



CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

AGENDA

DATE: January 10, 2019
TIME: 6:00 P.M.
PLACE: City Council Chambers, Bexley Municipal Building

1. Call to Order
2. Roll Call
3. Approval of Minutes from the October 11 & November 8, 2018 ARB meeting.
4. Public Comment:
5. Other Business:
6. Old Business:

- a. Application No.: 18- 024 Z
Applicant: Bryan Meade
Owner: Bryan Meade
Location: 334 N. Remington Rd.
ARB Request: The applicant is seeking architectural review and approval, to allow an expansion of and modifications to the first floor of the principal structure, which includes a garage addition, and a 2nd-story addition on the northern half of the principal structure. **Please Note: This application was tabled at the October 11th Architectural Review Board Meeting.**
- b. Application No.: 18- 021 Z
Applicant: Staci & Adam McCool / Bluespot YOGA
Owner: Smith Tandy Group
Location: 396 N. Cassady Ave.
ARB Request: The applicant is seeking architectural review and approval for a patio.

New business:

- c. Application No.: 18- 054 A
Applicant: Katherine and Gerald Weissberg
Owner: Same
Location: 21 S. Merkle Rd.
ARB Request: **The applicant is seeking architectural review and approval, to allow an existing screen porch to be converted to a 4-season room.**
- d. Application No.: 18-952 A Z
Applicant: Renovations Unlimited
Owner: Tonya & Marvin Howard
Location: 52 N. Merkle Rd.
ARB Request: The applicant is seeking architectural review and approval, to allow a room addition to be constructed in the same footprint as the existing 1-story addition at the rear (east side) of the existing principal structure and an uncovered porch/steps on the south side of the addition.
- e. Application No.: 18- 053 A
Applicant: Andrew & Stacy Dorr
Owner: Andrew & Stacy Dorr
Location: 192 S. Cassady Ave.
ARB Request: The applicant is seeking architectural review and approval, to allow a one-story room on the south side of the principal structure to be converted to enclosed living space.
- f. Application No.: 18- 051 A
Applicant: Yard Solutions Inc. – Steve Graham
Owner: Jacob & Elizabeth Garrett
Location: 269 S. Ardmore Rd.
ARB Request: [The applicant is seeking architectural review and approval, to allow a terrace addition to be constructed at the front of the principal structure in place of the existing stoop. The applicant is also proposing new landscaping and bluestone walk.](#)
- g. Application No.: 18- 057 A
Applicant: Amy Lauerhass
Owner: Kyle & Tayah Barger
Location: 1008 Chelsea
ARB Request: [The applicant is seeking architectural review and approval, to allow a 2nd story gable expansion at the front, and 2nd story shed dormer](#)

addition at the rear of the principal structure. The applicant is also expanding the existing open front porch.

- h. Application No.: 18- 055 A
Applicant: Robert Artrup
Owner: Katie-Brown Anthony & Edward Brown
Location: 921 Francis Ave.
ARB Request: The applicant is seeking architectural review and approval, to allow a one-story room addition on the west side (rear) of the principal structure.
- i. Application No.: 18-938 A
Applicant: Heidi Bolyard, Simplified Living Arch & Design
Owner: Mark Talis
Location: 285 S. Cassady Ave.
ARB Request: The applicant is seeking architectural review and approval, to allow the existing 8' x 12' covered porch on the front (east side) of the principal structure to be replaced with an expanded (8' x 33') open porch.
- j. Application No.: 18- 059 A
Applicant: Pete Foster
Owner: Michelle Kramer
Location: 466 N. Columbia Ave.
ARB Request: The applicant is seeking architectural review and approval, to allow a one-story addition on the east side (rear) of the principal structure.
- k. Application No.: 18- 058 A
Applicant: Pete Foster
Owner: Gregory Buzzell
Location: 91 S. Roosevelt Ave.
ARB Request: The applicant is seeking architectural review and approval, to allow a 2nd story addition on the south side of the 2-story principal structure, over the 1-story portion of the house.
- l. Application No.: 18 - 034 Z
Applicant: Pete Foster Residential Design, LLC
Owner: Mr. & Mrs. T. Jones
Location: 187 S. Ardmore Rd.
ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a new detached garage.
- m. Application No.: 18-037 Z
Applicant: Eric & Stephanie Quigley

Owner: Same
Location: 124 Stanbery Ave.

ARB Request: The applicant is seeking architectural review and approval, to allow additions to the rear (east) and side (north) of the principal structure. The applicant is seeking a recommendation to the Board of Zoning and Planning to allow a new detached garage.

- n. Application No.: 18-0032 Z
Applicant: Brad Schoch
Owner: Greg & Corry Tishkoff
Location: 270 S. Columbia Ave. (vacant lot south of 256 S. Columbia)
BZAP Request: The applicant is seeking a 3.5' variance from Bexley Code Section 1252.09 (R-3) which requires a 97' average front yard setback, to allow a new single-family dwelling to be constructed 93.5' from the front (west) property line. The applicant is also seeking preliminary architectural review of the proposed new single-family dwelling.



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Applicant: Bryan Meade
Owner: Bryan Meade
Location: 334 N. Remington Rd.
ARB Request: The applicant is seeking architectural review and approval, to allow an expansion of and modifications to the first floor of the principal structure, which includes a garage addition, and a 2nd-story addition on the northern half of the principal structure. **Please Note: This application was tabled at the October 11th Architectural Review Board Meeting.**

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

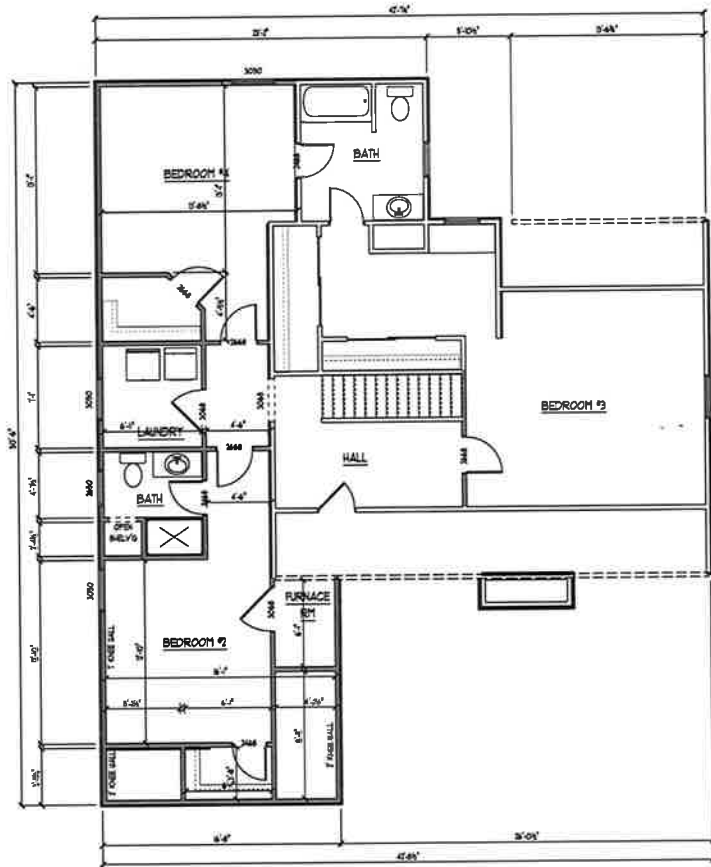
**PRELIMINARY REVIEW PLANS
NOTE FOR CONSTRUCTION
DATE: 12-10-2018**

BUILDING SQFT:	
FIRST FLOOR EXIST'G:	1372 SQFT
SECOND FLOOR EXIST'G:	593 SQFT
FIRST FLOOR ADDITION:	
SECOND FLOOR ADDITION:	699 SQFT
TOTAL:	3.046 SQFT

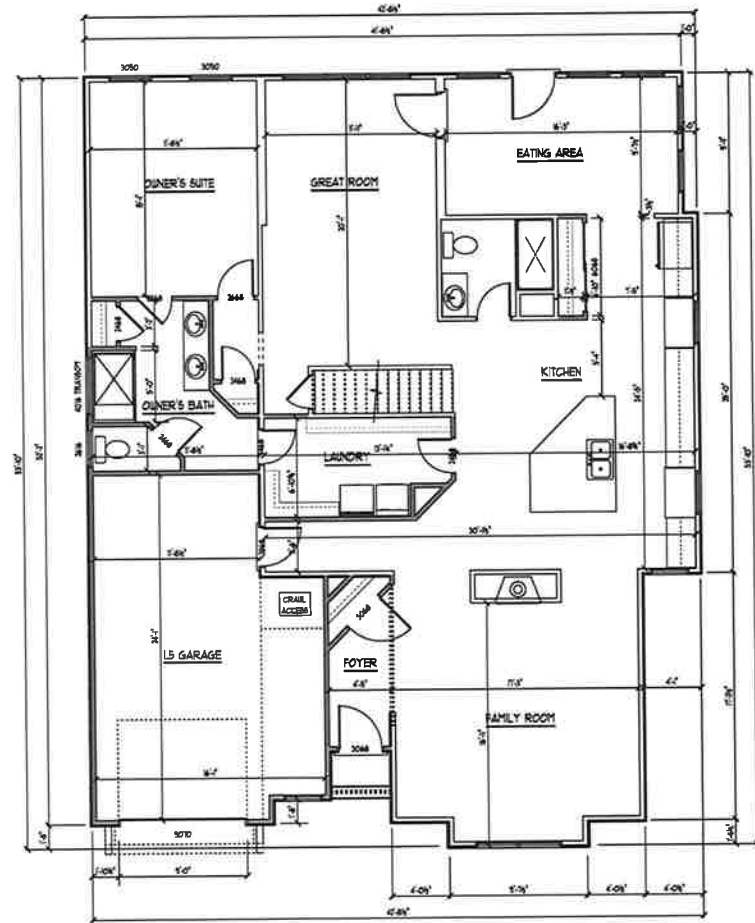


Residential Design
740-819-8206
www.chateaudesigns.com
email: rmdh24@gmail.com

- PRELIMINARY
- ONLY FOR REVIEW BY HOME OWNER
NOT FOR FINISHED PROJECT
- ESTIMATING
- CONSTRUCTION
- FOR BIDDING PURPOSES



SECOND FLOOR PLAN 1/4" = 1'-0"



FIRST FLOOR PLAN 1/4" = 1'-0"

**Addition to Residence
334 N. Remington
Bexley, Ohio
Brywood Builders**

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ALL DRAWINGS ARE AND SHALL REMAIN
THE PROPERTY OF CHATEAU DESIGNS
AND MAY NOT BE USED, DUPLICATED
OR ALIENED WITHOUT THE WRITTEN
CONSENT OF CHATEAU DESIGNS

DATE: 12-10-2018
BY: RMDH24

PRELIMINARY:
ONLY FOR REVIEW BY HOME OR
NOT THE FINISHED PRODUCT

ESTIMATING:
COMPARE PRICES FOR CONTRACT

CONSTRUCTION:
FOR BUILDING PURPOSES

Addition to Residence
334 N. Remington
Bexley, Ohio
Arinwood Builders

© COPYRIGHT 2011
ALL DRAWINGS ARE AND SHALL BE
THE PROPERTY OF CHATEAU DESIGN
AND MAY NOT BE REPRODUCED,
COPIED, OR OTHERWISE USED
WITHOUT THE WRITTEN
CONSENT OF CHATEAU DESIGN

DISCLAIMER:
I HAVE REVIEWED THESE PLANS
AND I AM NOT PROVIDING
ANY GUARANTEE FOR ANY DAMAGES
OR DEFICIENCIES OF THESE PLANS.
I AM NOT AN ARCHITECT OR ENGINEER.
SEE ALL LOCAL BUILDING CODES PRIOR
TO CONSTRUCTION OF ANY OTHER.

DATE: _____
BY: _____
REVISED: _____

SHEET #



REAR VIEW



FRONT VIEW

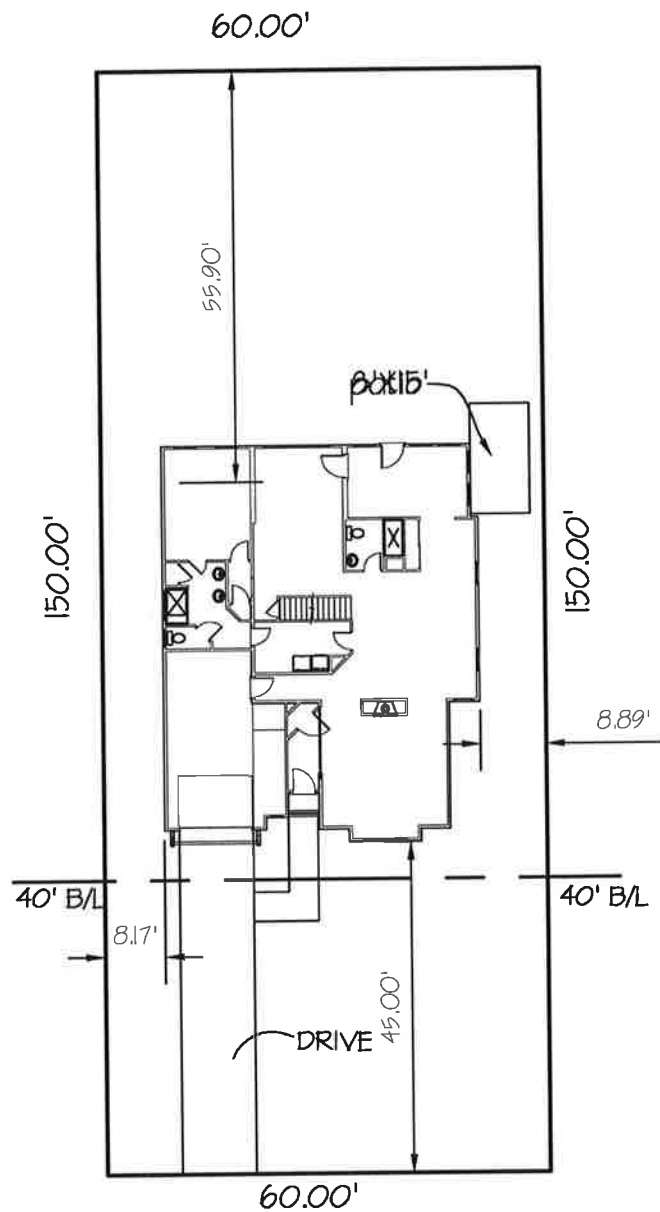
**PRELIMINARY REVIEW PLANS
NOTE FOR CONSTRUCTION
DATE: 12-10-2018**



LEFT VIEW



FRONT VIEW



N. Remington Road

SITE PLAN

1"=20'-0"

BECAUSE WE ARE CONSTANTLY IMPROVING OUR PRODUCT, WE RESERVE TO REVISE, CHANGE AND OR SUBSTITUTE PRODUCTS FEATURES, DIMENSIONS, SPECIFICATIONS, ARCHITECTURAL DETAILS AND DESIGN WITHOUT NOTICE. THIS BROCHURE IS FOR ILLUSTRATION PURPOSES ONLY AND IS NOT PART OF A LEGAL CONTRACT. PRICES ARE SUBJECT TO CHANGE WITHOUT NOTICE. ROOM DIMENSIONS ARE APPROXIMATE. UNPUBLISHED WORK © CHATEAUX DESIGNS 2010

Home Plans by
Chateaux
 Designs

Chateaux Designs 740-819-8206





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- a. Application No.: 18- 021 Z
Applicant: Staci & Adam McCool / Bluespot YOGA
Owner: Smith Tandy Group
Location: 396 N. Cassady Ave.
ARB Request: The applicant is seeking architectural review and approval for a patio.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 01-02-2019



City of Bexley
Architectural Review Board

Decision and Record of Action – September 13, 2018

The City of Bexley Architectural Review Board took the following action at this meeting:

Location: 396 N. Cassady Ave.
Application No.: 18-021 Z
Applicant: Staci & Adam McCool – Bluespot YOGA & Event Space
Owner: Cassidy 396, LLC
Request: The applicant is seeking architectural review and approval of changes to the site and building improvements in accordance with Bexley code Section 1254.11, to accommodate a Yoga Studio at this location. The Building Changes also include color, windows, signage and patio space. The site changes include adding a patio, parking and landscaping.

MOTION: The findings and Decision of the Board, as stated by Kathy Rose: The Architectural Review Board finds that a certificate of Appropriateness should be issued with the following conditions: 1) The applicant work with the design consultant on the location of accent lighting; 2) the landscape plan is subject to the approval of the Tree & Public Garden Commission; and 3) the applicant return with deck plan details.

The applicant; Joaquin Serantes, agreed to the findings of fact.

VOTE: All members voted in favor with the conditions.

RESULT: The part of the design was approved with conditions.

Staff Certification: Recorded in the Official Journal this 13 day of Sept., 2018.

Kathy Rose, Zoning Officer

Karen Bokor, Design Consultant

cc: Applicant, File Copy



PORCELAIN TILE PAVER



DECORATIVE CONCRETE PLANTERS



CONTEMPORARY WOOD PANTER



No.	Date	Revisions
2	11/28/18	TENANT REV
1		
1		
1		
1		

SE-RA
ARCHITECTURE



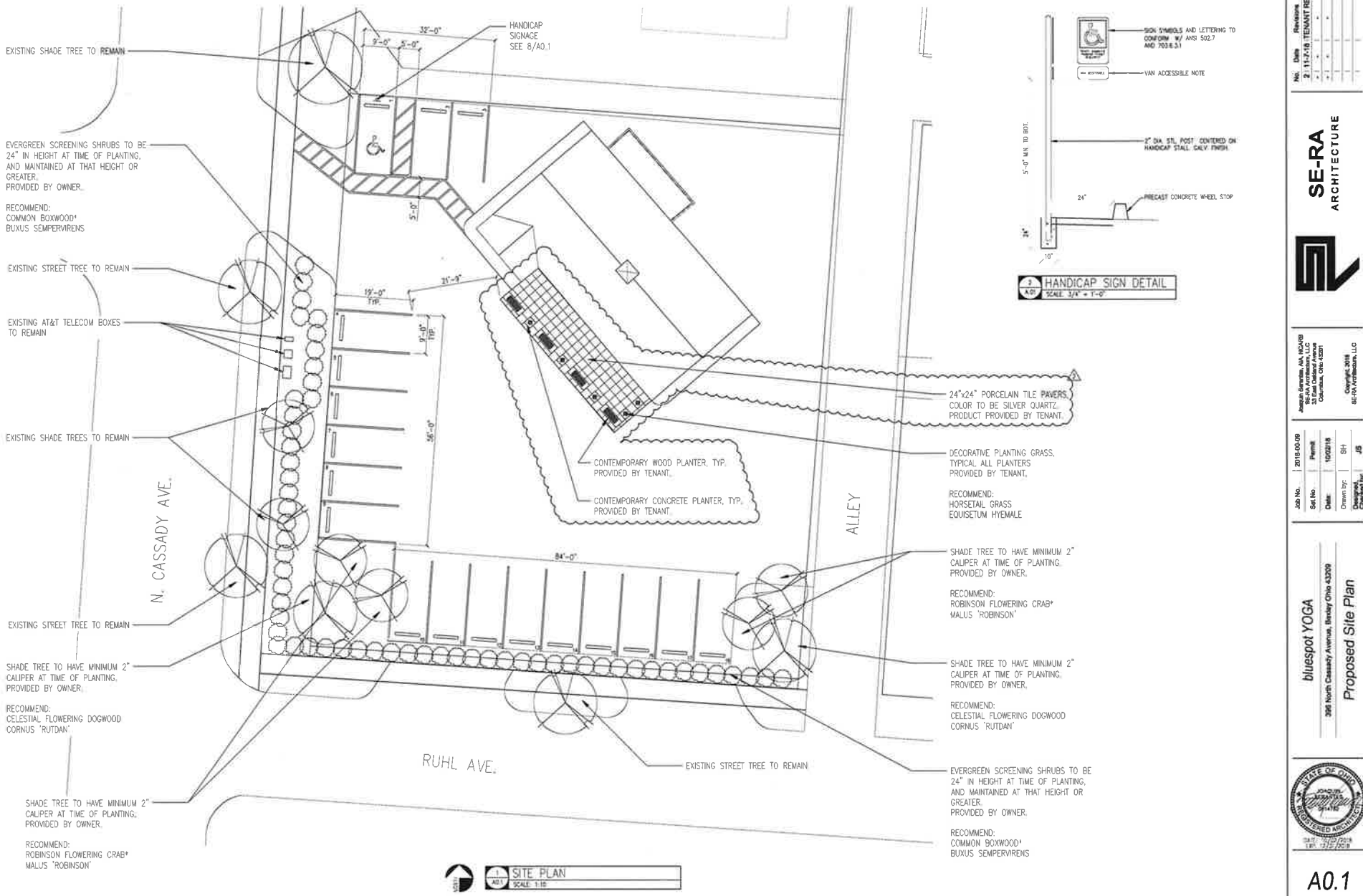
Joseph Serrano, AIA, NCARB
SE-RA Architecture, LLC
10000 North Cass
Columbus, Ohio 43201
Copyright, 2018
SE-RA Architecture, LLC

Job No.	2018-00-08
Sub No.	Permit
Date:	10/02/18
Drawn by:	SH
Checked by:	JIS

bluespot YOGA
380 North Cassady Avenue, Bentley Ohio 43208
Proposed Site Plan



A0.1



No.	Date	Revisions
2	11/14/18	TENANT REV.



Angela Lawrence, AIA, NCARB
33 East Columbus Avenue
Columbus, Ohio 43215
Copyright 2018
SE-RA ARCHITECTURE, LLC

Job No.	Date	Permit
2016-05-05	10/20/18	1020218

Drawn by: SFI
Checked by: JES

bluespot YOGA
368 North Cassady Avenue, Hurley Ohio 43209
Proposed Site Plan



A0.1



PUBLIC NOTICE
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ARCHITECTURAL REVIEW BOARD and/or

BOARD OF ZONING AND PLANNING

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Applicant: Katherine and Gerald Weissberg
Owner: Same
Location: 21 S. Merkle Rd.
ARB Request: [The applicant is seeking architectural review and approval, to allow an existing screen porch to be converted to a 4-season room.](#)

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

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extension

SHEET A.1 CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review
- Conditional Use
- Demolition
- Planned Unit Dev.
- Rezoning
- Special Permit

Property & Project Information:

Glass block on north facade

Property Address: 21 S. Merkle Road / 2843 E. Broad St.

Brief Project Description: *Remodeling a screened/plexiglass porch into an all-season room. Replacing screens with double hung vinyl clad wood windows, dry wall, & insulation. Windows to match style of existing windows, siding to match existing exterior. Adding HVAC to room. Removing exterior door.*

Applicant Information:

Applicant Name: Gerald & Katherine Weissberg

Applicant Address: 4274 Bridgelane Place, New Albany, OH 43054

Applicant Email & Phone: jerryweissberg@hotmail.com 614-357-8056

Property Owner Information: Kathyweissberg@gmail.com 951-970-2972

Owner Name: Same as above

Owner Address: [] [] [] []

Owner Email & Phone: [] []

Attorney/Agent Information:

Agent Name: N/A

Agent Address: [] [] [] []

Agent Email & Phone: [] []

- Completed Worksheets: Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet C)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: [Signature] Date: 11/5/18

Owner Signature: [Signature] Date: 11.5.18

Agent Signature: N/A Date: []

Internal Use:

Application #: [] Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: [Signature] Date: []

→ Glass block only - porch to ARB

Project Worksheet

Residential Commercial

Property Address: 21 S. Merkle Rd / 2843 E. Broad St.

Zoning District:

- R-1 (25% Building & 40% Overall)
- R-2 (25% Building & 50% Overall)
- R-3 (25% Building & 50% Overall)
- R-6 (35% Building & 60% Overall)
- R-12 (35% Building & 70% Overall)
- Other:

* Overall coverage includes hardscape

Lot Info: LOT 7-PT 6 Width (ft.): 85.95 Depth (ft.): 160 Total Area (SF): 13,752

Primary Structure Info:

Existing Footprint (SF):	<input type="text" value="1552"/>	
Proposed Addition (SF):	<input type="text" value="0"/>	
Removing (SF):	<input type="text" value="0"/>	(Type of Structure): <input type="text" value="Porch"/>
Proposed new primary structure or residence (SF):	<input type="text" value="192"/>	
Total Square Footage:	<input type="text" value="1744"/>	

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

N/A

Existing Footprint (SF):	<input type="text"/>	New Structure Type:	<input type="text"/>
Proposed Addition (SF):	<input type="text"/>	Ridge Height:	<input type="text"/>
Proposed New Structure (SF):	<input type="text"/>	Is there a 2nd floor?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Total of all garage and accessory structures (SF):	<input type="text"/>	2nd Floor SF:	<input type="text"/>
Total building lot coverage (SF):	<input type="text"/>	=	<input type="text"/> % of lot
Is this replacing an existing garage and/or accessory structure?	<input type="checkbox"/> Yes <input type="checkbox"/> No		

Hardscape:

N/A

Existing Driveway (SF):	<input type="text"/>	Existing Patio (SF):	<input type="text"/>	Existing Private Sidewalk (SF):	<input type="text"/>
Proposed Additional Hardscape (SF):	<input type="text"/>				
Total Hardscape (SF):	<input type="text"/>				

Totals: Total overall lot coverage (SF): = % of lot No change

Applicant Initial:

Internal Use:	Staff Review Date:	<input type="text"/>	<input type="checkbox"/> Meets Zoning	<input type="checkbox"/> ARB Only	<input type="checkbox"/> Variance or Modifications Needed
	Staff Comments:	<input type="text"/>			Staff Initial: <input type="text"/>

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer:

New Roof Style & Color:

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other: Removable panels
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other: Wood frame, plexiglass/screens

New Window Manufacturer:

New Window Style/Mat./Color:

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: * Remove door Style: Color: *There will not be an exterior door to the room.

