH FLOOR.
- ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM, ROOMS OR HOT TUBS SHALL BE TEMPERED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREENS AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 75 CFM. FAN. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
- WALLS COMMON TO GARAGE AND HOUSE HAVE (1) LAYER OF TYPE "X" FIRE RATED GYPSUM BOARD ON GARAGE SIDE.
- ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. INSTALL HORIZONTAL "DRAFT STOPS" AT EACH FLOOR LEVEL BY PACKING 6" (R-19 MIN.) INSULATION BETWEEN JOISTS.
- ALL INTERIOR WALL SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING. TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBER ARE PLACED AT 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD WITH FRAMING MEMBERS ARE PLACED AT 16" O.C. OR LESS.
- ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

EDWARDS RESIDENTIAL DESIGN or Ron Edwards assumes no liability for any home constructed from this plan. Great care and diligence has gone into the preparation of the design and engineering of this plan. However this does not guarantee perfection; the contractor shall verify and be responsible for all conditions on the job. It is recommended that the purchaser of these plans consult a local architect or engineer of your choice, and check with your local code agency prior to start of actual construction. Changes made from these plans without the consent of the designer are unauthorized and shall relieve the designer of responsibility for all consequences arising from such changes. Only a qualified designer, architect, contractor or structural engineer should attempt modifying any portion of this design.

PROJECT
TAL BENDOR AND
NATHAN RENDER
110 S. STANWOOD ROAD
COLUMBUS, OHIO 43209

JOB SITE:
110 S. STANWOOD ROAD
COLUMBUS, OHIO 43209

JOB NUMBER:
1908

DATE:
05/12/19

DRAWN:
R.L.E.

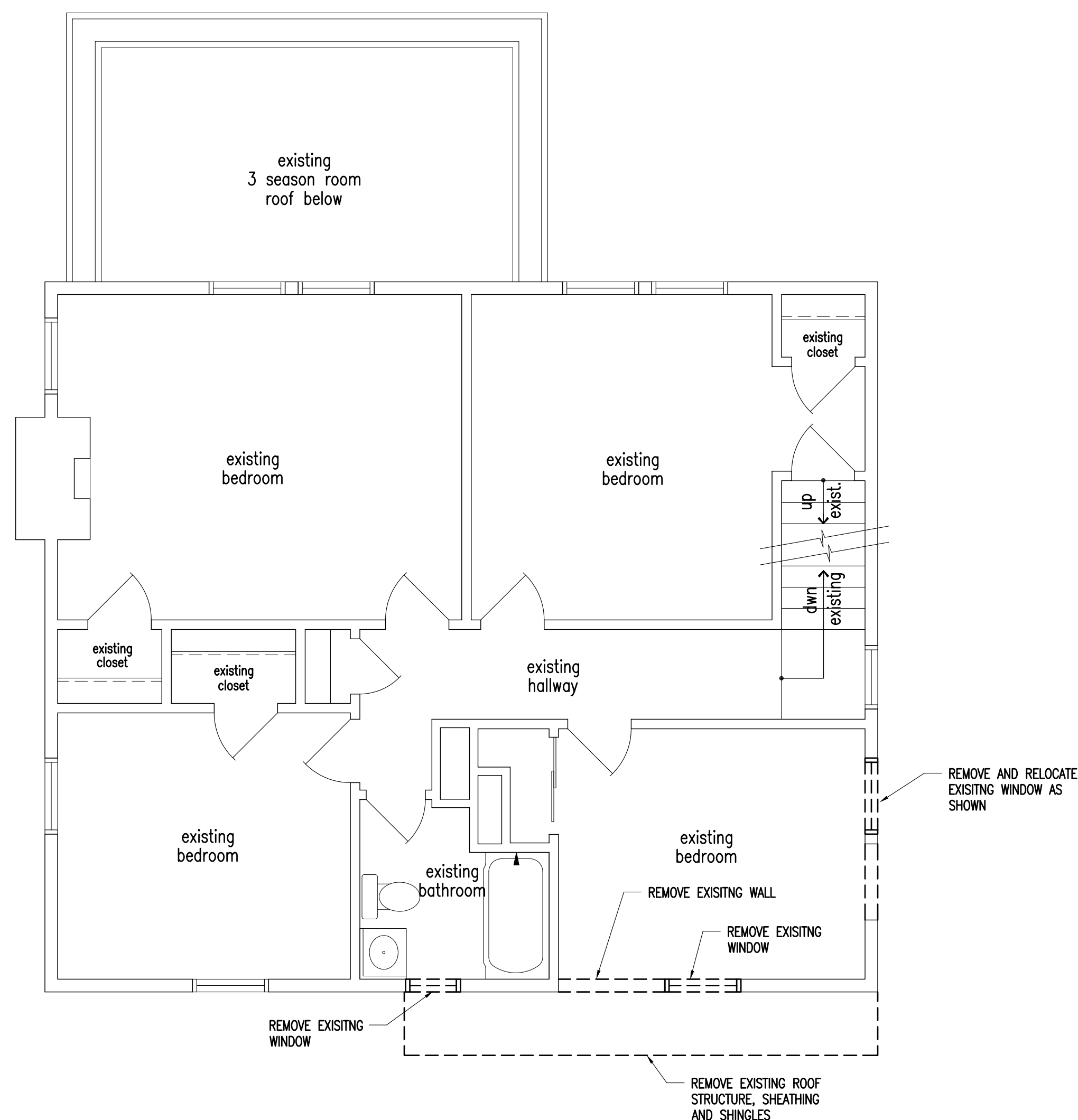
CHECKED:
STAFF
SCALE:
AS NOTED

REVISIONS:

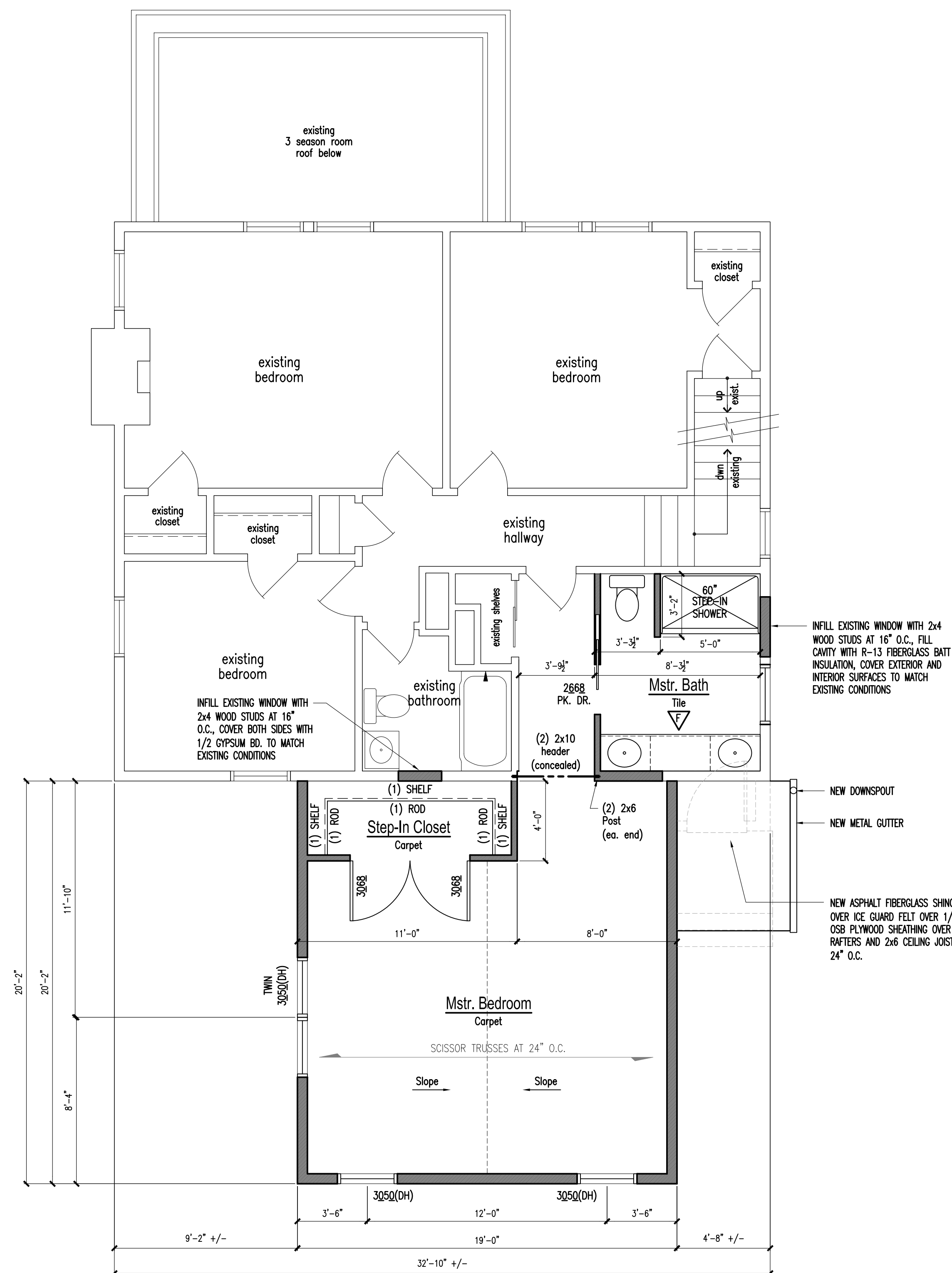
DRAWING TITLE:
SECOND FLOOR PLAN

SHEET NUMBER

A302



A SECOND FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"



B SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

floor plan notes:

