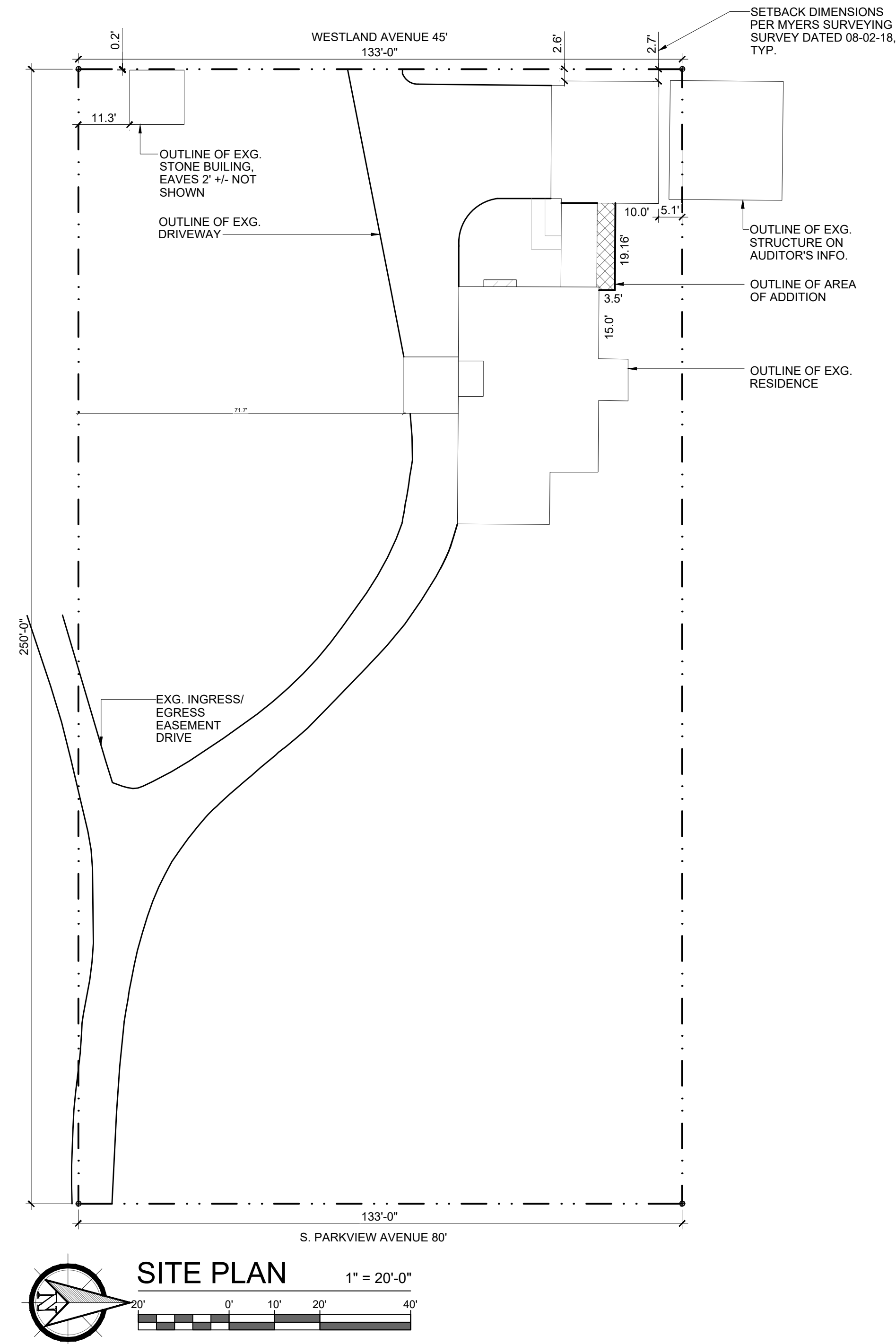


BEXLEY ZONING: R3

YARD CALCULATIONS:
 TOTAL LOT SQUARE FOOTAGE = 33,250 S.F.
 BUILDING MAX. 25% = 8,312.5 SQ. FT.
 OVERALL MAX. 50% = 16,625.0 SQ. FT.
 PROPOSED BUILDING SQ. FT. = 2,713.6, W/ DETACHED STRUC.
 EXISTING DRIVEWAY SQ. FT. = 3,987.3
 EXISTING PATIOS & WALKS SQ. FT. = 44.3 SQ. FT.
 TOTAL YARD MAX. 50% = 16,625.0 SQ. FT.
 TOTAL COVERAGE = 6,745.2 SQ. FT. = COMPLIES



SITE PLAN NOTES:

BUILDER TO MAINTAIN A MINIMUM GRADE OF 6" OF FALL IN THE FIRST 10' AWAY FROM THE HOUSE.
 BUILDER TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL AS REQUIRED DURING ALL PHASES OF CONSTRUCTION.
 FINAL GRADING TO BE DETERMINED BY THE GENERAL CONTRACTOR. FIELD VERIFY ALL GRADING WITH OWNER. NOTIFY SBA STUDIOS, LLC IN WRITING IF GRADING IS DIFFERENT THAN EXTERIOR HOUSE ELEVATIONS INDICATE ON DRAWINGS.

THIS SITE PLAN WAS PREPARED WITH INFORMATION PROVIDED BY THE CLIENT & DATA OBTAINED FROM MUNICIPALITY OR COUNTY GIS. THIS SITE PLAN IS TO BE USED BY THE CLIENT FOR THE SOLE PURPOSE OF OBTAINING A BUILDING PERMIT. ALL GRADES, LOCATIONS, AND INFORMATION PROVIDED WITHIN TO BE VERIFIED BY THE GENERAL CONTRACTOR & SURVEYOR PRIOR TO PROVIDING ANY SERVICES AT THIS LOCATION. THE USE OF THIS SITE PLAN FOR ANY OTHER PURPOSE BEYOND OBTAINING A BUILDING PERMIT FOR PLANS PROVIDED BY SBA-STUDIOS, LLC IS PROHIBITED.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
 BEXLEY, OHIO



SCALE: 1" = 20'-0"

SHEET # / DESCRIPTION

SITE PLAN

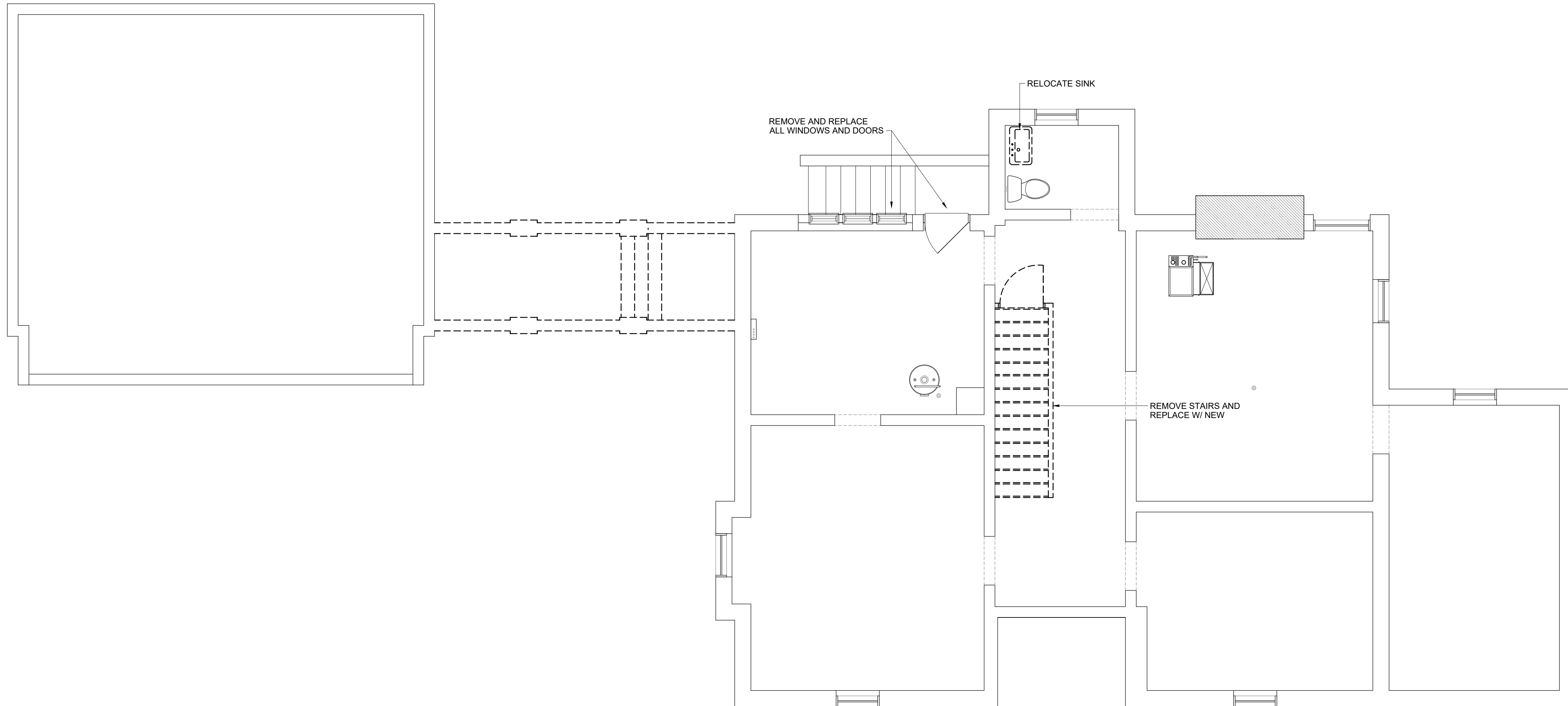
A0-1

DATE: 01.16.2019

DESIGN REVIEW SUBMISSION

SBA STUDIOS PROJECT # 2018-428

SCOTT BAKER, LICENSE #14654
 EXPIRATION DATE 12/31/2019



DEMOLITION NOTES

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DEMOLITION WALL LEGEND

- EXISTING WALL TO REMAIN
- - - EXISTING WALL / ITEMS TO BE REMOVED

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"