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim: N/A

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other: NONE

Proposed New Window Trim: Vinyl Clad / Wood Interior Trim Color(s): Terra Bronze

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Siding	<i>To match existing exterior (see photos)</i>
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	

Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

Remodel/Update PORCH at 21 S. Merkle Road, Bexley**

** Previously known as 2843 E. Broad Street

* Footprint of the house remains unchanged

Porch (additional details provided with photos and sketches)

- Update the porch to an all-season room; modifications to include:
- Remove screens but leave the structure in tack (load-bearing studs and top header to stay)
- Install 5 double-hung windows to match the style of existing windows, adding dry wall to sections that are not being replaced with windows. Exterior will match existing exterior.
- Adding outlets, replacing existing ceiling fan/can lights with new.
- Adding HVAC to the room. Work to be completed by licensed HVAC contractor.
- Installing carpet and adding granite top to non-working grill.

Porch Remodel

Photos of the existing porch. Living room is to the right of the fireplace; porch is to the left.



Porch



Corner view. Exterior door will be removed.



Side view.



Side view. Exterior to match existing design.



Interior SW corner of porch



Interior SE corner of porch



Interior NW corner of porch



Interior NE corner of porch

Crestline Select 500 Windows

Whether building new, remodeling, or replacing windows, Crestline® Windows and Doors offers unparalleled flexibility, reliability, and energy efficiency. Crestline® Select 500™ offers the best of both worlds. Maintenance-free vinyl exteriors with solid wood interiors provide function and beauty, all at an affordable price.

Zo-E 5 glass is made up of 2 panes of 3/4" thick glass along with a triple layer of Lo-E coatings for optimum energy efficiency

- Maintenance-free vinyl exterior
- Ready-to-finish, stain-grade pine interior
- Steel-reinforced meeting rail adds long lasting strength
- Frame depth measures 4-9/16" and provides superior strength
- High visibility screen with Terra Bronze finished frame included for great views and fresh air circulation
- Both top and bottom sash with tan hardware operate and tilt inward with easy tilt latches, plus are fully removable for easy cleaning
- Includes a nailing fin for complete installation and a tight seal
- ENERGY STAR® qualified
- Proudly made in the USA and covered by a lifetime warranty



WEISSBERG
21 S. Merkle Road/2843 E. Broad Street
Porch/Family Room Renovation

Overview of Project:

We are converting an existing enclosed summer porch to a family room located on the southwest corner of the house. HVAC will be added to the room. We will be using the existing lighting and electrical already in the room with the addition of 4 electrical outlets.

The exterior design has been created to give our home a consistent look across the back of the house which is viewable from the alley. We will use windows and panels to achieve the look. The panels will be detailed with the same style of trim used on the existing windows of the home.

Attached to this document are:

- Photos of the current elevation
- Drawings of the proposed exterior of the room
- Franklin County Auditor sketches

Our home is a Frank Lloyd Wright-inspired house built in 1951 and was featured on the cover of Better Homes & Garden in April 1951.

Materials to be used:

Windows – Crestline Select 500 Double Hung. See details below. The dimensions of the two individual windows on the south side of house are 35.5"W x 48"H. There will be three windows on the west side of the house and they will be installed as one unit measuring 23 13/16"W x 48"H individually and 84"W x 48"H as a total unit.

Zo-E 5 glass is made up of 2 panes of 3/4" thick glass along with a triple layer of Lo-E coatings for optimum energy efficiency

- Maintenance-free vinyl exterior
- Ready-to-finish, stain-grade pine interior
- Steel-reinforced meeting rail adds long lasting strength
- Frame depth measures 4-9/16" and provides superior strength
- High visibility screen with Terra Bronze finished frame included for great views and fresh air circulation
- Both top and bottom sash with tan hardware operate and tilt inward with easy tilt latches, plus are fully removable for easy cleaning
- Includes a nailing fin for complete installation and a tight seal
- ENERGY STAR® qualified
- Proudly made in the USA and covered by a lifetime warranty

Siding – to be determined. We are investigating HardiePanel Smooth Vertical Siding at this time.



Porch is to the left separated by the fireplace with the main living area to the right and the attached garage on the far right.





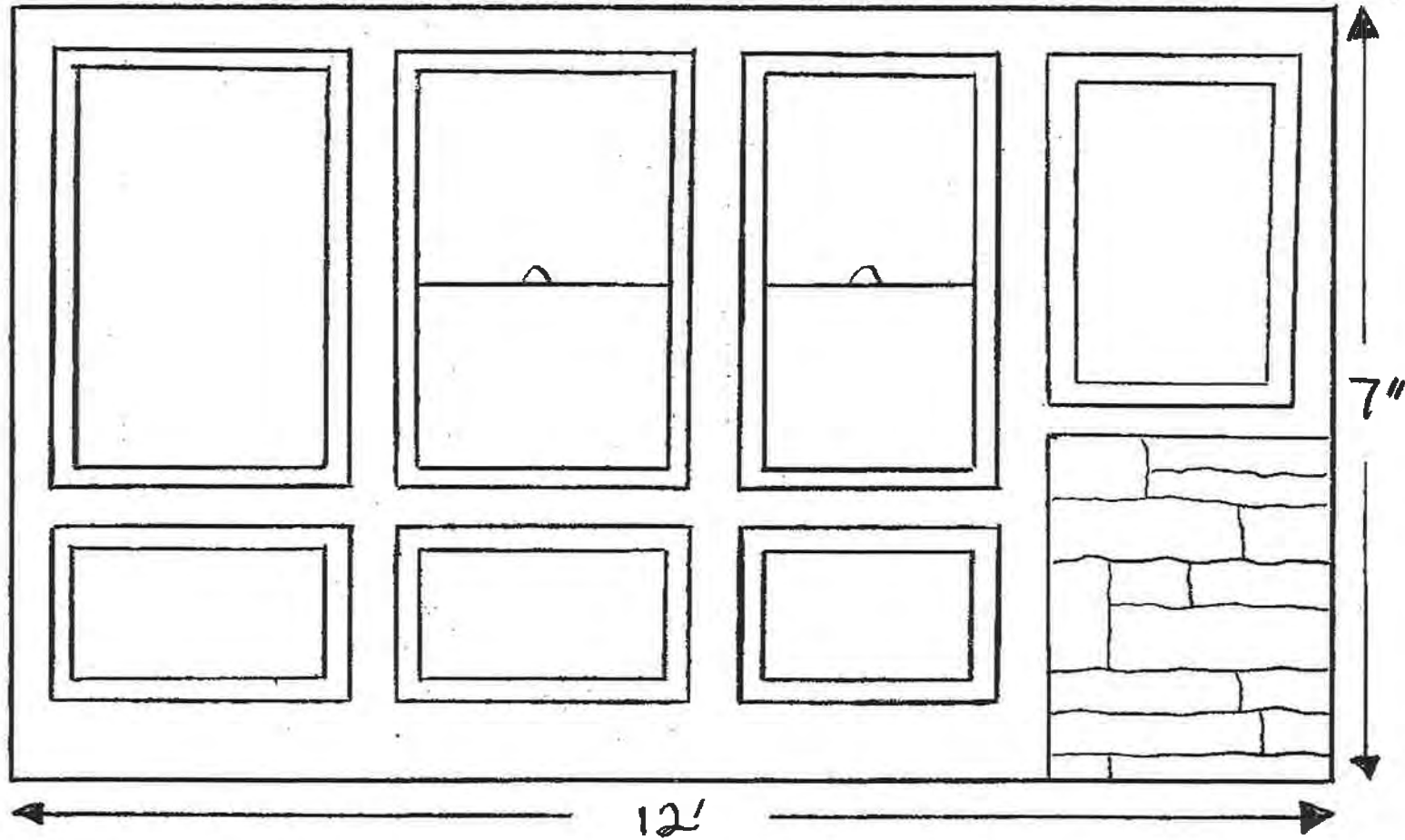




Detail of the trim work around the existing windows of the house to be incorporated into the panel detail.

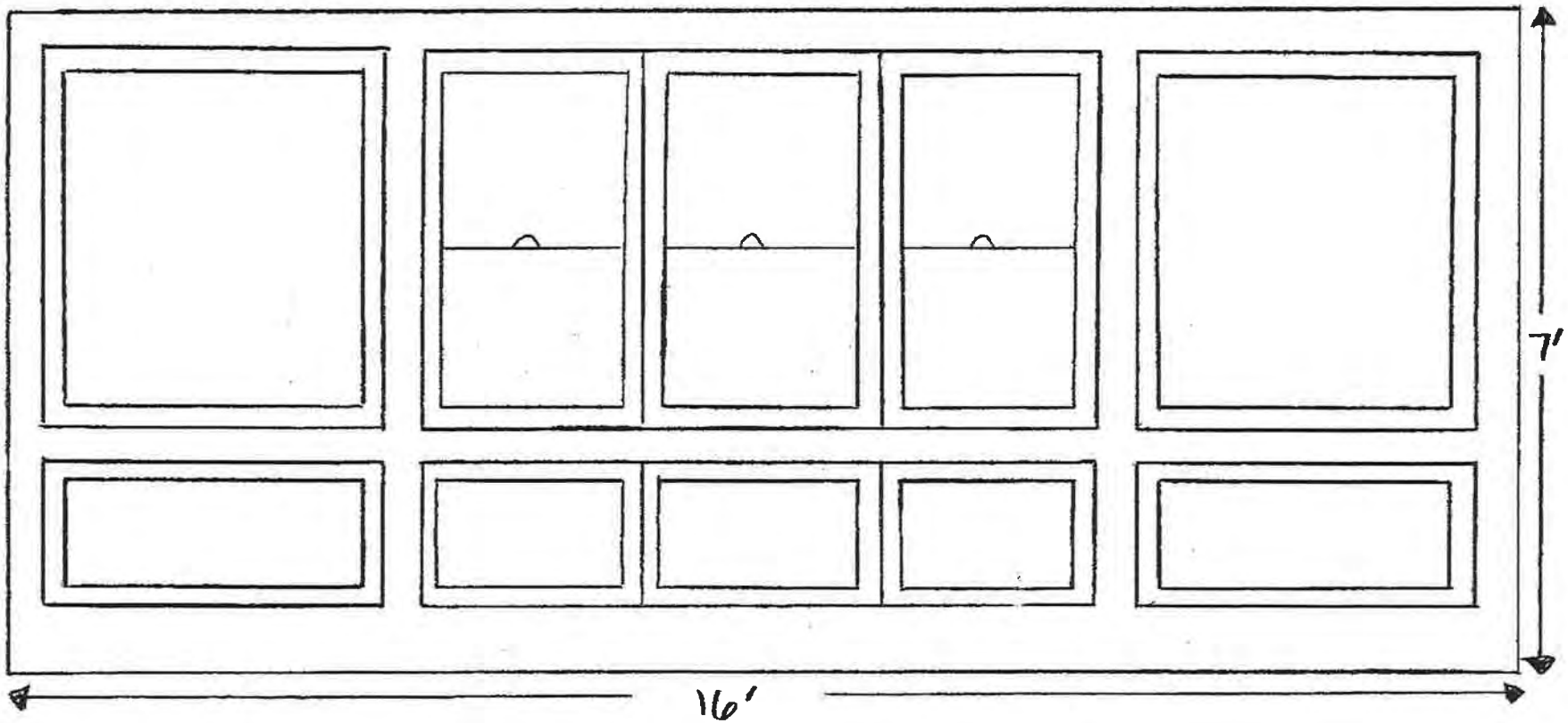
21 S. MERKLE RD / 2843 E. BROAD ST

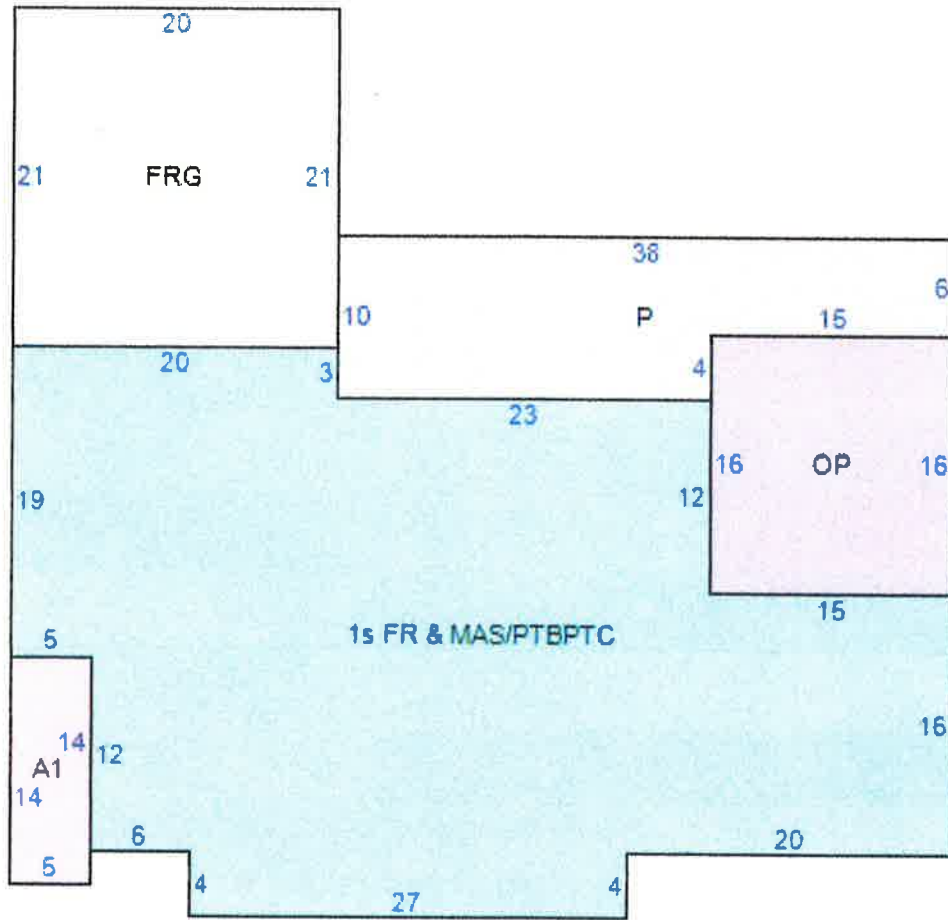
SOUTH SIDE - PORCH/FAMILY ROOM



21 S. MERKLE RD / 2843 E. BROAD ST.

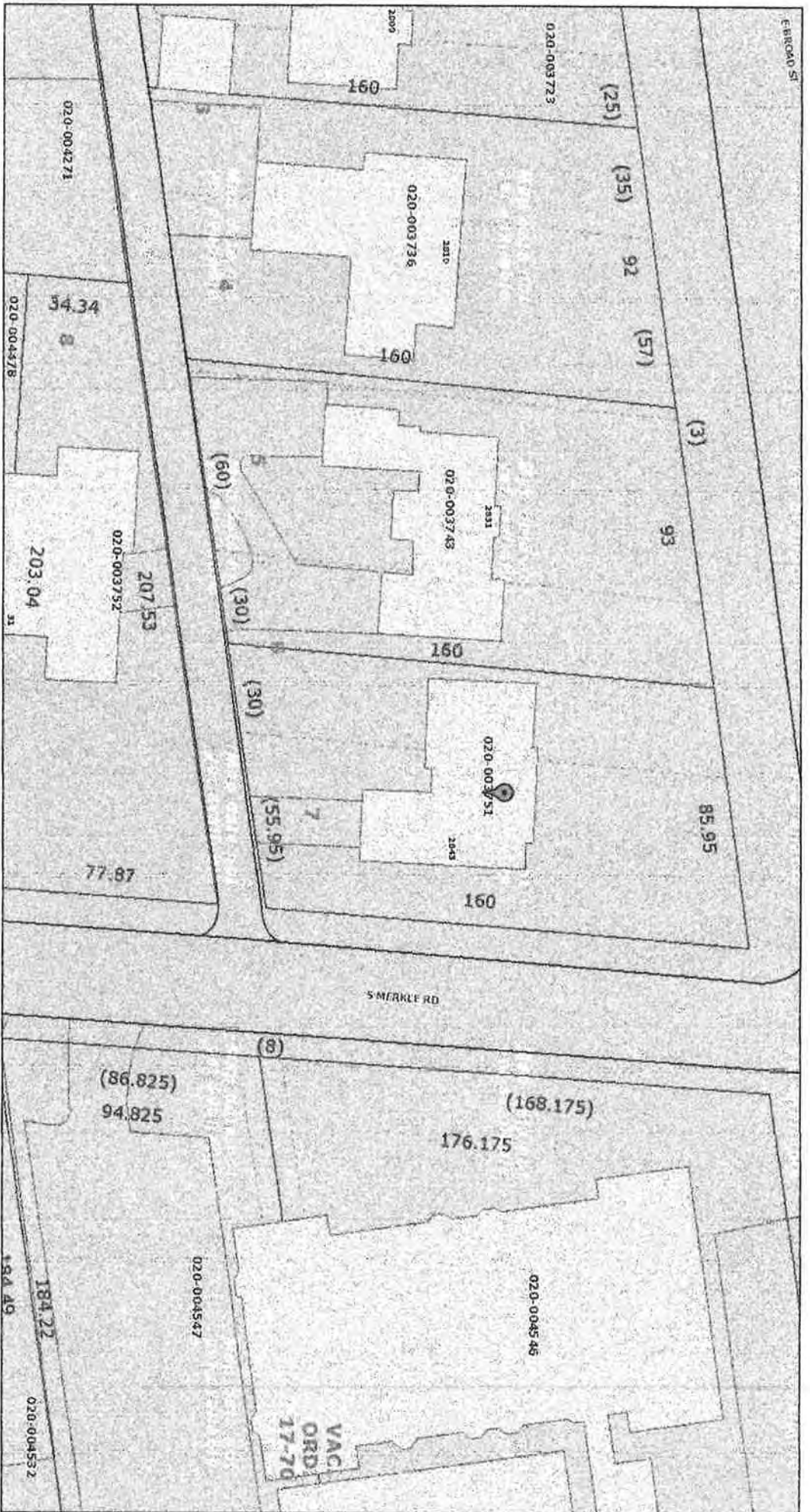
WEST SIDE - PORCH / FAMILY ROOM



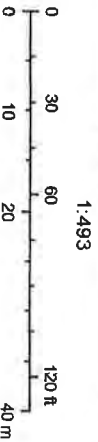


Item	Area
1s FR & MAS/PTBPTC	1552
CNPY/MS - 43/39:MASONRY STOOP/CANOPY	70
FRG - 15:FRAME GARAGE	420
P - 40:CONCRETE PATIO	320
OP - 13:OPEN FRAME PORCH	240

020N010L 09000



December 3, 2018



Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, Geobase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), Swisstopo, © OpenStreetMap contributors, and the GIS User Community



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD and/or
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18-952 A Z
Applicant: Renovations Unlimited
Owner: Tonya & Marvin Howard
Location: 52 N. Merkle Rd.
ARB Request: The applicant is seeking architectural review and approval, to allow a room addition to be constructed in the same footprint as the existing 1-story addition at the rear (east side) of the existing principal structure and an uncovered porch/steps on the south side of the addition.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review Conditional Use Demolition Planned Unit Dev. Rezoning Special Permit

Property & Project Information:

Property Address:

Brief Project Description:

Applicant Information:

Applicant Name:

Applicant Address: , ,

Applicant Email & Phone:

Property Owner Information:

Owner Name:

Owner Address: , ,

Owner Email & Phone:

Attorney/Agent Information:

Agent Name:

Agent Address: , ,

Agent Email & Phone:

- Completed Worksheets: Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet C)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: Date:

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation. \$

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation \$
- \$600.00 cap \$
- \$50.00 resubmittal fee \$

Variance Review

Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text"/>
All others:	\$90.00	\$ <input type="text"/>

Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text"/>
Replatting or new plat:	\$250.00	\$ <input type="text"/>

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>

Fences and walls: \$65.00 \$

Special Permit, Conditional Uses and All others: \$90.00 \$

Re-submittal Fee: \$50.00 \$

Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text"/>

Fee Total: \$

Project Worksheet

Residential Commercial

Property Address:

Zoning District:

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

** Overall coverage includes hardscape*

Lot Info:

Width (ft.):

50.0'

Depth (ft.):

133.50'

Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):

1,000

Proposed Addition (SF):

140

Removing (SF):

(Type of Structure):

Proposed new primary structure or residence (SF):

Total Square Footage:

Garage and/or Accessory
Structure Info
(Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

New Structure Type:

Proposed Addition (SF):

Ridge Height:

Proposed New Structure (SF):

Is there a 2nd floor?

 Yes No

Total of all garage and accessory structures (SF):

2nd Floor SF:

Total building lot coverage (SF):

= % of lot

Is this replacing an existing garage and/or accessory structure? Yes No

Hardscape:

Existing Driveway (SF):

Existing Patio (SF):

Existing Private Sidewalk (SF):

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

Totals:

Total overall lot coverage (SF):

=

% of lot

Applicant Initial:

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:

52 N MERKLE

SHEET
B

CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Project Worksheet

Residential

Commercial

Property Address:

Zoning District:

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

* Overall coverage includes hardscape

Lot Info:

Width (ft.): 50.0'

Depth (ft.): 133.50'

Total Area (SF):

6675

Primary Structure Info:

Existing Footprint (SF):

1,000

Proposed Addition (SF):

140

Removing (SF):

Proposed new primary structure or residence (SF):

Total Square Footage:

1,140

(Type of Structure):

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

457

Proposed Addition (SF):

0

Proposed New Structure (SF):

Total of all garage and accessory structures (SF):

457

Total building lot coverage (SF):

1597

Is this replacing an existing garage and/or accessory structure?

Yes

No

New Structure Type:

Ridge Height:

Is there a 2nd floor?

Yes

No

2nd Floor SF:

= 1,24 % of lot

Hardscape:

Existing Driveway (SF):

1360

Existing Patio (SF):

0

Existing Private Sidewalk (SF):

60

Proposed Additional Hardscape (SF):

36

Total Hardscape (SF):

1396

Totals:

Total overall lot coverage (SF):

2993

= 45%

% of lot

Applicant Initial:

T.S.

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer:

New Roof Style & Color:

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement - Steel Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer:

New Window Style/Mat./Color:

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: Style: Color:

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim:

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other:

Proposed New Window Trim: Trim Color(s):

Do the Proposed Changes Affect the Overhangs? Yes No

ParcelID: 020-003285-00
HOWARD MARVIN L JR

Map-Rt: 020-N012A -043-00
52 N MERKLE RD

Owner

Owner HOWARD MARVIN L JR
 TONYA L
 Owner Address 52 N MERKLE RD
 COLUMBUS OH 43209
 Legal Description 52 N MERKLE RD
 J L DAVIS 1ST
 LOT 49
 Calculated Acres .16
 Legal Acres 0
 Tax Bill Mailing MARVIN L HOWARD
 TONYA L HOWARD
 52 N MERKLE RD
 COLUMBUS OH 43209-1552

[View Google Map](#)
 [Print Parcel Summary](#)

Most Recent Transfer

Transfer Date AUG-29-1996
 Transfer Price \$132,000
 Instrument Type SU

2017 Tax Status

Property Class R - Residential
 Land Use 510 - ONE-FAMILY DWLG ON PLATTED LOT
 Tax District 020 - CITY OF BEXLEY
 School District 2501 - BEXLEY CSD
 City/Village BEXLEY CITY
 Township
 Appraisal Neighborhood 06102
 Tax Lien No
 CAUV Property No
 Owner Occ. Credit 2017: Yes 2018: Yes
 Homestead Credit 2017: No 2018: No
 Rental Registration No
 Board of Revision No
 Zip Code 43209

2017 Current Market Value

	Land	Improvements	Total



Our Office

Real Estate

Search

Online Tools

Reference

Contact Us

Summary

Land Profile

Residential

Commercial

Improvements

Permits

Mapping

Sketch

Photo

StreetSmart

Aerial Photos

Transfers

BOR Status

CAUV Status

Tax & Payments

Tax Distribution

Value History

Rental Contact

Quick Links

ParcelID: 020-003285-00
HOWARD MARVIN L JR

Map-Rt:



Myers Surveying Company, Inc.

2740 East Main Street, Columbus 43209 (Bexley), Ohio
 614-235-8677 FAX: 614-235-4559

A Mortgage Location Survey prepared for and certified to:

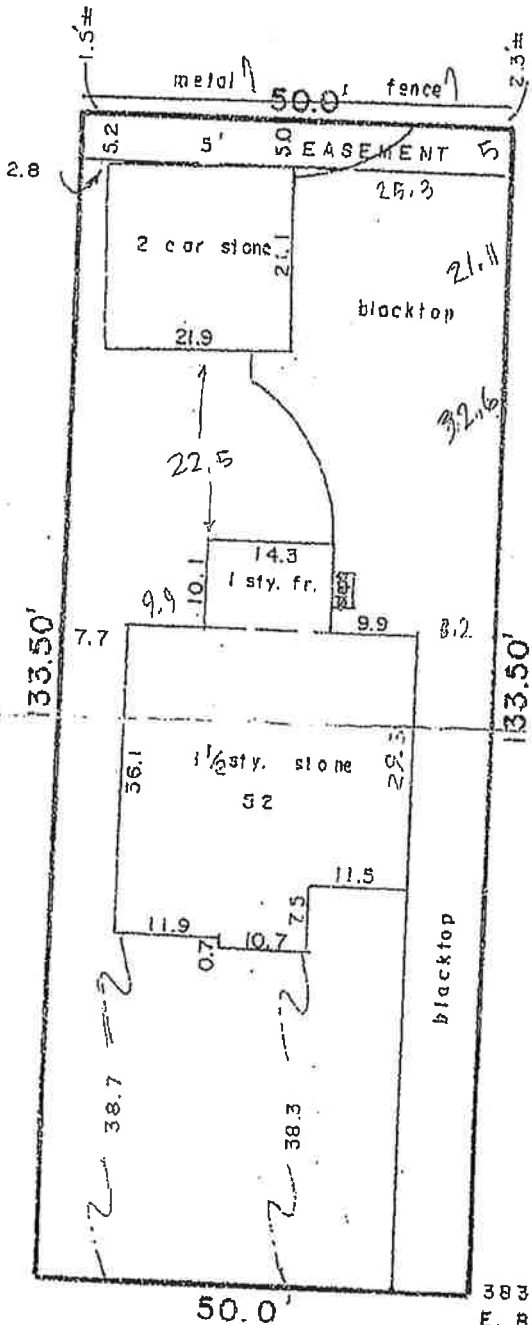
Foundation Title Agency Ltd. and/or Liberty Mortgage.