- DO NOT SCALE ANY DRAWINGS IN THIS SET. FOLLOW THE DRAWINGS AS SHOWN ONLY. NOTIFY DESIGNER IF THEIR ARE ANY INCONSISTENCIES.
- STANDARD EXTERIOR WALLS ARE 2x6 UNLESS NOTED OTHERWISE ON DRAWINGS.
- STANDARD INTERIOR WALLS ARE 2x4 UNLESS NOTED OTHERWISE ON DRAWINGS.
- STANDARD WALL HEIGHT IS 9'-1 1/8" ON FIRST FLOOR.
- JOISTS, BEAMS & HEADERS SIZES ARE BASED ON # 1 S.Y.P. OR EQUAL.
- CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS BEFORE BEGINNING CONSTRUCTION.
- ALL EXTERIOR WINDOWS AND DOOR HEADERS SHALL BE (2) 2x10'S w/ 1/2" PLYWOOD FILLER MINIMUM. UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- ALL ANGLED WALLS ARE TO BE 45 DEGREES UNLESS NOTED OTHERWISE ON THE DRAWINGS
- PREFABRICATED FIREPLACES, WOODSTOVES, ETC ARE TO BE U.L. APPROVED AND INSTALLED PER THE MANUFACTURER'S WRITTEN SPECIFICATIONS.
- PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS AND CLEARANCES ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF THE CHIMNEY CHASE AS CONSTRUCTED.
- ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- WINDOWS SIZES INDICATED ON THE PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
- COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM THE VIEW OF THE PUBLIC. THE VISUAL IMPACT SHALL BE MINIMAL, I.E. MOUNT AS LOW AS POSSIBLE.
- CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
- CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
- BEDROOM WINDOW SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20". A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
- ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPools, SHOWERS, SAUNAS, STEAM, ROOMS OR HOT TUBS SHALL BE TEMPERED.
- ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
- PROVIDE COMBUSTION AIR VENTS, WITH SCREENS AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCES WITH AN OPEN FLAME.
- BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 75 CFM. FAN. RANGE HOODS SHALL ALSO BE VENTED TO THE OUTSIDE.
- WALLS COMMON TO GARAGE AND HOUSE HAVE (1) LAYER OF TYPE "X" FIRE RATED GYPSUM BOARD ON GARAGE SIDE.
- ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. INSTALL HORIZONTAL "DRAFT STOPS" AT EACH FLOOR LEVEL. BY PACKING 6" (R-19 MIN.) INSULATION BETWEEN JOISTS.
- ALL INTERIOR WALL SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING. TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBER ARE PLACED AT 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD WITH FRAMING MEMBERS ARE PLACED AT 16" O.C. OR LESS.
- ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

EDWARDS RESIDENTIAL DESIGN or Ron Edwards assumes no liability for any home constructed from this plan. Great care and diligence has gone into the preparation of the design and engineering of this plan. However this does not guarantee perfection; the contractor shall verify and be responsible for all conditions on the job. It is recommended that the purchaser of these plans consult a local architect or engineer of your choice, and check with your local code agency prior to start of actual construction. Changes made from these plans without the consent of the designer are unauthorized and shall relieve the designer of responsibility for all consequences arising from such changes. Only a qualified designer, architect, contractor or structural engineer should attempt modifying any portion of this design.

PROJECT
 TAL BENDOR AND
 NATHAN RENDER
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209

JOB SITE:
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209

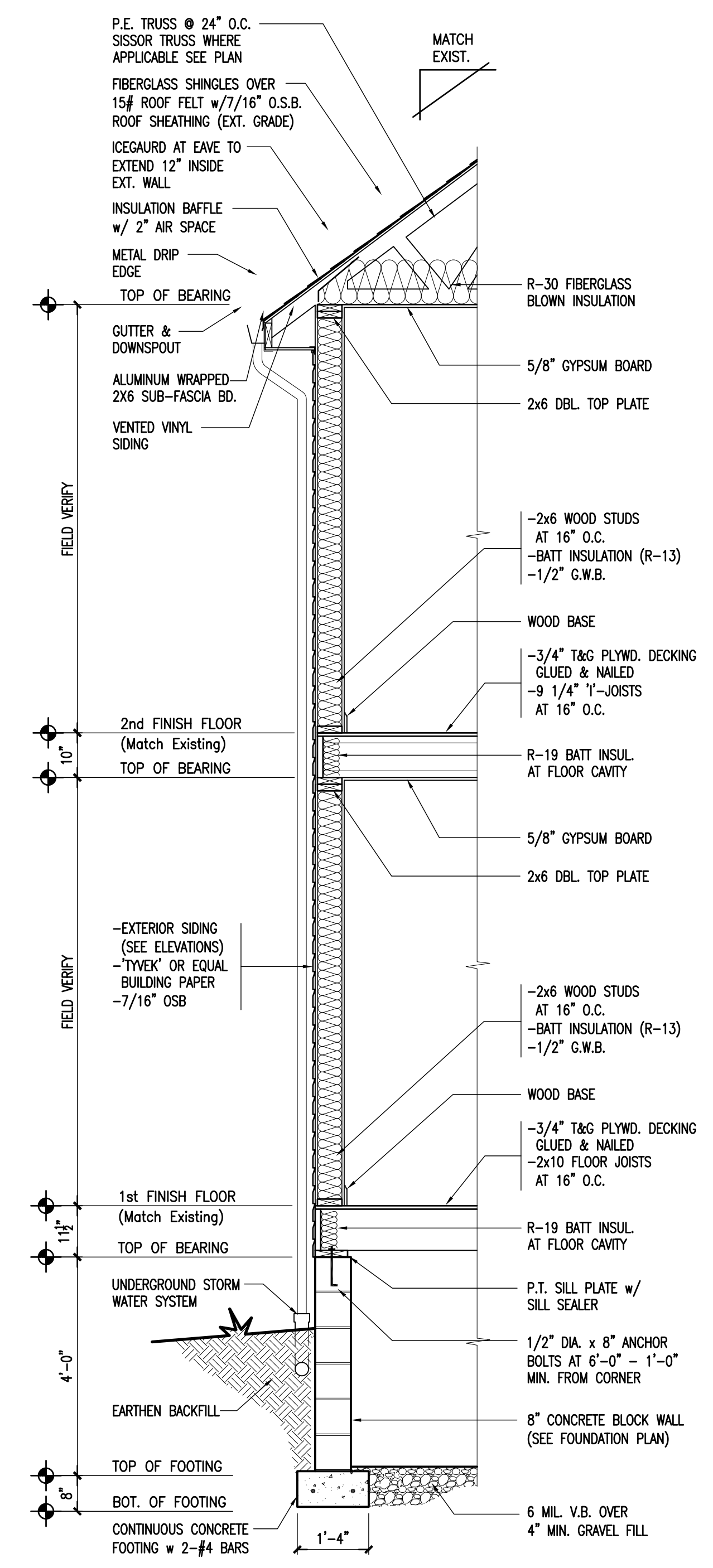
JOB NUMBER:
 1908
DATE:
 05/12/19

DRAWN:
 R.L.E.
CHECKED:
 STAFF
SCALE:
 AS NOTED

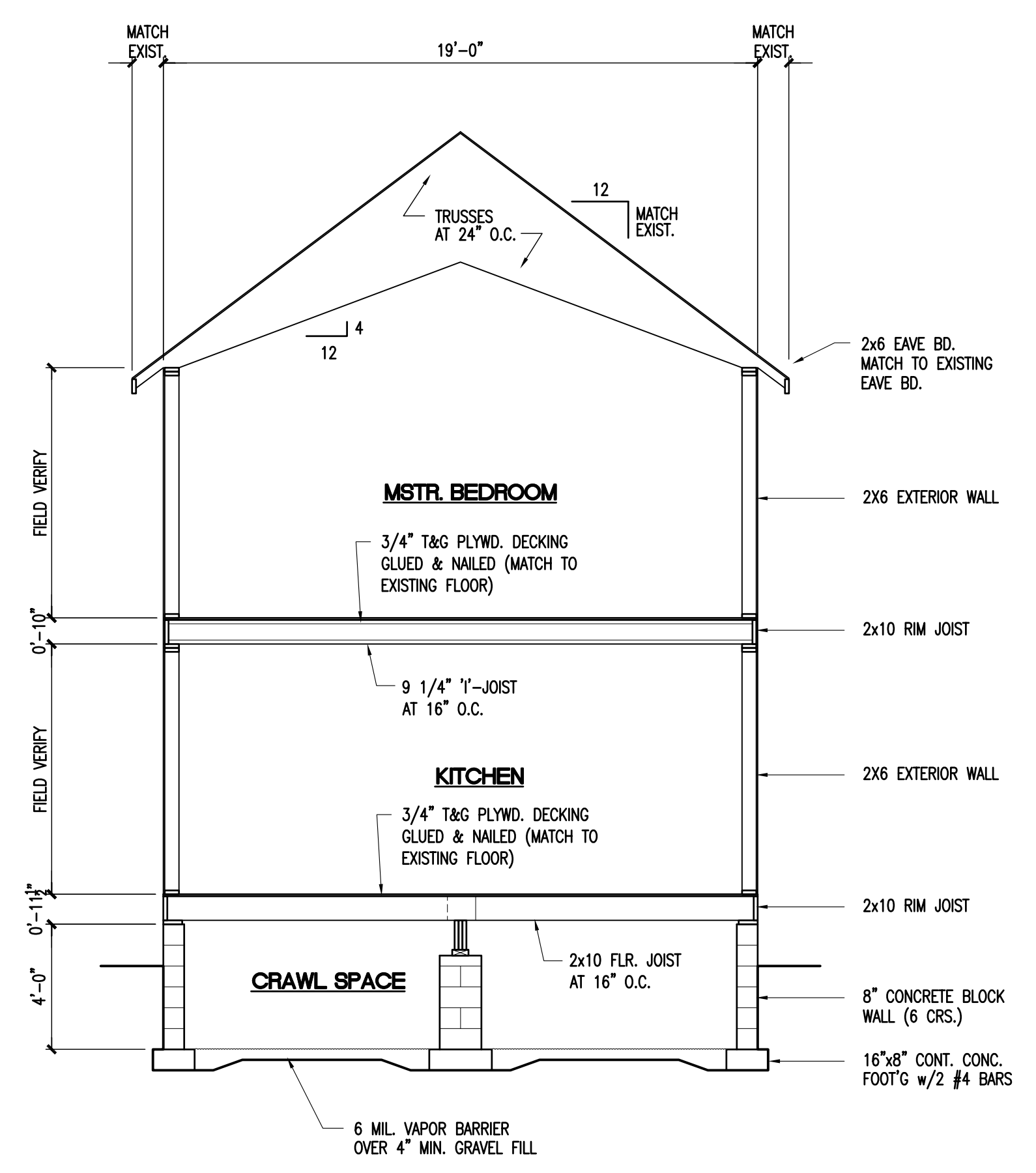
REVISIONS:

DRAWING TITLE:
 BUILDING SECTIONS
 ROOF PLAN
 AND DETAILS

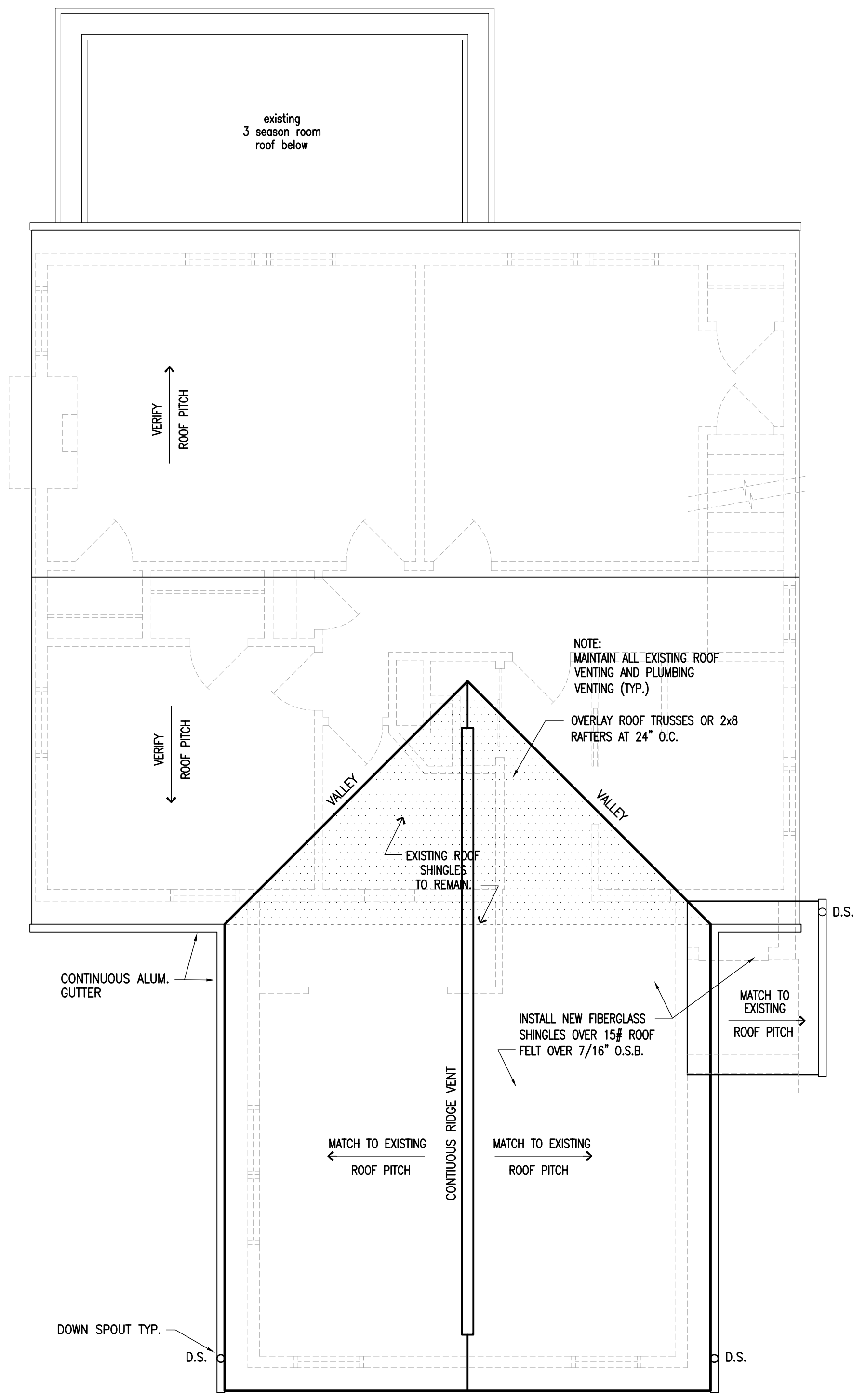
SHEET NUMBER
A401



C TYP. WALL SECTION
 SCALE: 1/2" = 1'-0"



B BUILDING SECTION
 SCALE: 1/4" = 1'-0"



A ROOF PLAN
 SCALE: 1/4" = 1'-0"

EDWARDS RESIDENTIAL DESIGN or Ron Edwards assumes no liability for any home constructed from this plan. Great care and diligence has gone into the preparation of the design and engineering of this plan. However this does not guarantee perfection; the contractor shall verify and be responsible for all conditions on the job. It is recommended that the purchaser of these plans consult a local architect or engineer of your choice, and check with your local code agency prior to start of actual construction. Changes made from these plans without the consent of the designer are unauthorized and shall relieve the designer of responsibility for all consequences arising from such changes. Only a qualified designer, architect, contractor or structural engineer should attempt modifying any portion of this design.

PROJECT
 TAL BENDOR AND
 NATHAN RENDER
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209

JOB SITE:
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209

JOB NUMBER:
 1908

DATE:
 05/12/19

DRAWN:
 R.L.E.

CHECKED:
 STAFF

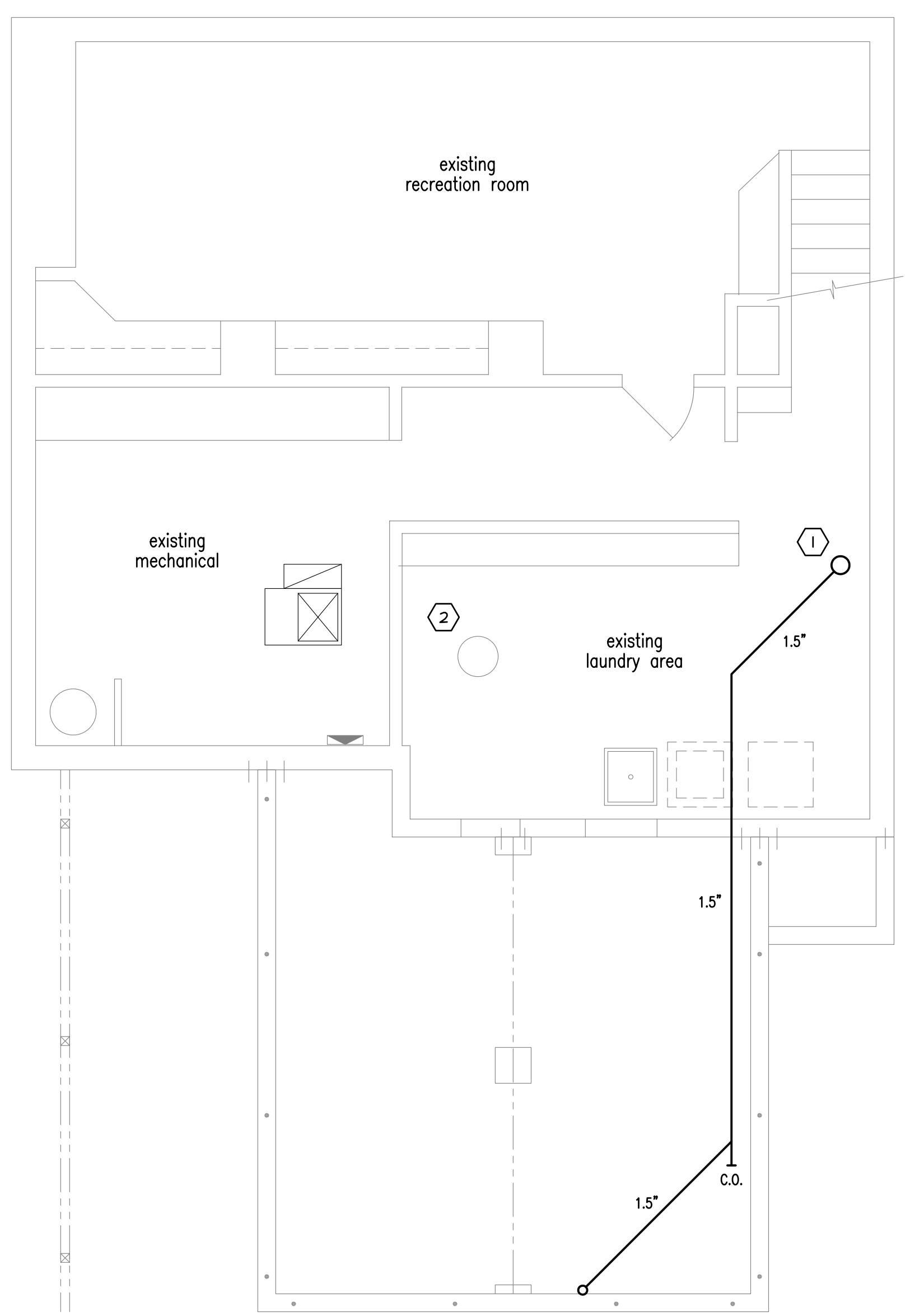
SCALE:
 AS NOTED

REVISIONS:

