



PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD and/or  
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18-952 A Z  
Applicant: Renovations Unlimited  
Owner: Tonya & Marvin Howard  
Location: 52 N. Merkle Rd.  
**ARB Request:** The applicant is seeking architectural review and approval, to allow a room addition to be constructed in the same footprint as the existing 1-story addition at the rear (east side) of the existing principal structure and an uncovered porch/steps on the south side of the addition.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

# CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

- Architectural Review    Conditional Use    Demolition    Planned Unit Dev.    Rezoning    Special Permit

### Property & Project Information:

Property Address:

Brief Project Description:

### Applicant Information:

Applicant Name:

Applicant Address:  ,  ,

Applicant Email & Phone:

### Property Owner Information:

Owner Name:

Owner Address:  ,  ,

Owner Email & Phone:

### Attorney/Agent Information:

Agent Name:

Agent Address:  ,  ,

Agent Email & Phone:

- Completed Worksheets:    Project Worksheet (Sheet A)    Architectural Review (Sheet B)    Tree Commission (Sheet C)

### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:    Date:

Owner Signature:    Date:

Agent Signature:    Date:

**Internal Use:**

Application #:    Board Referrals:    ARB    BZAP    City Council    Tree Commission

Staff Signature:    Date:

## Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

### Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation. \$

### Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation \$
- \$600.00 cap \$
- \$50.00 resubmittal fee \$

### Variance Review

Single Family: \$100.00 \$

Commercial Property: \$100.00 \$

Fences or Special Permits: \$65.00 \$

All others: \$90.00 \$

### Zoning Fees

Rezoning:

- \$250.00 up to 1 acre site \$
- \$60.00 for each additional acre (or part thereof) \$

Requests for amendment to PUD Plans: \$300.00 \$

Split of lot or existing parcel: \$250.00 \$

Replatting or new plat: \$250.00 \$

### Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>

Fences and walls: \$65.00 \$

Special Permit, Conditional Uses and All others: \$90.00 \$

Re-submittal Fee: \$50.00 \$

### Appeals

Appeal of ARB decision to BZAP: \$50.00 \$

Appeal of BZAP decision to City Council: \$250.00 \$

**Fee Total:** \$

## Project Worksheet

Residential       Commercial

Property Address:

Zoning District:

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

*\* Overall coverage includes hardscape*

Lot Info:

Width (ft.):     Depth (ft.):     Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):

Proposed Addition (SF):

Removing (SF):

(Type of Structure:)

Proposed new primary structure or residence (SF):

Total Square Footage:

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

New Structure Type:

Proposed Addition (SF):

Ridge Height:

Proposed New Structure (SF):

Is there a 2nd floor?     Yes     No

Total of all garage and accessory structures (SF):

2nd Floor SF:

Total building lot coverage (SF):

=  % of lot

Is this replacing an existing garage and/or accessory structure?     Yes     No

Hardscape:

Existing Driveway (SF):     Existing Patio (SF):     Existing Private Sidewalk (SF):

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

Totals:

Total overall lot coverage (SF):  =  % of lot

Applicant Initial:

<b>Internal Use:</b>	Staff Review Date: <input type="text"/>	<input type="checkbox"/> Meets Zoning	<input type="checkbox"/> ARB Only	<input type="checkbox"/> Variance or Modifications Needed
	Staff Comments: <input type="text"/>	Staff Initial: <input type="text"/>		

52 N MERKLE

SHEET  
**B**

# CITY OF BEXLEY UNIFIED PLANNING APPLICATION

## Project Worksheet

Residential       Commercial

Property Address:

Zoning District:

- R-1 (25% Building & 40% Overall)       R-6 (35% Building & 60% Overall)  
 R-2 (25% Building & 50% Overall)       R-12 (35% Building & 70% Overall)  
 R-3 (25% Building & 50% Overall)       Other:

\* Overall coverage includes hardscape

Lot Info:      Width (ft.): 50.0'      Depth (ft.): 133.50'      Total Area (SF): 6675

**Primary Structure Info:**  
 Existing Footprint (SF): 1,000  
 Proposed Addition (SF): 140  
 Removing (SF):  
 Proposed new primary structure or residence (SF):  
 Total Square Footage: 1,140  
 (Type of Structure):

**Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):**  
 Existing Footprint (SF): 457      New Structure Type:  
 Proposed Addition (SF): 0      Ridge Height:  
 Proposed New Structure (SF):  
 Total of all garage and accessory structures (SF): 457      Is there a 2nd floor?  Yes  No  
 Total building lot coverage (SF): 1597      2nd Floor SF:  
 = 1.24 % of lot  
 Is this replacing an existing garage and/or accessory structure?  Yes  No

**Hardscape:**  
 Existing Driveway (SF): 1360      Existing Patio (SF): 0      Existing Private Sidewalk (SF): 60  
 Proposed Additional Hardscape (SF): 36  
 Total Hardscape (SF): 1396

Totals:      Total overall lot coverage (SF): 2993 = 45% of lot

Applicant Initial: JS

**Internal Use:**      Staff Review Date:      Meets Zoning      ARB Only      Variance or Modifications Needed  
 Staff Comments:      Staff Initial:

## Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

**Roofing**     House or Principal Structure     Garage Only     House & Garage

Existing Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Shingle Manufacturer:

New Roof Style & Color:

**Windows**     House or Principal Structure     Garage Only     House & Garage

Existing Window Type:     Casement - Steel     Fixed     Exterior Storm     Other:   
 Double Hung     Awning     Horizontal Sliding

Existing Window Materials:     Aluminum Clad Wood     Wood     Metal  
 Vinyl Clad Wood     Aluminum     Other:

New Window Manufacturer:

New Window Style/Mat./Color:

**Doors**     House or Principal Structure     Garage Only     House & Garage

Existing Entrance Door Type:     Wood     Insulated Metal     Fiberglass     Sidelights     Transom Windows

Existing Garage Door Type:     Wood     Insulated Metal     Fiberglass

Door Finish:     Stained     Painted

Proposed Door Type:     Style:     Color:

**Exterior Trim**

Existing Door Trim:     Cedar     Redwood     Pine     Std. Lumber Profile  
 Wood Composite     Aluminum Clad     Molding     Vinyl     Other:

Proposed New Door Trim:

Existing Window Trim:     Wood     Redwood     Pine     Std. Lumber Profile  
 Vinyl     Other:

Proposed New Window Trim:     Trim Color(s):

Do the Proposed Changes Affect the Overhangs?     Yes     No

**ParcelID: 020-003285-00**  
**HOWARD MARVIN L JR**

**Map-Rt: 020-N012A -043-00**  
**52 N MERKLE RD**

**Owner**

Owner HOWARD MARVIN L JR  
 TONYA L  
 Owner Address 52 N MERKLE RD  
 COLUMBUS OH 43209  
 Legal Description 52 N MERKLE RD  
 J L DAVIS 1ST  
 LOT 49  
 Calculated Acres .16  
 Legal Acres 0  
 Tax Bill Mailing MARVIN L HOWARD  
 TONYA L HOWARD  
 52 N MERKLE RD  
 COLUMBUS OH 43209-1552

[View Google Map](#)  
 [Print Parcel Summary](#)

**Most Recent Transfer**

Transfer Date AUG-29-1996  
 Transfer Price \$132,000  
 Instrument Type SU

**2017 Tax Status**

Property Class R - Residential  
 Land Use 510 - ONE-FAMILY DWLG ON PLATTED LOT  
 Tax District 020 - CITY OF BEXLEY  
 School District 2501 - BEXLEY CSD  
 City/Village BEXLEY CITY  
 Township  
 Appraisal Neighborhood 06102  
 Tax Lien No  
 CAUV Property No  
 Owner Occ. Credit 2017: Yes 2018: Yes  
 Homestead Credit 2017: No 2018: No  
 Rental Registration No  
 Board of Revision No  
 Zip Code 43209

**2017 Current Market Value**

	Land	Improvements	Total
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Reference

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Summary

Land Profile

Residential

Commercial

Improvements

Permits

Mapping

Sketch

Photo

StreetSmart

Aerial Photos

Transfers

BOR Status

CAUV Status

Tax & Payments

Tax Distribution

Value History

Rental Contact

Quick Links

ParcelID: 020-003285-00  
HOWARD MARVIN L JR

Map-Rt:





# Myers Surveying Company, Inc.

2740 East Main Street, Columbus 43209 (Bexley), Ohio  
614-235-8677 FAX: 614-235-4559

A Mortgage Location Survey prepared for and certified to:

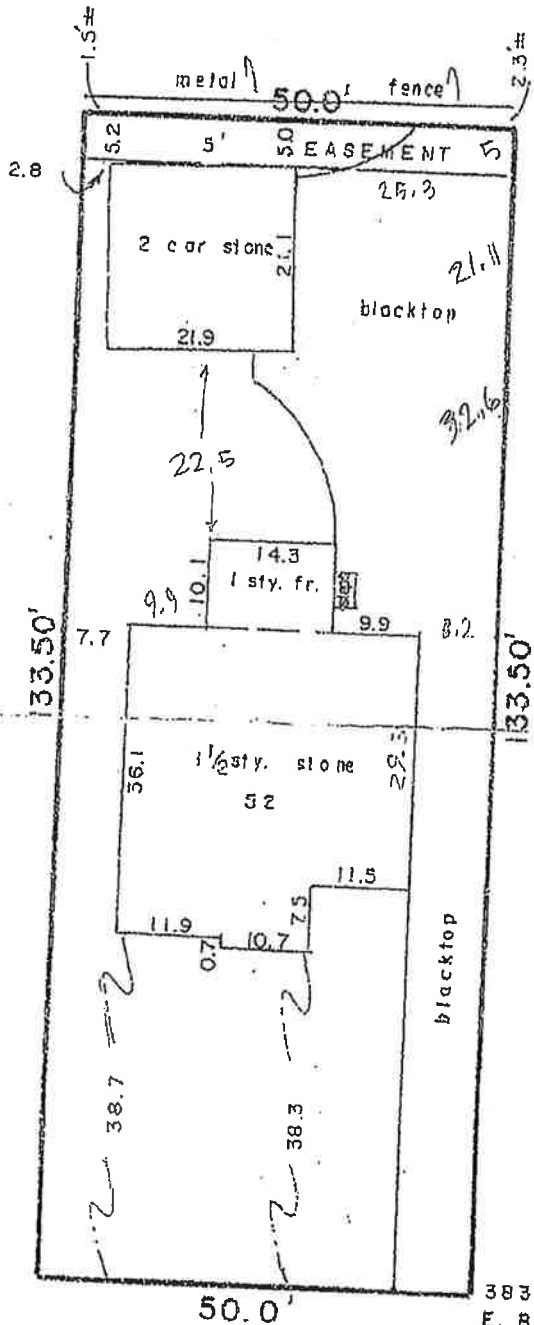
Foundation Title Agency Ltd. and/or Liberty Mortgage.

Legal Description: Situated in Ohio, County of Franklin, City of Bexley, Being Lot 49 John L. Davis 1st Addition, Plat Book 17, Page 254

Applicant: Howard

Posted Address: 52 N. Merkle Road, Bexley, Ohio

Apparent Encroachments: 1) Fences not in conformance with legal description.



20' 10' 0' 20'

Scale: 1" = 20'  
Date: 8-24-'96



"We / I Hereby Accept This Survey  
in its Present Condition"

*Morris J. Howard Jr.*  
*Myra J. Howard*

52 N. MERKLE RD. 50'



# GENERAL NOTES:

- DIMENSIONS GOVERN - DO NOT SCALE DRAWINGS. DIMENSIONS ARE FROM ROUGH TO ROUGH, UNLESS OTHERWISE NOTED.
- DESIGN LOADS:  
 ROOF: 25 PSF  
 FLOOR LOADS: 40 PSF  
 CEILING: 20 PSF  
 DEAD LOAD: 20 PSF  
 DECKS: 40 PSF  
 WIND: 90 MPH
- THE FOOTING DESIGN IS BASED ON 2000 PSI MIN. BEARING CAPACITY. GC TO VERIFY AS REQUIRED.
- CONCRETE:  
 ALL CONCRETE WORK SHALL COMPLY WITH:  
 A. ACI 301-84 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"(REVISED 1987)  
 B. ACI 318-83 " BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"(REVISED 1986)
- ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI EXCEPT AS NOTED. GARAGE SLABS SHALL BE 4000 PSI AND CONTAIN 4% TO 6% ENTRAINED AIR. CONCRETE SHALL NOT CONTAIN CALCIUM CHLORIDE
- LUMBER:  
 DIMENSION LUMBER USED FOR ALL FRAMING, EXCEPT TRUSSES, STUDS, SOLE PLATES, AND CAP PLATES SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:  

Fb = 875 PSI(SINGLE MEMBER)	Fv = 10 PSI
Fb = 1000 PSI(REPETITIVE USE)	Fc = 125 PSI (PARALLEL)
Ft = 325 PSI(PARALLEL)	Fc = 265 PSI (PERPENDICULAR)
E = 1200000 PSI	
- DIMENSION LUMBER USED FOR WALL STUDS, SOLE PLATES AND CAP PLATES SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:  

Fb = 550 PSI(SINGLE MEMBER)	Fv = 10 PSI
Fb = 650 PSI(REPETITIVE USE)	Fc = 425 PSI (PARALLEL)
Ft = 450 PSI(PARALLEL)	Fc = 265 PSI (PERPENDICULAR)
E = 1200000 PSI	
- ALL DIMENSION LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 15%.
- WOOD TRUSSES SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF OHIO. TRUSSES SHALL BE DESIGNED ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD AND THE TRUSS PLATE INSTITUTE RECOMMENDED PRACTICE OF DESIGN TPI-85. ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:  

TOP CHORD LIVE LOAD	=25 PSF
TOP CHORD DEAD LOAD	=10 PSF
BOTTOM CHORD DEAD LOAD	=10 PSF
TOTAL LOAD	=45 PSF
- SUBFLOORING SHALL BE 3/4" TONGUE & GROOVE EXTERIOR GRADE PLYWOOD, GLUED & NAILED, ALL JOINTS TO BE SCREWED DOWN AT 12" O.C. TYPICAL.
- ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR 7/16" OSB GRADE. PROVIDE PLYWOOD CLIPS AT UNSUPPORTED EDGES @ 8" O.C.
- ALL EXTERIOR WALL SHEATHING TO BE 1/2" CDX PLYWOOD OR 7/16" OSB.
- WALL STUDS SHALL BE 2x4'S OR 2x6'S @ 16"O.C. AND SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF TWO(2) @ EACH SIDE OF ALL OPENINGS THROUGH ALL WALLS UNLESS OTHERWISE NOTED. APPLY GLUE TO FULL MATING SURFACE OF STUDS AND NAIL TOGETHER.

- PROVIDE DOUBLE JOIST AT PARALLEL WALL CONDITIONS. PROVIDE TRIPLE JOIST AT PARALLEL BEARING WALL CONDITIONS. PROVIDE SOLID BLOCKING DOWN TO FOUNDATION UNDER ALL BEARING POINTS.
- HEADERS: UP TO 4' = (2/2x6'S ± 4' TO 6' = (2/2x8'S ± 6' TO 8' = (2/2x10'S ± 8' TO 10' (2/2x12'S. ALL HEADERS TO BE SUPPORTED BY ONE JACK STUD AND ONE FULL HEIGHT STUD AT EACH END. MINIMUM HEADERS LONGER THAN 10' FEET SHALL BE SUPPORTED BY TWO JACK STUDS & TWO FULL HEIGHT STUDS AT EACH END. ALL POST TO BE GLUED AND NAILED.
- WHERE "LVL" (LAMINATED VENEER LUMBER) IS NOTED ON DRAWINGS THE PRODUCTS SHALL HAVE THE MINIMUM AS FOLLOWS:  

