



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD and/or
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18- 058 A
Applicant: Pete Foster
Owner: Gregory Buzzell
Location: 91 S. Roosevelt Ave.
ARB Request: The applicant is seeking architectural review and approval, to allow a 2nd story addition on the south side of the 2-story principal structure, over the 1-story portion of the house.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review Conditional Use Demolition Planned Unit Dev. Rezoning Special Permit

Property & Project Information:

Property Address:

Brief Project Description:

Applicant Information:

Applicant Name:

Applicant Address:

Applicant Email & Phone:

Property Owner Information:

Owner Name:

Owner Address:

Owner Email & Phone:

Attorney/Agent Information:

Agent Name:

N/A Agent Address:

Agent Email & Phone:

- Completed Worksheets: Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet C)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: Date:

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$ 180,000

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation	\$ <u>50</u>
- \$5.00 for each additional \$10,000 valuation.	\$ <u>85</u>

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation	\$ <input type="text"/>
- \$5.00 for each additional \$10,000 valuation	\$ <input type="text"/>
- \$600.00 cap	\$ <input type="text"/>
- \$50.00 resubmittal fee	\$ <input type="text"/>

Variance Review

Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text"/>
All others:	\$90.00	\$ <input type="text"/>

Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text"/>
Replatting or new plat:	\$250.00	\$ <input type="text"/>

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>

Fences and walls: \$65.00 \$

Special Permit, Conditional Uses and All others: \$90.00 \$

Re-submittal Fee: \$50.00 \$

Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text"/>

Fee Total: \$ 135.00 ✓

Project Worksheet

Residential Commercial

Property Address: 91 SOUTH ROOSEVELT

Zoning District: R-6

- R-1 (25% Building & 40% Overall)
- R-2 (25% Building & 50% Overall)
- R-3 (25% Building & 50% Overall)
- R-6 (35% Building & 60% Overall)
- R-12 (35% Building & 70% Overall)
- Other:

** Overall coverage includes hardscape*

Lot Info: Width (ft.): 75 Depth (ft.): 139 Total Area (SF): 10,425

Primary Structure Info:

Existing Footprint (SF): 1403

Proposed Addition (SF): 14x27=378 308 **SECOND FLOOR ONLY*

Removing (SF): (Type of Structure):

Proposed new primary structure or residence (SF):

Total Square Footage: 2681 ~~2111~~ *1st 1403*
2nd 900 (EXIST) + 378 (NEW) = 1278

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF): 400 New Structure Type:

Proposed Addition (SF): Ridge Height:

Proposed New Structure (SF): Is there a 2nd floor? Yes No

Total of all garage and accessory structures (SF): 400 2nd Floor SF:

Total building lot coverage (SF): NO CHANGE 1803 = 17 % of lot

Is this replacing an existing garage and/or accessory structure? Yes No

Hardscape:

Existing Driveway (SF): 1417 Existing Patio (SF): Existing Private Sidewalk (SF): 60

Proposed Additional Hardscape (SF):

Total Hardscape (SF): 1477

Totals: Total overall lot coverage (SF): 3280 = 31 % of lot **NO CHANGE*

Applicant Initial: [Signature]

Internal Use: Staff Review Date: Meets Zoning ARB Only Variance or Modifications Needed

Staff Comments:

Staff Initial:

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer: MATCH EXISTING

New Roof Style & Color: MATCH EXISTING

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer: MATCH EXISTING

New Window Style/Mat./Color: MATCH EXISTING

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: Style: Color:

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim: N/A

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other: JAMES HARDIE

Proposed New Window Trim: JAMES HARDIE Trim Color(s): MATCH EXISTING

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other	JAMES HARDIE MATCH EXISTING EXPOSURE

Staff Confirmation (to be completed by Residential Design Consultant:

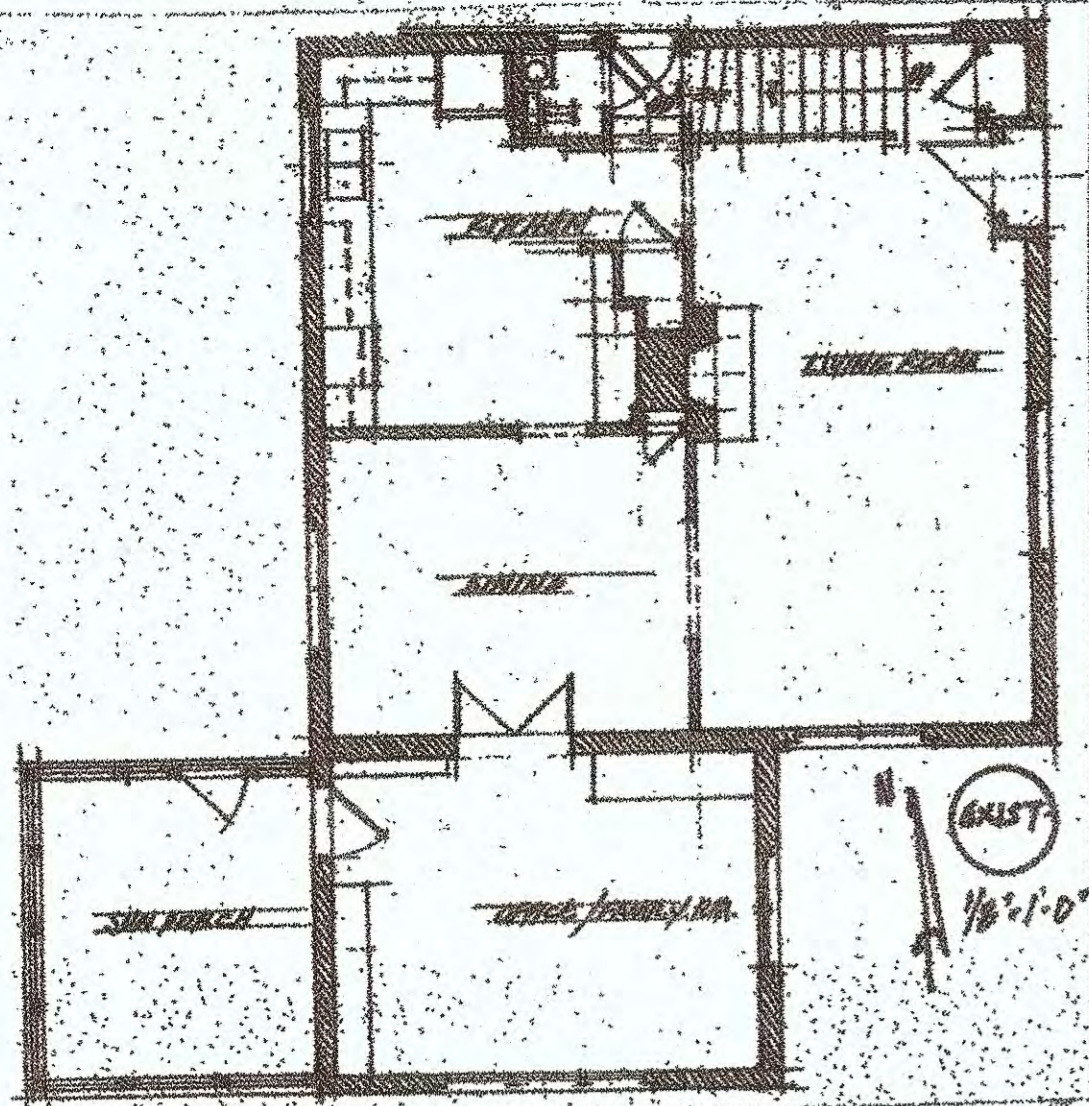
Date of Review:

Approved By:

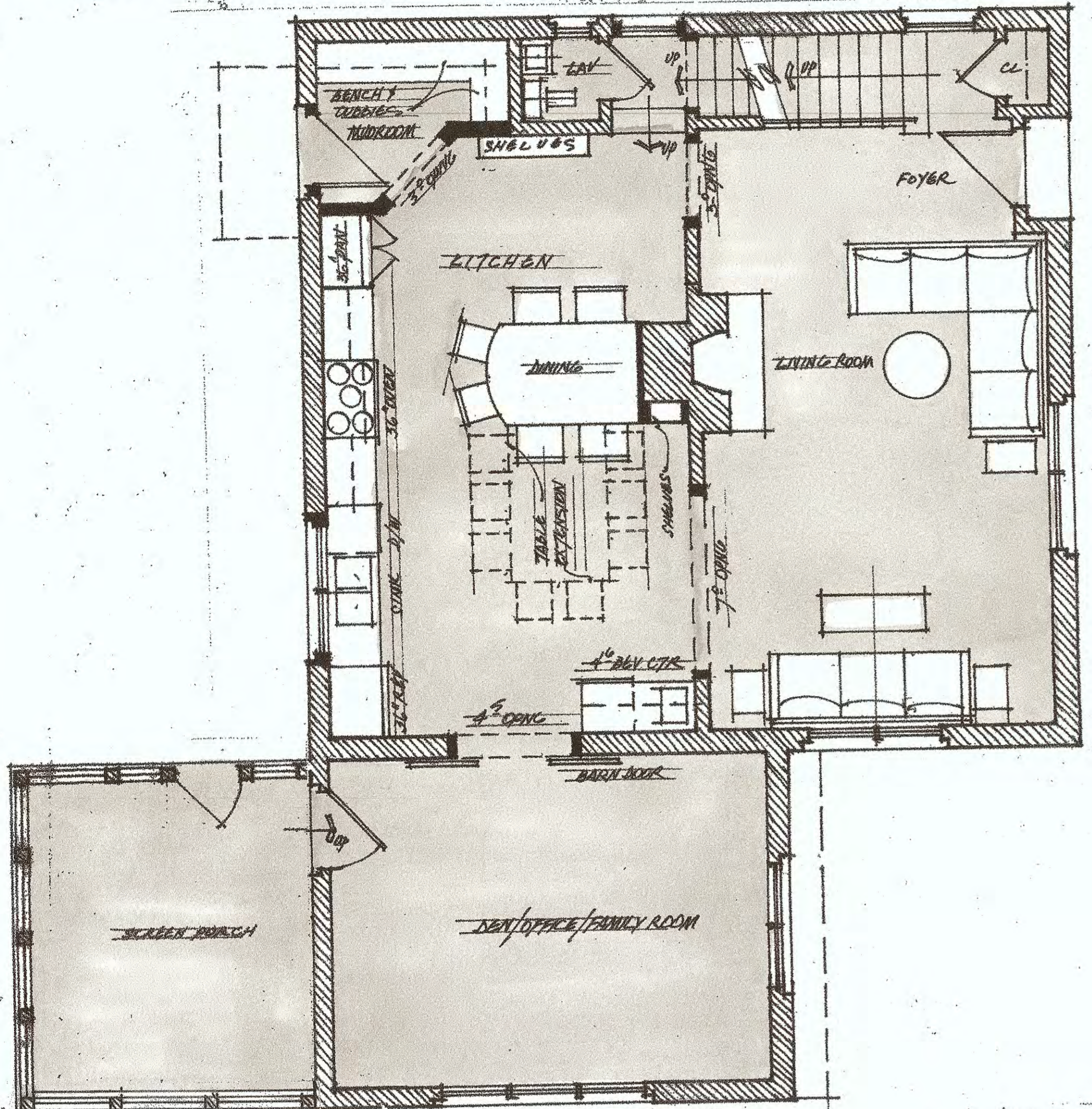