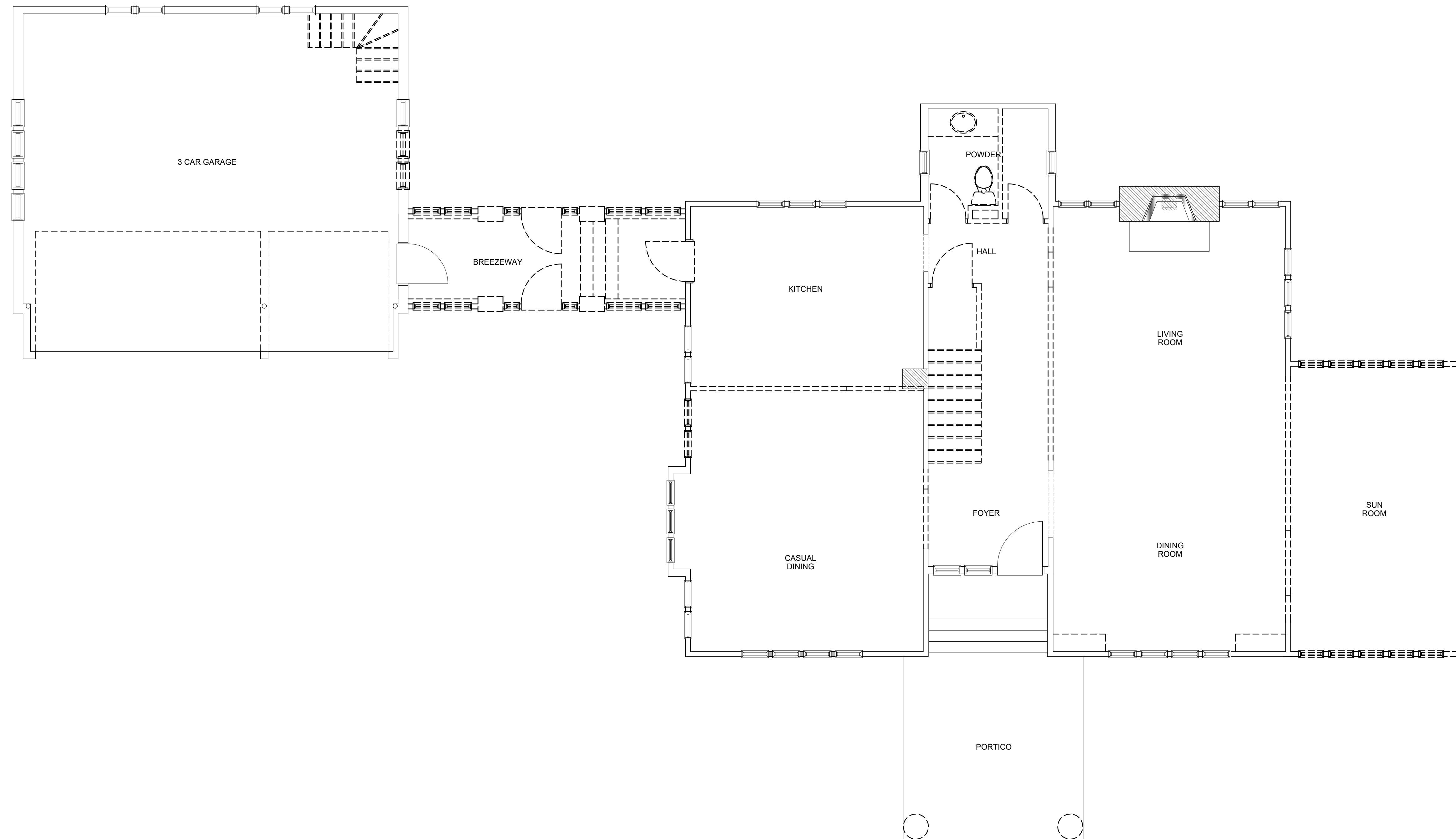
SHEET # / DESCRIPTION
FOUNDATION
DEMOLITION PLAN

D1-0

DATE: 01.16.2019
DESIGN REVIEW SUBMISSION

SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2019

SBA STUDIOS PROJECT # 2018-428



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DEMOLITION WALL LEGEND

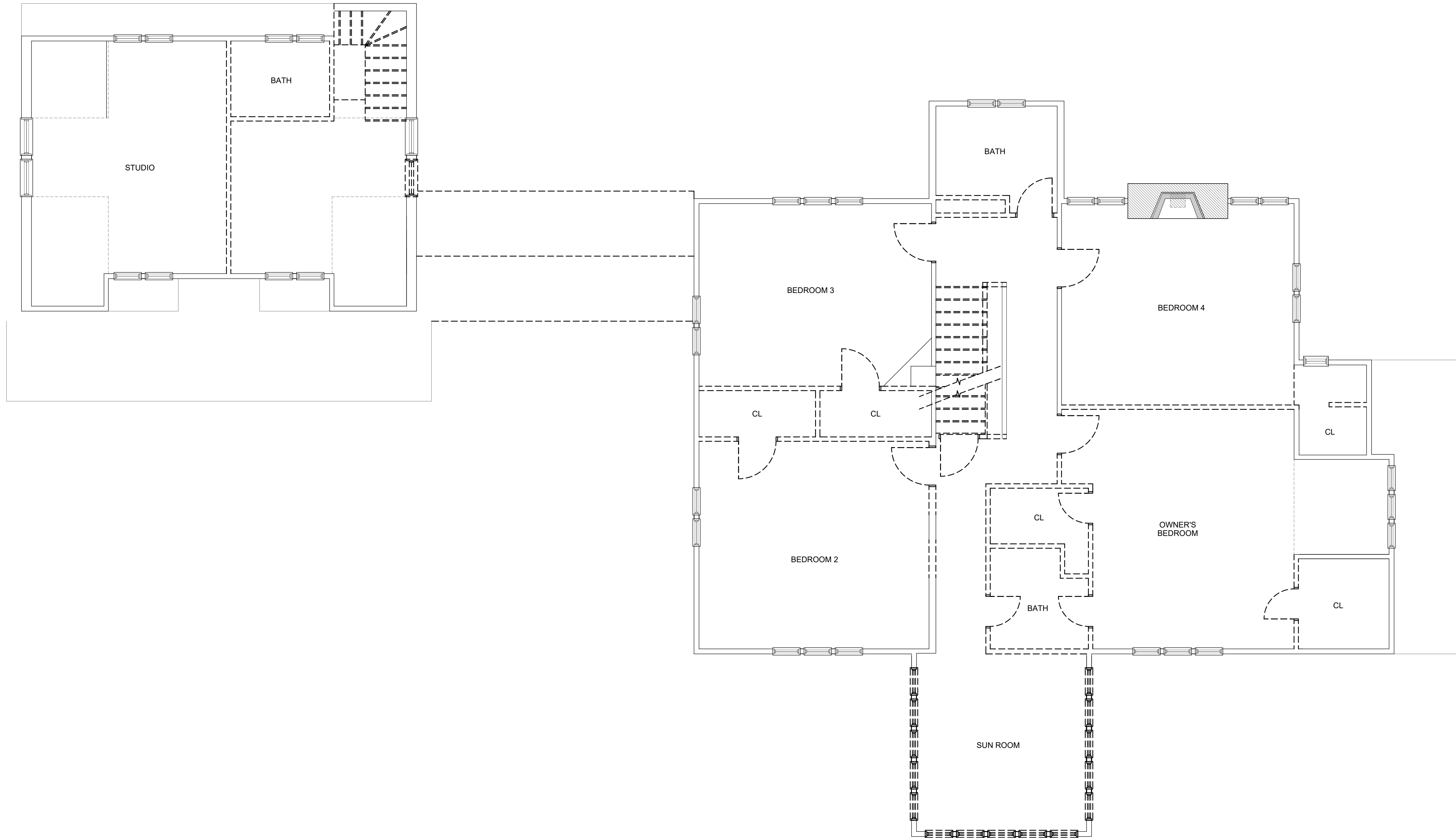
- EXISTING WALL TO REMAIN
- - - EXISTING WALL / ITEMS TO BE REMOVED

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
FIRST FLOOR DEMO. PLAN
D1-1
DATE: 01.16.2019
DESIGN REVIEW SUBMISSION
SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2019
SBA STUDIOS PROJECT # 2018-428