Fb = 2600 PSI	Fv = 285 PSI
Fc = 2310 PSI(PARALLEL)	Fc = 650 PSI (PERPENDICULAR)
E = 1900000 PSI	
- CONTRACTOR IS TO PROVIDE ENGINEERING DATA FROM MANUFACTURER. ENGINEER LUMBER MANUFACTURER TO PROVIDE DRAWINGS SIGNED AND SEALED BY ENGINEER REGISTERED IN THE STATE OF OHIO.
- WOOD EXPOSED TO WEATHER IN THE FINISHED APPLICATION, SILL PLATES AND THE BOTTOM PLATES OF WALL BEARING ON FOUNDATION WALLS SHALL BE SOUTHERN YELLOW PINE #2 DENSE AND SHALL BE TREATED WITH WOOD PRESERVATIVE AS REQUIRED.
- ALL WOOD CONSTRUCTION SHALL CONFORM WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND "DESIGN VALUES FOR WOOD CONSTRUCTION" LATEST EDITIONS.
- STEEL:  
 ALL REINFORCING STEEL SHALL BE ASTM GRADE 60  
 ANCHOR BOLTS TO CONFORM TO ASTM A307.  
 ALL STRUCTURAL STEEL TO HAVE ONE COAT OF SHOP PRIMER.
- INSULATION:  
 PROVIDE R-13 MIN. BATT INSULATION IN ALL EXTERIOR WALLS WITH 204 POLYETHYLENE VAPOR BARRIER STAPLED TO INSIDE SURFACE OF STUDS OR NJ WOOL INSULATION AS PER OWNER. PROVIDE 2" RIGID BOARD INSULATION AT ALL EXTERIOR SLAB CONDITIONS AND INTERIOR GARAGE WALLS DOWN TO FROST LINE. PROVIDE R-30 BLOWN IN INSULATION IN ALL ATTIC SPACES. PROVIDE R-19 BATT'S AT ALL BANDS AND ALL OVERHANGS.
- GYP'SUM BOARD:  
 PROVIDE MINIMUM 1/2" GYP'SUM BOARD. 5/8" TYPE X FIRE CODE WHERE NOTED OR REQUIRED BY CODE. ALL GYP'SUM BOARD TO BE SCREWED DOWN.
- ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON DRAWINGS SHALL COMPLY WITH THE OHIO RESIDENTIAL CODE.
- THE BUILDING IS STRUCTURALLY SOUND WHEN COMPLETED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE PROPER STABILITY OF THE STRUCTURE WHILE UNDER CONSTRUCTION.

# GENERAL BUILDING CODE NOTES:

- ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SPACE BY VENTILATING OPENINGS PROTECTED AGAINST ENTRANCE OF SNOW AND RAIN. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE AREA VENTILATED. PROVIDE SOFFIT AND GABLE VENTS AS REQUIRED.
- ALL ELECTRICAL, PLUMBING, AND HVAC WORK TO COMPLY WITH THE OHIO RESIDENTIAL CODE. ELECTRIC WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE PLUMBING WORK SHALL COMPLY WITH THE OHIO PLUMBING CODE.
- FIRESTOPPING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT THE CEILING AND FLOOR OR ROOF LEVELS, AT ALL INTER-CONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS OVER CABINETS, DROP CEILING, ETC. AND AT OPENINGS AROUND VENTS, PIPES, DUCTS AND CHIMNEYS AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS
- SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING INCLUDING BASEMENTS. SMOKE DETECTORS SHALL BE HARD WIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. (R317)
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS. WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24". WINDOWS SHALL HAVE A MINIMUM NET CLEAR WIDTH OF 20". ALL EGRESS WINDOWS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF. GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SF.
- A READILY ACCESSIBLE OPENING NOT LESS THAN 22" BY 30" SHALL BE PROVIDED TO ALL ATTIC AREAS HAVING A CLEAR HEIGHT OVER 30"
- PROVIDE AN EXHAUST FAN IN EVERY BATHROOM. EACH FAN SHALL HAVE A MINIMUM CAPACITY OF 100 CFM, AND SHALL BE SWITCHED SEPARATE FROM LIGHT SWITCH.

# INDEX OF DRAWINGS

- A0 GENERAL NOTES
- C1 SITE PLAN
- A1 BASEMENT PLAN - EXISTING
- A2 FIRST FLOOR PLAN - EXISTING
- A3 FIRST FLOOR PLAN - DEMO
- A4 FIRST FLOOR PLAN - NEW WORK
- A5 FIRST FLOOR PLAN - ELECTRICAL
- A6 EXTERIOR ELEVATIONS
- A7 EXTERIOR ELEVATIONS
- A8 SECTIONS

**MICHAEL W MURPHY**  
 ARCHITECT, LEED AP  
 2919 SOUTHFIELD VILLAGE DRIVE  
 GROVE CITY, OHIO 43123  
 EMAIL: MURPH\_2014@YAHOO.COM

**THE HOWARD RESIDENCE**  
 INTERIOR REMODEL

52 N MERKLE  
 BEXLEY, OHIO

DESIGN DEVELOPMENT:  
**09 25 2017**  
 ISSUED FOR PERMIT:  
**11 12 2018**  
 CONST. REVISIONS:

SHEET CONTENT:  
**GENERAL NOTES**

All drawings and written material appearing herein constitute the original and unpublished work of the architect and owner may not be duplicated, used or disclosed without the written consent of the architect and/or owner.

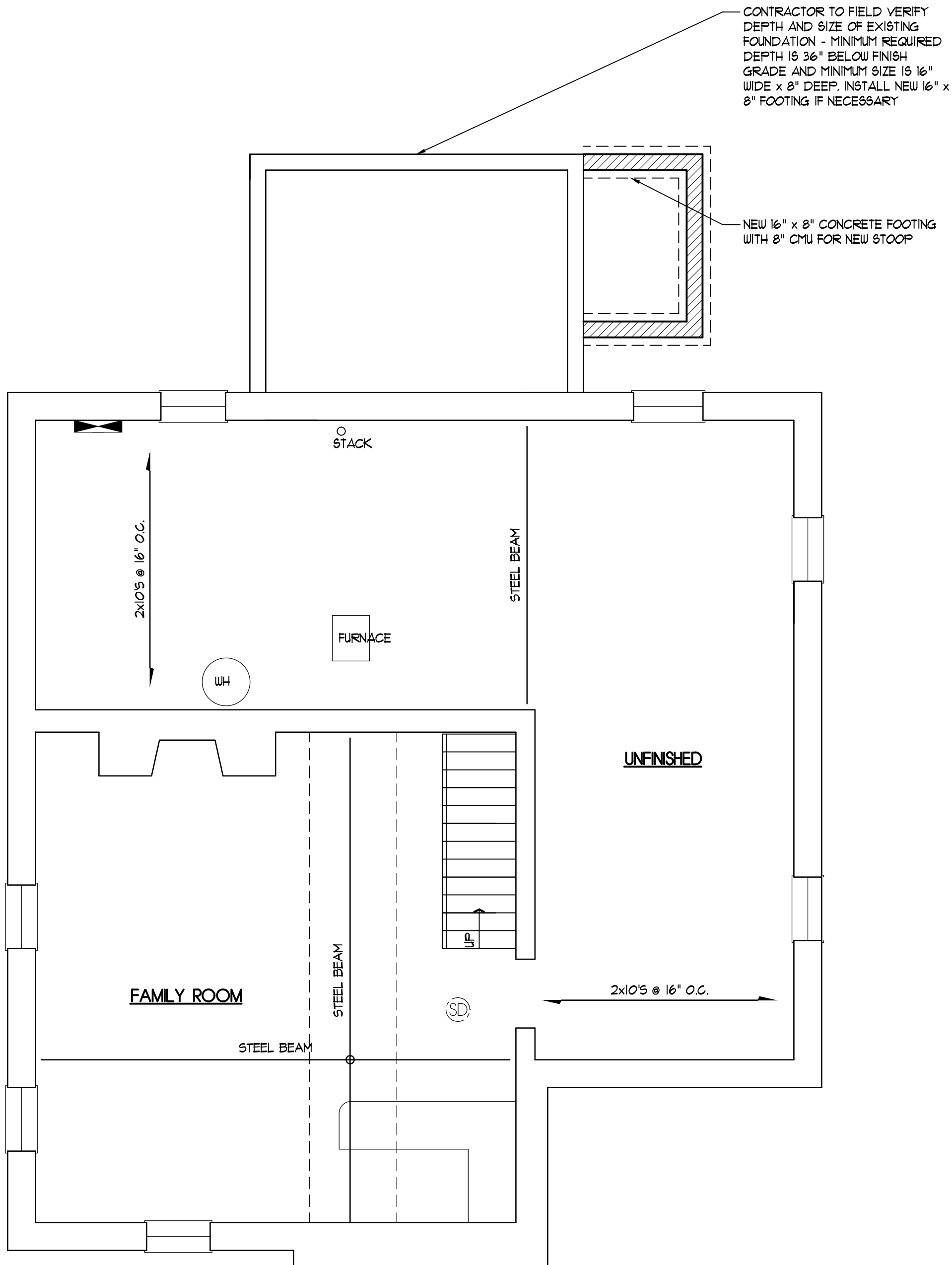
PROJECT NUMBER: 17013  
 DRAWN BY: **MMW**  
 CHECKED BY:  
 SHEET NUMBER:

A0



**RENOVATIONS**  
 UNLIMITED

1933 Harrisburg Pike  
 Grove City, Ohio 43123-1453  
 (614) 594-0004  
 www.RENOVATIONSUNLIMITED.com  
 Providing Sustainable Remodeling Practices