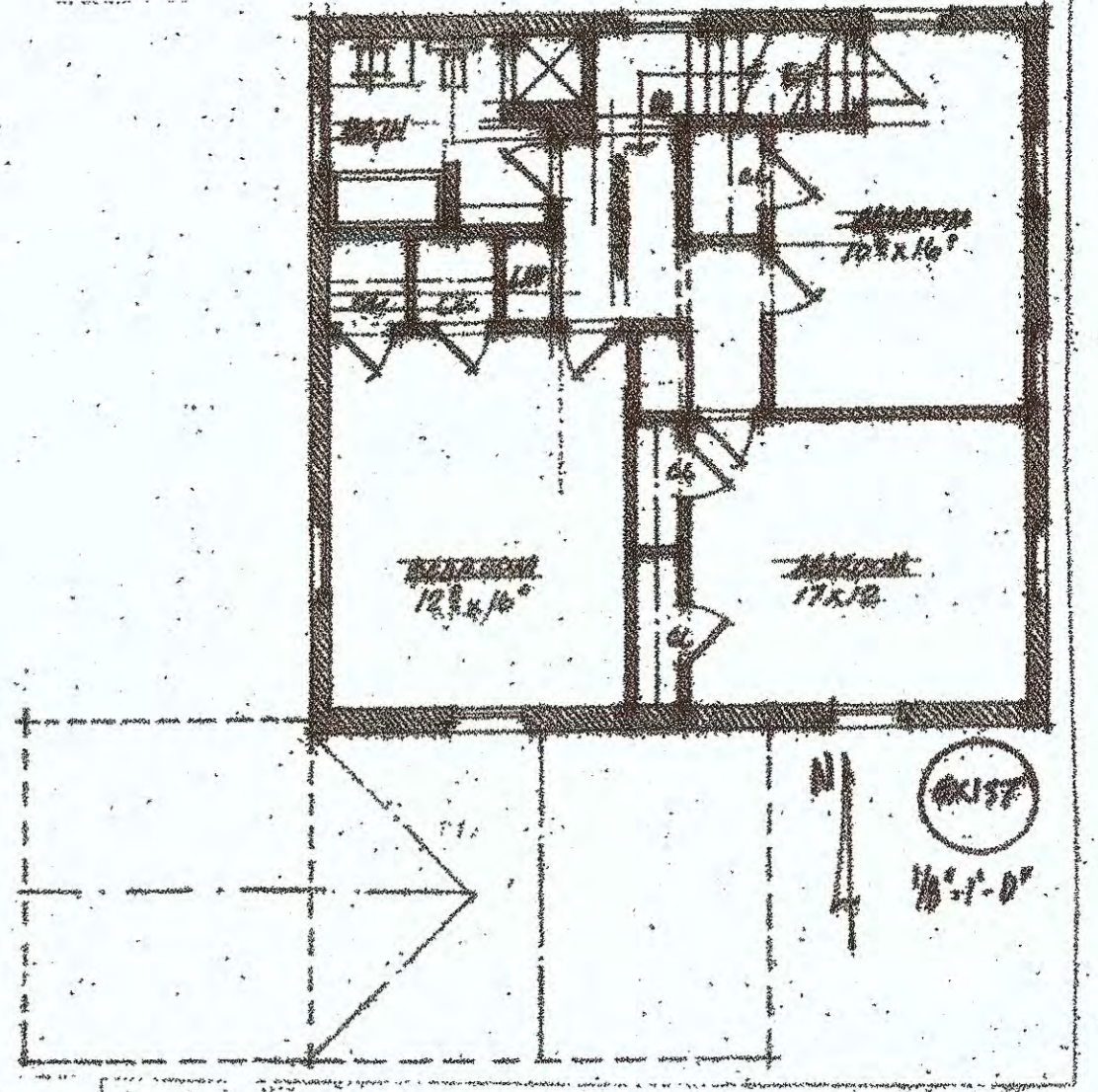