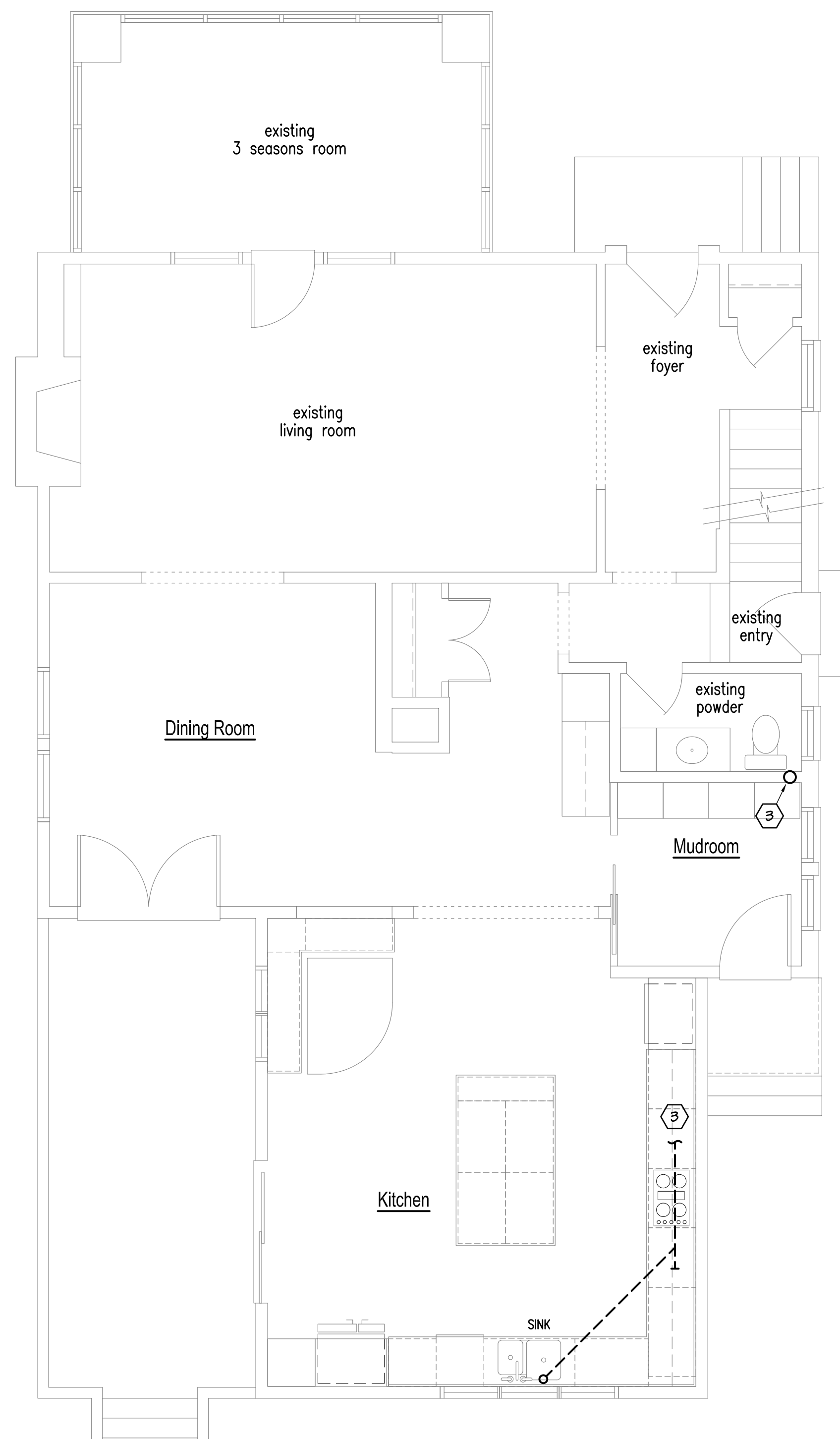
DRAWING TITLE:
 PLUMBING PLAN

SHEET NUMBER

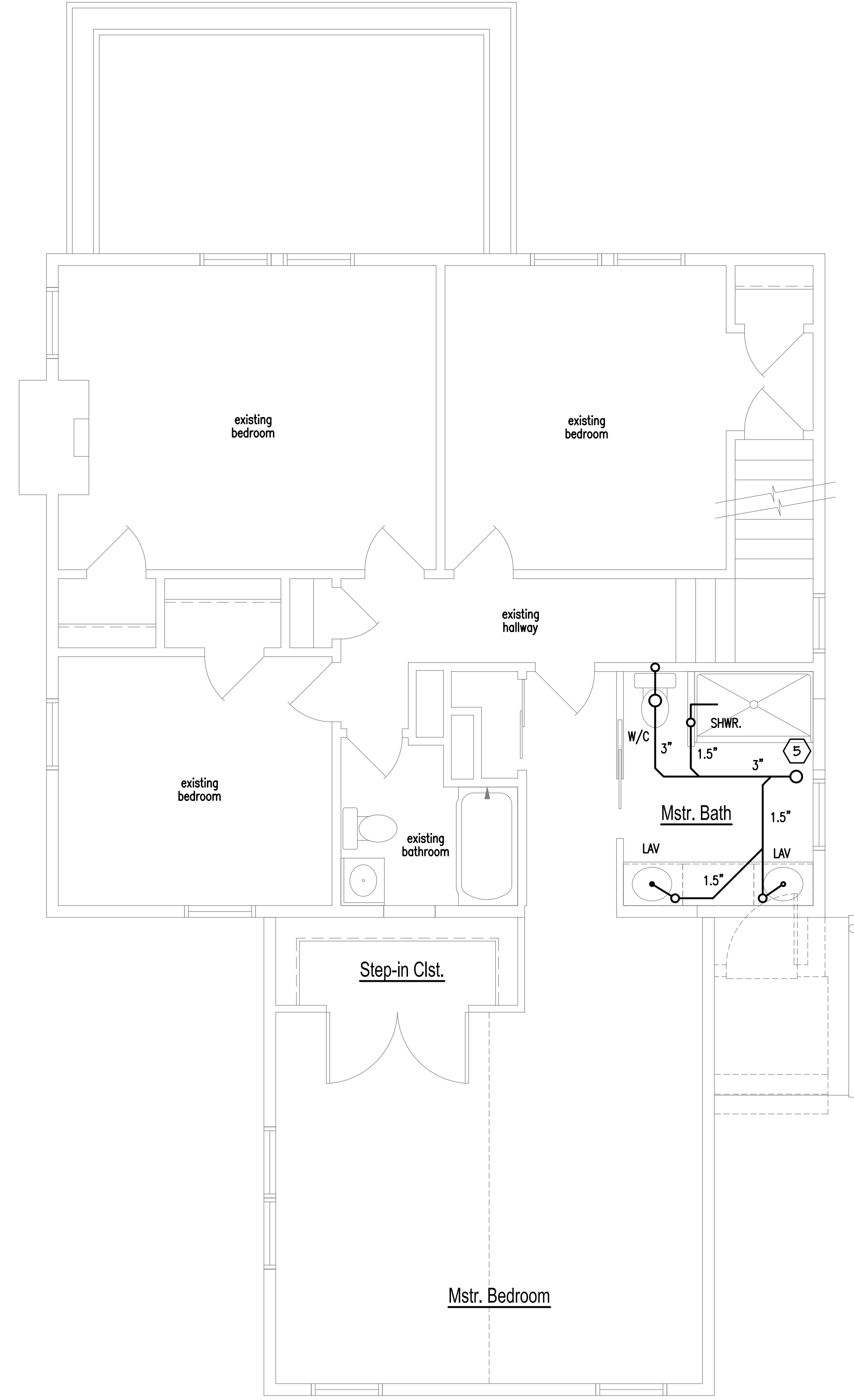
P101



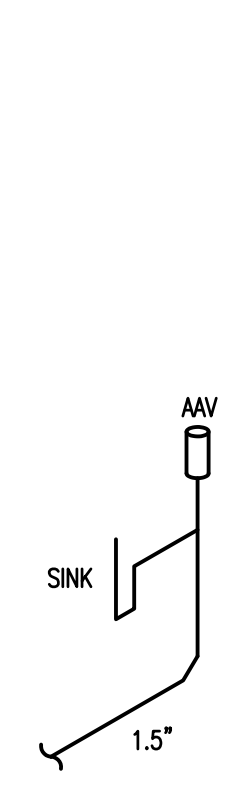
A BASEMENT HVAC PLAN
 SCALE: 1/4" = 1'-0"



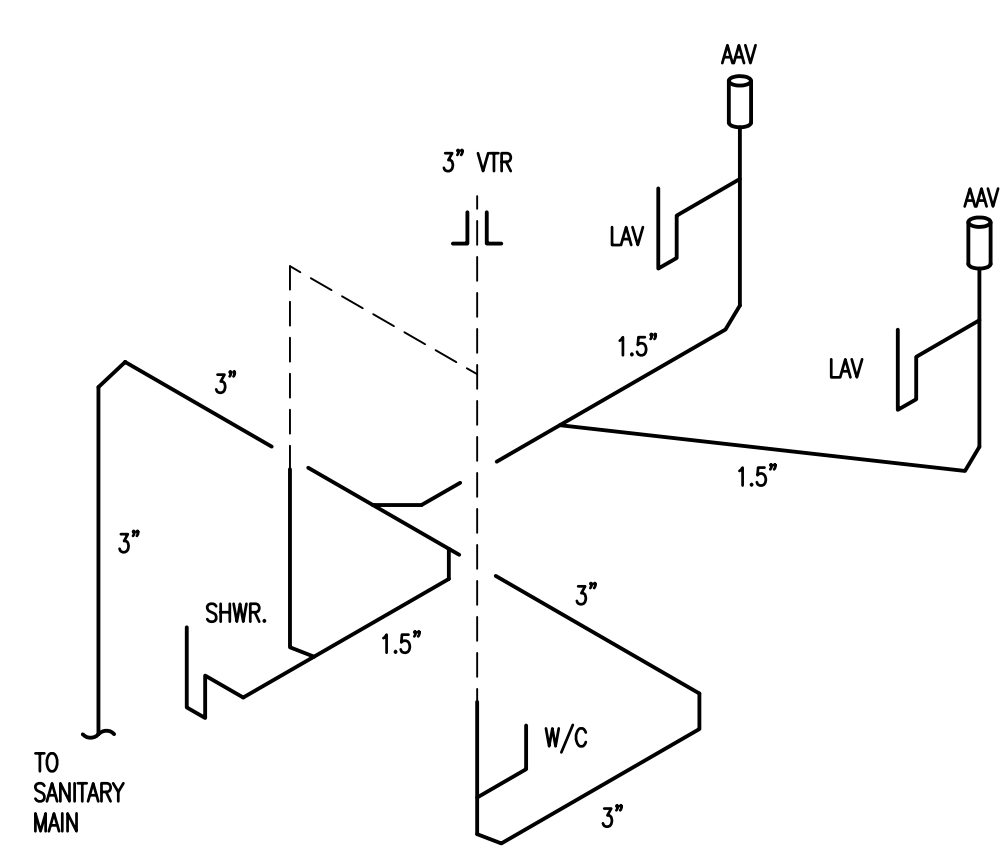
B FIRST FLOOR HVAC PLAN
 SCALE: 1/4" = 1'-0"



C SECOND FLOOR HVAC PLAN
 SCALE: 1/4" = 1'-0"



D SANITARY STACK DIAGRAM
 N.T.S.



E SANITARY STACK DIAGRAM
 N.T.S.

Plan Notes:

- EXISTING SANITARY STACK TO REMAIN.
- EXISTING WATER HEATER TO REMAIN.
- 3" SANITARY STACK DROP FROM FLOOR ABOVE.
- TO EXISTING SANITARY STACK.
- 3" SANITARY STACK DROP.

GENERAL NOTES

- IF PRINTED SHEET IS LESS THAN 36 IN. WIDE BY 24 IN. HIGH USE GRAPHIC SCALE.
- FIELD DETERMINE ALL DIMENSIONS WHICH AFFECT ANY NEW CONSTRUCTION PRIOR TO START OF ANY NEW WORK. IMMEDIATELY NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS; DO NOT PROCEED WITH THAT PORTION OF THE WORK UNTIL ALL DISCREPANCIES HAVE BEEN RESOLVED.
- ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH ALL CITY, COUNTY AND STATE CODES AND LAWS (PC-16) AS THEY APPLY, INCLUDING THE BOARD OF HEALTH.
- UNDERGROUND SANITARY PIPING SHALL BE SCHEDULE 40 PVC PIPE AND FITTINGS
- ABOVE GROUND SANITARY PIPING SHALL BE SCHEDULE 40, PVC PIPING AND FITTINGS EXCEPT IN RETURN AIR PLENUMS WHERE PIPING SHALL BE WRAPPED IN METAL OR PIPING MATERIAL SHALL BE COPPER OR NO-HUB IN ACCORDANCE WITH THE APPLICABLE CODE.
- UNDERGROUND WATER PIPING SHALL BE TYPE K SOFT COPPER INSTALLED WITHOUT FITTING OR COUPLINGS.
- ABOVE GROUND WATER PIPING SHALL BE TYPE L HARD DRAWN COPPER WITH WROUGHT COPPER FITTINGS.
- GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL.
- PROVIDE A COMPLETE AND BALANCED HVAC SYSTEM.

EDWARDS RESIDENTIAL DESIGN or Ron Edwards assumes no liability for any home constructed from this plan. Great care and diligence has gone into the preparation of the design and engineering of this plan. However this does not guarantee perfection; the contractor shall verify and be responsible for all conditions on the job. It is recommended that the purchaser of these plans consult a local architect or engineer of your choice, and check with your local code agency prior to start of actual construction. Changes made from these plans without the consent of the designer are unauthorized and shall relieve the designer of responsibility for all consequences arising from such changes. Only a qualified designer, architect, contractor or structural engineer should attempt modifying any portion of this design.