Legal Description: Situated in Ohio, County of Franklin, City of Bexley, Being Lot 49 John L. Davis 1st Addition, Plat Book 17, Page 254

Applicant: Howard

Posted Address: 52 N. Merkle Road, Bexley, Ohio

Apparent Encroachments: 1) Fences not in conformance with legal description.



20' 10' 0' 20'

Scale: 1" = 20'
 Date: 8-24-'96



"We / I Heraby Accept This Survey
 In Its Present Condition"
Morris J. Howard Jr.
Howard

52 N. MERKLE RD. 50'



GENERAL NOTES:

- DIMENSIONS GOVERN - DO NOT SCALE DRAWINGS. DIMENSIONS ARE FROM ROUGH TO ROUGH, UNLESS OTHERWISE NOTED.
- DESIGN LOADS:
 ROOF: 25 PSF
 FLOOR LOADS: 40 PSF
 CEILING: 20 PSF
 DEAD LOAD: 20 PSF
 DECKS: 40 PSF
 WIND: 90 MPH
- THE FOOTING DESIGN IS BASED ON 2000 PSI MIN. BEARING CAPACITY. GC TO VERIFY AS REQUIRED.
- CONCRETE:
 ALL CONCRETE WORK SHALL COMPLY WITH:
 A. ACI 301-84 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS"(REVISED 1987)
 B. ACI 318-83 " BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE"(REVISED 1986)
- ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI EXCEPT AS NOTED. GARAGE SLABS SHALL BE 4000 PSI AND CONTAIN 4% TO 6% ENTRAINED AIR. CONCRETE SHALL NOT CONTAIN CALCIUM CHLORIDE
- LUMBER:
 DIMENSION LUMBER USED FOR ALL FRAMING, EXCEPT TRUSSES, STUDS, SOLE PLATES, AND CAP PLATES SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

Fb = 875 PSI(SINGLE MEMBER)	Fv = 10 PSI
Fb = 1000 PSI(REPETITIVE USE)	Fc = 125 PSI (PARALLEL)
Ft = 325 PSI(PARALLEL)	Fc = 265 PSI (PERPENDICULAR)
E = 1200000 PSI	
- DIMENSION LUMBER USED FOR WALL STUDS, SOLE PLATES AND CAP PLATES SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

Fb = 550 PSI(SINGLE MEMBER)	Fv = 10 PSI
Fb = 650 PSI(REPETITIVE USE)	Fc = 425 PSI (PARALLEL)
Ft = 450 PSI(PARALLEL)	Fc = 265 PSI (PERPENDICULAR)
E = 1200000 PSI	
- ALL DIMENSION LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 15%.
- WOOD TRUSSES SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF OHIO. TRUSSES SHALL BE DESIGNED ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD AND THE TRUSS PLATE INSTITUTE RECOMMENDED PRACTICE OF DESIGN TPI-85. ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:

TOP CHORD LIVE LOAD	=25 PSF
TOP CHORD DEAD LOAD	=10 PSF
BOTTOM CHORD DEAD LOAD	=10 PSF
TOTAL LOAD	=45 PSF
- SUBFLOORING SHALL BE 3/4" TONGUE & GROOVE EXTERIOR GRADE PLYWOOD, GLUED & NAILED, ALL JOINTS TO BE SCREWED DOWN AT 12" O.C. TYPICAL.
- ROOF SHEATHING SHALL BE 1/2" PLYWOOD OR 7/16" OSB GRADE. PROVIDE PLYWOOD CLIPS AT UNSUPPORTED EDGES @ 8" O.C.
- ALL EXTERIOR WALL SHEATHING TO BE 1/2" CDX PLYWOOD OR 7/16" OSB.
- WALL STUDS SHALL BE 2x4'S OR 2x6'S @ 16"O.C. AND SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF TWO(2) @ EACH SIDE OF ALL OPENINGS THROUGH ALL WALLS UNLESS OTHERWISE NOTED. APPLY GLUE TO FULL MATING SURFACE OF STUDS AND NAIL TOGETHER.

- PROVIDE DOUBLE JOIST AT PARALLEL WALL CONDITIONS. PROVIDE TRIPLE JOIST AT PARALLEL BEARING WALL CONDITIONS. PROVIDE SOLID BLOCKING DOWN TO FOUNDATION UNDER ALL BEARING POINTS.
- HEADERS: UP TO 4" (2/2x6'S ± 4' TO 6' = (2/2x8'S ± 6' TO 8' = (2/2x10'S ± 8' TO 10' (2/2x12'S. ALL HEADERS TO BE SUPPORTED BY ONE JACK STUD AND ONE FULL HEIGHT STUD AT EACH END. MINIMUM, HEADERS LONGER THAN 10' FEET SHALL BE SUPPORTED BY TWO JACK STUDS & TWO FULL HEIGHT STUDS AT EACH END. ALL POST TO BE GLUED AND NAILED.
- WHERE "LVL" (LAMINATED VENEER LUMBER) IS NOTED ON DRAWINGS THE PRODUCTS SHALL HAVE THE MINIMUM AS FOLLOWS:

Fb = 2600 PSI	Fv = 285 PSI
Fc = 2310 PSI(PARALLEL)	Fc = 650 PSI (PERPENDICULAR)
E = 1900000 PSI	
- CONTRACTOR IS TO PROVIDE ENGINEERING DATA FROM MANUFACTURER. ENGINEER LUMBER MANUFACTURER TO PROVIDE DRAWINGS SIGNED AND SEALED BY ENGINEER REGISTERED IN THE STATE OF OHIO.
- WOOD EXPOSED TO WEATHER IN THE FINISHED APPLICATION, SILL PLATES AND THE BOTTOM PLATES OF WALL BEARING ON FOUNDATION WALLS SHALL BE SOUTHERN YELLOW PINE #2 DENSE AND SHALL BE TREATED WITH WOOD PRESERVATIVE AS REQUIRED.
- ALL WOOD CONSTRUCTION SHALL CONFORM WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND "DESIGN VALUES FOR WOOD CONSTRUCTION" LATEST EDITIONS.
- STEEL:
 ALL REINFORCING STEEL SHALL BE ASTM GRADE 60
 ANCHOR BOLTS TO CONFORM TO ASTM A307.
 ALL STRUCTURAL STEEL TO HAVE ONE COAT OF SHOP PRIMER.
- INSULATION:
 PROVIDE R-13 MIN. BATT INSULATION IN ALL EXTERIOR WALLS WITH 204 POLYETHYLENE VAPOR BARRIER STAPLED TO INSIDE SURFACE OF STUDS OR NJ WOOL INSULATION AS PER OWNER. PROVIDE 2" RIGID BOARD INSULATION AT ALL EXTERIOR SLAB CONDITIONS AND INTERIOR GARAGE WALLS DOWN TO FROST LINE. PROVIDE R-30 BLOWN IN INSULATION IN ALL ATTIC SPACES. PROVIDE R-19 BATTS AT ALL BANDS AND ALL OVERHANGS.
- GYPSTUM BOARD:
 PROVIDE MINIMUM 1/2" GYPSTUM BOARD. 5/8" TYPE X FIRE CODE WHERE NOTED OR REQUIRED BY CODE. ALL GYPSTUM BOARD TO BE SCREWED DOWN.
- ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON DRAWINGS SHALL COMPLY WITH THE OHIO RESIDENTIAL CODE.
- THE BUILDING IS STRUCTURALLY SOUND WHEN COMPLETED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THE PROPER STABILITY OF THE STRUCTURE WHILE UNDER CONSTRUCTION.

GENERAL BUILDING CODE NOTES:

- ENCLOSED ATTICS AND RAFTER SPACES SHALL HAVE CROSS VENTILATION FOR EACH SPACE BY VENTILATING OPENINGS PROTECTED AGAINST ENTRANCE OF SNOW AND RAIN. THE NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE AREA VENTILATED. PROVIDE SOFFIT AND GABLE VENTS AS REQUIRED.
- ALL ELECTRICAL, PLUMBING, AND HVAC WORK TO COMPLY WITH THE OHIO RESIDENTIAL CODE. ELECTRIC WORK SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE PLUMBING WORK SHALL COMPLY WITH THE OHIO PLUMBING CODE.
- FIRESTOPPING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS: IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT THE CEILING AND FLOOR OR ROOF LEVELS, AT ALL INTER-CONNECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT SOFFITS OVER CABINETS, DROP CEILING, ETC. AND AT OPENINGS AROUND VENTS, PIPES, DUCTS AND CHIMNEYS AT CEILING AND FLOOR LEVELS, WITH NONCOMBUSTIBLE MATERIALS
- SMOKE DETECTORS SHALL BE INSTALLED IN EACH BEDROOM AND OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING INCLUDING BASEMENTS. SMOKE DETECTORS SHALL BE HARD WIRED, INTERCONNECTED AND HAVE BATTERY BACKUP. (R317)
- EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY EGRESS. WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION OF 24". WINDOWS SHALL HAVE A MINIMUM NET CLEAR WIDTH OF 20". ALL EGRESS WINDOWS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SF. GRADE FLOOR WINDOWS MAY HAVE A MINIMUM NET CLEAR OPENING OF 5 SF.
- A READILY ACCESSIBLE OPENING NOT LESS THAN 22" BY 30" SHALL BE PROVIDED TO ALL ATTIC AREAS HAVING A CLEAR HEIGHT OVER 30"
- PROVIDE AN EXHAUST FAN IN EVERY BATHROOM. EACH FAN SHALL HAVE A MINIMUM CAPACITY OF 100 CFM, AND SHALL BE SWITCHED SEPARATE FROM LIGHT SWITCH.

INDEX OF DRAWINGS

- A0 GENERAL NOTES
- C1 SITE PLAN
- A1 BASEMENT PLAN - EXISTING
- A2 FIRST FLOOR PLAN - EXISTING
- A3 FIRST FLOOR PLAN - DEMO
- A4 FIRST FLOOR PLAN - NEW WORK
- A5 FIRST FLOOR PLAN - ELECTRICAL
- A6 EXTERIOR ELEVATIONS
- A7 EXTERIOR ELEVATIONS
- A8 SECTIONS

MICHAEL W MURPHY
 ARCHITECT, LEED AP
 2919 SOUTHFIELD VILLAGE DRIVE
 GROVE CITY, OHIO 43123
 EMAIL: MURPH_2014@YAHOO.COM

THE HOWARD RESIDENCE
 INTERIOR REMODEL

52 N MERKLE
 BEXLEY, OHIO

DESIGN DEVELOPMENT:
09 25 2017
 ISSUED FOR PERMIT:
11 12 2018
 CONST. REVISIONS:

SHEET CONTENT:
GENERAL NOTES

All drawings and written material appearing herein constitute the original and unpublished work of the architect and owner may not be duplicated, used or disclosed without the written consent of the architect and/or owner.

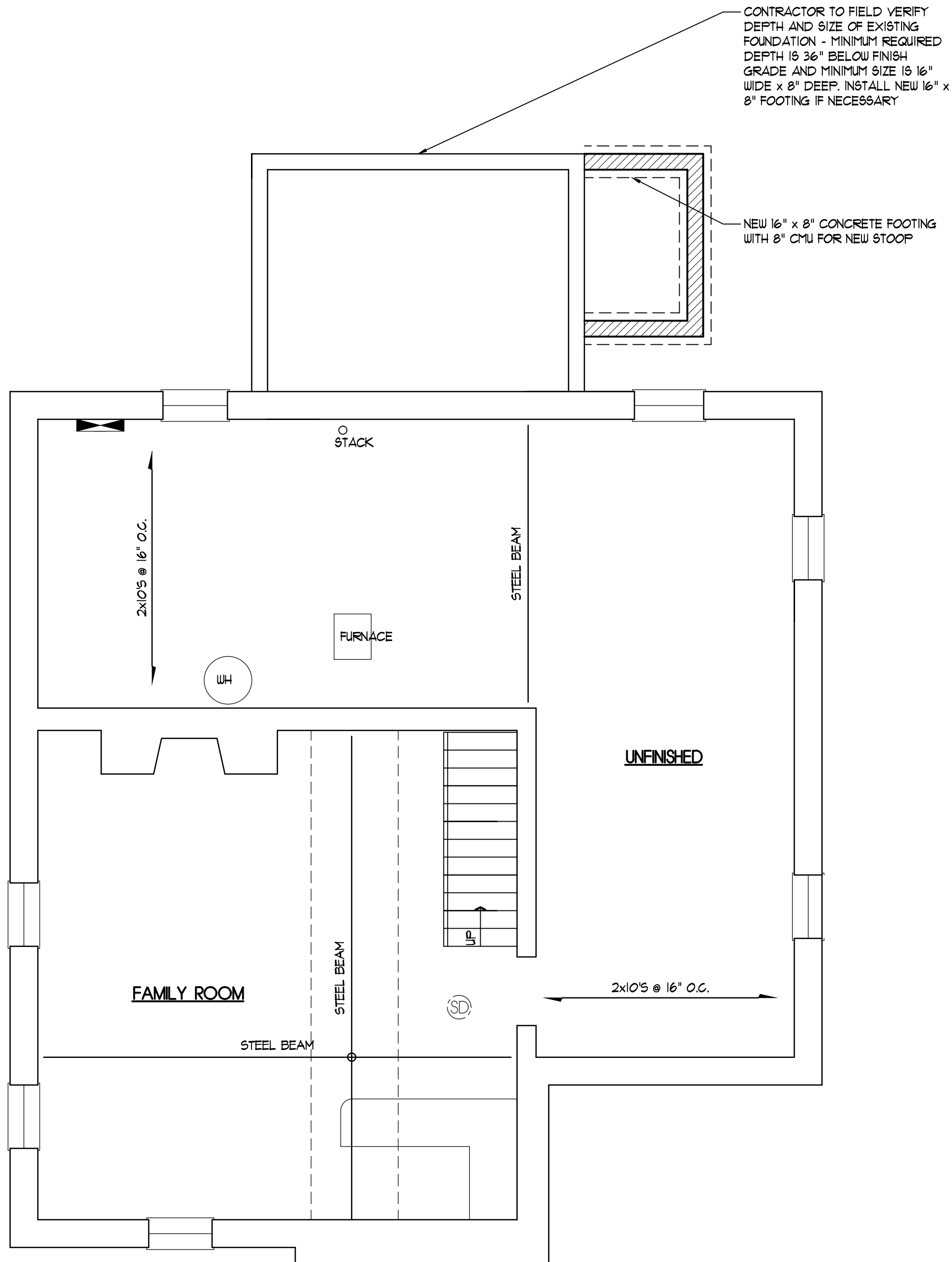
PROJECT NUMBER: 17013
 DRAWN BY: **MMW**
 CHECKED BY:
 SHEET NUMBER:

A0



RENOVATIONS
 UNLIMITED

1933 Harrisburg Pike
 Grove City, Ohio 43123-1453
 (614) 594-0004
 www.RENOVATIONSUNLIMITED.com
 Providing Sustainable Remodeling Practices



1 BASEMENT FLOOR PLAN - EXISTING
 A1 1/4" = 1'-0"

MICHAEL W MURPHY
 ARCHITECT, LEED AP
 2919 SOUTHFIELD VILLAGE DRIVE
 GROVE CITY, OHIO 43123
 EMAIL: MURPH_2014@YAHOO.COM

THE HOWARD RESIDENCE
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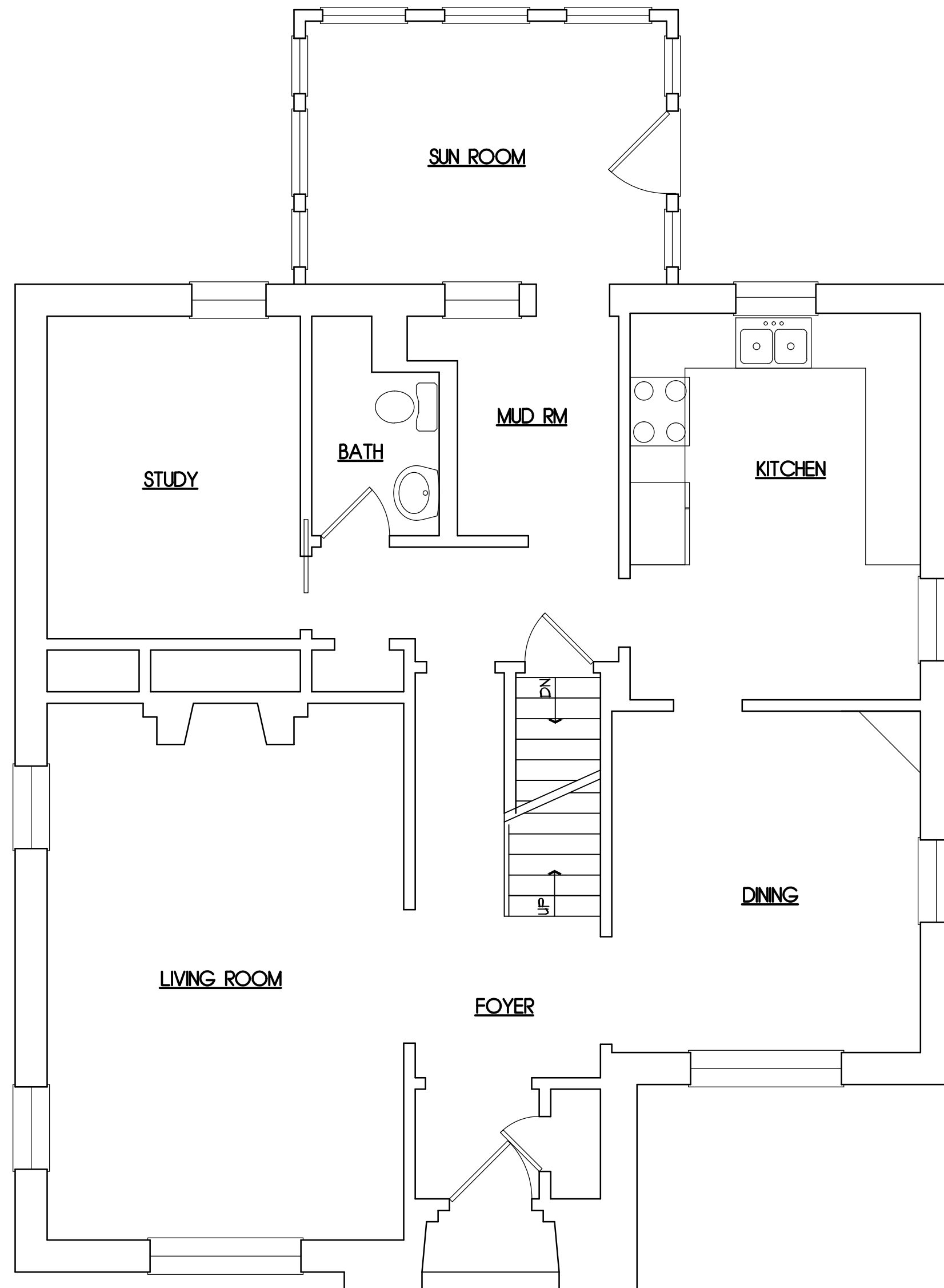
SHEET CONTENT:
 BASEMENT PLAN
 EXISTING COND.

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PROJECT NUMBER: 17013
 DRAWN BY: MWM
 CHECKED BY:
 SHEET NUMBER:



A1



1 1ST FLOOR PLAN - EXISTING
 A2 1/4" = 1'-0"

MICHAEL W MURPHY
 ARCHITECT, LEED AP
 2919 SOUTHFIELD VILLAGE DRIVE
 GROVE CITY, OHIO 43123
 EMAIL: MURPH_2014@YAHOO.COM

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DESIGN DEVELOPMENT:
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CONST. REVISIONS:

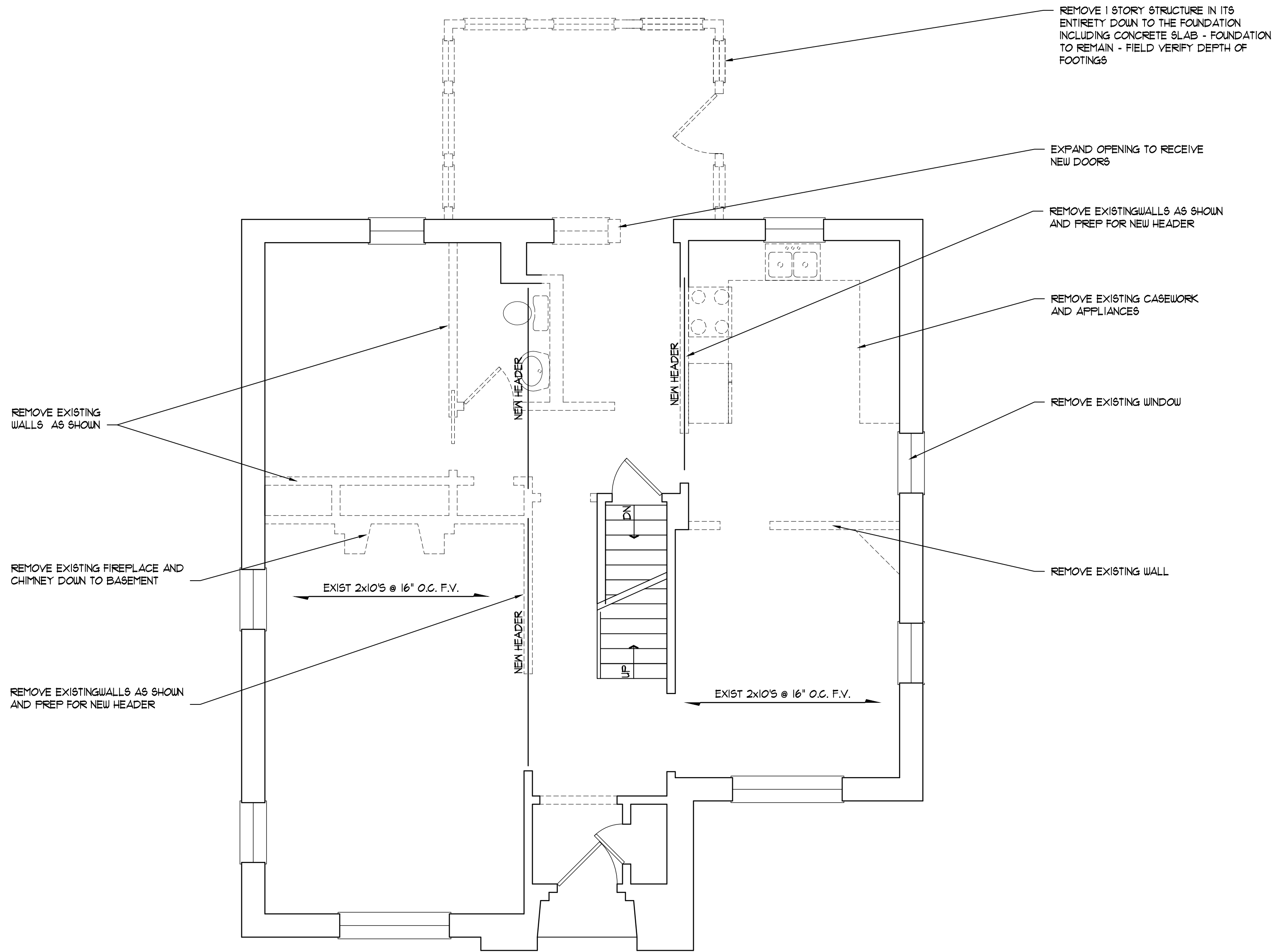
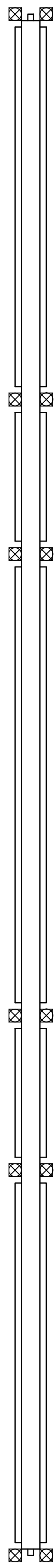
SHEET CONTENT:
 1ST FLOOR PLAN
 EXISTING COND

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PROJECT NUMBER: 17013
 DRAWN BY: MWM
 CHECKED BY:
 SHEET NUMBER:

A2





MICHAEL W MURPHY
 ARCHITECT, LEED AP
 2919 SOUTHFIELD VILLAGE DRIVE
 GROVE CITY, OHIO 43123
 EMAIL: MURPH_2014@YAHOO.COM

THE HOWARD RESIDENCE
 INTERIOR REMODEL

52 N MERKLE
 BEXLEY, OHIO

DESIGN DEVELOPMENT:
 09 25 2017

ISSUED FOR PERMIT:

CONST. REVISIONS:

SHEET CONTENT:
 1ST FLOOR PLAN
 DEMO PLAN

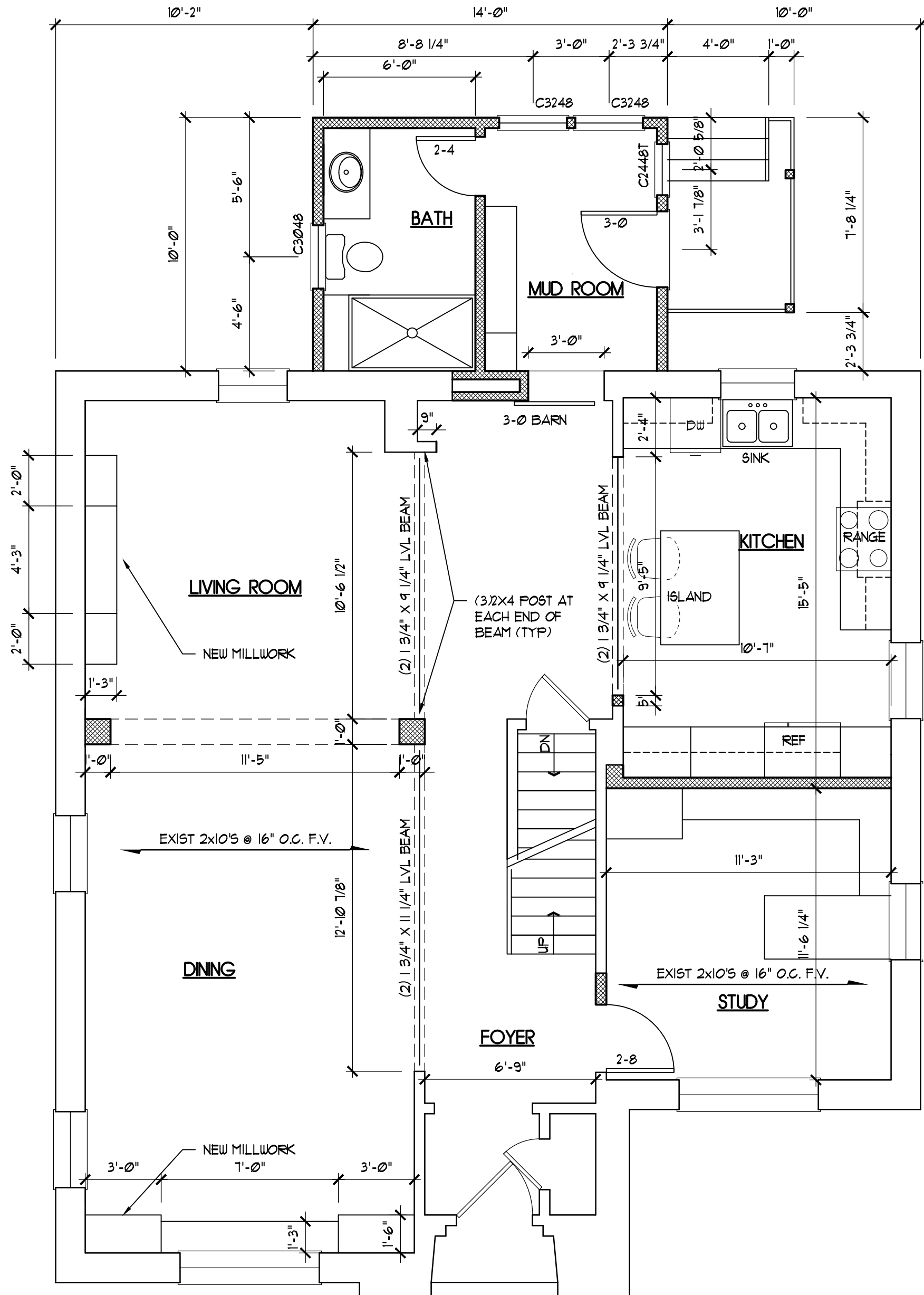
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PROJECT NUMBER: 17013
 DRAWN BY: MWM
 CHECKED BY:
 SHEET NUMBER:

A3

1 1ST FLOOR PLAN - DEMO
 A3 1/4" = 1'-0"





1 1ST FLOOR PLAN - NEW WORK
 A4 1/4" = 1'-0"

MICHAEL W MURPHY
 ARCHITECT, LEED AP
 2919 SOUTHFIELD VILLAGE DRIVE
 GROVE CITY, OHIO 43123
 EMAIL: MURPH_2014@YAHOO.COM

THE HOWARD RESIDENCE
 INTERIOR REMODEL

52 N MERKLE
 BEXLEY, OHIO

DESIGN DEVELOPMENT:
 09 25 2017
 ISSUED FOR PERMIT:
 11 12 2018
 CONST. REVISIONS:

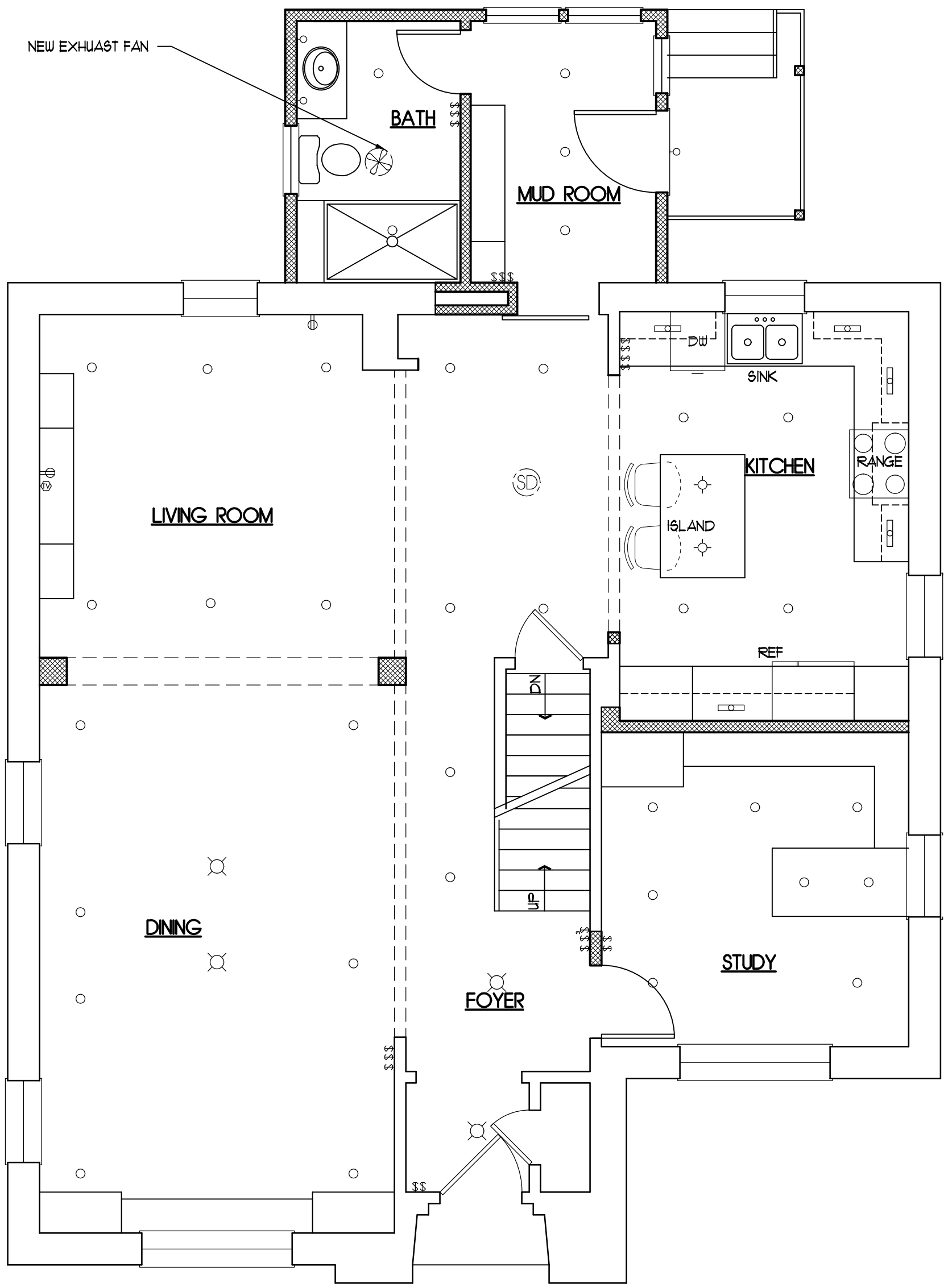
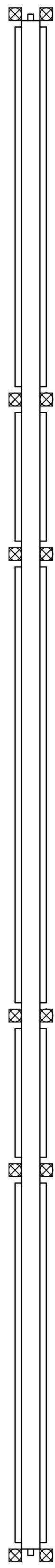
SHEET CONTENT:
 1ST FLOOR PLAN
 NEW WORK

All drawings and written material appearing herein constitute the original and unpublished work of the architect and owner may not be duplicated, used or disclosed without the written consent of the architect and/or owner.

PROJECT NUMBER: 17013
 DRAWN BY: MWM
 CHECKED BY:
 SHEET NUMBER:

A4





- ELECTRICAL LEGEND**
- WALL MOUNTED LIGHT FIXTURE
 - RECESSED CAN LIGHT
 - ⬡(S) SPEAKER
 - ⬡(TV) CABLE TV OUTLET
 - ⬡(P) PHONE JACK
 - ⬡ UNDER CABINET LIGHT
 - FLOURESCENT LIGHT
 - ⊗ CEILING MOUNTED LIGHT
 - ⊕ RECEPTACLE
 - ⊙(SD) SMOKE DETECTOR
 - ⊙(CM) CARBO MONOXIDE DETECTOR

1 1ST FLOOR PLAN - ELECTRICAL
 A4 1/4" = 1'-0"

MICHAEL W MURPHY
 ARCHITECT, LEED AP
 2919 SOUTHFIELD VILLAGE DRIVE
 GROVE CITY, OHIO 43123
 EMAIL: MURPH_2014@YAHOO.COM

THE HOWARD RESIDENCE
 INTERIOR REMODEL
 52 N MERKLE
 BEXLEY, OHIO

DESIGN DEVELOPMENT:
 09 25 2017
 ISSUED FOR PERMIT:
 11 12 2018
 CONST. REVISIONS:

SHEET CONTENT:
 1ST FLOOR PLAN
 ELECTRICAL

All drawings and written material appearing herein constitute the original and unpublished work of the architect and owner may not be duplicated, used or disclosed without the written consent of the architect and/or owner.

PROJECT NUMBER: 17013
 DRAWN BY: MWM
 CHECKED BY:
 SHEET NUMBER:

A5

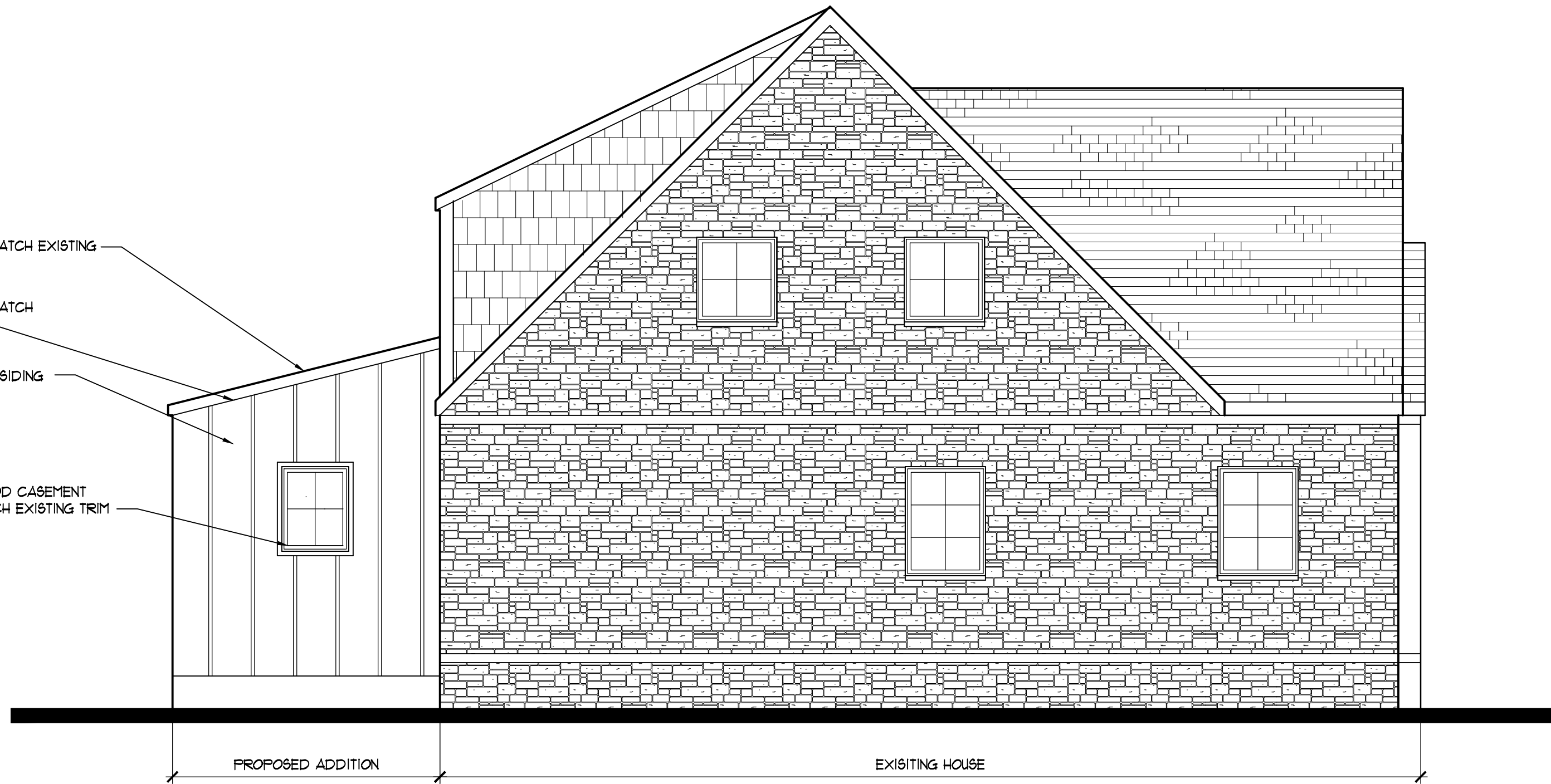


NEW ROOF - MATCH EXISTING

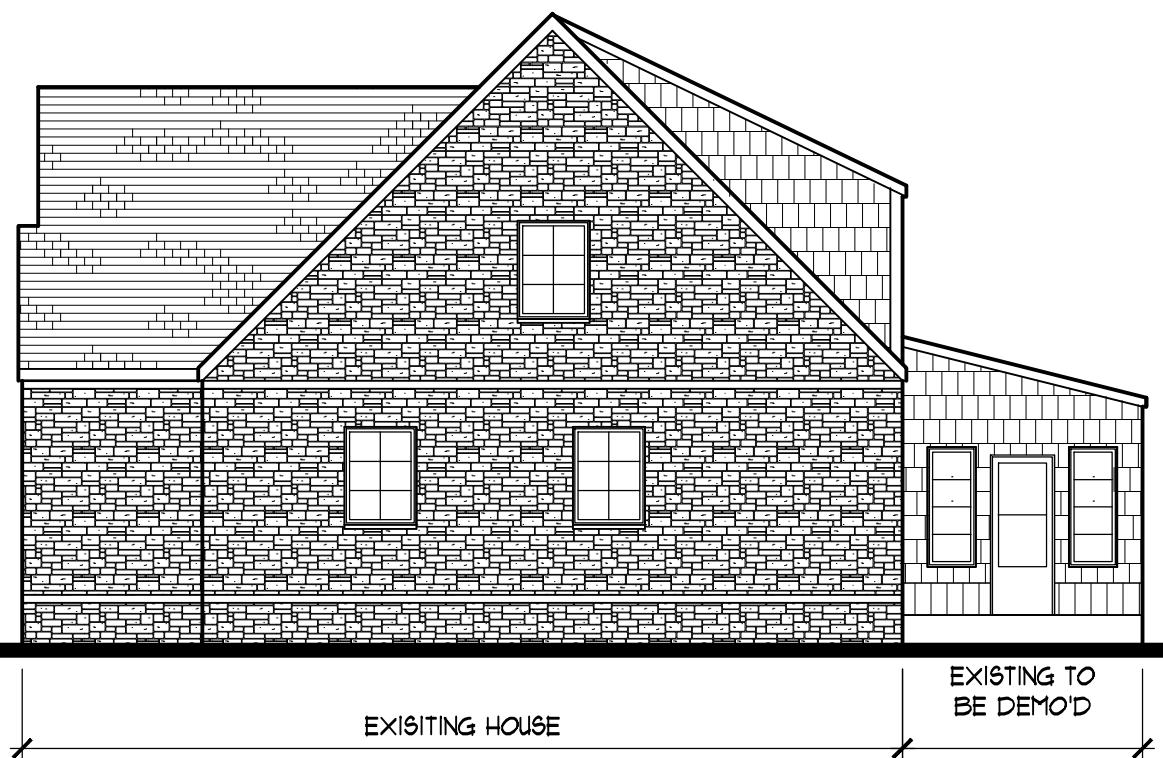
RAKE TRIM - MATCH EXISTING

FIBER CEMENT SIDING WITH BATTENS

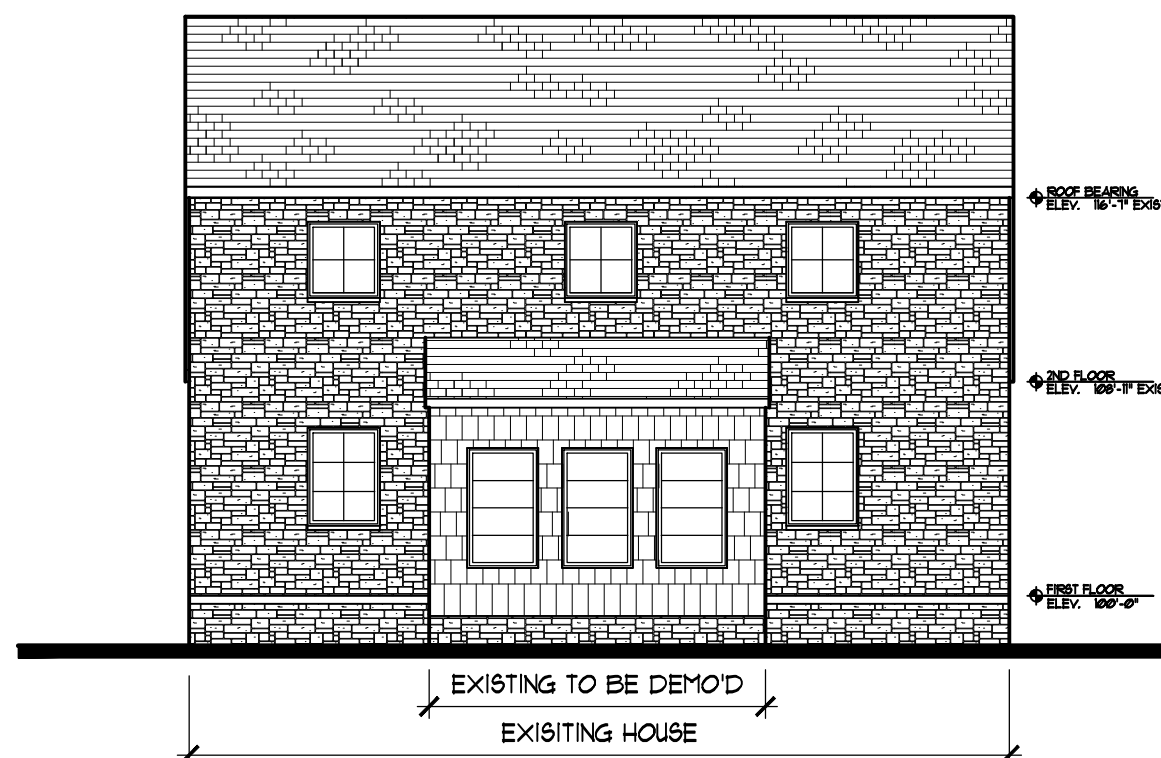
NEW CLAD WOOD CASEMENT WINDOW - MATCH EXISTING TRIM



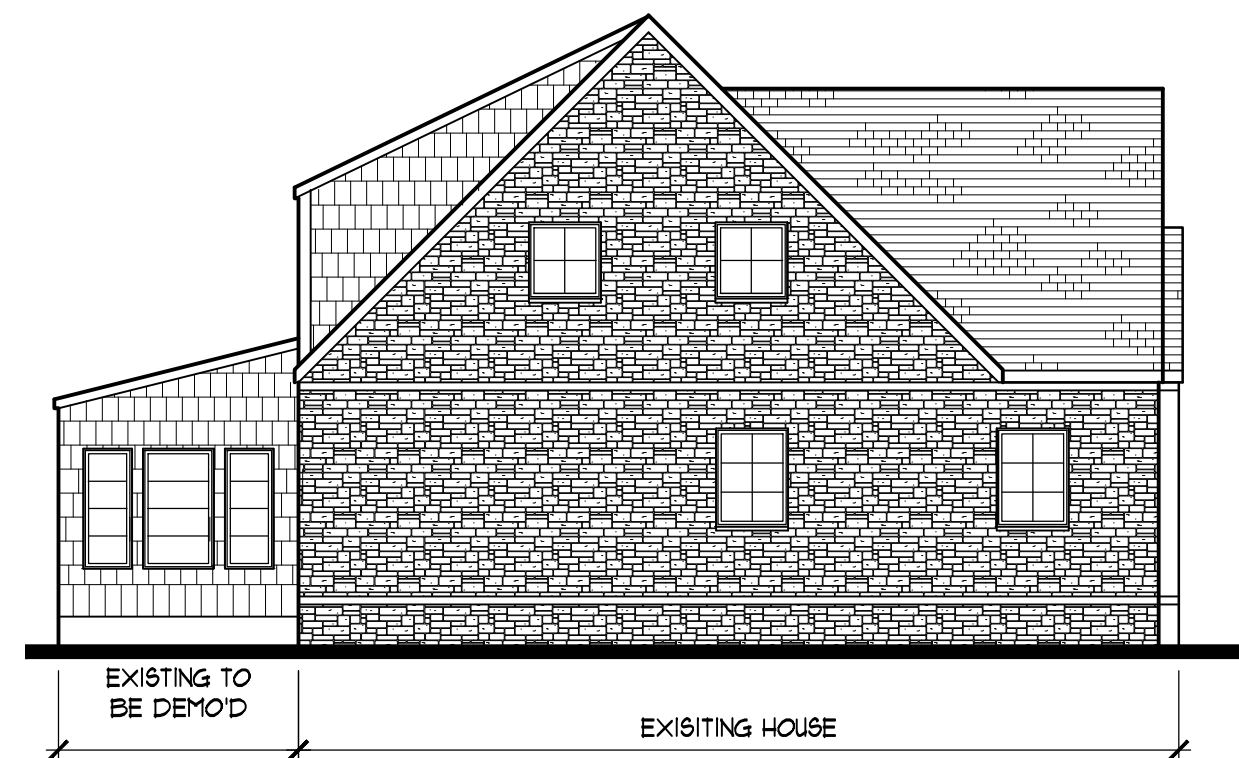
1 SIDE ELEVATION
A7 1/4" = 1'-0"



2 SIDE ELEVATION - EXISTING
A7 1/8" = 1'-0"



3 REAR ELEVATION - EXISTING
A7 1/8" = 1'-0"



2 SIDE ELEVATION - EXISTING
4 1/8" = 1'-0"

MICHAEL W MURPHY
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2919 SOUTHFIELD VILLAGE DRIVE
GROVE CITY, OHIO 43123
EMAIL: MURPH_2014@YAHOO.COM

THE HOWARD RESIDENCE
INTERIOR REMODEL

52 N MERKLE
BEXLEY, OHIO

DESIGN DEVELOPMENT:
09 25 2017
ISSUED FOR PERMIT:
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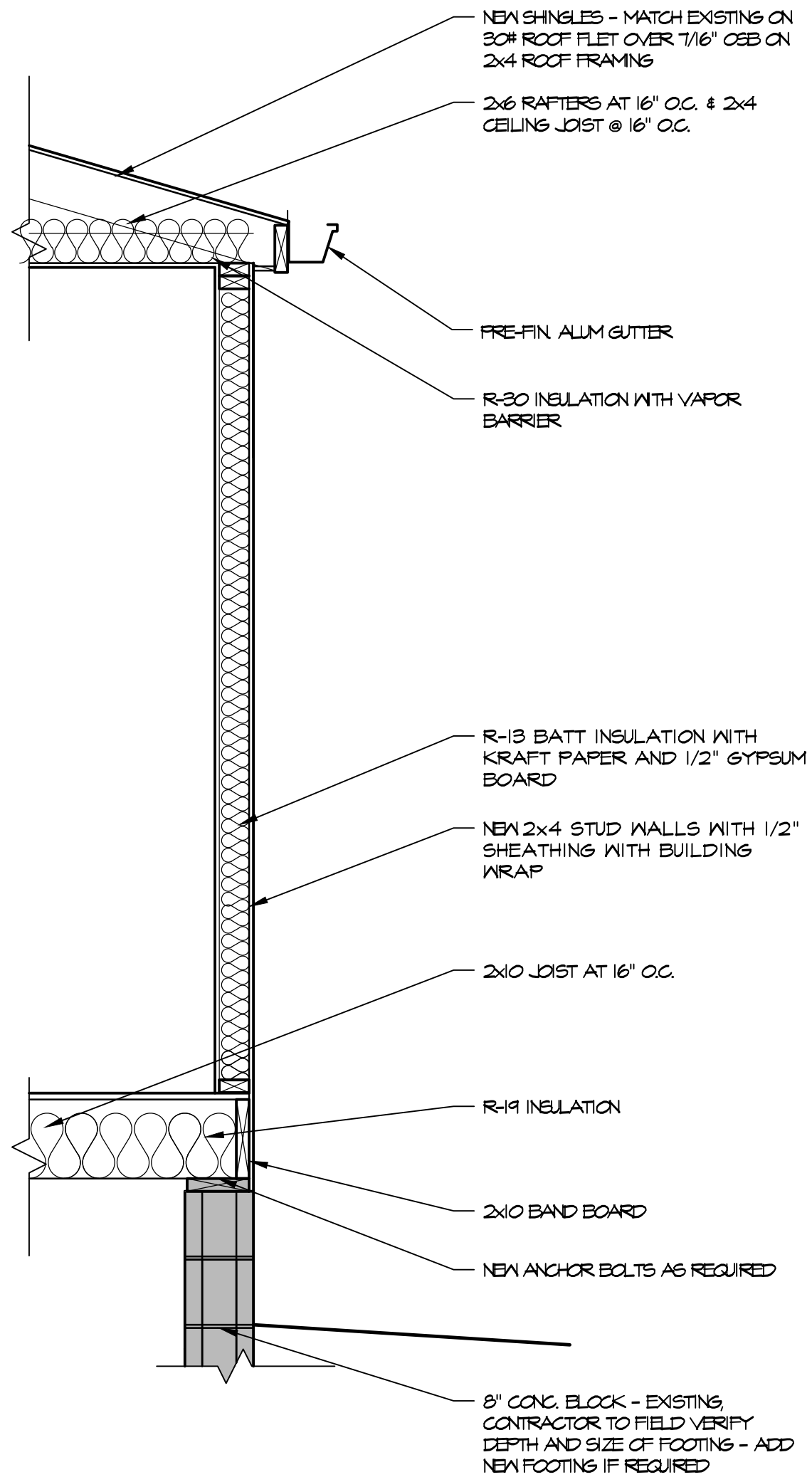
SHEET CONTENT:
ELEVATIONS

All drawings and written material appearing herein constitute the original and unpublished work of the architect and owner may not be duplicated, used or disclosed without the written consent of the architect and/or owner.