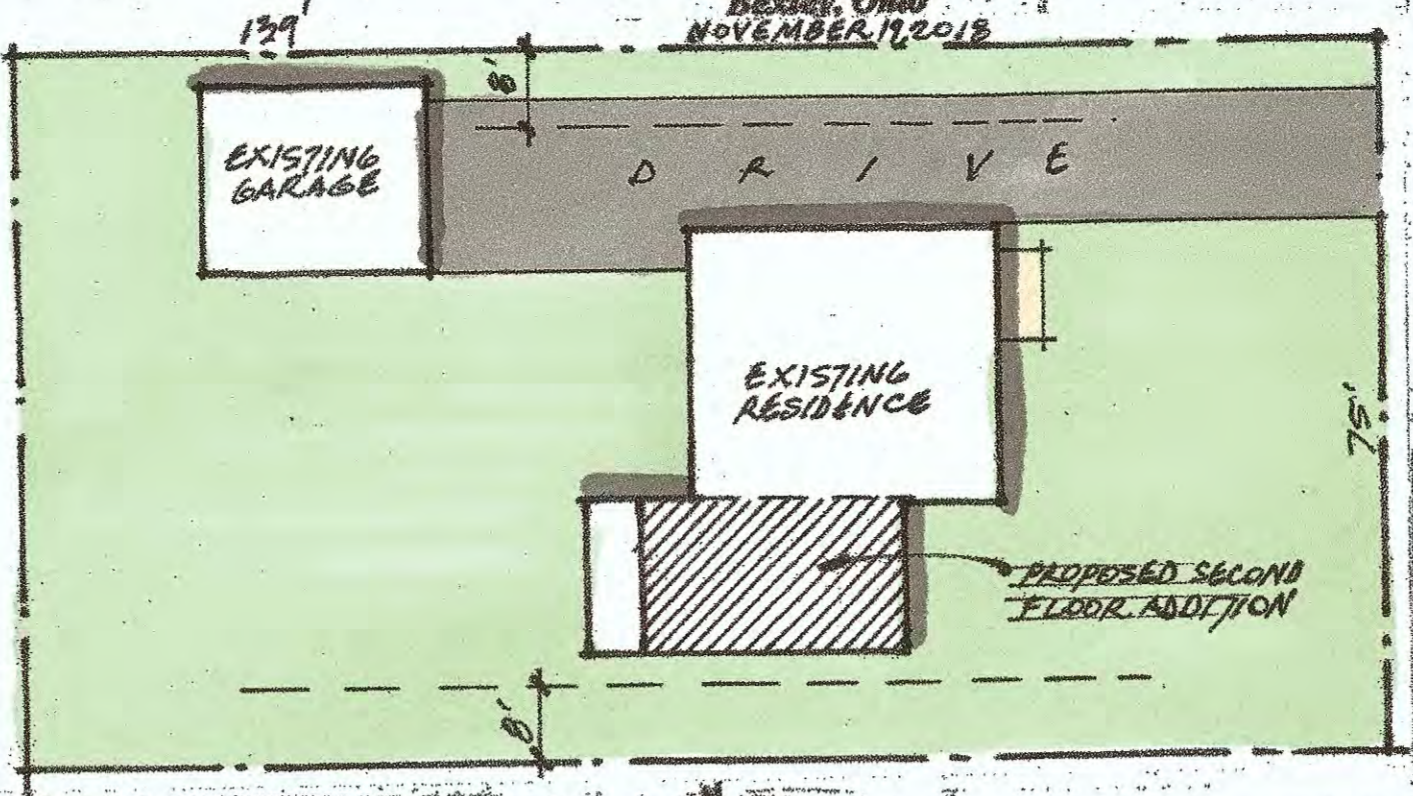
To be reviewed by ARB on:

Conditions/Stipulations:

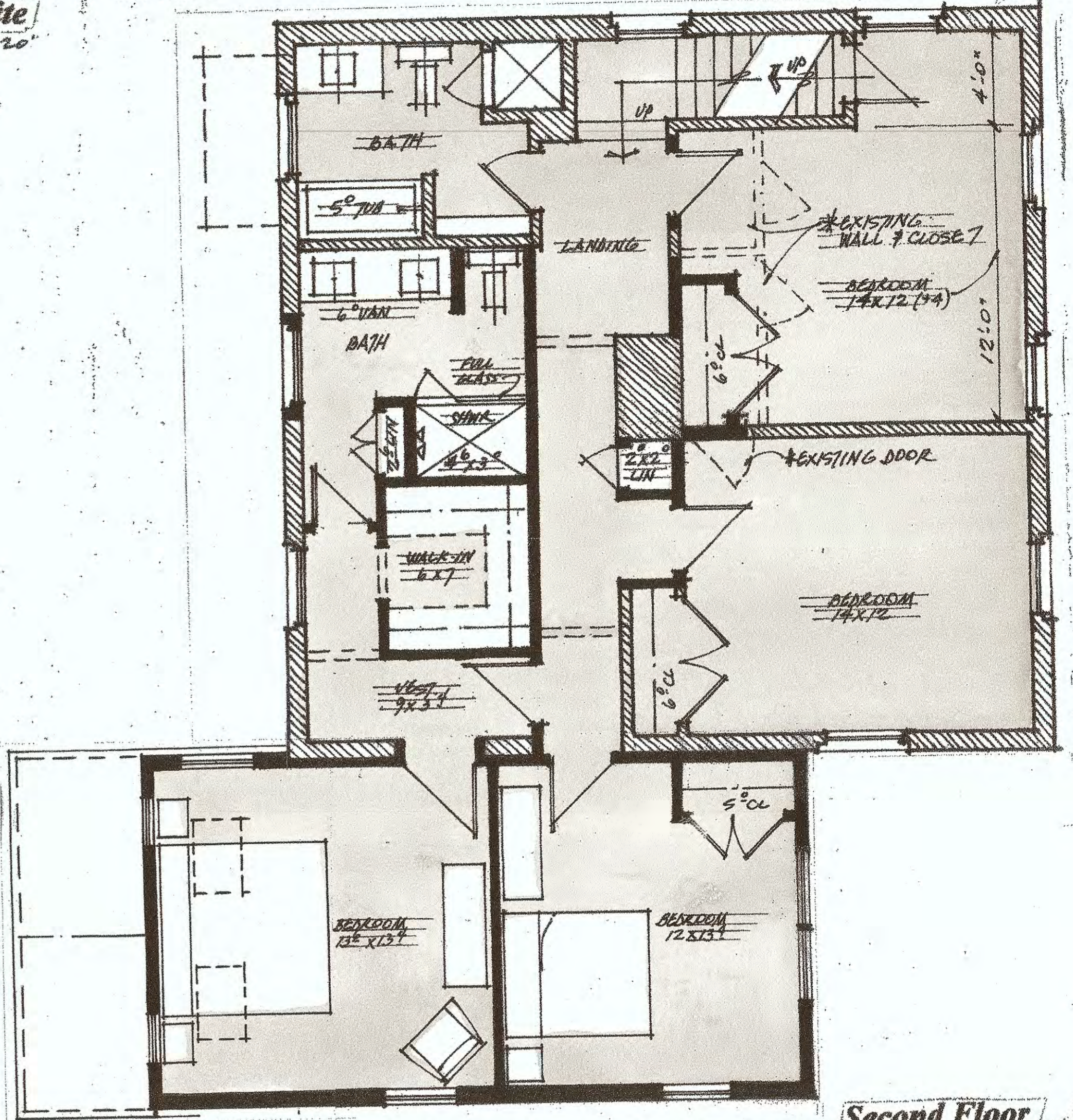
Staff Initials:



PER POSTER
 Residential Design
 for
Buzzell Residence
 91 South Roosevelt Avenue
 Beavly, Ohio
 NOVEMBER 11, 2012



Site
 1/4" = 1'-0"

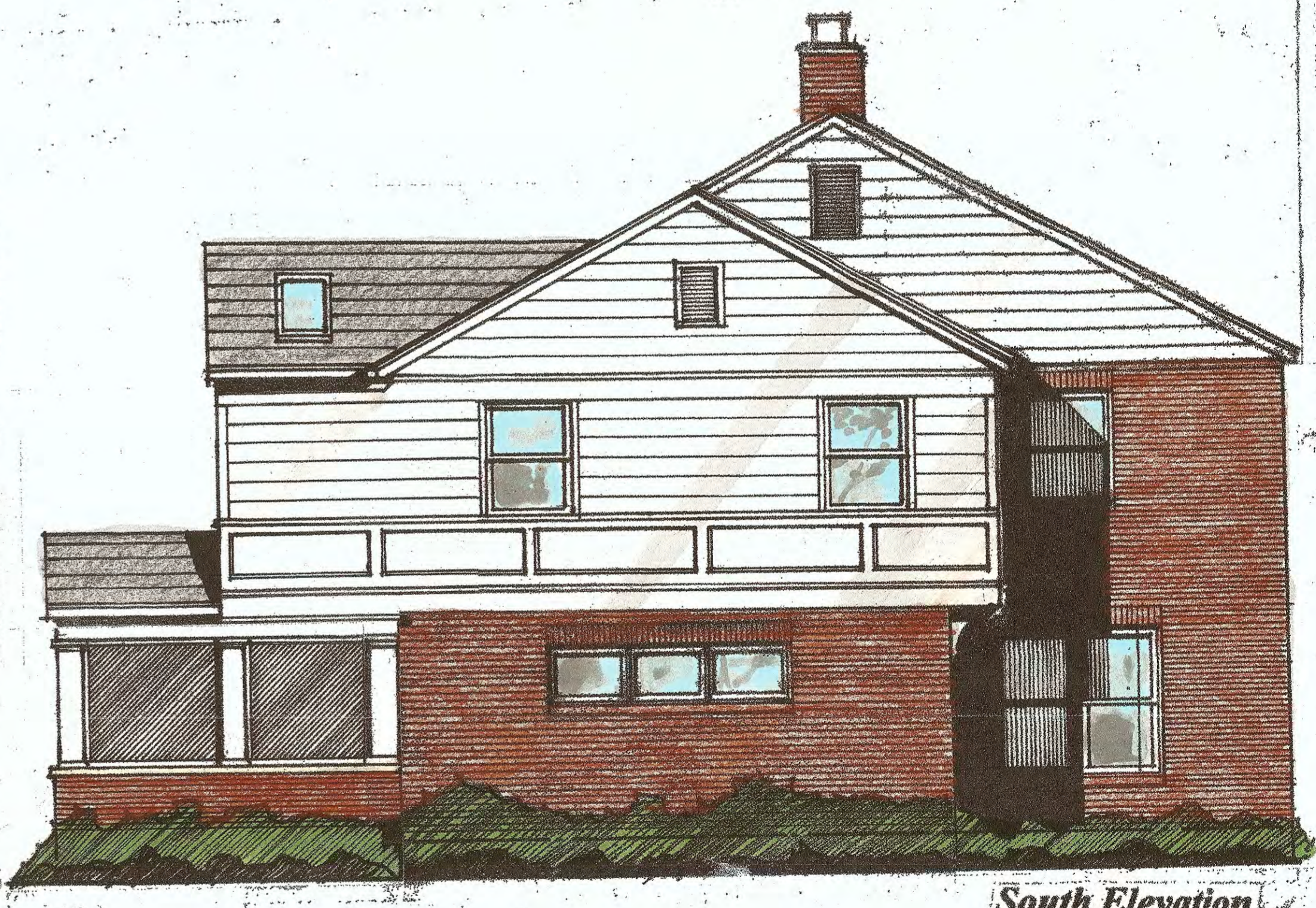


First Floor
 1/4" = 1'-0"

Second Floor
 1/4" = 1'-0"



East Elevation
 1/4" = 1'-0"



South Elevation
 1/4" = 1'-0"



North Elevation
 1/4" = 1'-0"



West Elevation
 1/4" = 1'-0"





115
ROOSEVELT





111
KIMBERLY



123
456789