PROJECT
 TAL BENDOR AND
 NATHAN RENDER
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209

JOB SITE:
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209

JOB NUMBER:
 1908

DATE:
 05/12/19

DRAWN:
 R.L.E.

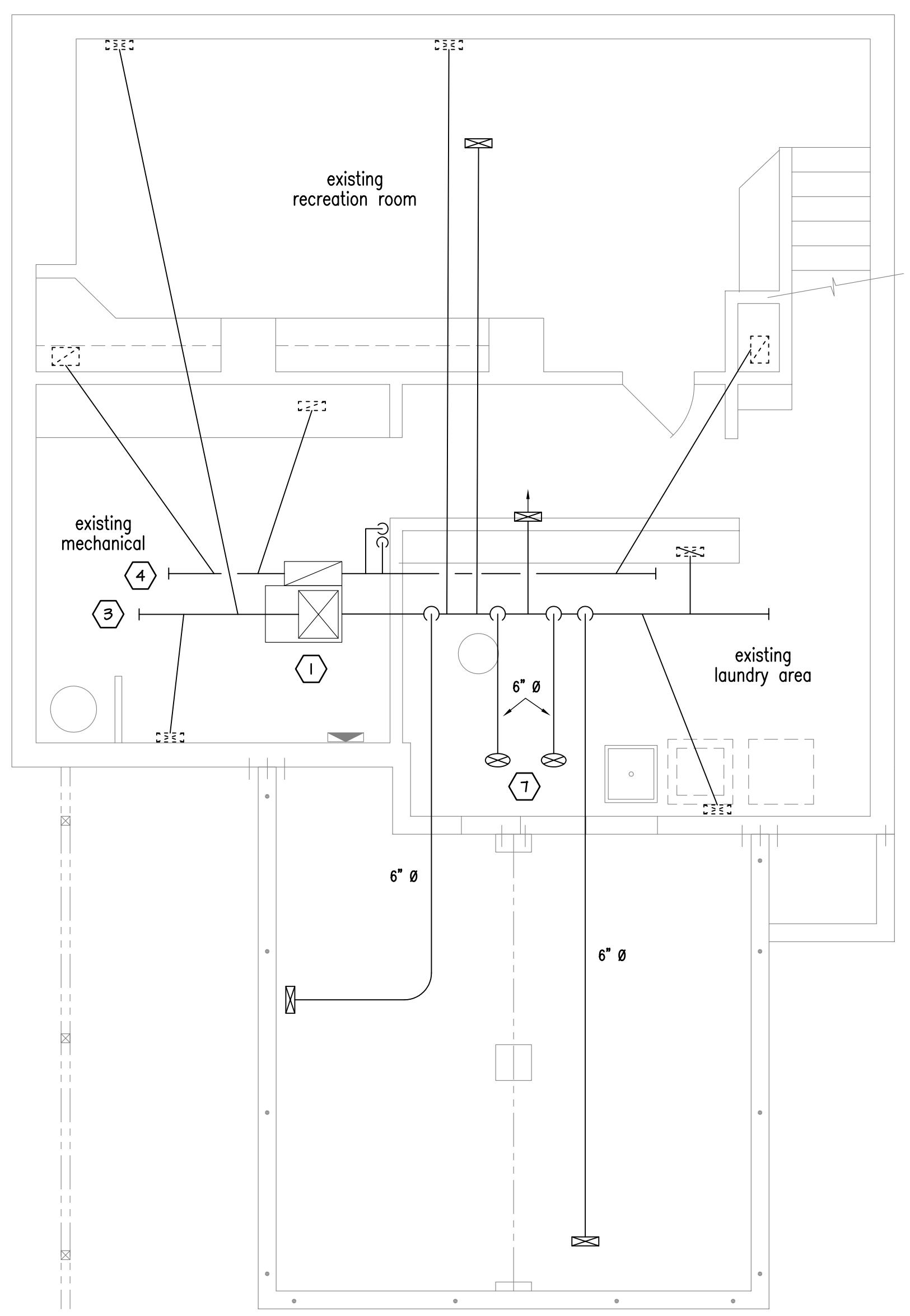
CHECKED:
 STAFF
SCALE:
 AS NOTED

REVISIONS:

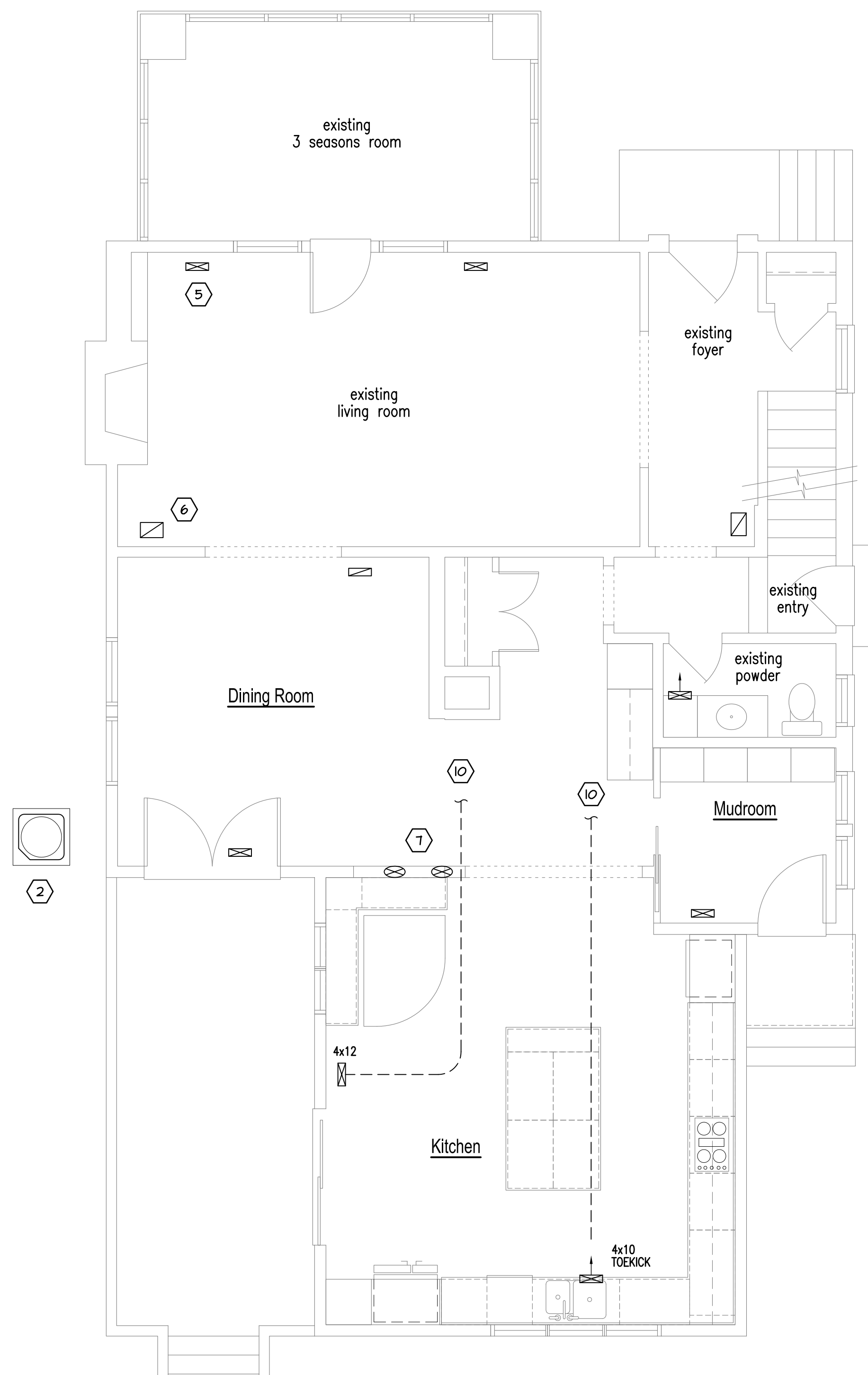
DRAWING TITLE:
 HVAC PLAN

SHEET NUMBER

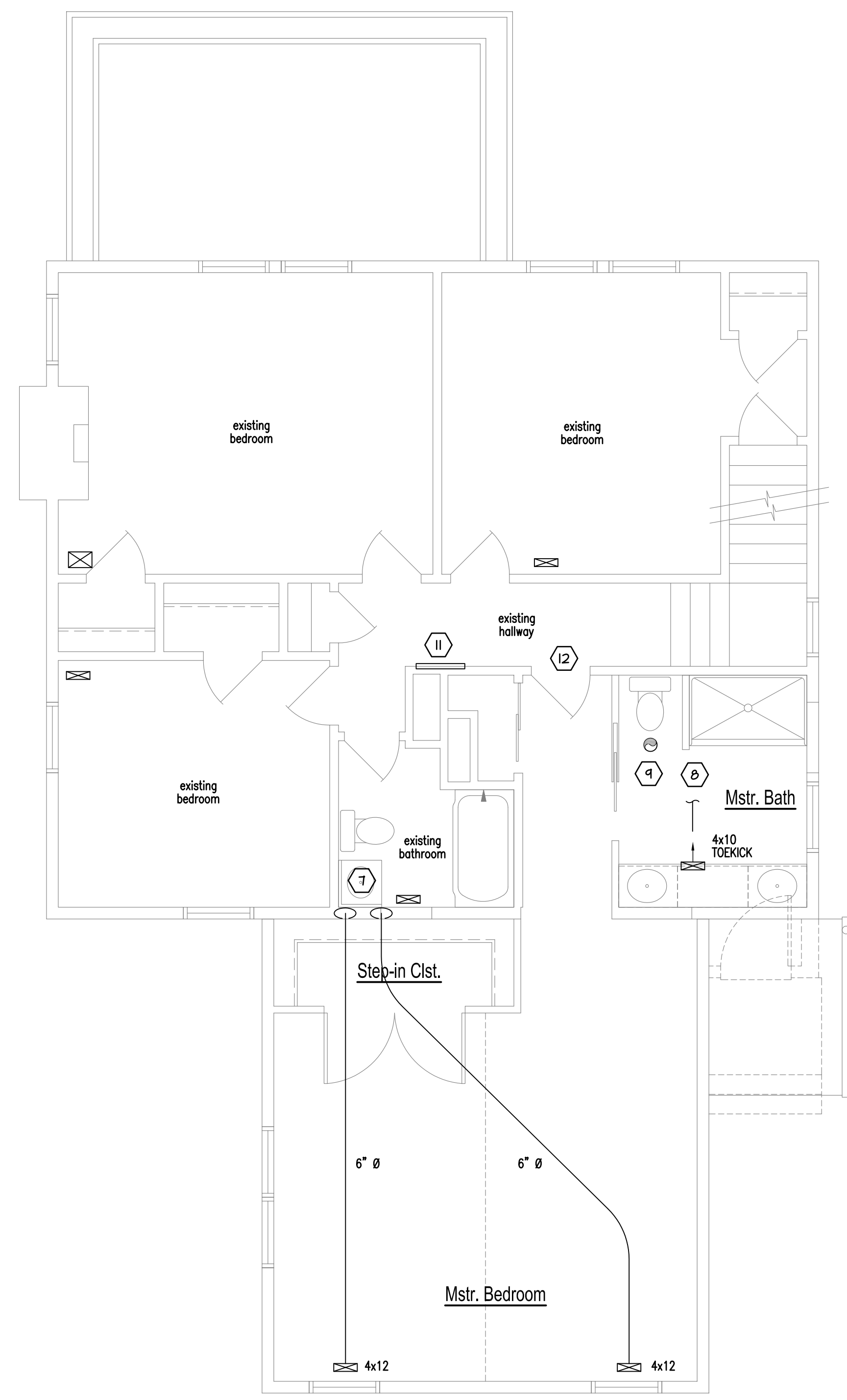
M101



A BASEMENT HVAC PLAN
 SCALE: 1/4" = 1'-0"