1 BASEMENT FLOOR PLAN - EXISTING  
 A1 1/4" = 1'-0"

MICHAEL W MURPHY  
 ARCHITECT, LEED AP  
 2919 SOUTHFIELD VILLAGE DRIVE  
 GROVE CITY, OHIO 43123  
 EMAIL: MURPH\_2014@YAHOO.COM

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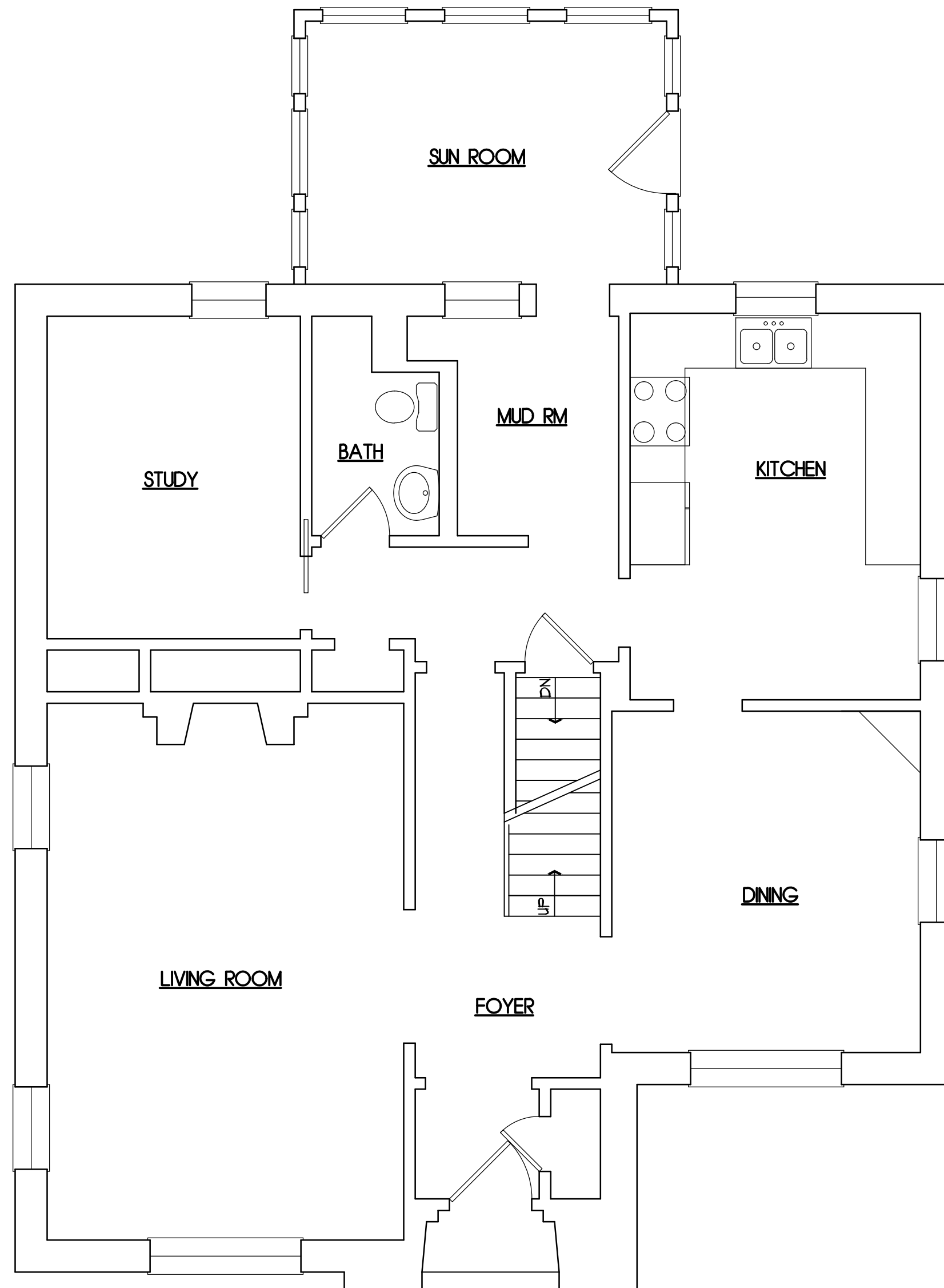
SHEET CONTENT:  
 BASEMENT PLAN  
 EXISTING COND.

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PROJECT NUMBER: 17013  
 DRAWN BY: MWM  
 CHECKED BY:  
 SHEET NUMBER:



A1



1 1ST FLOOR PLAN - EXISTING  
 A2 1/4" = 1'-0"

MICHAEL W MURPHY  
 ARCHITECT, LEED AP  
 2919 SOUTHFIELD VILLAGE DRIVE  
 GROVE CITY, OHIO 43123  
 EMAIL: MURPH\_2014@YAHOO.COM

THE HOWARD RESIDENCE  
 INTERIOR REMODEL

52 N MERKLE  
 BEXLEY, OHIO

DESIGN DEVELOPMENT:  
 09 25 2017

ISSUED FOR PERMIT:

CONST. REVISIONS:

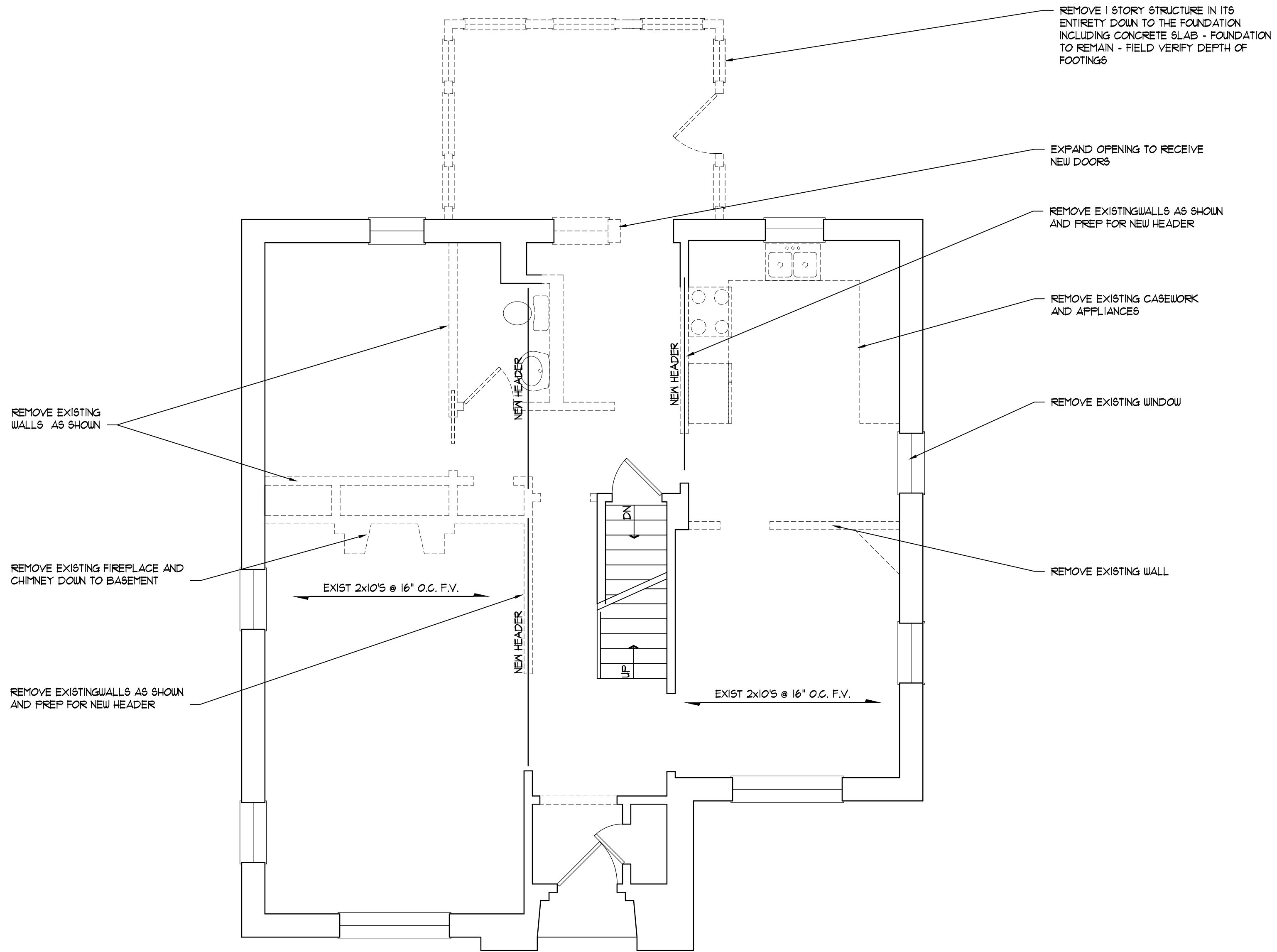
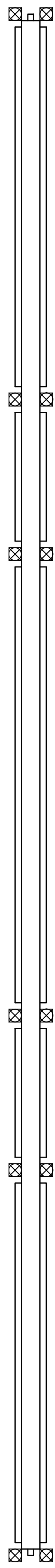
SHEET CONTENT:  
 1ST FLOOR PLAN  
 EXISTING COND