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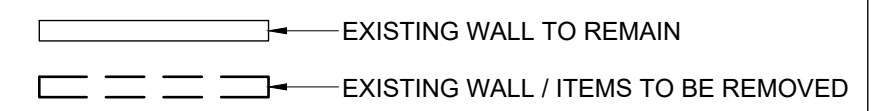
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DEMOLITION WALL LEGEND



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387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"

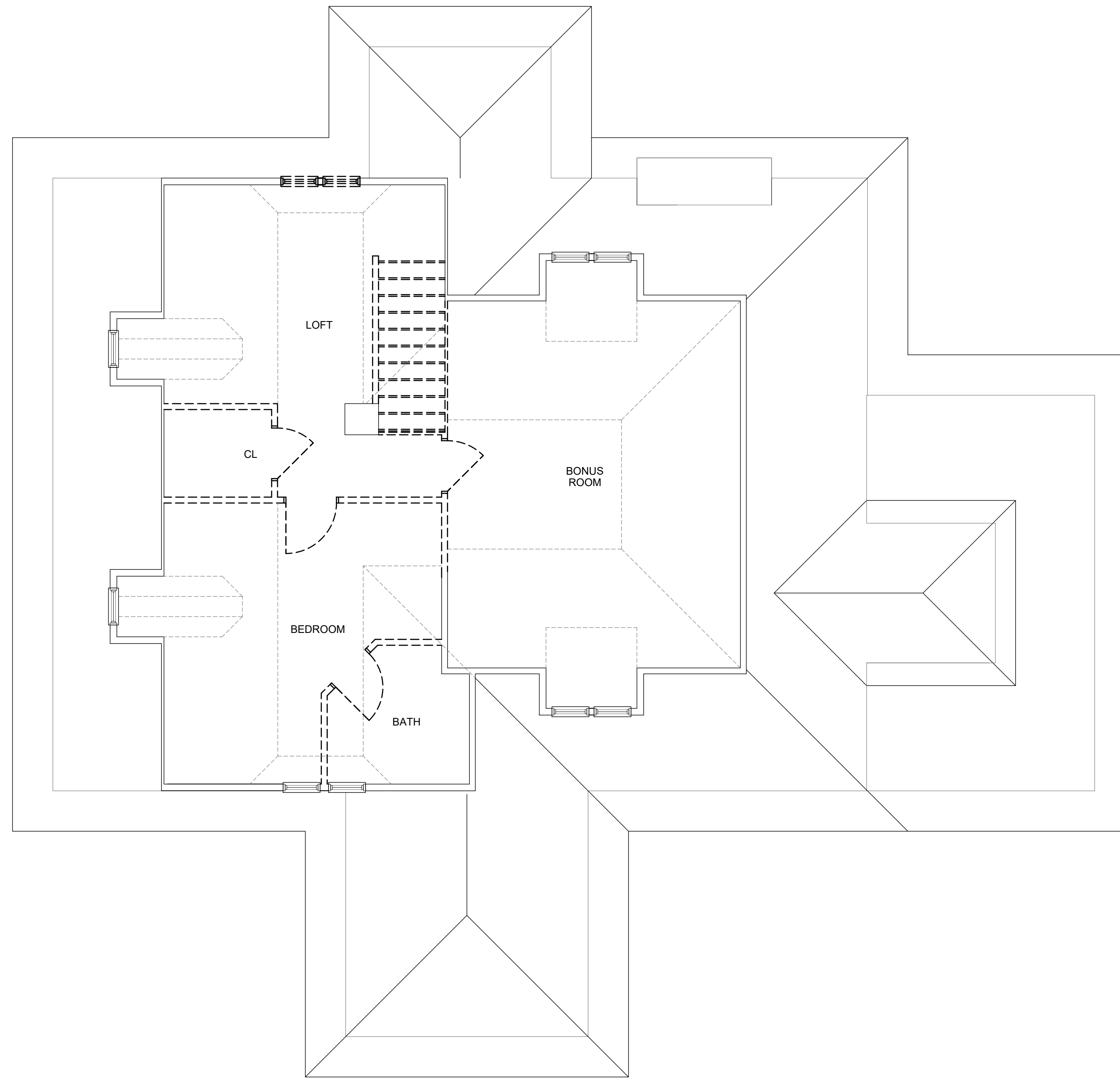
SHEET # / DESCRIPTION
SECOND FLOOR
DEMOLITION PLAN

D1-2

DATE: 01.16.2019
DESIGN REVIEW SUBMISSION

SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2019

SBA STUDIOS PROJECT # 2018-428



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DEMOLITION WALL LEGEND

- EXISTING WALL TO REMAIN
- - - EXISTING WALL / ITEMS TO BE REMOVED

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"

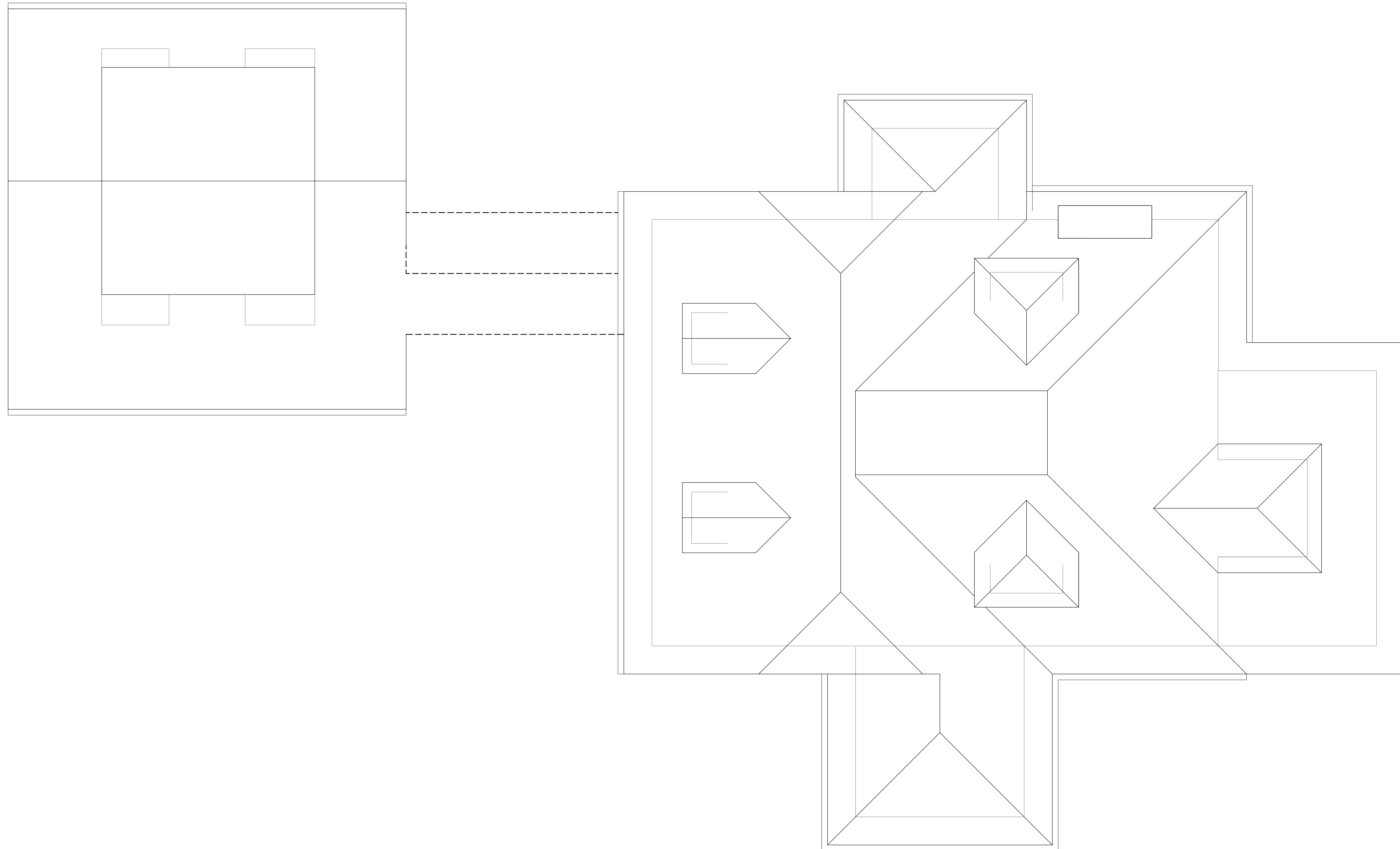
SHEET # / DESCRIPTION
THIRD FLOOR
DEMOLITION PLAN

D1-3

DATE: 01.16.2019
DESIGN REVIEW SUBMISSION

SCOTT B. BAKER, LICENSE #14654
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SBA STUDIOS PROJECT # 2018-428