PROJECT NUMBER: 17018
DRAWN BY: MWM
CHECKED BY:
SHEET NUMBER:

A7

RENOVATIONS
UNLIMITED
1933 Harrisburg Pike
Grove City, Ohio 43123-1453
(614) 594-0004
www.RENOVATIONSUNLIMITED.com
Providing Sustainable Remodeling Practices



1 KITCHEN SECTION
A10 3/4" = 1'-0"

MICHAEL W MURPHY
ARCHITECT, LEED AP
2919 SOUTHFIELD VILLAGE DRIVE
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EMAIL: MURPH_2014@YAHOO.COM

THE HOWARD RESIDENCE
INTERIOR REMODEL

52 N MERKLE
BEXLEY, OHIO

DESIGN DEVELOPMENT:
09 25 2017
ISSUED FOR PERMIT:
11 12 2018
CONST. REVISIONS:

SHEET CONTENT:
WALL SECTION

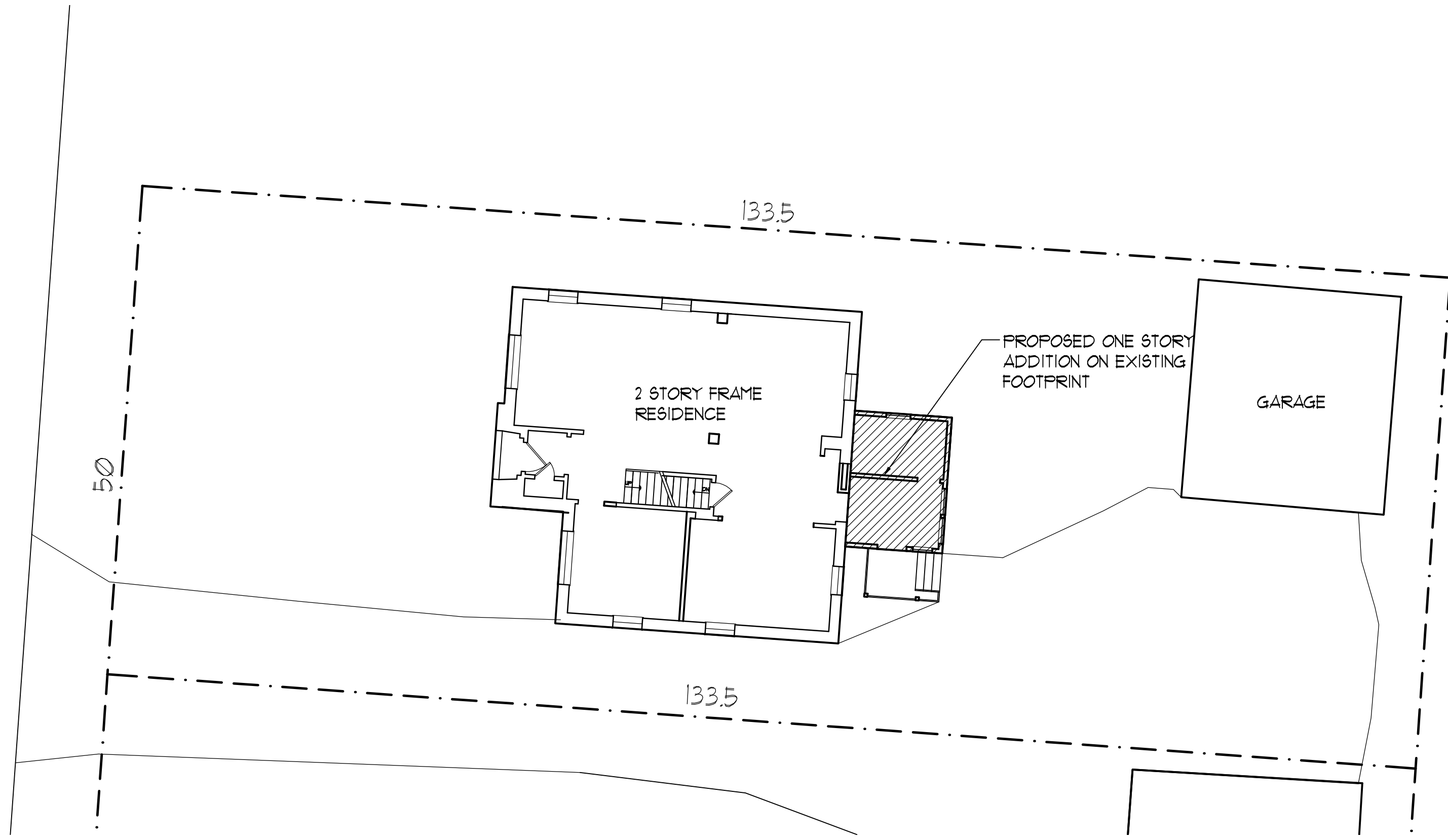
All drawings and written material
appearing herein constitute the
original and unpublished work of the
architect and owner may not be
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without the written consent
of the architect and/or owner

PROJECT NUMBER: 17013
DRAWN BY: MWM
CHECKED BY:
SHEET NUMBER:

A8

RENOVATIONS
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www.RENOVATIONSUNLIMITED.com
Providing Sustainable Remodeling Practices

N. MERKLE



1
C1 SITE PLAN
1" = 10'-0"

MICHAEL W MURPHY
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GROVE CITY, OHIO 43123
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THE HOWARD RESIDENCE
INTERIOR REMODEL

52 N MERKLE
BEXLEY, OHIO

DESIGN DEVELOPMENT:
09 25 2017
ISSUED FOR PERMIT:
11 12 2018
CONST. REVISIONS:

SHEET CONTENT:
SITE PLAN

All drawings and written material appearing herein constitute the original and unperfected work of the architect and owner may not be duplicated, used or disclosed without the written consent of the architect and/or owner.

PROJECT NUMBER: 17018
DRAWN BY: MWM
CHECKED BY:
SHEET NUMBER:

C1





1 SIDE ELEVATION
A6 1/4" = 1'-0"



2 REAR ELEVATION
A6 1/4" = 1'-0"

- NEW ROOF - MATCH EXISTING
- RAKE TRIM - MATCH EXISTING
- FLAT PANEL FIBER SIDING WITH 1x TRIM
- 2ND FLOOR ELEV. 108'-11" EXIST
- NEW CLAD WOOD CASEMENT WINDOW
- NEW STAIR AND RAILING
- FIRST FLOOR ELEV. 100'-0"

- ROOF BEARING ELEV. 116'-7" EXIST
- NEW ROOF - MATCH EXISTING
- FASCIA TRIM - MATCH EXISTING
- FLAT PANEL FIBER SIDING WITH 1x TRIM
- 2ND FLOOR ELEV. 108'-11" EXIST
- NEW CLAD WOOD CASEMENT WINDOW
- FIRST FLOOR ELEV. 100'-0"

MICHAEL W MURPHY
ARCHITECT, LEED AP
2919 SOUTHFIELD VILLAGE DRIVE
GROVE CITY, OHIO 43123
EMAIL: MURPH_2014@YAHOO.COM

THE HOWARD RESIDENCE
INTERIOR REMODEL
52 N MERKLE
BEXLEY, OHIO

DESIGN DEVELOPMENT: 09 25 2017
ISSUED FOR PERMIT: 11 12 2018
CONST. REVISIONS:

SHEET CONTENT:
ELEVATIONS

All drawings and written material appearing herein constitute the original and unpublished work of the architect and owner may not be duplicated, used or disclosed without the written consent of the architect and/or owner.

PROJECT NUMBER: 17013
DRAWN BY: MWM
CHECKED BY:
SHEET NUMBER:

A6





PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD and/or
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18- 053 A
Applicant: Andrew & Stacy Dorr
Owner: Andrew & Stacy Dorr
Location: 192 S. Cassady Ave.
ARB Request: [The applicant is seeking architectural review and approval, to allow a one-story room on the south side of the principal structure to be converted to enclosed living space.](#)

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review Conditional Use Demolition Planned Unit Dev. Rezoning Landscape Review Special Permit

Property & Project Information:

Property Address: 192 S Cassady

Brief Project Description: Repurpose of a porch that contains an existing new roof, house foundation and access door to the main house structure into living space.

Applicant Information:

Applicant Name: Andrew and Stacey Dorr

Applicant Address: 192 S Cassady, Bexley, OH 43209

Applicant Email & Phone: andydorr@hotmail.com 614.237.0407

Property Owner Information:

Owner Name: Andrew and Stacey Dorr

Owner Address: 192 S Cassady, Bexley, OH 43209

Owner Email & Phone: andydorr@hotmail.com 614.237.0407

Attorney/Agent Information:

Agent Name: John Daft

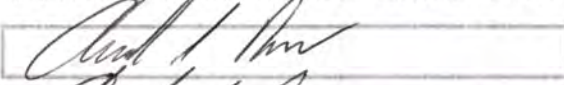
Agent Address: 2492 Seneen Park Pl, Bexley, OH 43209

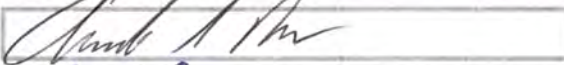
Agent Email & Phone: jdaftcarpentry@yahoo.com 614-557-4814


- Completed Worksheets: Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet D)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:  Date: 12/7/18

Owner Signature:  Date: 12/7/18

Agent Signature:  Date: 12/7/18

Internal Use:

Application #: Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$ **28,000.00**

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation	\$	<input type="text"/>
- \$5.00 for each additional \$10,000 valuation.	\$	<input type="text"/>

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation	\$	90.00
- \$5.00 for each additional \$10,000 valuation	\$	5.00
- \$600.00 cap	\$	<input type="text"/>
- \$50.00 resubmittal fee	\$	<input type="text"/>

Variance Review

Single Family:	\$100.00	\$	<input type="text"/>
Commercial Property:	\$100.00	\$	<input type="text"/>
Fences or Special Permits:	\$65.00	\$	<input type="text"/>
All others:	\$90.00	\$	<input type="text"/>

Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$	<input type="text"/>
	- \$60.00 for each additional acre (or part thereof)	\$	<input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$	<input type="text"/>
Split of lot or existing parcel:	\$250.00	\$	<input type="text"/>
Replatting or new plat:	\$250.00	\$	<input type="text"/>

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	\$	<input type="text"/>
\$0 to \$5,000	\$100.00	\$	<input type="text"/>
\$5,001 to \$25,000	\$200.00	\$	<input type="text"/>
\$25,001 to \$75,000	\$250.00	\$	<input type="text"/>
\$75,001 to \$200,000	\$600.00	\$	<input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$	<input type="text"/>
Over \$750,000	\$350.00	\$	<input type="text"/>

Fences and walls:	\$65.00	\$	<input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$	<input type="text"/>
Re-submittal Fee:	\$50.00	\$	<input type="text"/>

Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$	<input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$	<input type="text"/>

Fee Total: \$ 95.00

Project Worksheet

Residential Commercial

Property Address: 192 S Cassady

Zoning District: R-6

- R-1 (25% Building & 40% Overall)
- R-6 (35% Building & 60% Overall)
- R-2 (25% Building & 50% Overall)
- R-12 (35% Building & 70% Overall)
- R-3 (25% Building & 50% Overall)
- Other:

** Overall coverage includes hardscape*

Lot Info: Width (ft.): 50 Depth (ft.): 150 Total Area (SF): 7,500

Primary Structure Info:

Existing Footprint (SF): 688

Proposed Addition (SF):

Removing (SF): (Type of Structure): Frame

Proposed new primary structure or residence (SF):

Total Square Footage: 688

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF): 660 New Structure Type:

Proposed Addition (SF): Ridge Height:

Proposed New Structure (SF): Is there a 2nd floor? Yes No

Total of all garage and accessory structures (SF): 660 2nd Floor SF:

Total building lot coverage (SF): 1,348 = 18 % of lot

Is this replacing an existing garage and/or accessory structure? Yes No

Hardscape:

Existing Driveway (SF): Existing Patio (SF): Existing Private Sidewalk (SF):

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

Totals: Total overall lot coverage (SF): = % of lot

Applicant Initial: JCO

Internal Use: Staff Review Date: Meets Zoning ARB Only Variance or Modifications Needed

Staff Comments:

Staff Initial:

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle

Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle

Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer:

New Roof Style & Color:

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:

Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal

Vinyl Clad Wood Aluminum Other:

New Window Manufacturer:

New Window Style/Mat./Color:

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: Style: Color:

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile

Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim:

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile

Vinyl Other:

Proposed New Window Trim: Trim Color(s):

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other	<input type="text" value="Bay Panels"/> <input type="text" value="Fiber Cement / PVC Paint to Match"/>

Staff Confirmation (to be completed by Residential Design Consultant:

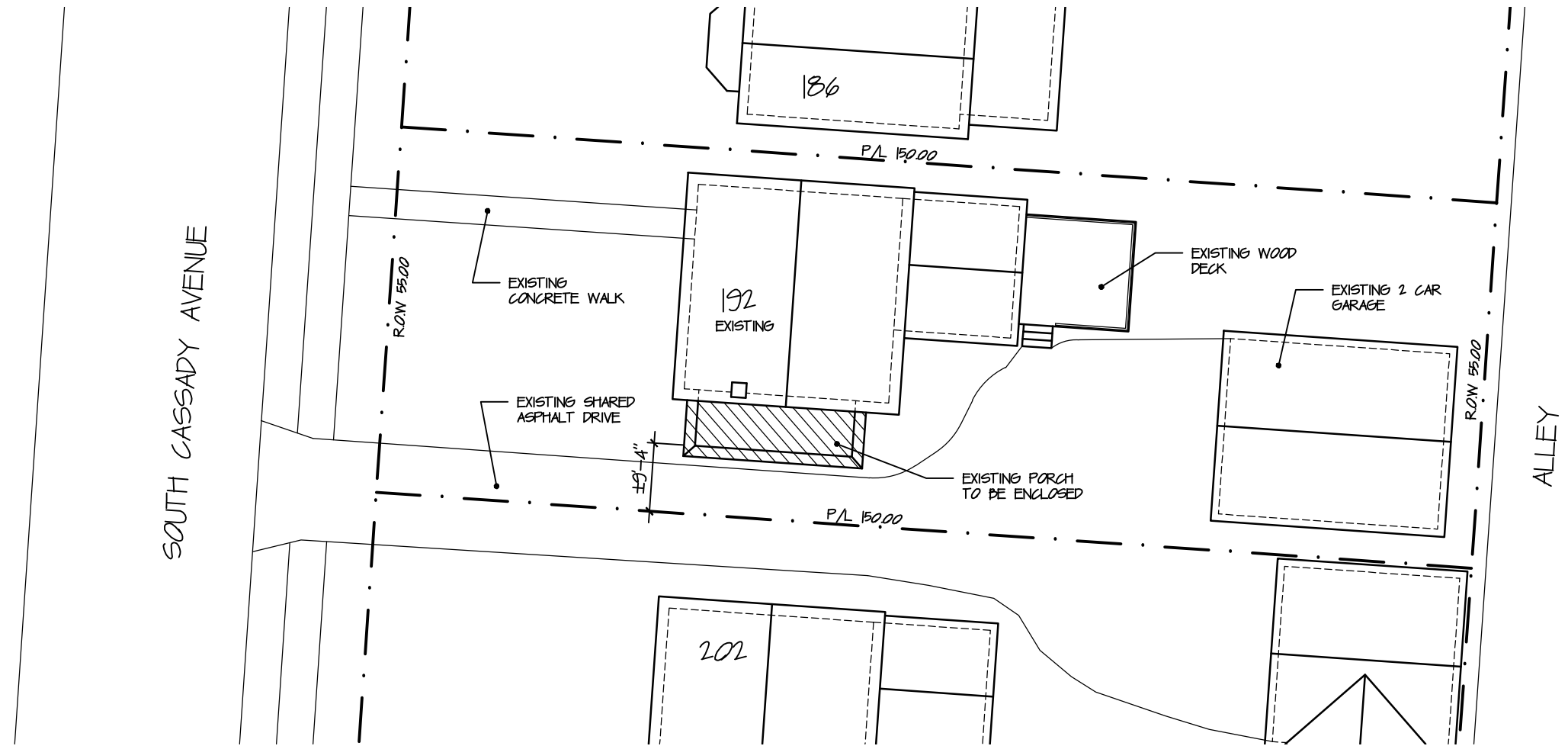
Date of Review:

Approved By:


To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

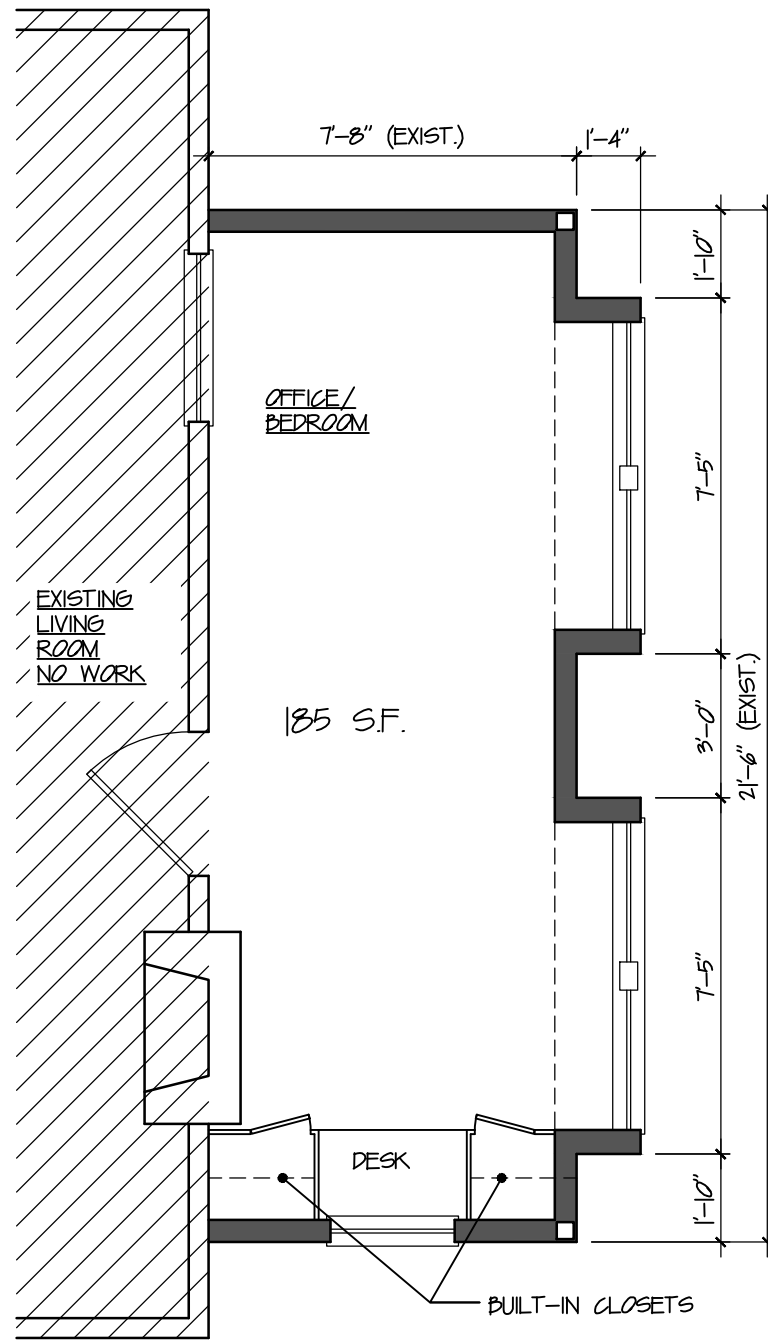


SCALE - 1"=20'-0"

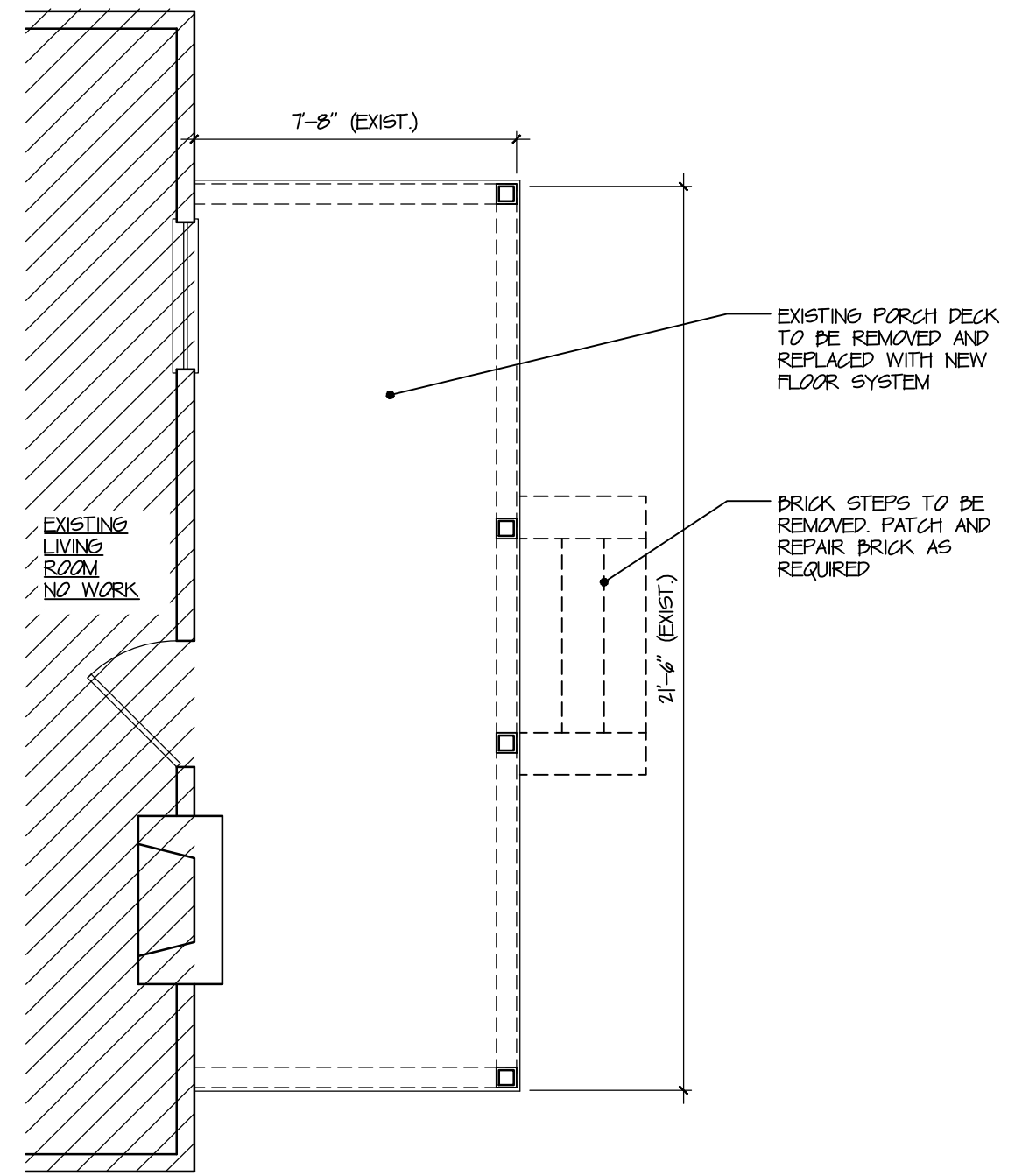


N





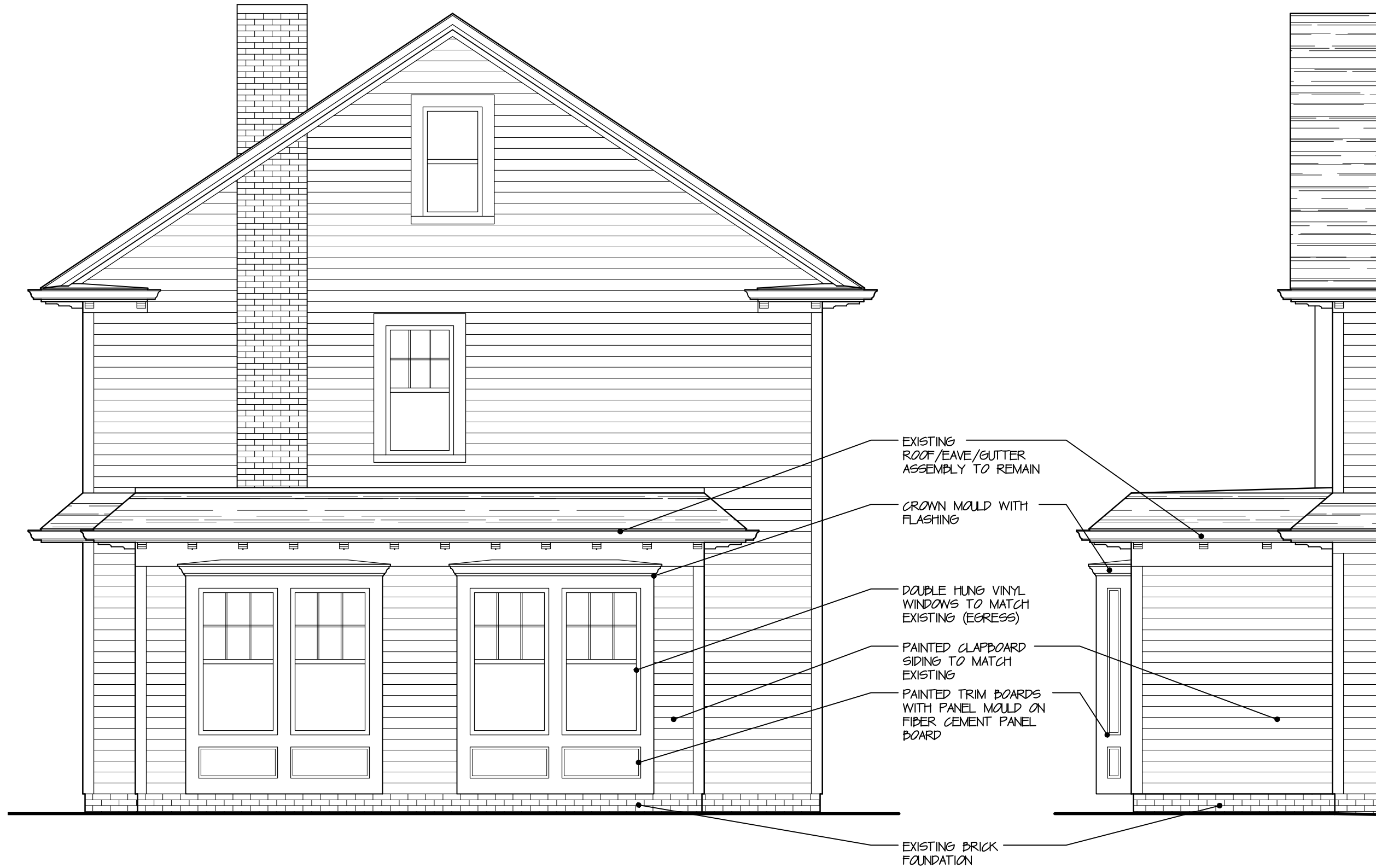
PROPOSED FLOOR PLAN
SCALE - 1/4"=1'-0"