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PROJECT NUMBER: 17013  
 DRAWN BY: MWM  
 CHECKED BY:  
 SHEET NUMBER:

A2





MICHAEL W MURPHY  
 ARCHITECT, LEED AP  
 2919 SOUTHFIELD VILLAGE DRIVE  
 GROVE CITY, OHIO 43123  
 EMAIL: MURPH\_2014@YAHOO.COM

THE HOWARD RESIDENCE  
 INTERIOR REMODEL

52 N MERKLE  
 BEXLEY, OHIO

DESIGN DEVELOPMENT:  
 09 25 2017

ISSUED FOR PERMIT:

CONST. REVISIONS:

SHEET CONTENT:  
 1ST FLOOR PLAN  
 DEMO PLAN

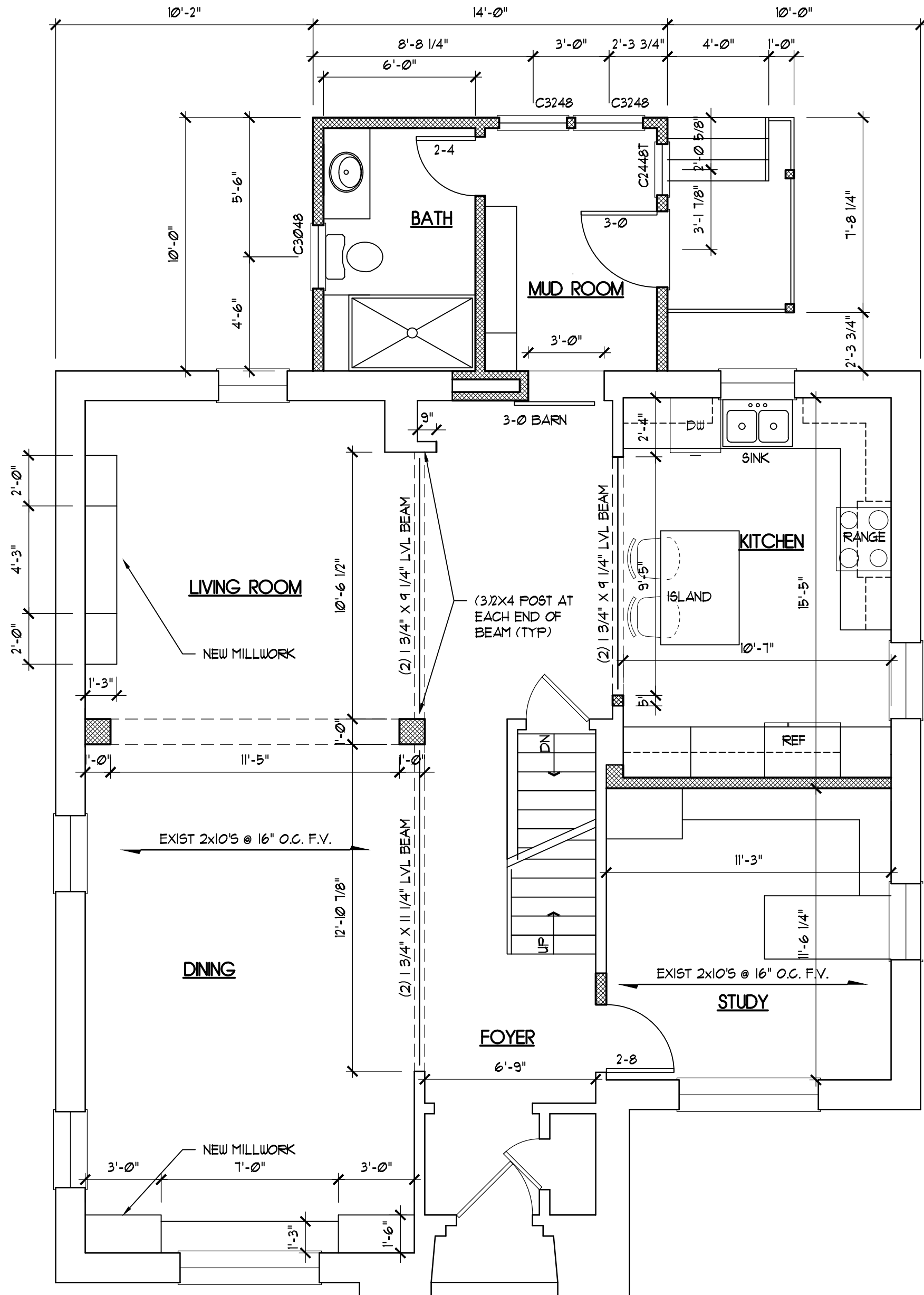
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PROJECT NUMBER: 17013  
 DRAWN BY: MWM  
 CHECKED BY:  
 SHEET NUMBER:

A3

1 1ST FLOOR PLAN - DEMO  
 A3 1/4" = 1'-0"





1 1ST FLOOR PLAN - NEW WORK  
 A4 1/4" = 1'-0"

MICHAEL W MURPHY  
 ARCHITECT, LEED AP  
 2919 SOUTHFIELD VILLAGE DRIVE  
 GROVE CITY, OHIO 43123  
 EMAIL: MURPH\_2014@YAHOO.COM

THE HOWARD RESIDENCE  
 INTERIOR REMODEL

52 N MERKLE  
 BEXLEY, OHIO

DESIGN DEVELOPMENT:  
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 11 12 2018  
 CONST. REVISIONS:

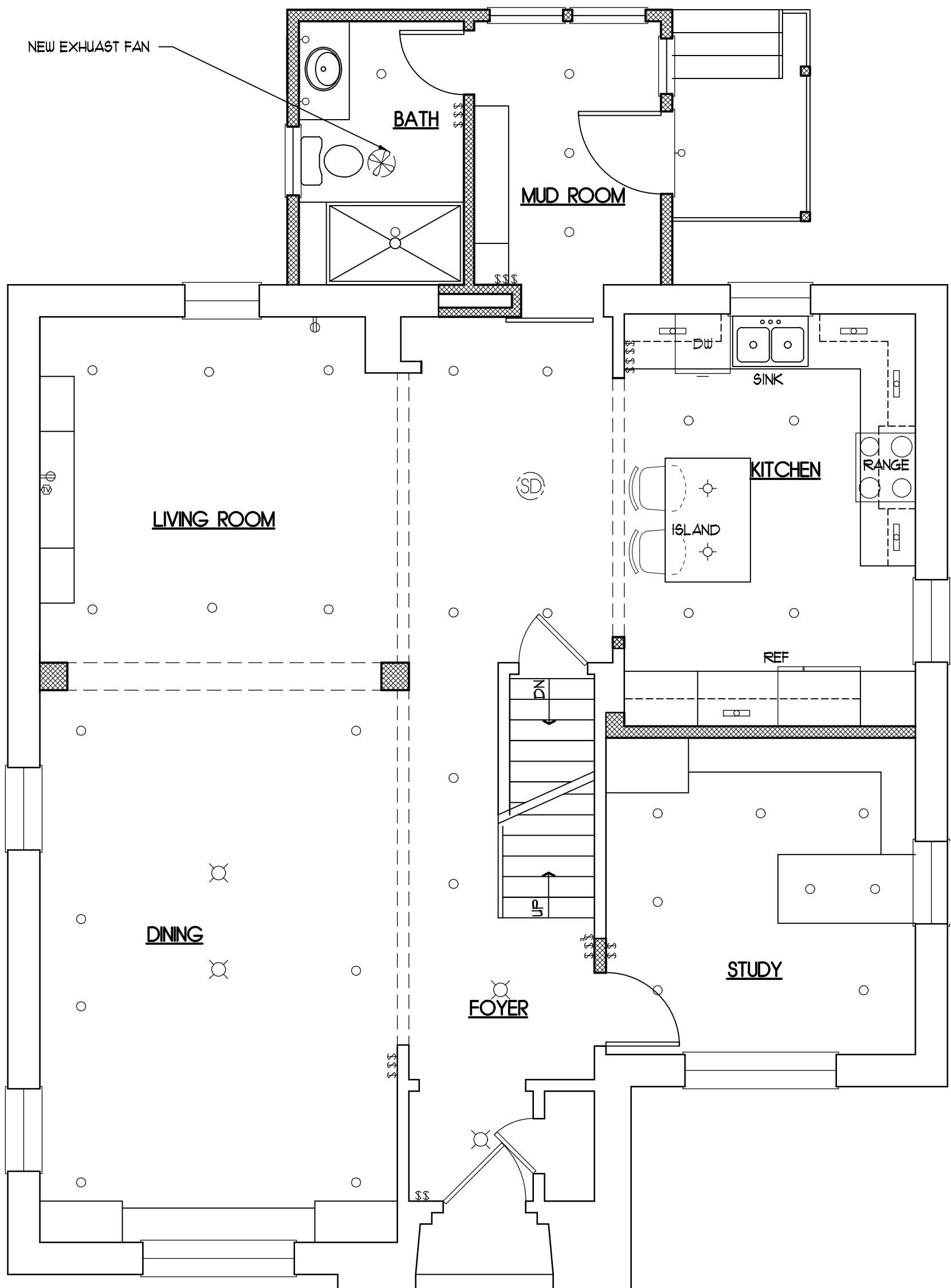
SHEET CONTENT:  
 1ST FLOOR PLAN  
 NEW WORK