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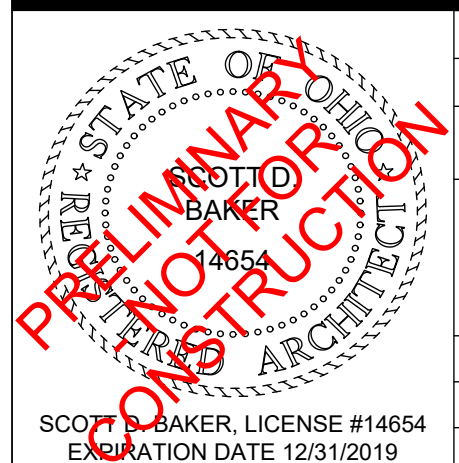
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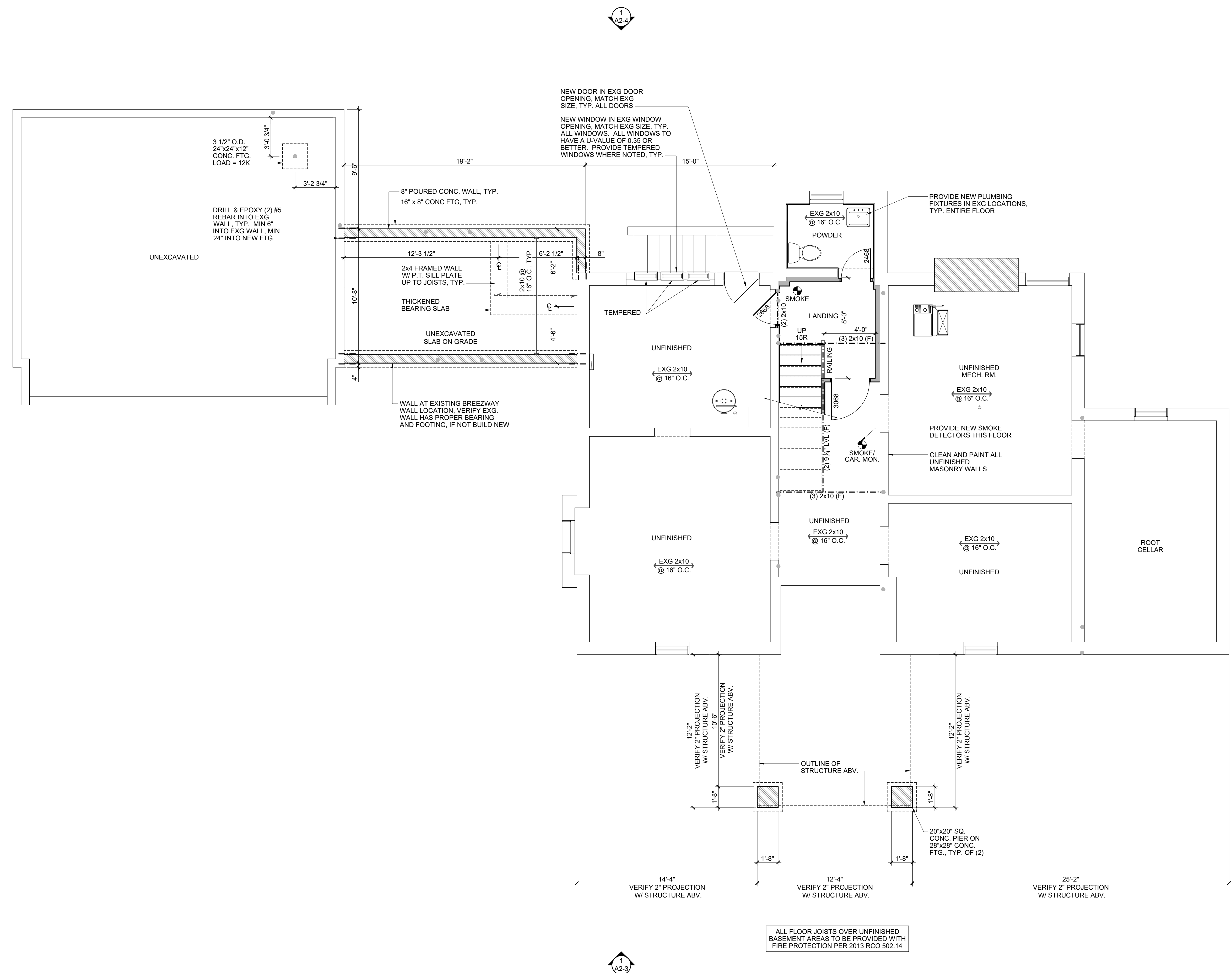
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387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
ROOF DEMOLITION PLAN
D1-4
DATE: 01.16.2019
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SBA STUDIOS PROJECT # 2018-428

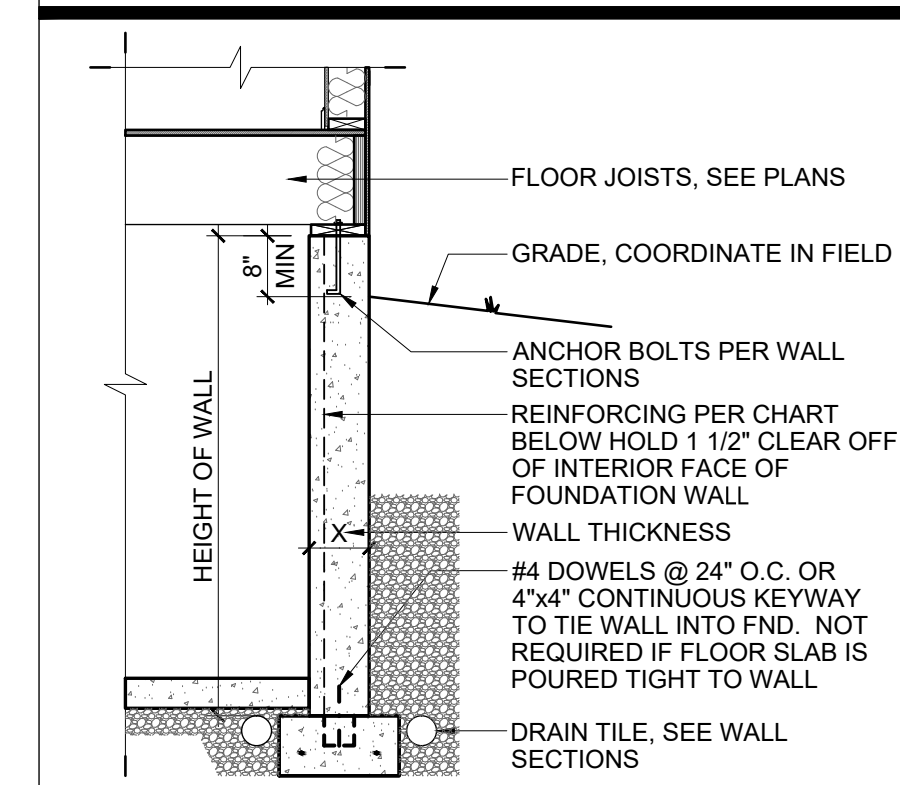




FOUNDATION NOTES

1. ALL 8" FOUNDATION WALLS SHALL HAVE A MINIMUM 16" x 8" CONTINUOUS POURED CONCRETE FOOTING. SEE WALL SECTIONS.
2. CONTRACTOR TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION (BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION).
3. CEILING HEIGHTS IN BASEMENTS SHALL NOT BE LESS THAN 7'-6" CLEAR, EXCEPT UNDER BEAMS, DUCTS OR OTHER OBSTRUCTIONS WHERE THE CLEAR HEIGHT SHALL BE 6'-8" MINIMUM.
4. ALL PREFABRICATED CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE 8" MINIMUM BEARING AT EACH END.
5. REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION.