EXISTING FLOOR PLAN
SCALE - 1/4"=1'-0"



WEST ELEVATION
SCALE - 1/4"=1'-0"



SOUTH ELEVATION
SCALE - 1/4"=1'-0"

EAST ELEVATION
SCALE - 1/4"=1'-0"



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD and/or
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18- 051 A
Applicant: Yard Solutions Inc. – Steve Graham
Owner: Jacob & Elizabeth Garrett
Location: 269 S. Ardmore Rd.
ARB Request: The applicant is seeking architectural review and approval, to allow a terrace addition to be constructed at the front of the principal structure in place of the existing stoop. The applicant is also proposing new landscaping and bluestone walk.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review Conditional Use Demolition Planned Unit Dev. Rezoning Landscape Review Special Permit

Property & Project Information:

Property Address:

Brief Project Description:

Applicant Information:

Applicant Name:

Applicant Address:

Applicant Email & Phone:

Property Owner Information:

Owner Name:

Owner Address:

Owner Email & Phone:

Attorney/Agent Information:

Agent Name:

Agent Address:

Agent Email & Phone:

- Completed Worksheets:** Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet D)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: Date:

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project: - \$50.00 for 1st \$10,000 valuation \$
 - \$5.00 for each additional \$10,000 valuation. \$

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project: - \$90.00 for the 1st \$10,000 valuation \$
 - \$5.00 for each additional \$10,000 valuation \$
 - \$600.00 cap \$
 - \$50.00 resubmittal fee \$

Variance Review

Single Family: \$100.00 \$
 Commercial Property: \$100.00 \$
 Fences or Special Permits: \$65.00 \$
 All others: \$90.00 \$

Zoning Fees

Rezoning: - \$250.00 up to 1 acre site \$
 - \$60.00 for each additional acre (or part thereof) \$
 Requests for amendment to PUD Plans: \$300.00 \$
 Split of lot or existing parcel: \$250.00 \$
 Replatting or new plat: \$250.00 \$

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>

Fences and walls: \$65.00 \$

Special Permit, Conditional Uses and All others: \$90.00 \$

Re-submittal Fee: \$50.00 \$

Appeals

Appeal of ARB decision to BZAP: \$50.00 \$
 Appeal of BZAP decision to City Council: \$250.00 \$

Fee Total: \$



CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Instructions: Application Requirements by Application Type

Requirements:	New Construction	Addition	Demolition	Windows, Doors, Deck, Pergola, Etc.	Rezoning	Conditional Use or Special Permit	Variance
Worksheet A: Cover Sheet & Fee Calculation	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet B: Project Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet C: Architectural Review Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet D: Tree Commission Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet E: Variance Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet F: Fence Variance Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet G: Demolition Worksheet	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Worksheet H: Rezoning Worksheet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Worksheet I: Conditional Use Worksheet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Worksheet J: Home Occupation Worksheet	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
Site Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Floor Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Exterior Elevations	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Architectural Details	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Landscape Plan	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>
Photographs of Property	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>



= Required



= May Be Required



= Not Required

PLEASE NOTE: Incomplete information may result in the rejection of this submittal. Applications must be submitted by appointment. Please call 614-559-4240 to schedule.



CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Instructions: Detailed Application Requirements

The application package must consist of one (1) complete printed set of all items listed below, as well as a single full-color PDF document with a complete set, in order of the checklist, of all the items listed below, as well as any additional documentation required in the Microsoft Word format. All requested documents must be submitted via the City's Plan Application Upload portal:

www.bexley.org/plans.

Document Submittal and Naming Requirements:

Documents submitted to the upload portal at www.bexley.org/plans must be consolidated into a zip file which must be named using the following naming methodology:

[Year]-[Month]-[Day] [Application #] [Street #] [Street Direction - if applicable] [Street Name] [Project name - if applicable]

ex.: "2015-12-01 ARB-15-24 2242 East Main Bexley City Hall"

Requirements by Exhibit Type:

Architectural Details

Architectural details drawn to scale of non-typical design elements. Plans shall be provided in a vector-based electronic format designed to print at a 2' x 3' original scale.

File Type:
PDF

Architectural Plan

The plans must be drawn to Engineer's scale and provide applicable information as itemized on the Zoning Review Checklist Form. Plans shall be provided in a vector-based electronic format designed to print at a 2' x 3' original scale.

File Type:
PDF

Exterior Elevations

Exterior elevation drawings, to scale, designating and differentiating existing construction from proposed construction. Elevation drawings shall include indications of exterior materials, door and window styles, and notes as required to clearly communicate the concept of the design. Plans shall be provided in a vector-based electronic format designed to print at a 2' x 3' original scale.

File Type:
PDF

Floor Plan

A floor plan, to scale, designating and differentiating existing construction from proposed construction. Plans shall include overall dimensions and notes, as required to clearly communicate the concept of the design. Plans shall be provided in a vector-based electronic format designed to print at a 2' x 3' original scale.

File Type:
PDF

Landscape Plan

Landscape architectural plans, to scale, indicating all proposed garden walls and structures, plantings, species and size of landscape details (see Tree Commission Worksheet C).

File Type:
PDF

Photographs

Photographs to be provided of all sides of all structures on the property, as well as relevant site photographs. Photographs shall be provided as uncompressed JPEG files with a minimum width dimension of 1,000 pixels.

File Type:
JPEG

Site Plan

The site plan must be drawn to Engineer's scale and provide applicable information as itemized on the Zoning Review Checklist Form. Site plans shall be provided in a vector-based electronic format designed to print at a 2' x 3' original scale.

File Type:
PDF

PLEASE NOTE: Incomplete information may result in the rejection of this submittal.
Applications must be submitted by appointment.
Please call 614-559-4240 to schedule.

Project Worksheet

Residential Commercial

Property Address: 269 S. ARDMORE RD.

Zoning District:

R-1 (25% Building & 40% Overall) R-6 (35% Building & 60% Overall)
 R-2 (25% Building & 50% Overall) R-12 (35% Building & 70% Overall)
 R-3 (25% Building & 50% Overall) Other:

** Overall coverage includes hardscape*

Lot Info: Width (ft.): 57.3 Depth (ft.): 150 Total Area (SF): 7995

Primary Structure Info:

Existing Footprint (SF):	<u>1327</u>	
Proposed Addition (SF):	<input type="text"/>	
Removing (SF):	<input type="text"/>	(Type of Structure: <input type="text"/>)
Proposed new primary structure or residence (SF):	<input type="text"/>	
Total Square Footage:	<u>1327</u>	

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):	<u>400</u>	New Structure Type: <input type="text"/>
Proposed Addition (SF):	<input type="text"/>	Ridge Height: <input type="text"/>
Proposed New Structure (SF):	<input type="text"/>	Is there a 2nd floor? <input type="checkbox"/> Yes <input type="checkbox"/> No
Total of all garage and accessory structures (SF):	<u>720</u>	2nd Floor SF: <input type="text"/>
Total building lot coverage (SF):	<u>2047</u>	= <u>25.6</u> % of lot
Is this replacing an existing garage and/or accessory structure?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

Hardscape:

Existing Driveway (SF):	<u>1280</u>	Existing Patio (SF):	<input type="text"/>	Existing Private Sidewalk (SF):	<input type="text"/>
Proposed Additional Hardscape (SF):	<u>378</u>				
Total Hardscape (SF):	<u>1658</u>				

Totals: Total overall lot coverage (SF): 3705 = 46.3 % of lot

Applicant Initial: AB

Internal Use:	Staff Review Date: <input type="text"/>	<input type="checkbox"/> Meets Zoning	<input type="checkbox"/> ARB Only	<input type="checkbox"/> Variance or Modifications Needed
	Staff Comments: <input type="text"/>	Staff Initial: <input type="text"/>		

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer:

New Roof Style & Color:

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer:

New Window Style/Mat./Color:

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: Style: Color:

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim:

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other:

Proposed New Window Trim: Trim Color(s):

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Brick	T.B.D.
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	

Staff Confirmation (to be completed by Residential Design Consultant:

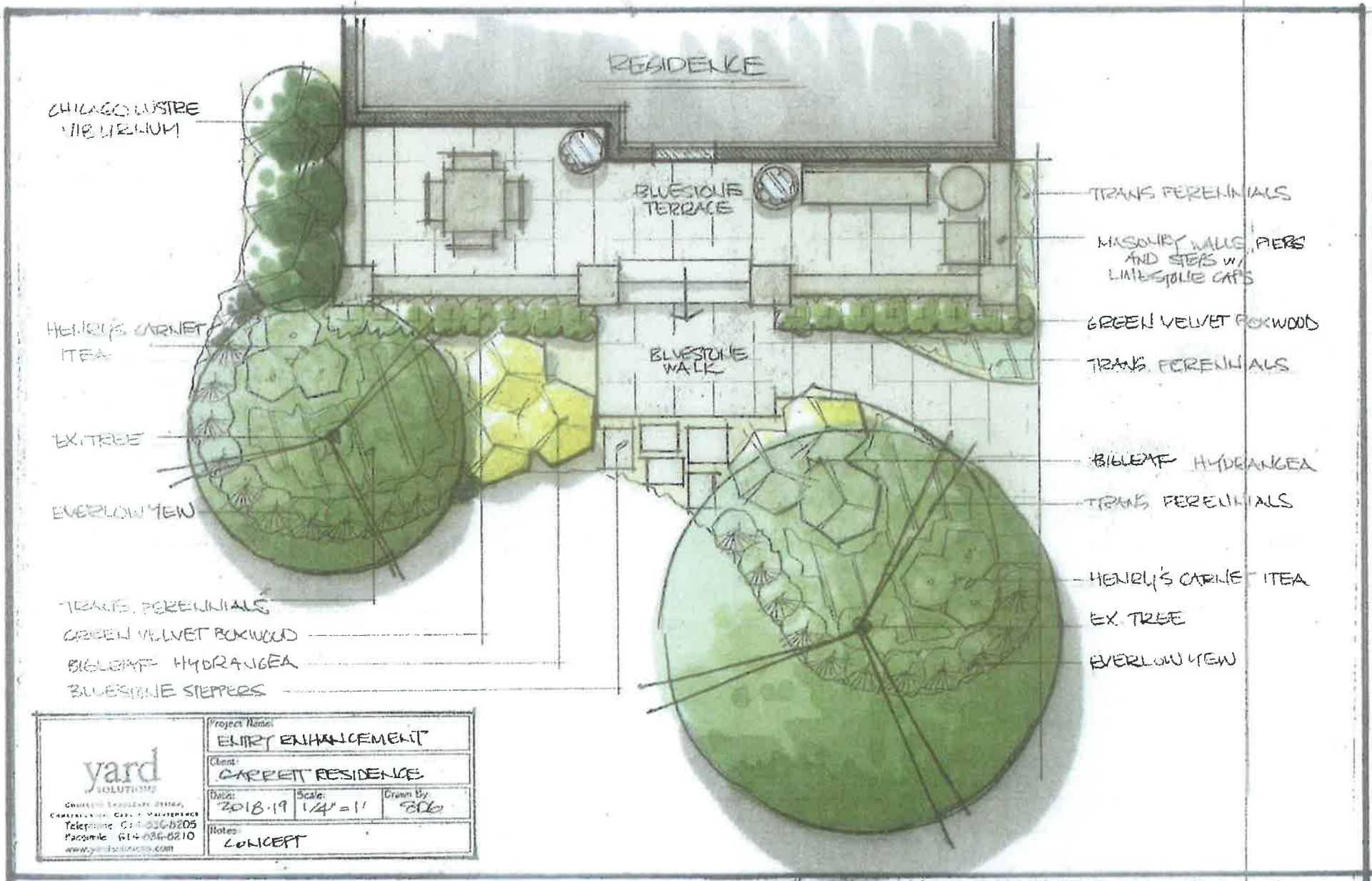
Date of Review:


Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:



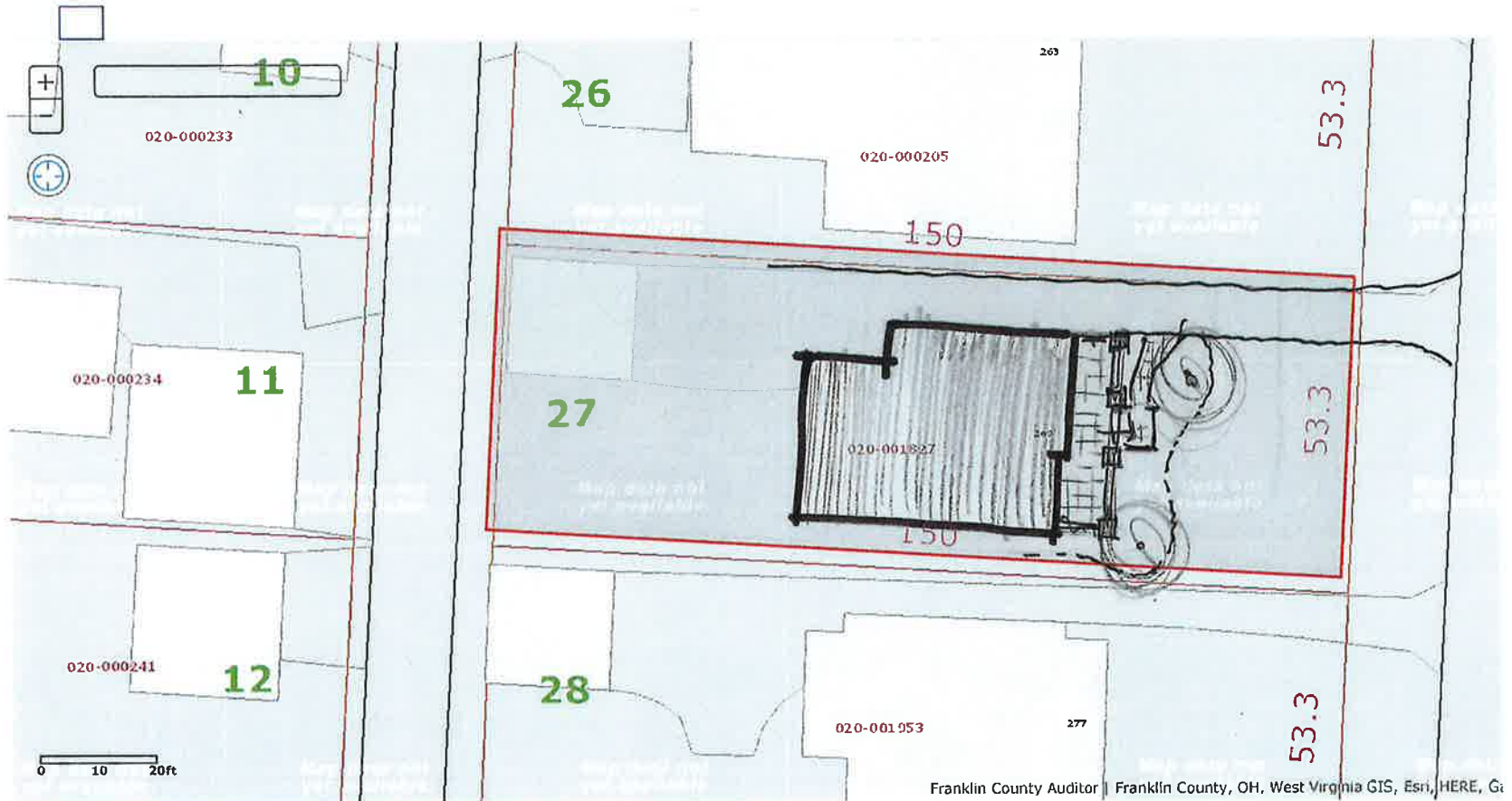
 <p><small>CONCEPT LANDSCAPE DESIGN, CAPITAL CITY, CAN. & MAINTENANCE Telephone: 614-836-8205 Macomber: 614-836-8210 www.yardsolutions.com</small></p>	Project Name: ENTRY ENHANCEMENT		
	Client: CARRET RESIDENCE		
	Date: 2018-19	Scale: 1/4" = 1'	Drawn By: SDG
	Notes: CONCEPT		



- Our Office
- Real Estate
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- Reference
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- Summary
- Land Profile
- Residential
- Commercial
- Improvements
- Permits
- Mapping
- Sketch
- Photo
- StreetSmart
- Aerial Photos
- Transfers
- BOR Status
- CAUV Status
- Tax & Payments
- Tax Distribution
- Value History
- Rental Contact
- Quick Links

ParcelID: 020-001827-00
GARRETT JACOB



Franklin County Auditor | Franklin County, OH, West Virginia GIS, Esri, HERE, G



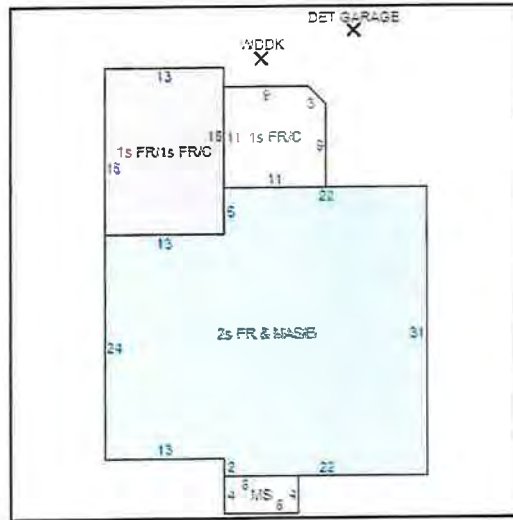
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- Summary
- Land Profile
- Residential
- Commercial
- Improvements
- Permits
- Mapping
- Sketch
- Photo
- StreetSmart
- Aerial Photos
- Transfers
- BOR Status
- CAUV Status
- Tax & Payments
- Tax Distribution
- Value History
- Rental Contact
- Quick Links

ParcelID: 020-001827-00
GARRETT JACOB

Map-Rt: 020-L045 -073-00
269 S ARDMORE RD

1 of 1
[Return to Search Results](#)



- Actions**
- Neighborhood Sales
 - Proximity Search
 - Printable Version
 - Custom Report Builder

- Reports**
- Proximity Report
 - Map Report
 - Parcel Summary
 - Parcel Detail
- [Go](#)

Social Media Links



Options

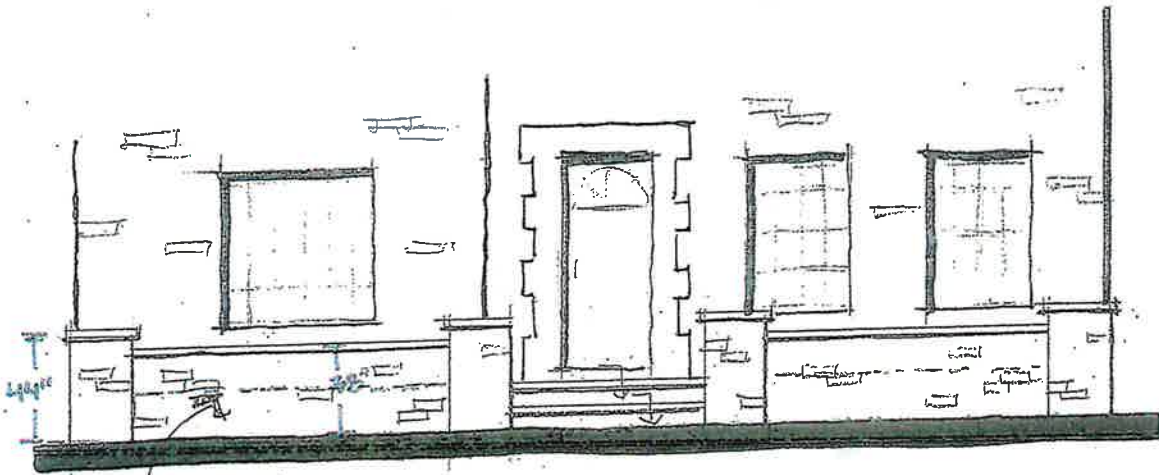
Type	Line #	Item	Area
Dwelling	0	2s FR & MAS/B	994
Dwelling	1	1s FR/1s FR/C - 36/10/10:CRAWL/ONE STORY FRAME/ONE STORY FRAME	234
Dwelling	2	1s FR/C - 35/10:CRAWL/ONE STORY FRAME	119
Dwelling	3	MS - 43:MASONRY STOOP	32
Dwelling	4	WDDK - 38:WOOD DECK	320
Outbuilding	1	DET GARAGE - RG1:FRAME DETACHED GARAGE	400

Click on an item to display it independently.

Disclaimer:

The information on this web site is prepared from the real property inventory maintained by the Franklin County Auditor's Office. Users of this data are notified that the primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

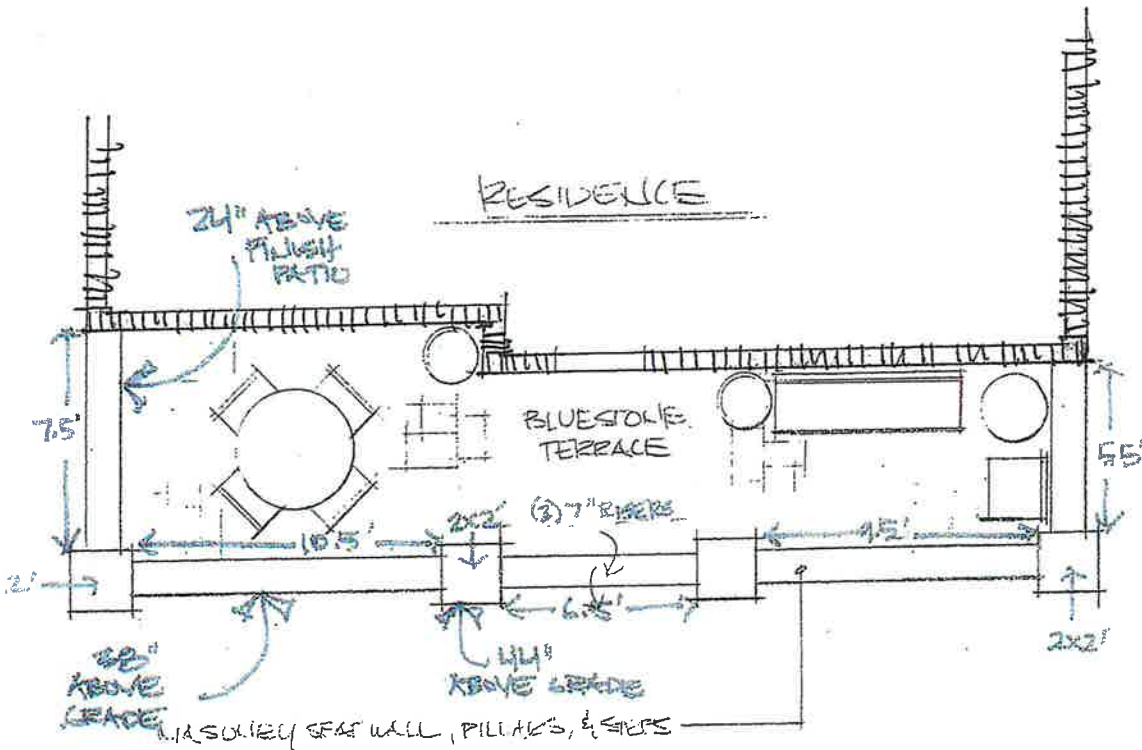
Powered by [ias/world](#) Public Access. All rights reserved.