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PROJECT NUMBER: 17013  
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 SHEET NUMBER:

A4





- ELECTRICAL LEGEND**
- WALL MOUNTED LIGHT FIXTURE
  - RECESSED CAN LIGHT
  - ⬡(S) SPEAKER
  - ⬡(TV) CABLE TV OUTLET
  - ⬡(P) PHONE JACK
  - ⬡ UNDER CABINET LIGHT
  - FLOURESCENT LIGHT
  - ⊗ CEILING MOUNTED LIGHT
  - ⊕ RECEPTACLE
  - ⊙(SD) SMOKE DETECTOR
  - ⊙(CM) CARBO MONOXIDE DETECTOR

1 1ST FLOOR PLAN - ELECTRICAL  
 A4 1/4" = 1'-0"

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THE HOWARD RESIDENCE  
 INTERIOR REMODEL  
 52 N MERKLE  
 BEXLEY, OHIO

DESIGN DEVELOPMENT:  
 09 25 2017  
 ISSUED FOR PERMIT:  
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 CONST. REVISIONS:

SHEET CONTENT:  
 1ST FLOOR PLAN  
 ELECTRICAL

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A5

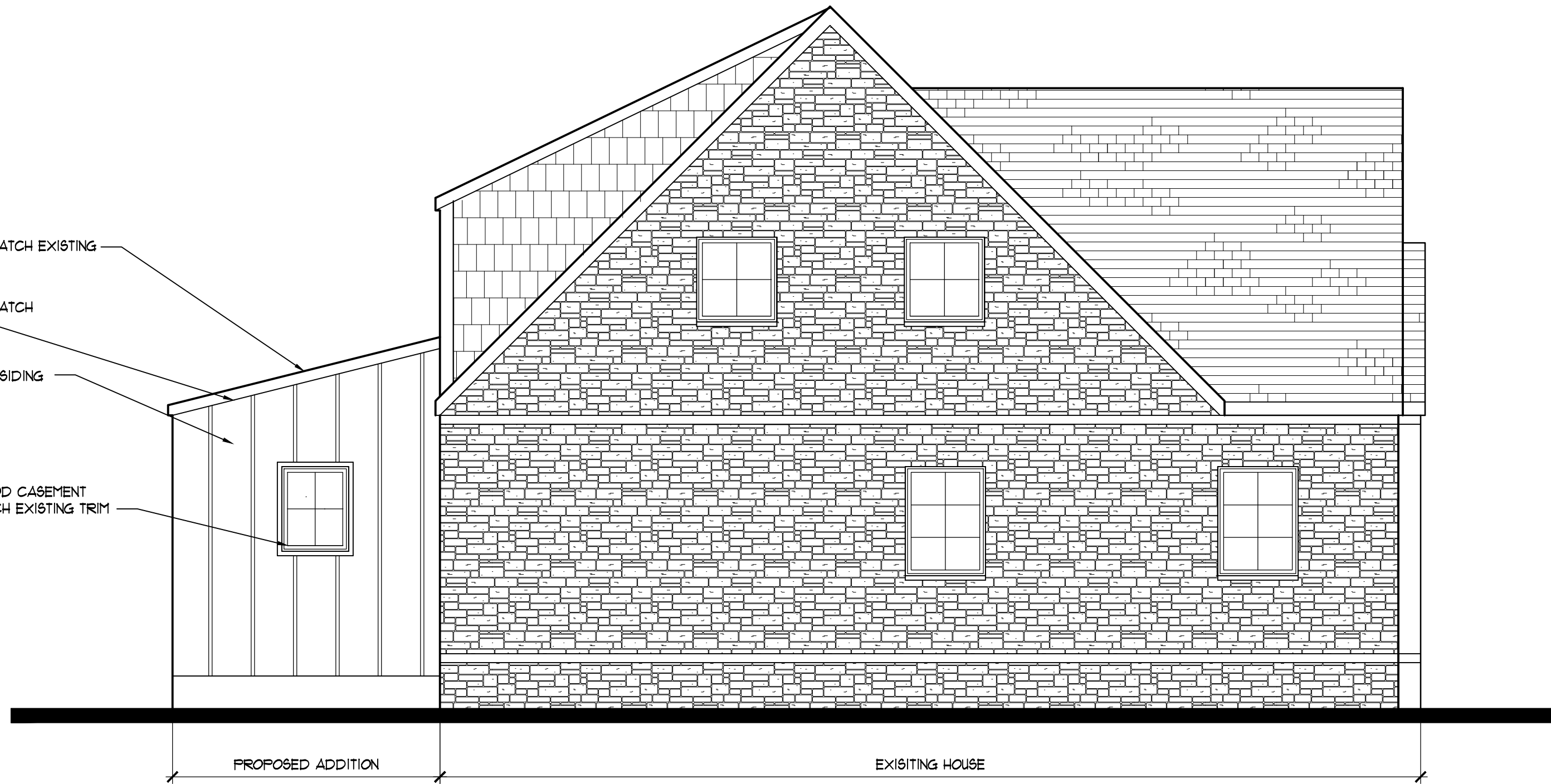


NEW ROOF - MATCH EXISTING

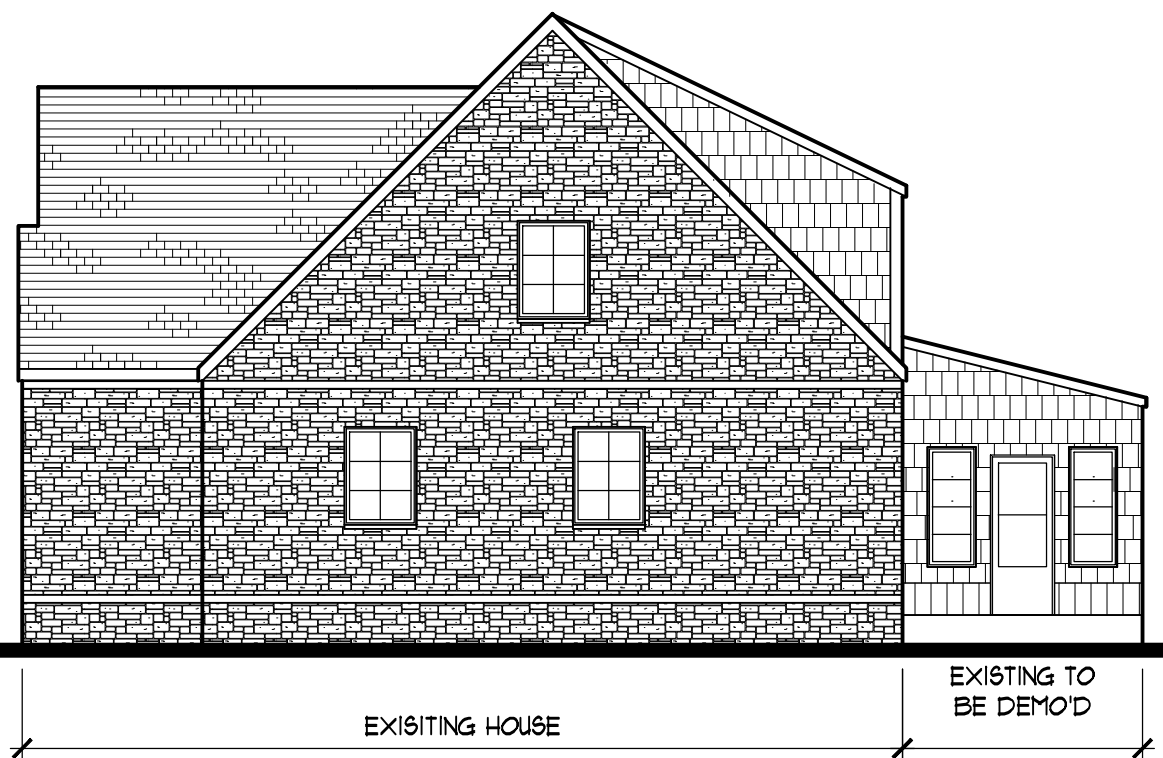
RAKE TRIM - MATCH EXISTING

FIBER CEMENT SIDING WITH BATTENS

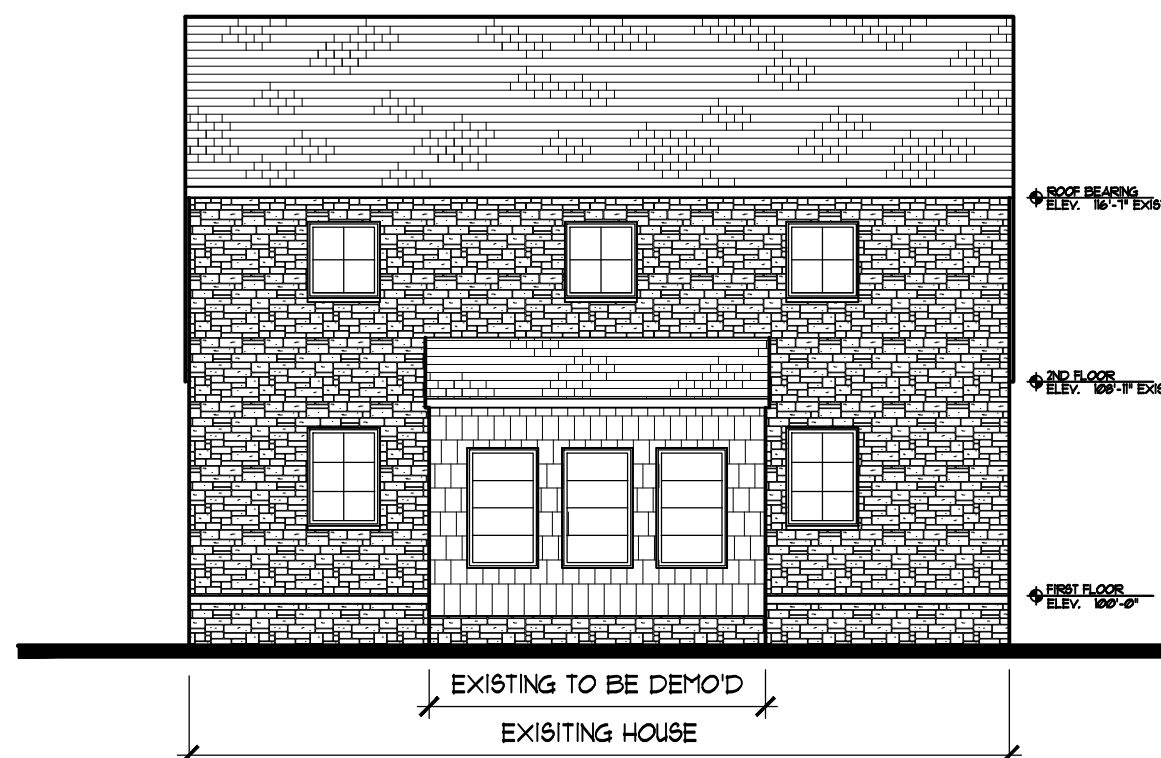
NEW CLAD WOOD CASEMENT WINDOW - MATCH EXISTING TRIM



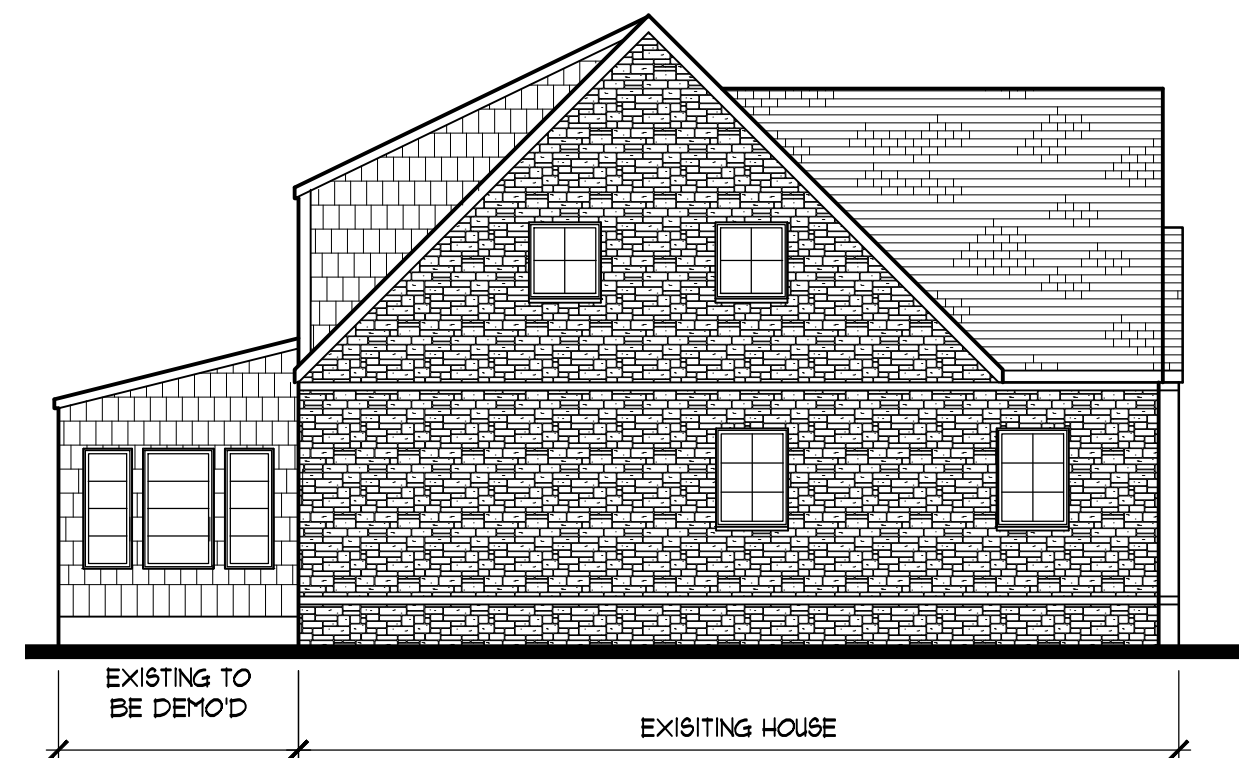
1 SIDE ELEVATION  
A7 1/4" = 1'-0"