FOUNDATION WALL REINFORCING



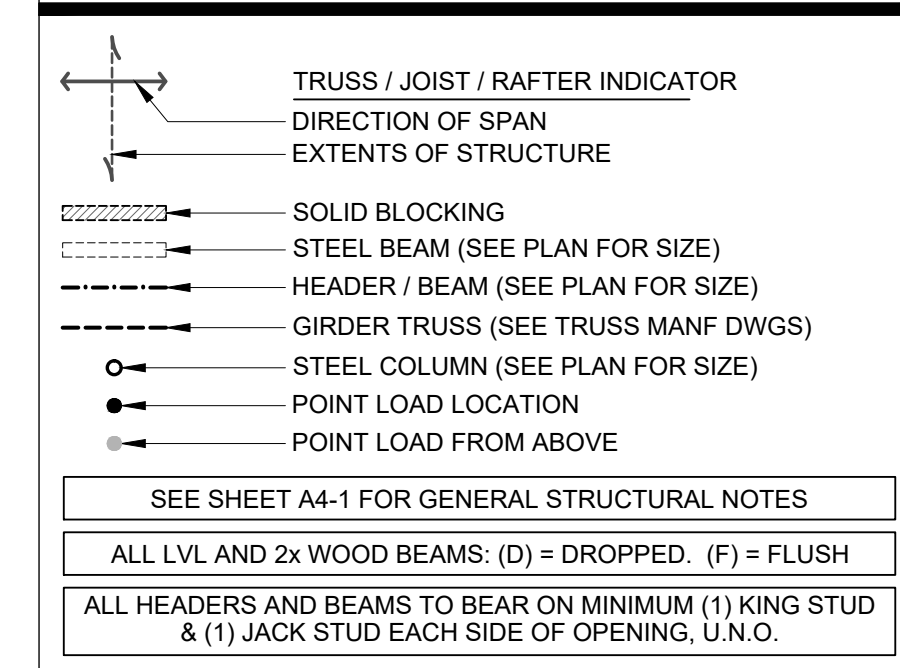
MINIMUM HORIZONTAL REINFORCING: 8'-0" OR LESS IN HEIGHT: (1) #4 BAR WITHIN 12" OF TOP OF WALL AND AT MID HEIGHT. GREATER THAN 8'-0" IN HEIGHT, PROVIDE (1) #4 BAR WITHIN 12" OF TOP OF WALL AND AT THIRD POINTS OF THE WALL.

FOUNDATION WALL DESIGN - POURED WALLS

CONCRETE = f_c MIN = 3,000 PSI | REINFORCING f_y MIN = 60,000 PSI, MAXIMUM EQUIVALENT SOIL PRESSURE = 55 PSF

WALL MAX HEIGHT	WALL THICKNESS		
	8" THICK WALL	10" THICK WALL	12" THICK WALL
8'-0"	#5 @ 24" O.C.	NONE	NONE
9'-0"	#6 @ 32" O.C.	#6 @ 40" O.C.	NONE
10'-0"	#6 @ 16" O.C.	#6 @ 24" O.C.	#6 @ 32" O.C.

STRUCTURAL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"

SHEET # / DESCRIPTION: FOUNDATION PLAN

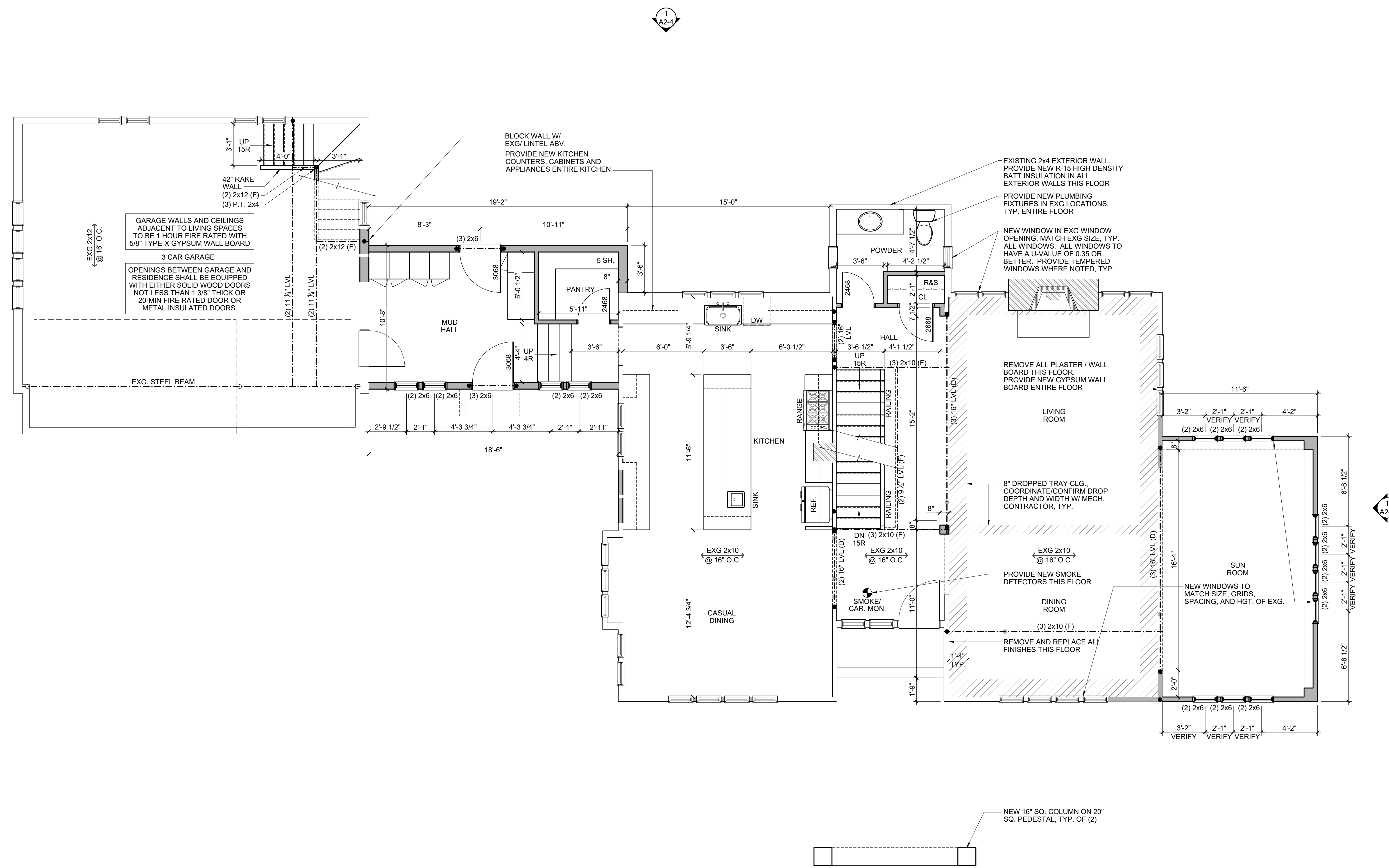
A1-0

DATE: 01.16.2019

DESIGN REVIEW SUBMISSION

SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2019

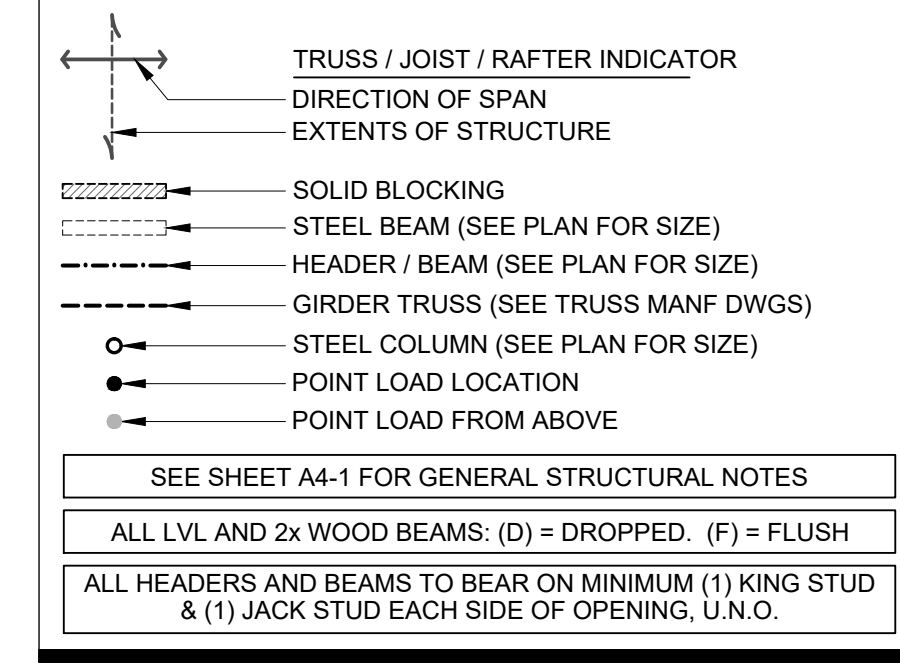
SBA STUDIOS PROJECT # 2018-428



FLOOR PLAN NOTES

1. ALL DOORS SHALL BE 6" FROM ADJACENT WALL OR CENTERED IN WALL UNLESS NOTED OTHERWISE.
2. ALL INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. ALL DIMENSIONS TO OUTSIDE FACE OF EXTERIOR WALLS ARE TO FACE OF SHEATHING. ALL DIMENSIONS TO INSIDE FACE OF EXTERIOR WALL ARE TO FACE OF STUD.
4. A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING, NOT LESS THAN 22"x30", SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OVER 30".
5. STUDS SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF (2) STUDS AT EACH SIDE OF ALL OPENINGS (1) KING STUD & (1) JACK STUD.
6. ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS ON GRADE FLOOR SHALL BE A MINIMUM OF 5.0 SQUARE FEET. EGRESS CLEAR OPENINGS ON ALL OTHER FLOORS SHALL BE A MINIMUM OF 5.7 SQUARE FEET.
7. EGRESS WINDOWS TO HAVE A MINIMUM CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
8. ALL ANGLED WALLS ARE 45 DEGREES U.N.O.
9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
10. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT IN WRITING FOR JUSTIFICATION AND / OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
11. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
12. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
13. ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE, MASONRY, OR IN DIRECT CONTACT WITH THE GROUND.