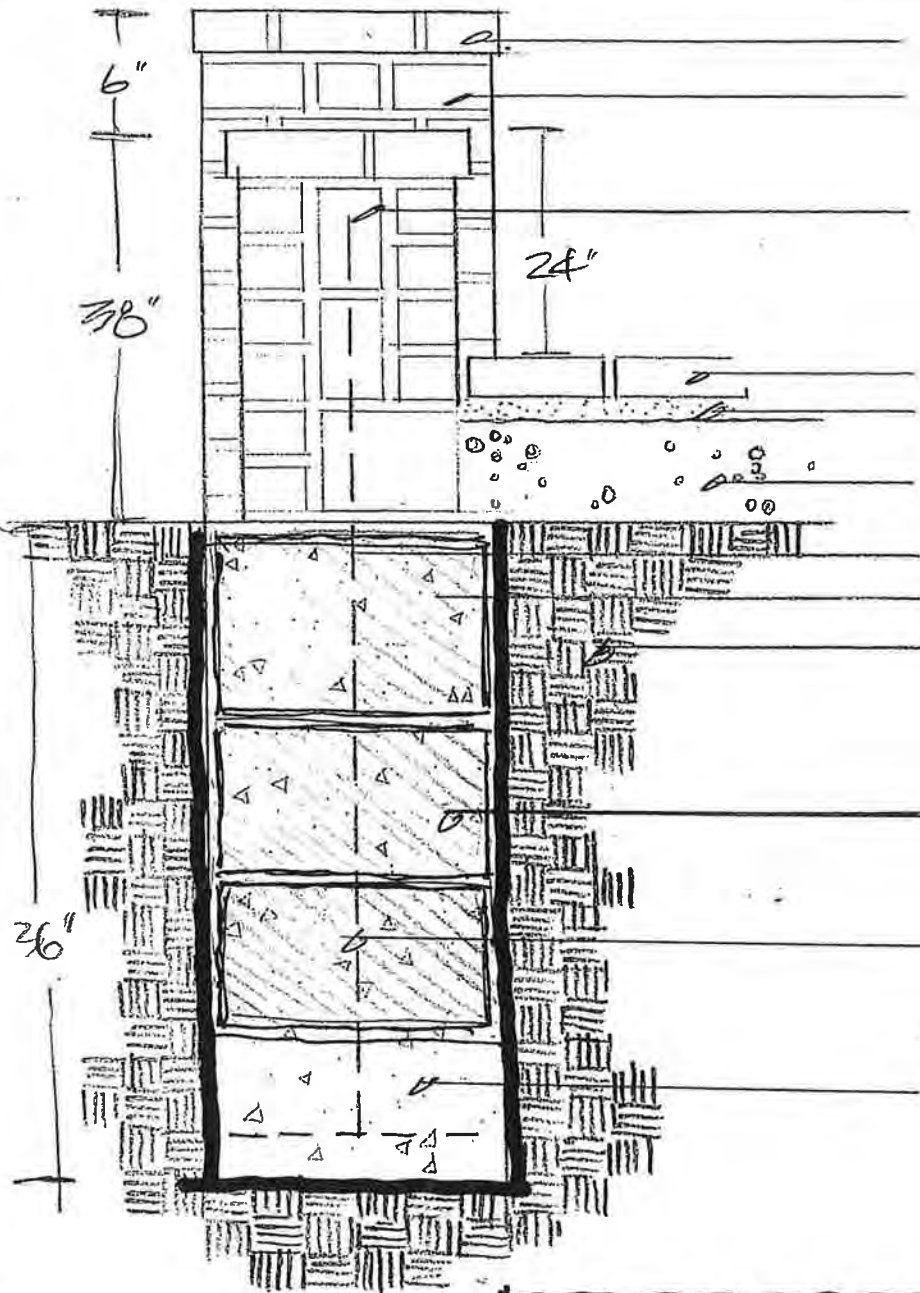


PATIO LEVEL

ELEVATION: MASONRY WALLS

- * ROUGH FACED LIMESTONE CAPS FOR WALL & PIERS
- * BULLHORN LIMESTONE FOR TERRACE
- * STANDARD SIZE BRICK FOR VENEER





- LIVESTONE CAP
- BRICK TO MATCH/COMPLEMENT HOME
- BLOCK FACED W/BRICK
- BRICK FACING
- LIVESTONE SCREENINGS
- #5'S COVERED LIVESTONE
- UNDISTURBED CLAY
- MASONRY BLOCK (24" TO GRADE)
- REBAR REINFORCEMENT
- CONCRETE FOOTER (12")

MASONRY WALL SECTION
NO SCALE



MAINTAIN SIZE OF PLANTING BEDS



REMOVE EXISTING LANDING & STEP



REMOVE/REWORK EXISTING PLANTINGS



REMOVE EXISTING BRICK WALK





PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD and/or
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18- 057 A
Applicant: Amy Lauerhass
Owner: Kyle & Tayah Barger
Location: 1008 Chelsea
ARB Request: The applicant is seeking architectural review and approval, to allow a 2nd story gable expansion at the front, and 2nd story shed dormer addition at the rear of the principal structure. The applicant is also expanding the existing open front porch.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review
 Conditional Use
 Demolition
 Planned Unit Dev.
 Rezoning
 Special Permit

Property & Project Information:

Property Address:

Brief Project Description:

Applicant Information:

Applicant Name:

Applicant Address: , ,

Applicant Email & Phone:

Property Owner Information:

Owner Name:

Owner Address: , ,

Owner Email & Phone:

Attorney/Agent Information:

Agent Name:

Agent Address: , ,

Agent Email & Phone:

- Completed Worksheets:**
 Project Worksheet (Sheet A)
 Architectural Review (Sheet B)
 Tree Commission (Sheet C)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: Digitally signed by Amy Lauerhass
Date: 2018.12.12 17:53:42 -05'00' Date:

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation	\$ <input type="text"/>
- \$5.00 for each additional \$10,000 valuation.	\$ <input type="text"/>

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation	\$ <input type="text" value="90.00"/>
- \$5.00 for each additional \$10,000 valuation	\$ <input type="text" value="70.00"/>
- \$600.00 cap	\$ <input type="text"/>
- \$50.00 resubmittal fee	\$ <input type="text"/>

Variance Review

Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text"/>
All others:	\$90.00	\$ <input type="text"/>

Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text"/>
Replatting or new plat:	\$250.00	\$ <input type="text"/>

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>
Fences and walls:	\$65.00	\$ <input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text"/>
Re-submittal Fee:	\$50.00	\$ <input type="text"/>

Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text"/>

Fee Total: \$

Project Worksheet

Residential

Commercial

Property Address:

1008 Chelsea Ave.

Zoning District:

R-6

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

** Overall coverage includes hardscape*

Lot Info:

Width (ft.):

48.5

Depth (ft.):

136.3

Total Area (SF):

6608

Primary Structure Info:

Existing Footprint (SF):

1115

Proposed Addition (SF):

28

Removing (SF):

(Type of Structure):

Proposed new primary structure or residence (SF):

Total Square Footage:

1143

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

240

New Structure Type:

Proposed Addition (SF):

Ridge Height:

Proposed New Structure (SF):

Is there a 2nd floor?

Yes

No

Total of all garage and accessory structures (SF):

2nd Floor SF:

Total building lot coverage (SF):

1383

= 21.0 % of lot

Is this replacing an existing garage and/or accessory structure?

Yes

No

Hardscape:

Existing Driveway (SF):

860

Existing Patio (SF):

550

Existing Private Sidewalk (SF):

255

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

1665

Totals:

Total overall lot coverage (SF):

3048

=

46.1

% of lot

Applicant Initial:

AL

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer:

New Roof Style & Color:

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer:

New Window Style/Mat./Color:

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: Style: Color:

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim:

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other:

Proposed New Window Trim: Trim Color(s):

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Vinyl Siding	Match Existing
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	<input type="text"/> <input type="text"/>

Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

Approved By:

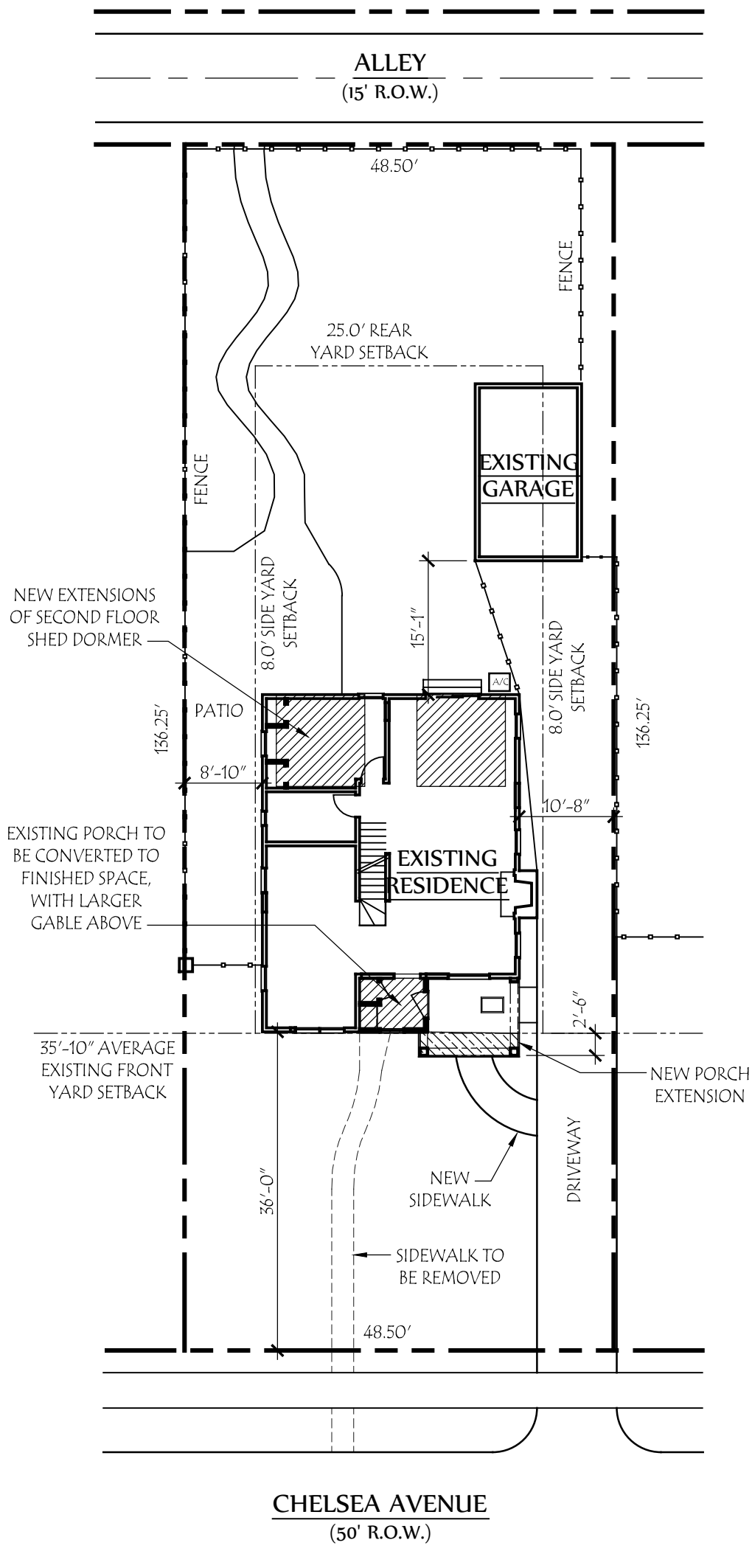
To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

ADDITION & RENOVATION FOR: THE BARGER RESIDENCE

1008 CHELSEA AVENUE
BEXLEY, OHIO 43209



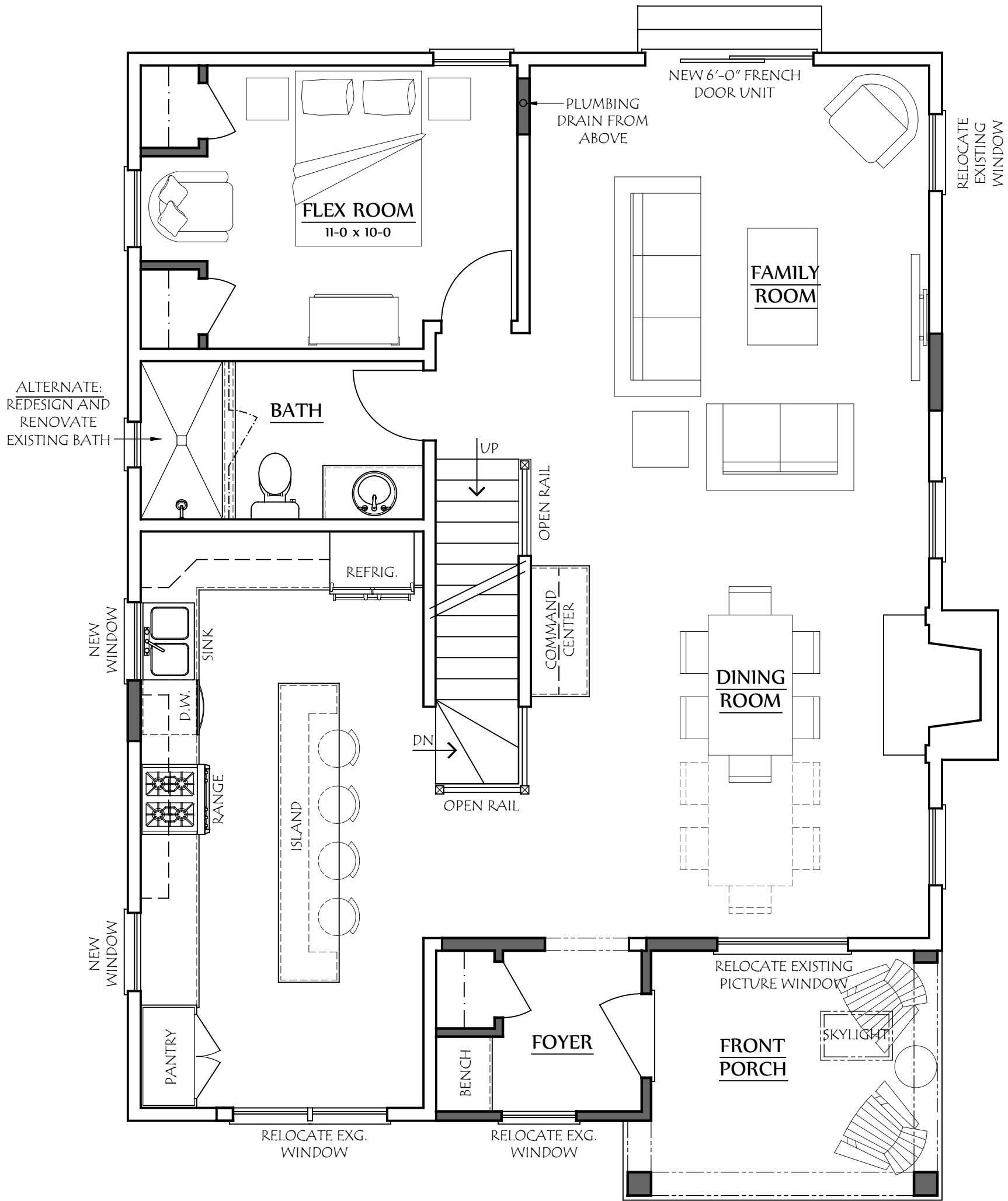
DEVELOPMENT INFORMATION	
ZONING DESIGNATION	= R-6
TOTAL LAND AREA	= 6608 SF
MAXIMUM BUILDING COVER	35.0% = 2312 SF
PROPOSED LOT COVER:	
EXISTING HOUSE	= 1115 SF
EXISTING GARAGE	= 240 SF
PROPOSED PORCH EXPANSION	= 28 SF
TOTAL BUILDING COVER	21% = 1383 SF
MAXIMUM DEVELOP. COVER	60 % = 3964 SF
PROPOSED DEVELOP. COVER:	
BUILDING COVER	= 1383 SF
DRIVEWAY	= 860 SF
SIDEWALKS	= 255 SF
PATIO	= 550 SF
TOTAL	46.1% = 3048 SF

SQUARE FOOTAGE	
EXISTING BASEMENT FINISHED	= 418 SF
EXISTING FIRST FLOOR	= 997 SF
EXISTING SECOND FLOOR	= 551 SF
TOTAL: MAIN RESIDENCE	= 1966 SF
PROPOSED FIRST FLOOR	= 46 SF
PROPOSED SECOND FLOOR	= 410 SF
TOTAL PROPOSED ADDITION	= 456 SF
TOTAL FINISHED RESIDENCE	= 2422 SF





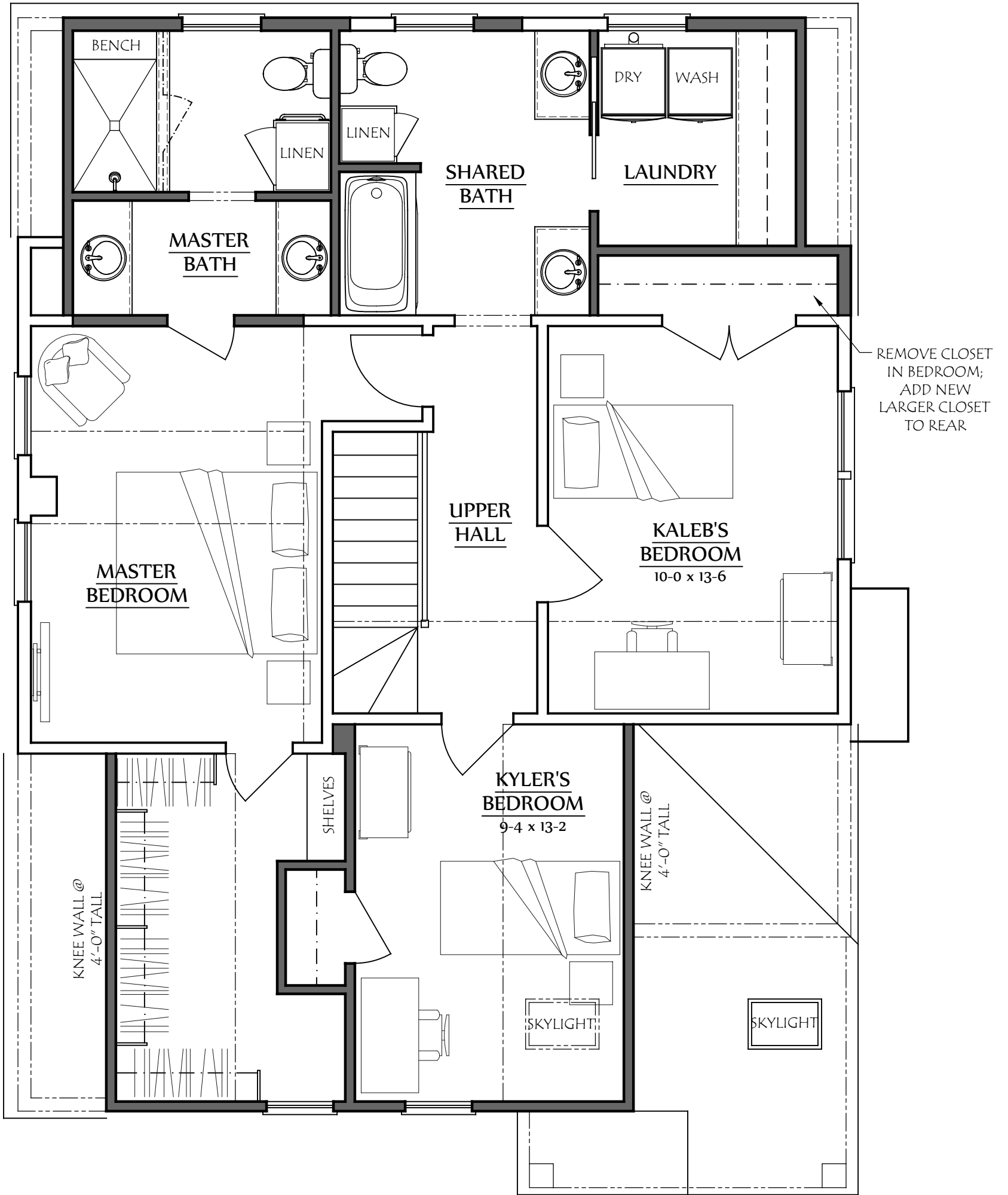
Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME
753 Francis Ave. Bexley, OH 43209 614-371-3523



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Date: 13 Dec 2018	Drawing Title: First Floor Plan	Scale: 1/4" = 1'-0"
Project Number: 18-012	Project Name: The Barger Residence	Sheet Number: A-1





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Date: 13 Dec 2018
Drawing Title: Second Floor Plan
Scale: 1/4" = 1'-0"
Project Number: 18-012
Project Name: The Barger Residence
Sheet Number: A-2





SOUTH ELEVATION



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 WRITTEN AUTHORIZATION OF THE ARCHITECT.

<u>Date:</u> 13 Dec 2018	<u>Drawing Title:</u> Elevations	<u>Scale:</u> 3/16" = 1'-0"
<u>Project Number:</u> 18-012	<u>Project Name:</u> The Barger Residence	<u>Sheet Number:</u> A-3


Lauerhass Architecture
 RENOVATION - ADDITION - NEW HOME



EAST (REAR) ELEVATION



NORTH ELEVATION

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 WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date: 13 Dec 2018	Drawing Title: Elevations	Scale: 3/16" = 1'-0"
Project Number: 18-012	Project Name: The Barger Residence	Sheet Number: A-4





NORTH ELEVATION



SOUTH ELEVATION



EAST ELEVATION



WEST ELEVATION

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 SHALL NOT BE USED WITHOUT THE EXPRESS
 WRITTEN AUTHORIZATION OF THE ARCHITECT.

<u>Date:</u> 13 Dec 2018	<u>Drawing Title:</u> Existing Photos	<u>Scale:</u> n/a
<u>Project Number:</u> 18-012	<u>Project Name:</u> The Barger Residence	<u>Sheet Number:</u> A-5





PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD and/or
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18- 055 A
Applicant: Robert Artrup
Owner: Katie-Brown Anthony & Edward Brown
Location: 921 Francis Ave.
ARB Request: The applicant is seeking architectural review and approval, to allow a one-story room addition on the west side (rear) of the principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review
 Conditional Use
 Demolition
 Planned Unit Dev.
 Rezoning
 Landscape Review
 Special Permit

Property & Project Information:

Property Address:

921 FRANCIS AVE.

Brief Project Description:

NEW MASTER BEDROOM & EXPANSION OF EXISTING KITCHEN

Applicant Information:

Applicant Name:

ROBERT (BJ) ARTRUP

Applicant Address:

3141 POLLEY RD., ~~COLUMBUS~~ COLUMBUS OH. 43221

Applicant Email & Phone:

bjartrup@hotmail.com 614.546.8020

Property Owner Information:

Owner Name:

KATIE - BROWN ANTHONY & EDWARD BROWN

Owner Address:

921 FRANCIS AVE. BEXLEY OH. 43209

Owner Email & Phone:

kbanthony@gmail.com 614-946-9730

Attorney/Agent Information:

Agent Name:

ROBERT (BJ) ARTRUP, ARCHITECT

Agent Address:

3141 POLLEY RD. COLUMBUS OH. 43221

Agent Email & Phone:

bjartrup@hotmail.com 614.546.8020

Completed Worksheets:

- Project Worksheet (Sheet A)
 Architectural Review (Sheet B)
 Tree Commission (Sheet D)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:

Robert Artrup

Date: 12/12/18

Owner Signature:

Katie B. Anthony

Date: 12.12.18

Agent Signature:

Robert Artrup

Date: 12/12/18

Internal Use:

Application #:

Board Referrals:

- ARB
 BZAP
 City Council
 Tree Commission

Staff Signature:

Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation. \$

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation \$ 90.00
- \$5.00 for each additional \$10,000 valuation \$ 40.00
- \$600.00 cap \$
- \$50.00 resubmittal fee \$

Variance Review

Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text"/>
All others:	\$90.00	\$ <input type="text"/>

Zoning Fees

Rezoning:

- \$250.00 up to 1 acre site \$
- \$60.00 for each additional acre (or part thereof) \$

Requests for amendment to PUD Plans: \$300.00 \$

Split of lot or existing parcel: \$250.00 \$

Replatting or new plat: \$250.00 \$

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	\$ <input type="text"/>
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>

Fences and walls: \$65.00 \$

Special Permit, Conditional Uses and All others: \$90.00 \$

Re-submittal Fee: \$50.00 \$

Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text"/>

Fee Total: \$ 130.00

Project Worksheet

Residential Commercial

Property Address:

921 FRANCIS AVE.

Zoning District:

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other: _____

* Overall coverage includes hardscape

Lot Info:

Width (ft.):

61.15

Depth (ft.):

150.0

Total Area (SF):

9,174

Primary Structure Info:

Existing Footprint (SF):

1,152

Proposed Addition (SF):

391

Removing (SF):

.

(Type of Structure): _____

Proposed new primary structure or residence (SF):

.

Total Square Footage:

1,543

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

455

New Structure Type: _____

Proposed Addition (SF):

.

Ridge Height: _____

Proposed New Structure (SF):

.