2 SIDE ELEVATION - EXISTING  
A7 1/8" = 1'-0"



3 REAR ELEVATION - EXISTING  
A7 1/8" = 1'-0"



2 SIDE ELEVATION - EXISTING  
4 1/8" = 1'-0"

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SHEET CONTENT:  
ELEVATIONS

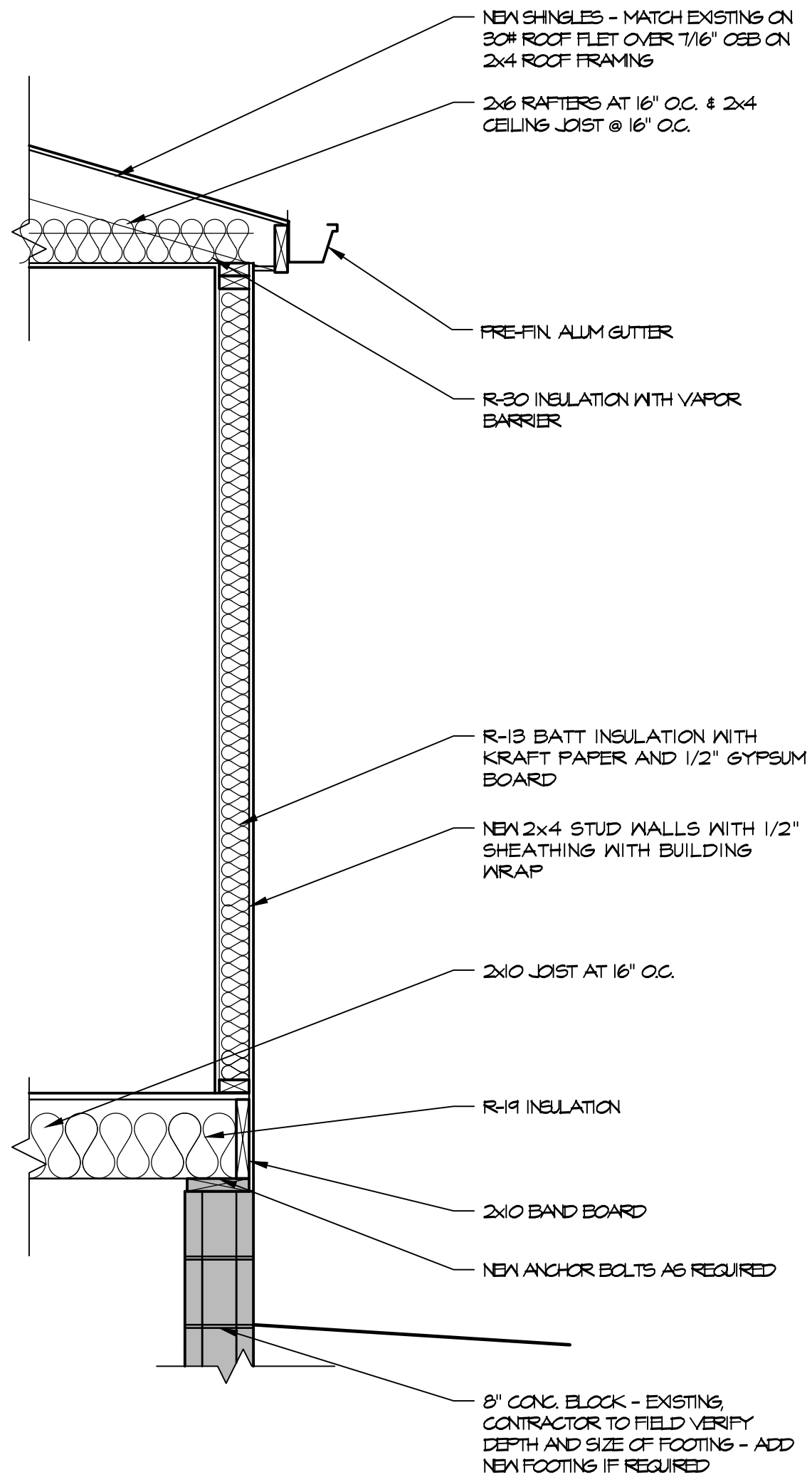
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PROJECT NUMBER: 17018  
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SHEET NUMBER:

A7

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Providing Sustainable Remodeling Practices





1 KITCHEN SECTION  
 A10 3/4" = 1'-0"

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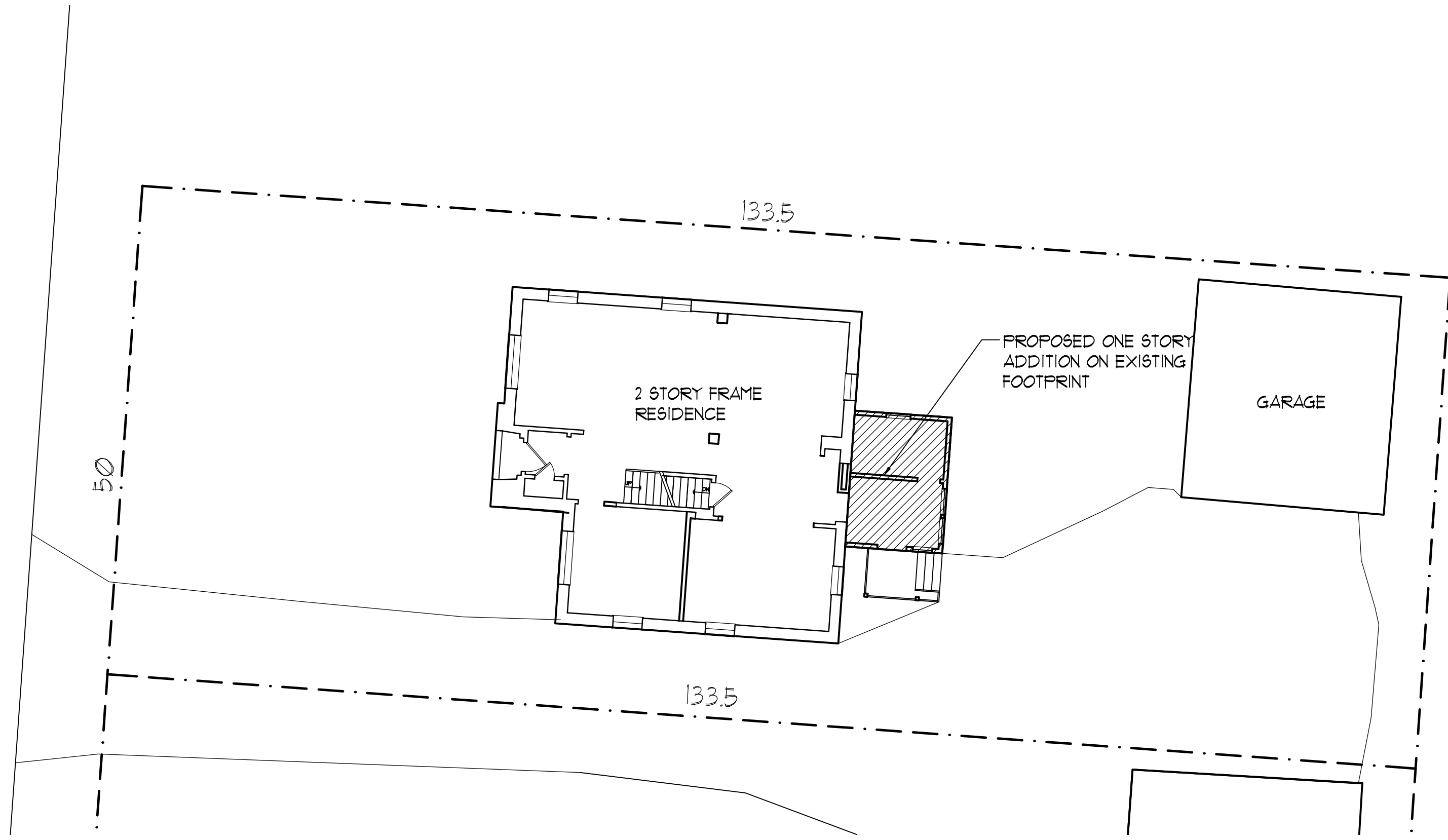
SHEET CONTENT:  
 WALL SECTION

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 SHEET NUMBER:

A8

N. MERKLE



1  
C1 SITE PLAN  
1" = 10'-0"

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SHEET CONTENT:  
SITE PLAN

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C1



1 SIDE ELEVATION  
A6 1/4" = 1'-0"



2 REAR ELEVATION  
A6 1/4" = 1'-0"

- NEW ROOF - MATCH EXISTING
- RAKE TRIM - MATCH EXISTING
- FLAT PANEL FIBER SIDING WITH 1x TRIM
- 2ND FLOOR ELEV. 108'-11" EXIST
- NEW CLAD WOOD CASEMENT WINDOW
- NEW STAIR AND RAILING
- FIRST FLOOR ELEV. 100'-0"

- ROOF BEARING ELEV. 116'-7" EXIST
- NEW ROOF - MATCH EXISTING
- FASCIA TRIM - MATCH EXISTING
- FLAT PANEL FIBER SIDING WITH 1x TRIM
- 2ND FLOOR ELEV. 108'-11" EXIST
- NEW CLAD WOOD CASEMENT WINDOW
- FIRST FLOOR ELEV. 100'-0"

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CONST. REVISIONS:

SHEET CONTENT:  
ELEVATIONS

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CHECKED BY:  
SHEET NUMBER:

A6