STRUCTURAL LEGEND

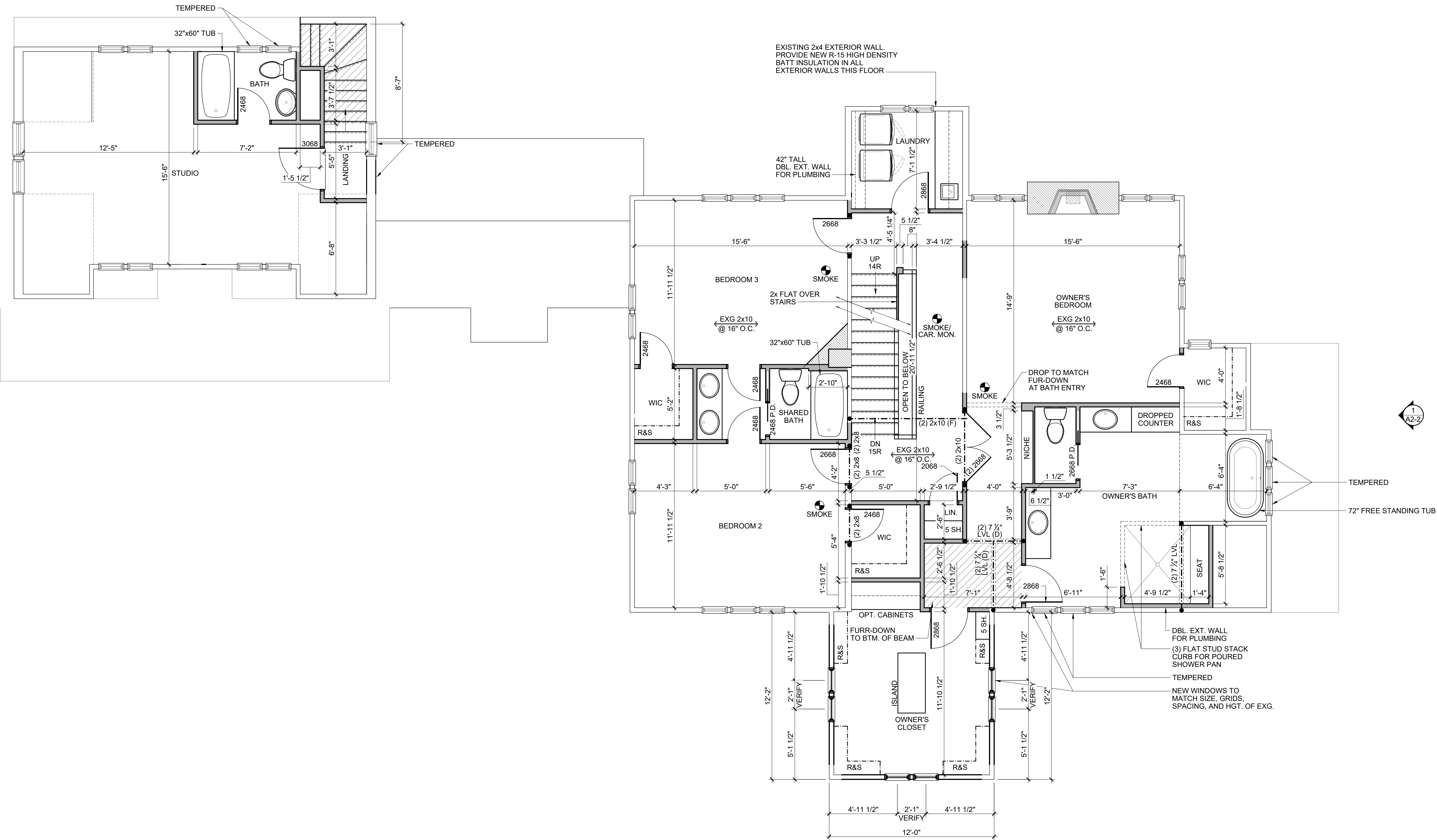


#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
BEXLEY, OHIO



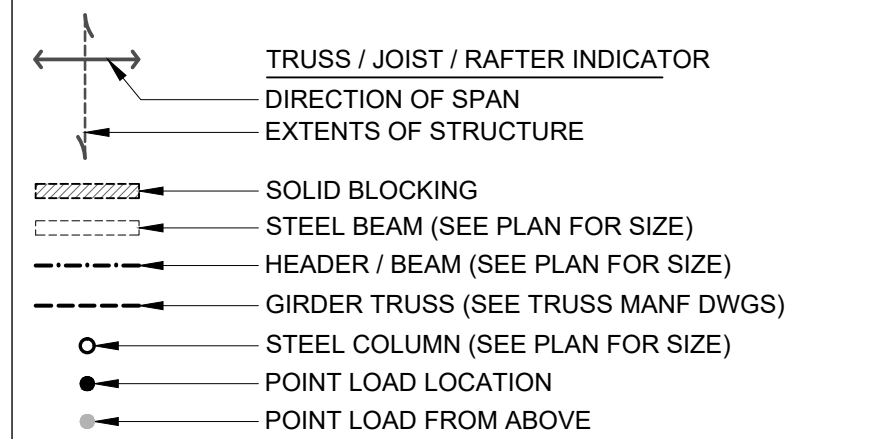
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SHEET # / DESCRIPTION
FIRST FLOOR PLAN
A1-1
DATE: 01.16.2019
DESIGN REVIEW SUBMISSION
SCOTT BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2019
SBA STUDIOS PROJECT # 2018-428



FLOOR PLAN NOTES

1. ALL DOORS SHALL BE 6" FROM ADJACENT WALL OR CENTERED IN WALL UNLESS NOTED OTHERWISE.
2. ALL INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. ALL DIMENSIONS TO OUTSIDE FACE OF EXTERIOR WALLS ARE TO FACE OF SHEATHING. ALL DIMENSIONS TO INSIDE FACE OF EXTERIOR WALL ARE TO FACE OF STUD.
4. A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING, NOT LESS THAN 22"x30", SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OVER 30".
5. STUDS SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF (2) STUDS AT EACH SIDE OF ALL OPENINGS (1) KING STUD & (1) JACK STUD.
6. ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS ON GRADE FLOOR SHALL BE A MINIMUM OF 5.0 SQUARE FEET. EGRESS CLEAR OPENINGS ON ALL OTHER FLOORS SHALL BE A MINIMUM OF 5.7 SQUARE FEET.
7. EGRESS WINDOWS TO HAVE A MINIMUM CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
8. ALL ANGLED WALLS ARE 45 DEGREES U.N.O.
9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
10. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT IN WRITING FOR JUSTIFICATION AND / OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
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12. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
13. ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE, MASONRY, OR IN DIRECT CONTACT WITH THE GROUND.

STRUCTURAL LEGEND



SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED, (F) = FLUSH

ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"