B FIRST FLOOR HVAC PLAN
 SCALE: 1/4" = 1'-0"



C SECOND FLOOR HVAC PLAN
 SCALE: 1/4" = 1'-0"

Plan Notes:

1. INSTALL NEW FURNACE IN EXISTING LOCATION.
2. INSTALL NEW AIR CONDITIONER. LOCATION MAY VARY.
3. EXISTING SUPPLY DUCTWORK TO REMAIN, TYPICAL.
4. EXISTING RETURN DUCTWORK TO REMAIN, TYPICAL.
5. EXISTING SUPPLY AIR DIFFUSER TO REMAIN, TYPICAL.
6. EXISTING RETURN AIR GRILLE TO REMAIN, TYPICAL.
7. SUPPLY AIR DUCTWORK TO SECOND FLOOR.
8. INSTALL TOE-KICK SUPPLY AIR DIFFUSER IN VANITY BASE, CONNECT TO EXISTING SUPPLY AIR DUCTWORK.
9. INSTALL 75 CFM EXHAUST FAN, VENTED TO EXTERIOR.
10. CONNECT TO EXISTING SUPPLY AIR DUCTWORK.
11. EXISTING RETURN AIR TO REMAIN.
12. UNDERCUT DOOR 1" TO PROVIDE RETURN AIR.

GENERAL NOTES

1. IF PRINTED SHEET IS LESS THAN 36 IN. WIDE BY 24 IN. HIGH USE GRAPHIC SCALE.
2. FIELD DETERMINE ALL DIMENSIONS WHICH AFFECT ANY NEW CONSTRUCTION PRIOR TO START OF ANY NEW WORK. IMMEDIATELY NOTIFY THE OWNER OR OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES BETWEEN DRAWINGS AND ACTUAL FIELD CONDITIONS; DO NOT PROCEED WITH THAT PORTION OF THE WORK UNTIL ALL DISCREPANCIES HAVE BEEN RESOLVED.
3. NEW AND EXISTING SIZES SHOWN ARE INTERIOR DUCT SIZES.
4. DUCTWORK AND PIPING LAYOUTS SHOWN ARE SCHEMATICALLY DRAWN, THE EXACT LOCATIONS OF ALL DUCTWORK, PIPING, AIR DEVICES, ETC., SHALL BE DETERMINED BY THE STRUCTURE AND THE WORK OF OTHER TRADES.
5. PROVIDE ALL TRANSITIONS, BOOTS, FITTINGS, ETC. AS REQUIRED TO ACHIEVE DUCT/DIFFUSER/REGISTER CONNECTIONS; FIELD VERIFY EXACT REQUIREMENTS PRIOR TO STARTING ANY WORK.
6. FURNISH AND INSTALL WIRES, HANGERS, CLAMPS, AUXILIARY STEEL (SHEETS, BARS, RODS, ETC.), INSERTS, SLEEVES, EXPANSION SHIELDS, AND NECESSARY DEVICES AND COMPONENTS TO SAFELY SUPPORT THE WORK IN ACCORDANCE WITH THE MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS.
7. TOILET ROOM EXHAUST FAN(S) TO BE MIN. CFM CAPACITY AS SHOWN; DUCTING OF FAN TO BE CARRIED TO THE EXTERIOR OF BUILDING; PROVIDE ALL BOOTS, JACKS, DAMPERS, SLEEVES AND FLASHINGS AS REQUIRED FOR A COMPLETE WEATHER-TIGHT ASSEMBLY.
8. PROVIDE A COMPLETE AND BALANCED HVAC SYSTEM.

EDWARDS RESIDENTIAL DESIGN or Ron Edwards assumes no liability for any home constructed from this plan. Great care and diligence has gone into the preparation of the design and engineering of this plan. However this does not guarantee perfection; the contractor shall verify and be responsible for all conditions on the job. It is recommended that the purchaser of these plans consult a local architect or engineer of your choice, and check with your local code agency prior to start of actual construction. Changes made from these plans without the consent of the designer are unauthorized and shall relieve the designer of responsibility for all consequences arising from such changes. Only a qualified designer, architect, contractor or structural engineer should attempt modifying any portion of this design.

PROJECT
 TAL BENDOR AND
 NATHAN RENDER
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209

JOB SITE:
 110 S. STANWOOD ROAD
 COLUMBUS, OHIO 43209

JOB NUMBER:
 1908

DATE:
 05/12/19

DRAWN:
 R.L.E.

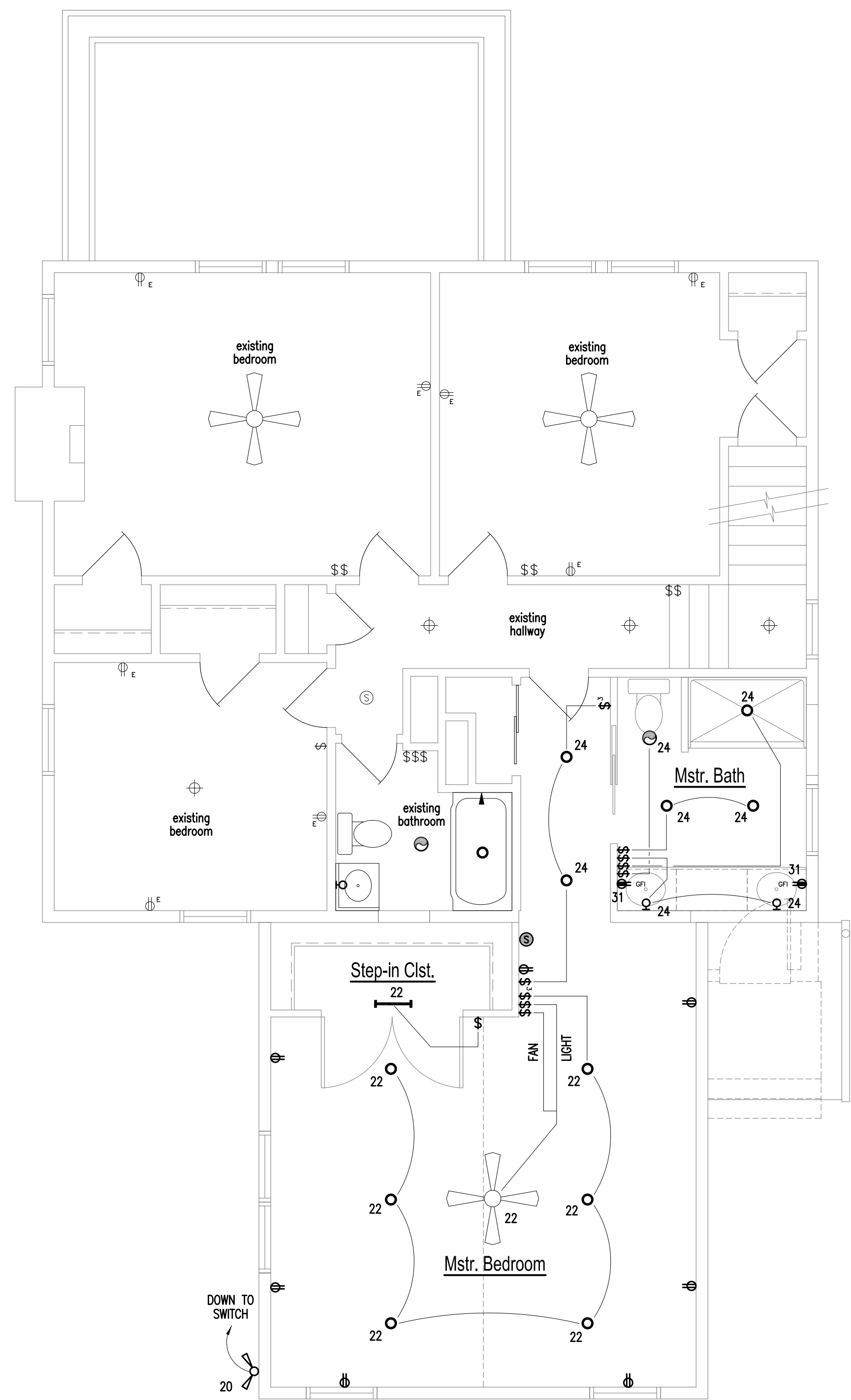
CHECKED:
 STAFF
SCALE:
 AS NOTED

REVISIONS:

DRAWING TITLE:
 ELECTRICAL PLAN

SHEET NUMBER

E101



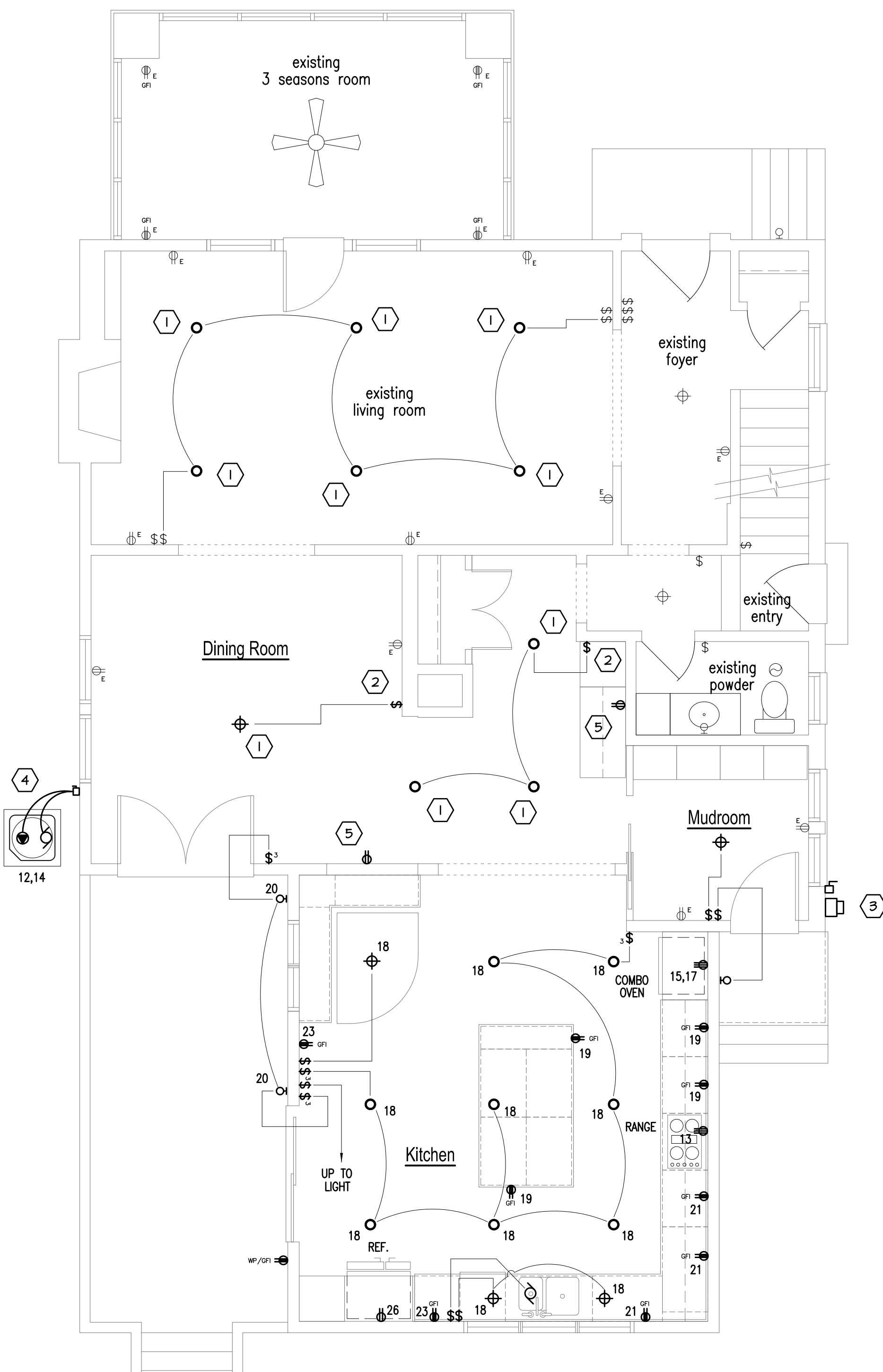
C SECOND FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

Plan Notes:

1. INSTALL NEW LIGHT FIXTURE MAINTAIN EXISTING CIRCUIT.
2. INSTALL NEW SINGLE POLE SWITCH AT NE LOCATION AS SHOWN.
3. RE-LOCATE EXISTING METER CENTER AND DISCONNECT AS SHOWN. COORDINATE WITH THE LOCAL ELECTRIC SERVICE PROVIDER.
4. INSTALL NEW AIR CONDITIONER AND DISCONNECT, LOCATION MAY VARY.
5. INSTALL NEW CONVENIENCE OUTLET ON EXISTING CIRCUIT IN LOCATION AS SHOWN.
6. INSTALL NEW 200A, 42 SP., 120/240V. ELECTRIC PANEL.
7. PROVIDE NEW SERVICE ENTRANCE CABLE IN 2" CONDUIT TO NEW ELECTRIC PANEL. COORDINATE WIRE SIZE WITH LOCAL ELECTRIC SERVICE PROVIDER.
8. WIRE NEW FURNACE IN EXISTING LOCATION.
9. EXISTING WATER HEATER MAINTAIN EXISTING CIRCUIT.
10. EXISTING SUMP PUMP, MAINTAIN EXISTING CIRCUIT.

Electrical Notes:

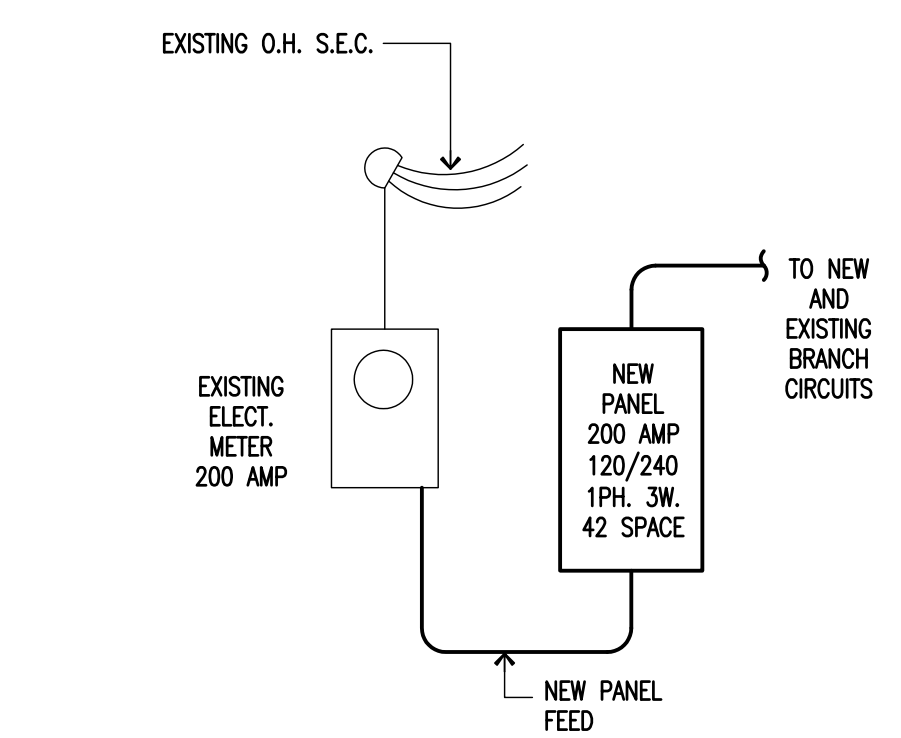
1. ALL EQUIPMENT SHALL BEAR THE U.L. LABEL AND BE INSTALLED ACCORDING TO THE LATEST EDITION OF THE NEC.
2. ALL NEW WIRE SHALL BE COPPER UNLESS OTHERWISE NOTED ON THE DRAWINGS. WIRES SHALL BE SIZED ACCORDING TO NEC ARTICLE 310-15.
3. ALL NEW WIRING SHALL BE INSTALLED ROMEX SIZED ACCORDING TO NEC CHAPTER 9, TABLE 1. NON-METALLIC CONDUIT SHALL BE ACCEPTABLE BELOW GRADE OR IN SLAB. MC CABLE IS ACCEPTABLE IN CONCEALED LOCATIONS.
4. ALL NEWLY INSTALLED OUTLET, SWITCH AND JUNCTION BOXES SHALL COMPLY WITH NEC ARTICLE 370 AND BE SIZED ACCORDING TO TABLE 370-6(3).
5. ALL NEW SPICES SHALL BE MADE ONLY AT ACCEPTABLE LOCATIONS, OUTLET BOXES, PANEL BOARDS, JUNCTION BOXES, ETC. TERMINAL CONNECTIONS AND SPICES IN ALL WIRE #6 AND LARGER SHALL BE MADE WITH APPROVED SOLDERLESS CONNECTORS, PROPERLY INSULATED AND TAPED WHERE NECESSARY. IN SMALLER WIRES ALL SPICES SHALL BE MADE EITHER WITH APPROVED SOLDERLESS CONNECTORS OR SHALL BE SOLDERED AND TAPED AS REQUIRED TO INSURE PROPER INSULATION.
6. ELECTRICAL WIRING, EQUIPMENT AND INSTALLATION SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL CODE AGENCIES: NFPA STANDARD NO. 70 AND THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC).
7. INSTALL ALL ELECTRICAL APPLIANCES PER MANUFACTURERS DATA & VERY EXACT REQUIREMENTS.
8. ALL OUTLETS WITHIN SIX FEET OF KITCHEN SINK, BATHROOM SINK AND GARAGE LOCATIONS ARE TO BE G.F.C.I.
9. ALL NEW SMOKE DETECTORS TO BE INTERCONNECTED w/ 110v AND BATTERY BACKUP.
10. ALL RECEPTACLES IN BEDROOM SHALL BE PROTECTED WITH AFCI SWELLING UNITS, EXCEPT KITCHENS, BATHROOMS GARAGES AND BASEMENTS PER NEC 210.12(A).
11. COMBINATION-TYPE AFCI-PROTECTIVE DEVICES ARE REQUIRED IN ALL DWELLING UNITS, EXCEPT KITCHENS, BATHROOMS GARAGES AND BASEMENTS PER NEC 210.12(A).