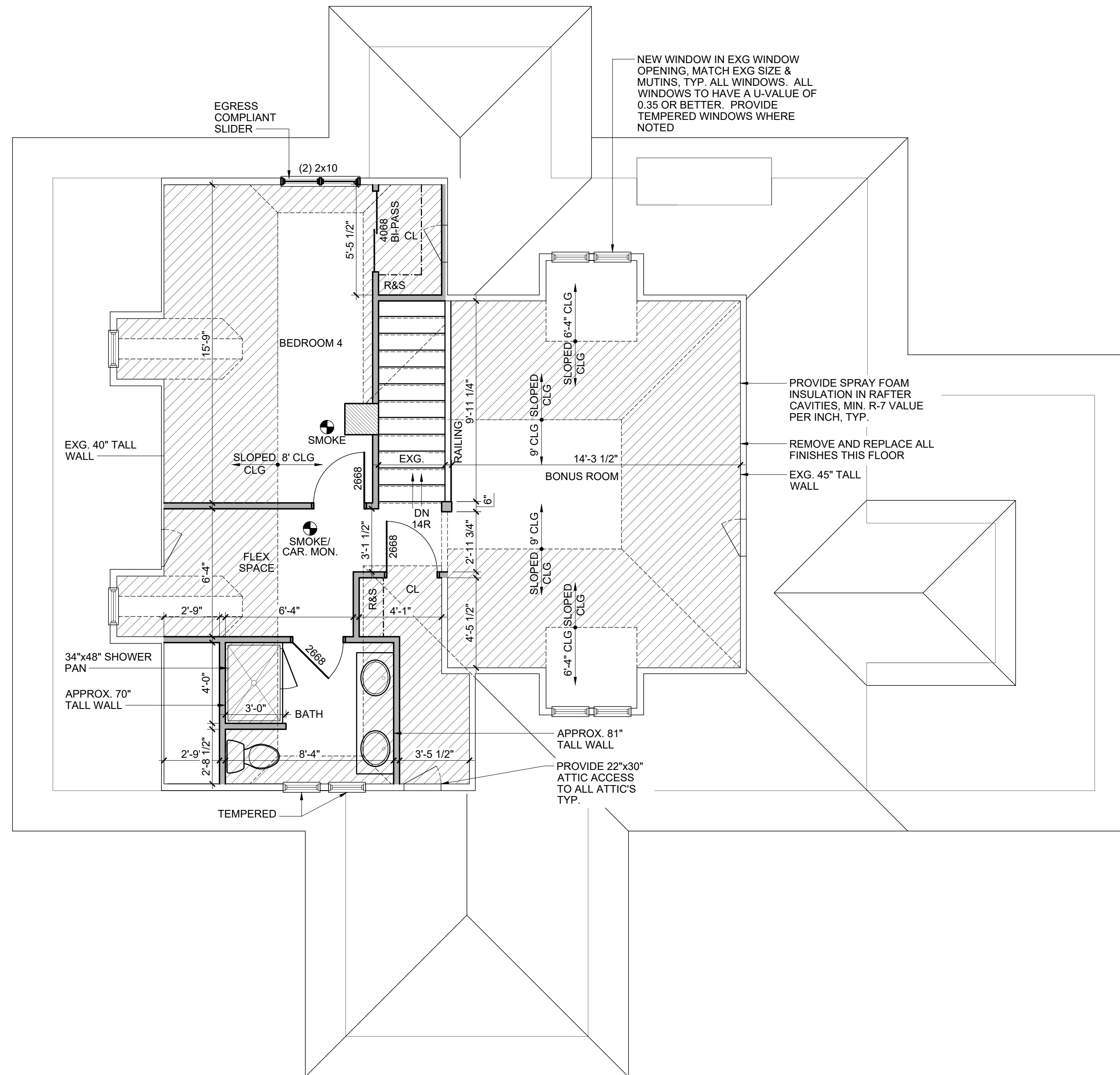
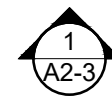
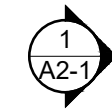
SHEET # / DESCRIPTION
SECOND FLOOR PLAN

A1-2

DATE: 01.16.2019
DESIGN REVIEW SUBMISSION

SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2019

SBA STUDIOS PROJECT # 2018-428



FLOOR PLAN NOTES

1. ALL DOORS SHALL BE 6" FROM ADJACENT WALL OR CENTERED IN WALL UNLESS NOTED OTHERWISE.
2. ALL INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. UNLESS NOTED OTHERWISE.
3. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. ALL DIMENSIONS TO OUTSIDE FACE OF EXTERIOR WALLS ARE TO FACE OF SHEATHING. ALL DIMENSIONS TO INSIDE FACE OF EXTERIOR WALL ARE TO FACE OF STUD.
4. A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING, NOT LESS THAN 22"x30", SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OVER 30".
5. STUDS SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF (2) STUDS AT EACH SIDE OF ALL OPENINGS (1) KING STUD & (1) JACK STUD.
6. ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS ON GRADE FLOOR SHALL BE A MINIMUM OF 5.0 SQUARE FEET. EGRESS CLEAR OPENINGS ON ALL OTHER FLOORS SHALL BE A MINIMUM OF 5.7 SQUARE FEET.
7. EGRESS WINDOWS TO HAVE A MINIMUM CLEAR HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
8. ALL ANGLED WALLS ARE 45 DEGREES U.N.O.
9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
10. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT IN WRITING FOR JUSTIFICATION AND / OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
11. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED.
12. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
13. ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE, MASONRY, OR IN DIRECT CONTACT WITH THE GROUND.

STRUCTURAL LEGEND

	TRUSS / JOIST / RAFTER INDICATOR
	DIRECTION OF SPAN
	EXTENTS OF STRUCTURE
	SOLID BLOCKING
	STEEL BEAM (SEE PLAN FOR SIZE)
	HEADER / BEAM (SEE PLAN FOR SIZE)
	GIRDER TRUSS (SEE TRUSS MANF DWGS)
	STEEL COLUMN (SEE PLAN FOR SIZE)
	POINT LOAD LOCATION
	POINT LOAD FROM ABOVE

SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES

ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED, (F) = FLUSH

ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"

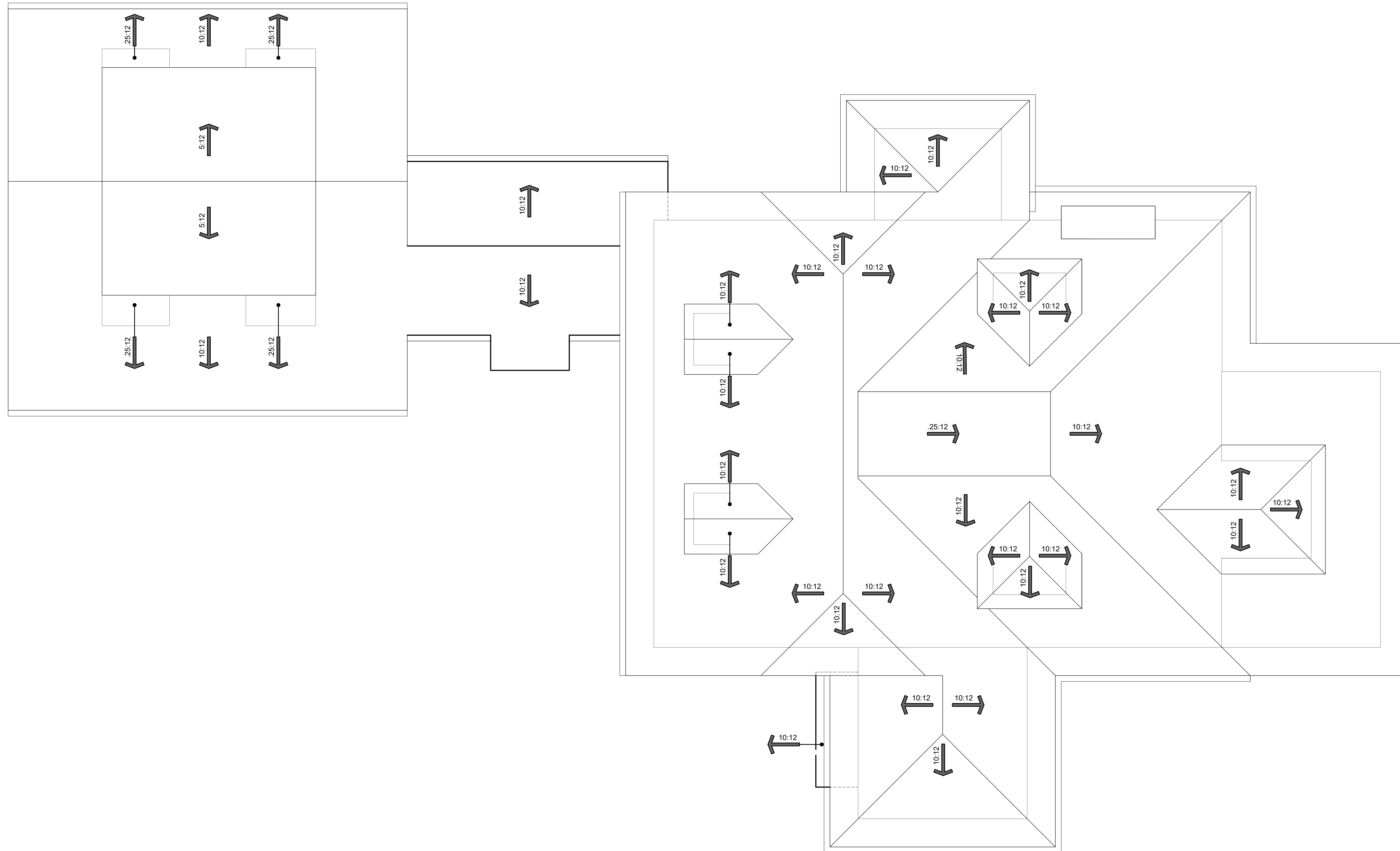
SHEET # / DESCRIPTION
THIRD FLOOR PLAN

A1-3

DATE: 01.16.2019
DESIGN REVIEW SUBMISSION

SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2019

SBA STUDIOS PROJECT # 2018-428



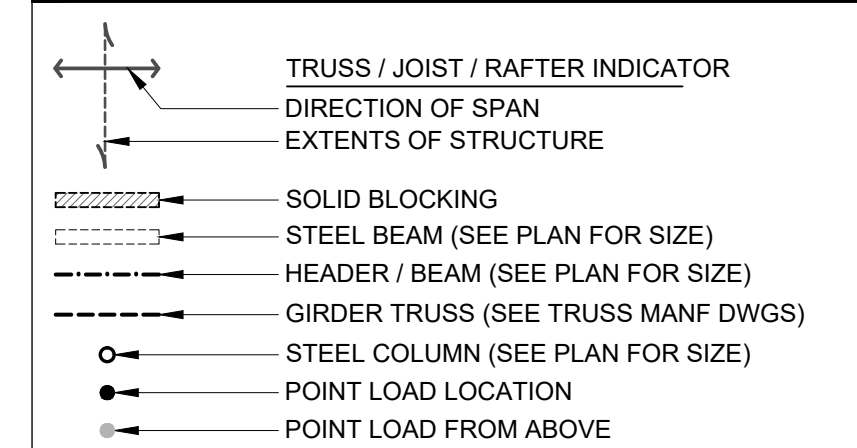
ROOF PLAN NOTES

1. CONTRACTOR TO DETERMINE NUMBER, SIZE AND LOCATION OF DOWNSPOUTS PER APPLICABLE CODE(S) FOR PROPER ROOF DRAINAGE.
2. TRUSS MANUFACTURER TO ENSURE TRUSSES ARE DESIGNED SUCH THAT ALL FASCIAS ALIGN PER EXTERIOR ELEVATIONS.
3. ALL RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHERE JOISTS ARE PARALLEL TO THE RAFTERS. WHERE RAFTERS ARE NOT PARALLEL, RAFTERS SHALL BE TIED WITH A RAFTER TIE WHICH SHALL BE LOCATED AS NEAR TO THE PLATE AS PRACTICAL. RAFTER TIES SHALL NOT BE SPACED MORE THAN 48" O.C. RAFTERS SHALL BE FRAMED TO RIDGE BOARD, OR TO EACH OTHER, WITH GUSSET PLATES AS A TIE.
4. RIDGE BOARDS SHALL BE AT LEAST 1" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. WHEN THE CUT END OF THE RAFTER EXCEEDS 11 1/4" THE RIDGE BOARD SHALL BE CONSTRUCTED OF A SOLID 2x12 WITH AN ADDITIONAL 2x (AS REQ'D) FURRED TO THE BOTTOM EDGE OF THE 2x12.
5. VALLEY AND HIP RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
6. HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A SUPPORTING PARTITION WALL, OR BE DESIGNED TO CARRY / DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.
7. FALSE CHIMNEYS, DORMERS, CUPOLAS AND OTHER SIMILAR FEATURES SHOULD NOT BE FRAMED AS A BOX ON THE ROOF. THE BOX SHOULD BE FRAMED DOWN INTO THE ROOF TO THE CEILING JOIST LEVEL AND STRUCTURALLY TIED INTO THE ADJACENT RAFTERS AND CEILING JOISTS, OR TRUSSES. THE EXTERIOR SHEATHING SHOULD EXTEND DOWN TO THIS LEVEL OTHER THAN WHERE A METAL FLU NEEDS TO GO THROUGH FROM A FIREBOX.
8. CONTRACTOR TO PROVIDE A MINIMUM 22"x30" ATTIC ACCESS TO ALL OVERLAY FRAMED AREAS FROM MAIN ATTIC.

TRUSS & RAFTER NOTES

1. ALL TRUSSES AND RAFTERS TO HAVE A 1'-0" OVERHANG FROM OUTSIDE FACE OF EXTERIOR SHEATHING U.N.O.
2. TRUSS PROFILES ARE FOR TRUSS MANUFACTURER'S REFERENCE ONLY. TRUSS MANUFACTURER TO VERIFY ALL TRUSS SIZES AND DIMENSIONS ARE CORRECT PER THE CONSTRUCTION DOCUMENTS. SEE EXTERIOR ELEVATIONS FOR TRUSS PROFILES.
3. FINAL TRUSS LAYOUT AND DESIGN ARE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER. VERIFY INTERIOR SLOPES OF SCISSOR TRUSSES AND HEIGHTS OF TRAY CEILINGS W/ BUILDER/OWNER PRIOR TO FABRICATION. IF TRUSS DESIGN DIFFERS FROM THESE DOCUMENTS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT.

STRUCTURAL LEGEND



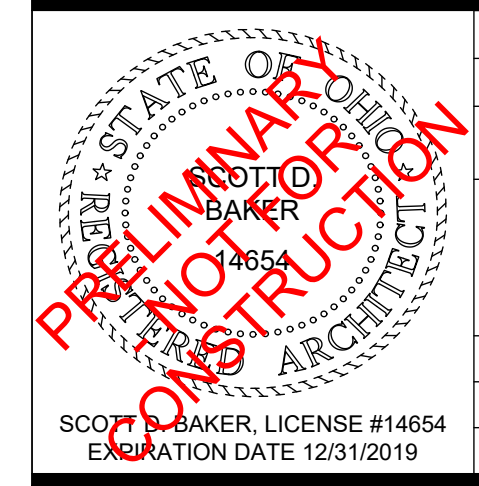
SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES
 ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED, (F) = FLUSH
 ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
 BEXLEY, OHIO



SCALE: 1/4" = 1'-0"
 SHEET # / DESCRIPTION
ROOF PLAN
A1-4
 DATE: 01.16.2019
 DESIGN REVIEW SUBMISSION
 SBA STUDIOS PROJECT # 2018-428



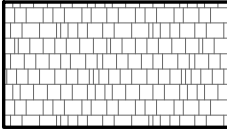
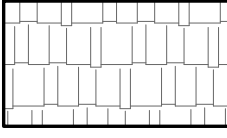
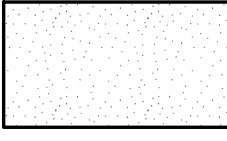
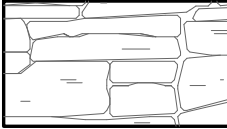


2 EXISTING FRONT ELEVATION (FROM WESTLAND AVE.)



1 PROPOSED FRONT ELEVATION (FROM WESTLAND AVE.)

ELEVATION MATERIAL LEGEND

-  SHINGLES
-  HARDIE-SHAKES
-  STUCCO
-  CULTURED STONE

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS
A2-1
DATE: 01.16.2019
DESIGN REVIEW SUBMISSION
SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2019
SBA STUDIOS PROJECT # 2018-428

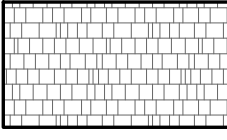
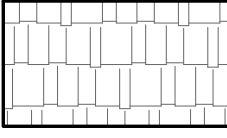
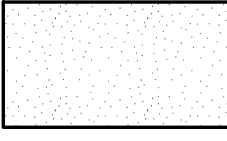



2 EXISTING REAR ELEVATION (FROM WESTLAND AVE.)



1 PROPOSED REAR ELEVATION (FROM WESTLAND AVE.)

ELEVATION MATERIAL LEGEND

-  SHINGLES
-  HARDIE-SHAKES
-  STUCCO
-  CULTURED STONE

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS
A2-2
DATE: 01.16.2019
DESIGN REVIEW SUBMISSION
SCOTT B. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2019
SBA STUDIOS PROJECT # 2018-428

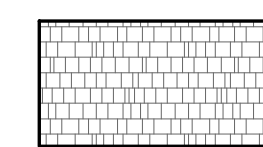
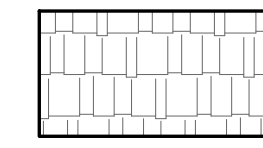
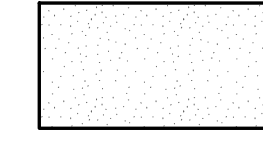



2 EXISTING RIGHT ELEVATION (FROM WESTLAND AVE.)



1 PROPOSED RIGHT ELEVATION (FROM WESTLAND AVE.)

ELEVATION MATERIAL LEGEND

-  SHINGLES
-  HARDIE-SHAKES
-  STUCCO
-  CULTURED STONE

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS
A2-3
DATE: 01.16.2019
DESIGN REVIEW SUBMISSION
SCOTT S. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2019
SBA STUDIOS PROJECT # 2018-428

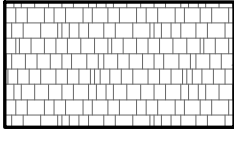
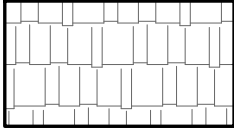
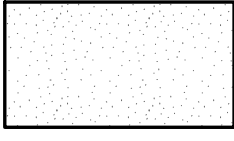
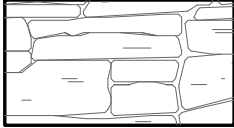


2 EXISTING LEFT ELEVATION (FROM WESTLAND AVE.)



1 PROPOSED LEFT ELEVATION (FROM WESTLAND AVE.)

ELEVATION MATERIAL LEGEND

-  SHINGLES
-  HARDIE-SHAKES
-  STUCCO
-  CULTURED STONE

#	DATE	ISSUED WITH: CHANGE DESCRIPTION

387 S. PARKVIEW REMODEL
BEXLEY, OHIO



SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
EXTERIOR ELEVATIONS
A2-4
DATE: 01.16.2019
DESIGN REVIEW SUBMISSION
SCOTT S. BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2019
SBA STUDIOS PROJECT # 2018-428