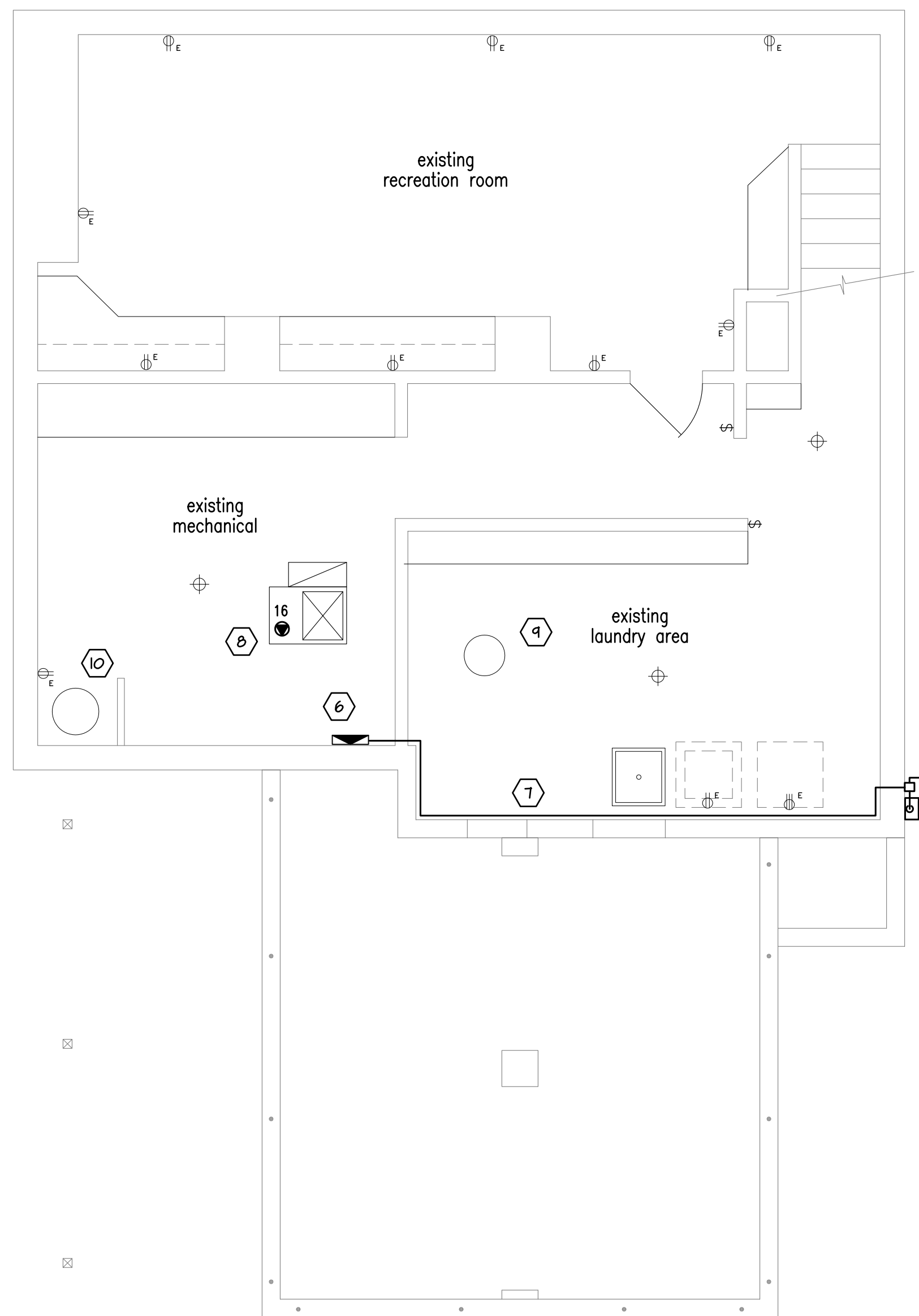
B FIRST FLOOR ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

Electrical Symbols

- ⊕ CEILING MOUNTED LIGHT FIXTURE.
- ⊖ WALL MOUNTED LIGHT FIXTURE.
- RECESSED CAN LIGHT FIXTURE.
- ⊙ RECESSED EYEBALL CAN LIGHT FIXTURE.
- ⊕ CEILING FAN/LIGHT FIXTURE.
- ⊕ SECURITY LIGHT FIXTURE.
- ⊕ NEW SINGLE POLE WALL SWITCH (46" M.H.)
- ⊕ NEW SINGLE POLE THREE-WAY WALL SWITCH (46" M.H.)
- ⊕ NEW 110v DUPLEX RECEPTACLE
- ⊕ NEW 110v DUPLEX GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE
- ⊕ NEW 110v DUPLEX GROUND FAULT CIRCUIT INTERRUPTER RECEPTACLE WITH WATER PROOF BOX.
- ⊕ NEW 220v RECEPTACLE
- ⊕ SPECIAL PURPOSE ELECTRICAL CONNECTION
- ⊕ PHONE JACK
- ⊕ DATA PORT
- ⊕ CATV JACK
- ⊕ MOTOR
- ⊕ DISCONNECT
- ⊕ INSTALL NEW EXHAUST FAN.
- ⊕ INSTALL NEW EXHAUST FAN/LIGHT.
- ⊕ SMOKE DETECTOR



D electrical riser diagram
 SCALE: N.T.S.



A BASEMENT ELECTRICAL PLAN
 SCALE: 1/4" = 1'-0"

NOTE:
 INSTALL NEW 200A, 42 SPACE MAIN PANEL.
 MAINTAIN EXISTING CIRCUITS
 ADD NEW CIRCUITS AS SHOWN.

DESIGNATION "A"		MCB		VOLTAGE 120/240		1 PHASE 3 WIRE		200A MCB	
LOAD DESCRIPTION	WIRE	BREAKER	CKT.	A	B	CKT.	BREAKER	WIRE	LOAD DESCRIPTION
EXIST. LIGHT/RECEPT	---	---	1	⊕	⊕	2	---	---	EXIST. LIGHT/RECEPT
EXIST. LIGHT/RECEPT	---	---	3	⊕	⊕	4	---	---	EXIST. LIGHT/RECEPT
EXIST. LIGHT/RECEPT	---	---	5	⊕	⊕	6	---	---	EXIST. LIGHT/RECEPT
EXIST. LIGHT/RECEPT	---	---	7	⊕	⊕	8	---	---	EXIST. LIGHT/RECEPT
EXISTING DRYER	---	40	9	⊕	⊕	10	---	---	EXIST. LIGHT/RECEPT
GAS RANGE	12	20	13	⊕	⊕	14	30	10	AIR COND.
COMBO OVEN	8	40	15	⊕	⊕	16	20	12	FURNACE
KITCHEN RECEPT	12	20	19	⊕	⊕	20	20	12	KIT. LIGHTING
KITCHEN RECEPT	12	20	21	⊕	⊕	22	20	12	EXTERIOR LIGHTING
KITCHEN RECEPT	12	20	23	⊕	⊕	24	20	12	BEDROOM LIGHTING
RECEPTACLES	12	20	25	⊕	⊕	26	20	12	BATHROOM LIGHTING
RECEPTACLES	12	20	27	⊕	⊕	28	20	12	REFRIGERATOR
BATHROOM GFI REC.	12	20	29	⊕	⊕	30	---	---	
EXTERIOR GFI REC.	12	20	31	⊕	⊕	32	---	---	
			33	⊕	⊕	34	---	---	
			35	⊕	⊕	36	---	---	
			37	⊕	⊕	38	---	---	
			39	⊕	⊕	40	---	---	
			41	⊕	⊕	42	---	---	

- NOTES:**
1. ELECTRIC CONTRACTOR TO BALANCE NEW CIRCUITS IN EXISTING ELECTRICAL PANEL.
 2. EXISTING AND NEW CIRCUITS NOT TO EXCEED ELECTRICAL LOAD RATING FOR EXISTING PANEL.

CUSTOMER INFORMATION:

PLOT PLAN FOR: TALBENDOR & NATHAN RENDER
110 S. STANWOOD ROAD
COLUMBUS, OH 43209

PROJECT INFORMATION:

ADDRESS: 110 S. STANWOOD ROAD
COLUMBUS, OH 43209

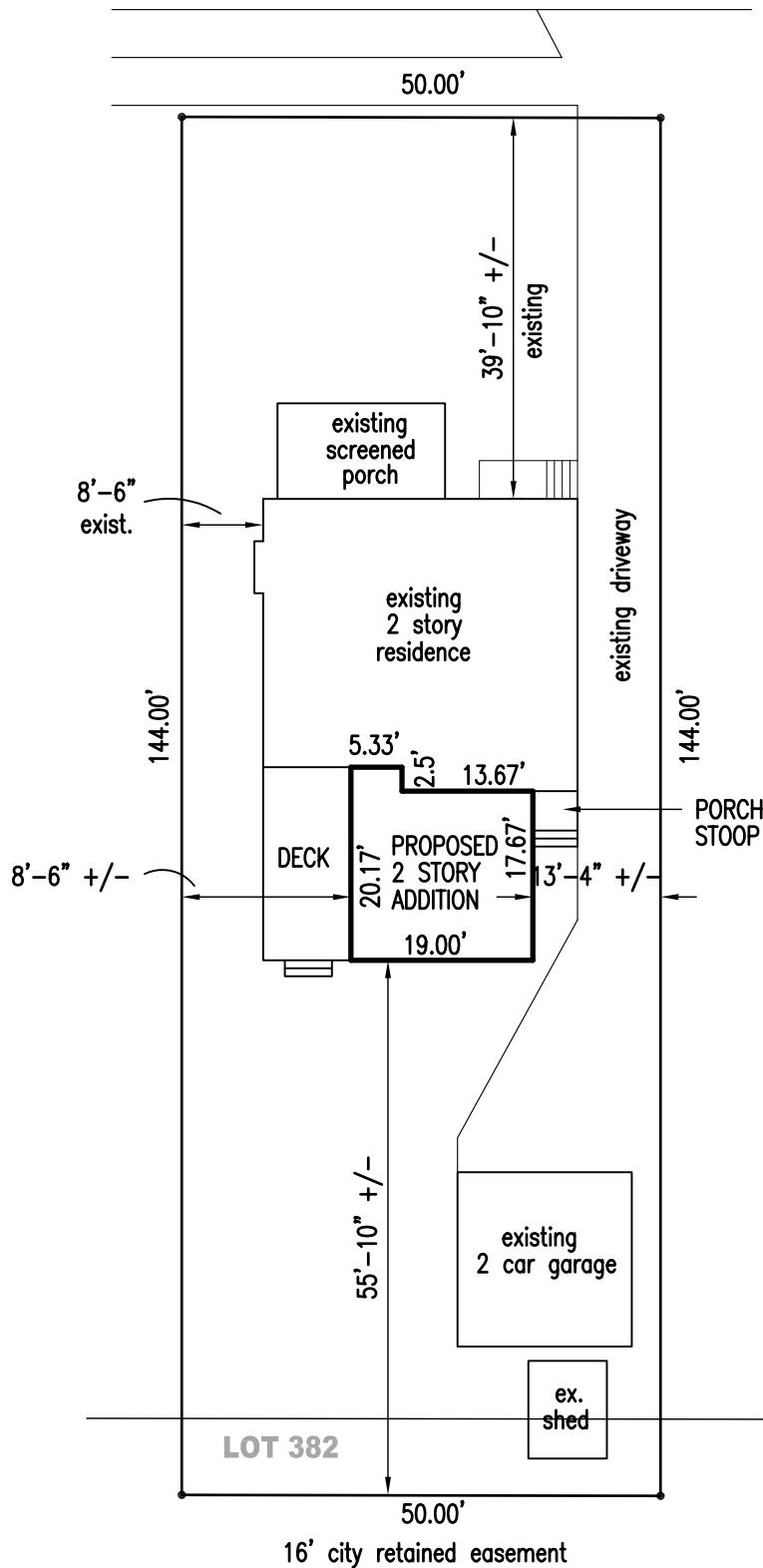
LOT NUMBER: 382

SUB DIV.: ARDMORE #2

ZONED: R

PARCEL No.: 020-000974-00

S. Stanwood Road



PLOT PLAN

SCALE: 1" = 20'

110 S. Stanwood Rd. - Front (West)



110 S. Stanwood Rd. - Back (East)



110 S. Stanwood Rd. - Side (South)



110 S. Stanwood Rd. - Side (North)