Is there a 2nd floor? Yes No

Total of all garage and accessory structures (SF):

455

2nd Floor SF: _____

Total building lot coverage (SF):

1,998

= 21.79 % of lot

Is this replacing an existing garage and/or accessory structure? Yes No

Hardscape:

Existing Driveway (SF):

1,405

Existing Patio (SF): _____

Existing Private Sidewalk (SF):

145

Proposed Additional Hardscape (SF): _____

Total Hardscape (SF):

1,550

Totals:

Total overall lot coverage (SF):

3,548

= 38.67 % of lot

Applicant Initial:

RJA

Internal Use:

Staff Review Date: _____

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments: _____

Staff Initial: _____

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer: GAF

New Roof Style & Color: 'SLATELINE' WEATHERED SLATE

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer: PELLA

New Window Style/Mat./Color: CASEMENT, VINYL CLAD, WHITE

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: ~~WOOD~~ WOOD Style: GLASS-FRENCH Color: CLEAR STAIN CEDAR

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim: CEDAR - PAINTED

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other:

Proposed New Window Trim: CEDAR Trim Color(s): WHITE

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other	HARDIE LAP (8"), PAINT - DARK GREY

Staff Confirmation (to be completed by Residential Design Consultant):

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:









921

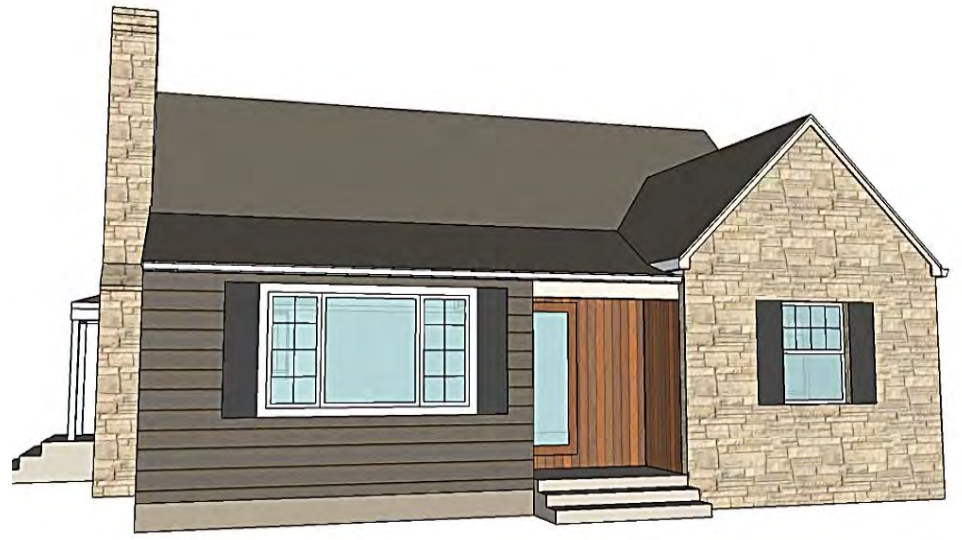
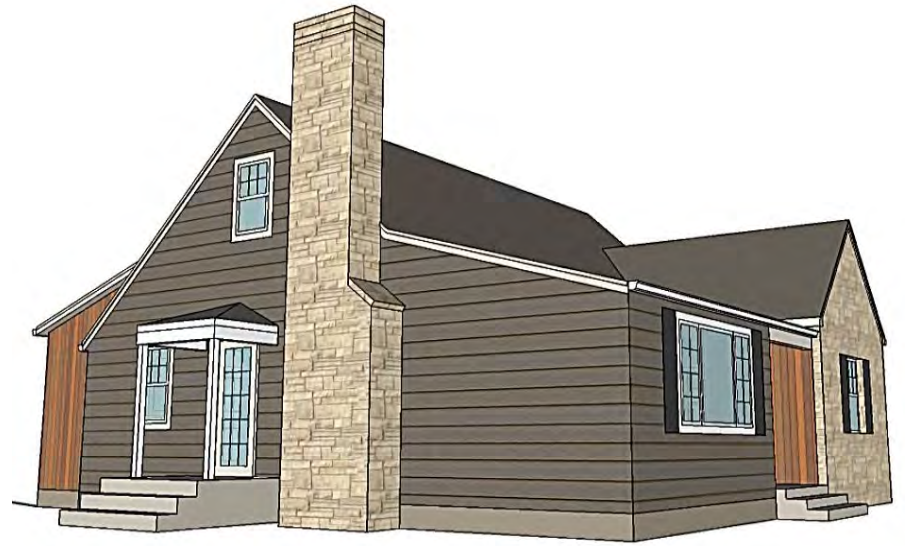
ADT



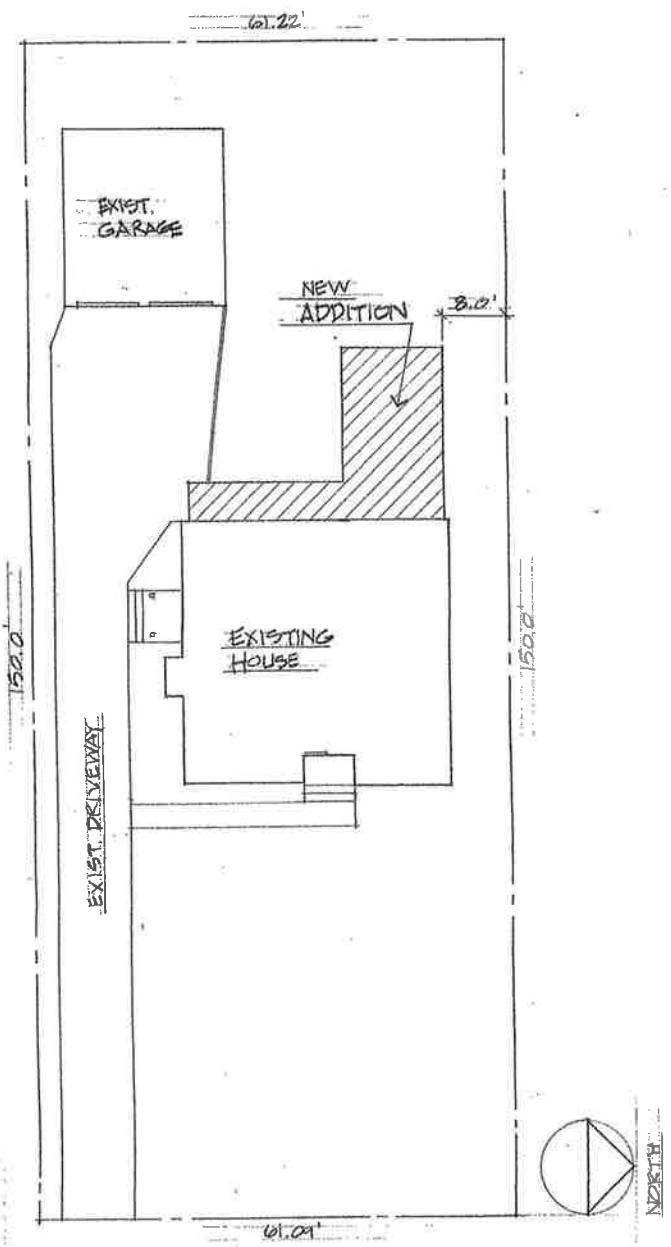


921







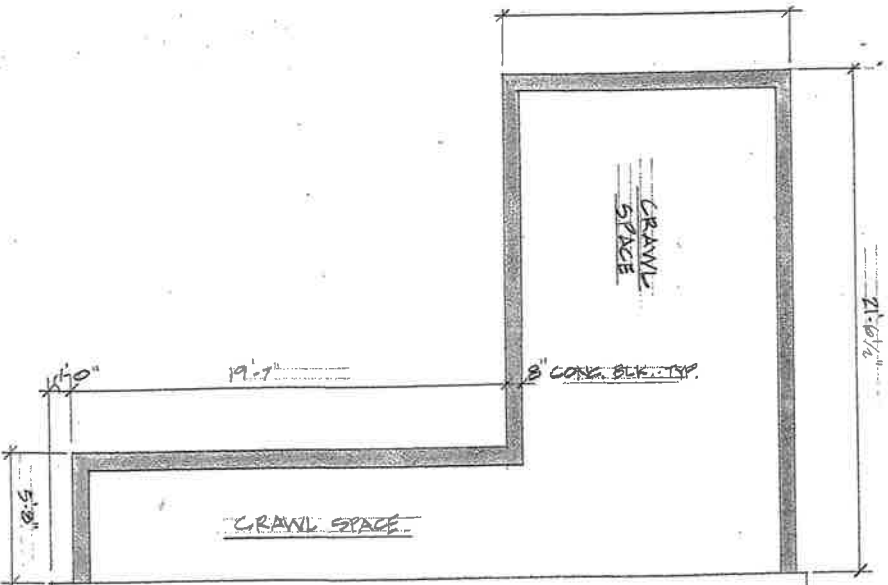


Site Plan

1/16" = 1'-0"

LOT COVERAGE

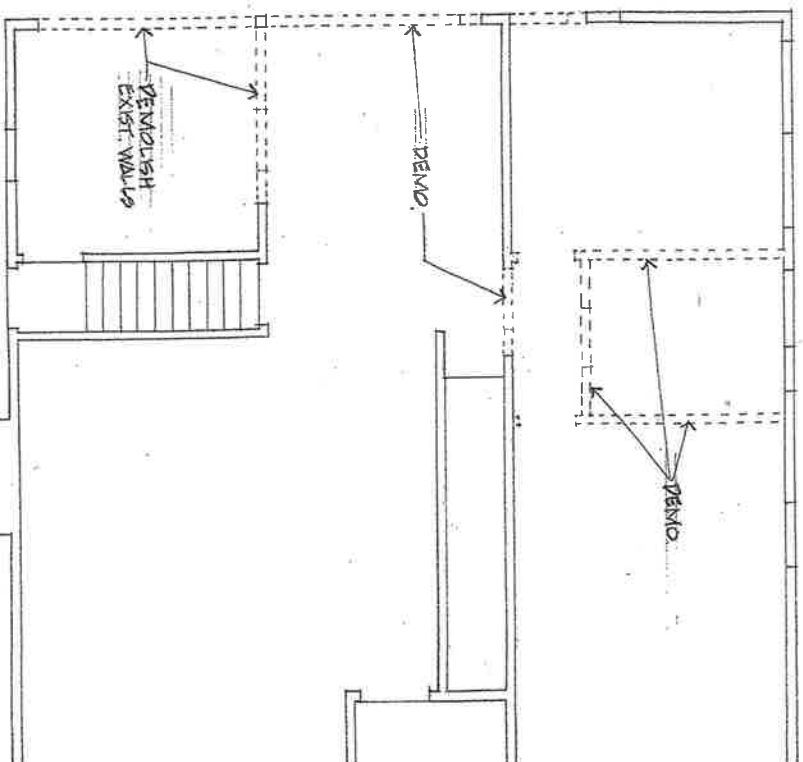
Lot Area:	9,174 S.F.
Existing House Footprint:	1,152 S.F.
Existing Garage Footprint	455 S.F.
New House Addition Footprint	391 S.F.
TOTAL LOT COVERAGE	1,998 S.F. = 21.79%



EXIST. BASEMENT

Foundation Plan

3/16" = 1'-0"

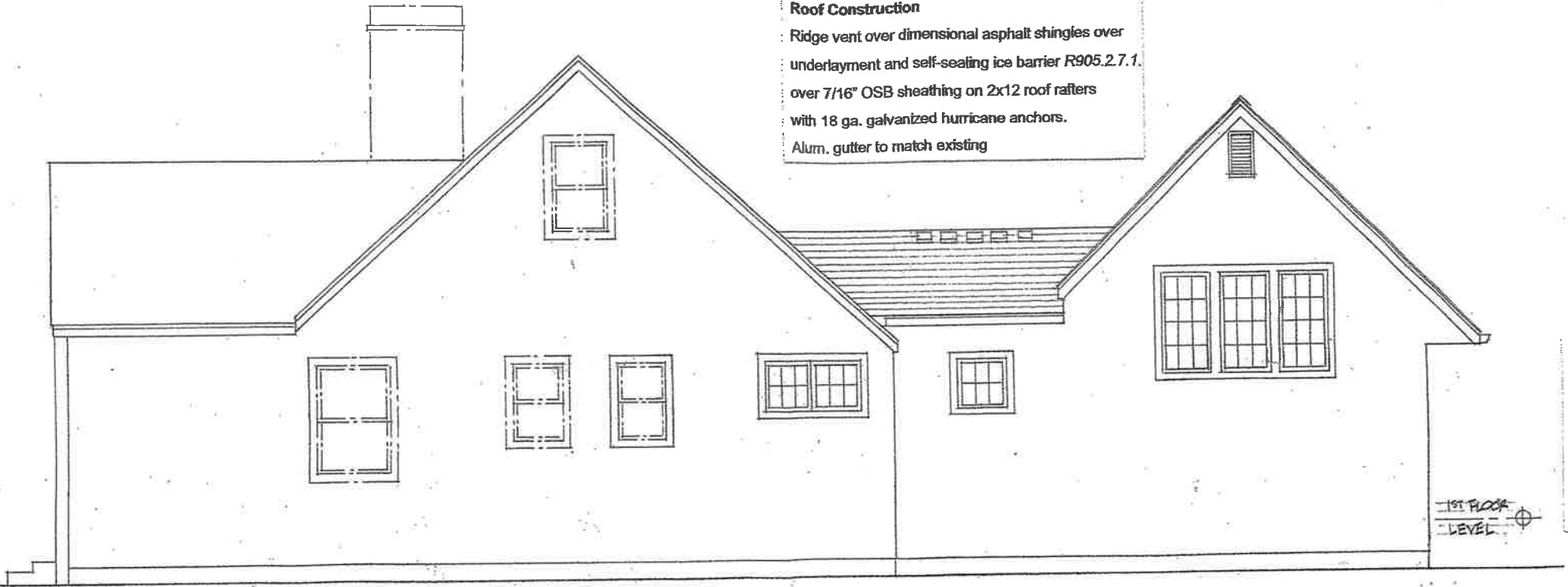


Demolition Plan

3/16" = 1'-0"

Roof Construction

Ridge vent over dimensional asphalt shingles over underlayment and self-sealing ice barrier R905.2.7.1. over 7/16" OSB sheathing on 2x12 roof rafters with 18 ga. galvanized hurricane anchors.
Alum. gutter to match existing

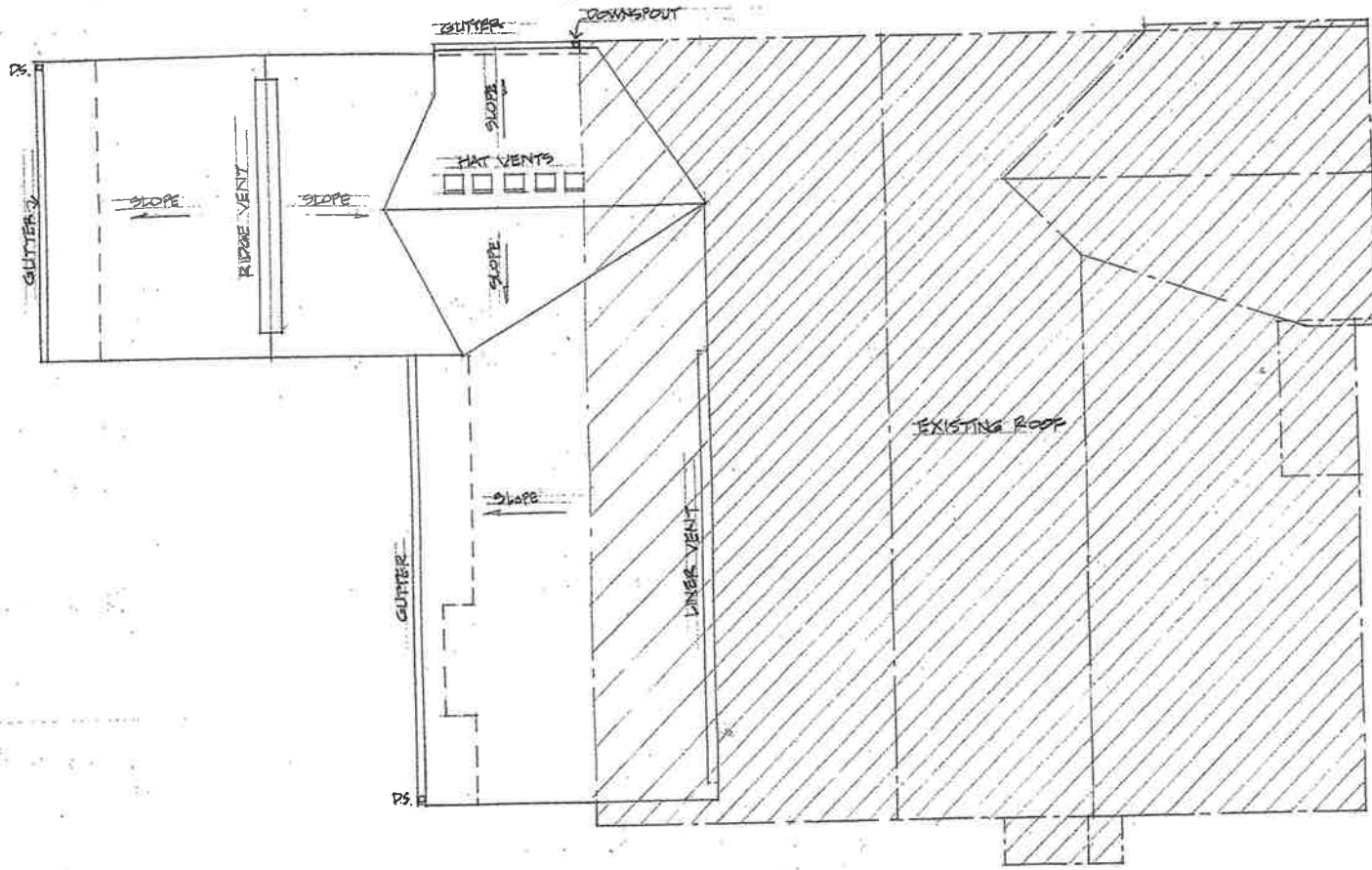


Wa
8"
6"
on
ove
2x6
ins

1ST FLOOR
LEVEL

North Elevation

3/16" = 1'-0"



Roof Plan
3/16" = 1'-0"

ARTRUP 92

Architect Bexl

blartrup@hotmail.com

2x6 wood framing with R-20
insulation and 1/2" gypsum board.

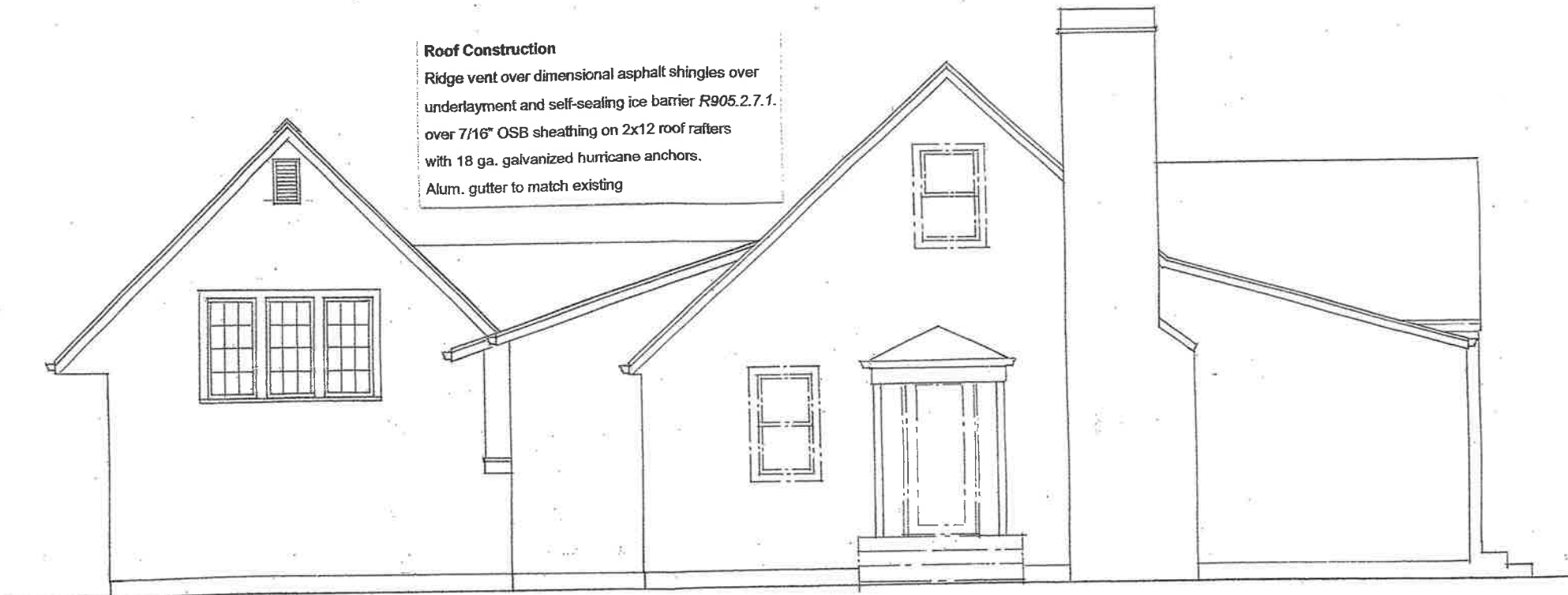
Roof Construction
Ridge vent over dimensional asphalt shingles over
underlayment and self-sealing ice barrier R905.2.7.1.
over 7/16" OSB sheathing on 2x12 roof rafters
with 18 ga. galvanized hurricane anchors.
Alum. gutter to match existing

Wall Construction
1/2" vinyl siding (to match existing) or
1/2" vertical cedar siding w/ clear finish
1/2" n Housewrap water resistant barrier
over 7/16" OSB sheathing on
2x6 wood framing with R-20
insulation and 1/2" gypsum board.



West Elevation
3/16" = 1'-0"

ARTRUP 921 Frank
Architect Bexley, Ohio 43105
artrup@holmsai.com



Roof Construction

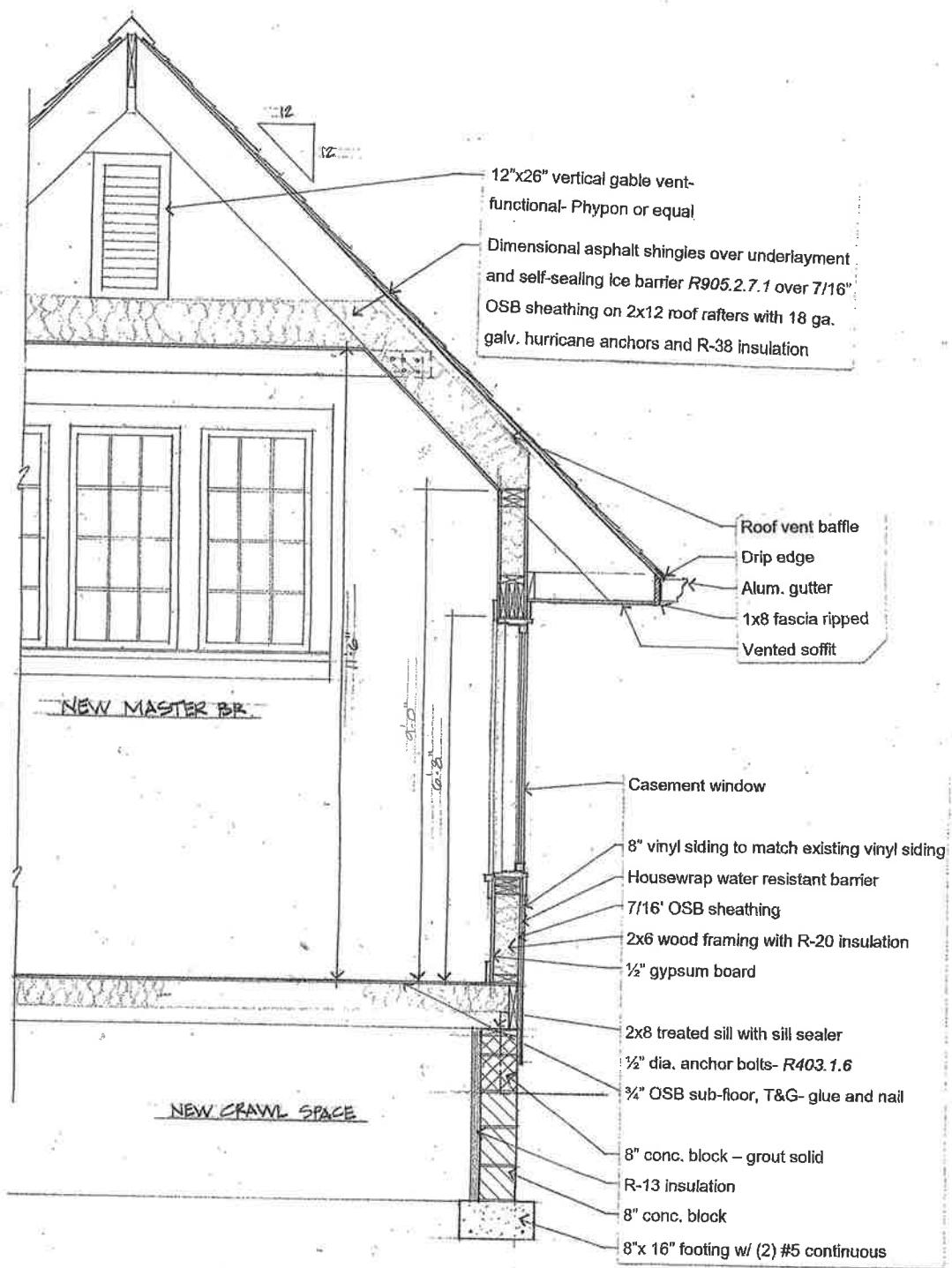
Ridge vent over dimensional asphalt shingles over underlayment and self-sealing ice barrier R905.2.7.1. over 7/16" OSB sheathing on 2x12 roof rafters with 18 ga. galvanized hurricane anchors. Alum. gutter to match existing

Wall Construction

8" vinyl siding (to match existing) or 6" vertical cedar siding w/ clear finish on Housewrap water resistant barrier over 7/16" OSB sheathing on 2x6 wood framing with R-20 insulation and 1/2" gypsum board.

South Elevation

3/16" = 1'-0"



12"x26" vertical gable vent-
functional- Phypon or equal

Dimensional asphalt shingles over underlayment
and self-sealing ice barrier R905.2.7.1 over 7/16"
OSB sheathing on 2x12 roof rafters with 18 ga.
galv. hurricane anchors and R-38 insulation

Roof vent baffle
Drip edge
Alum. gutter
1x8 fascia ripped
Vented soffit

Casement window

8" vinyl siding to match existing vinyl siding

Housewrap water resistant barrier

7/16" OSB sheathing

2x6 wood framing with R-20 insulation

1/2" gypsum board

2x8 treated sill with sill sealer

1/2" dia. anchor bolts- R403.1.6

3/4" OSB sub-floor, T&G- glue and nail

8" conc. block - grout solid

R-13 insulation

8" conc. block

8"x 16" footing w/ (2) #5 continuous

Wall Section A
1/2" = 1'-0"

ARTRUP

921 Francis Ave.

Wall Sections

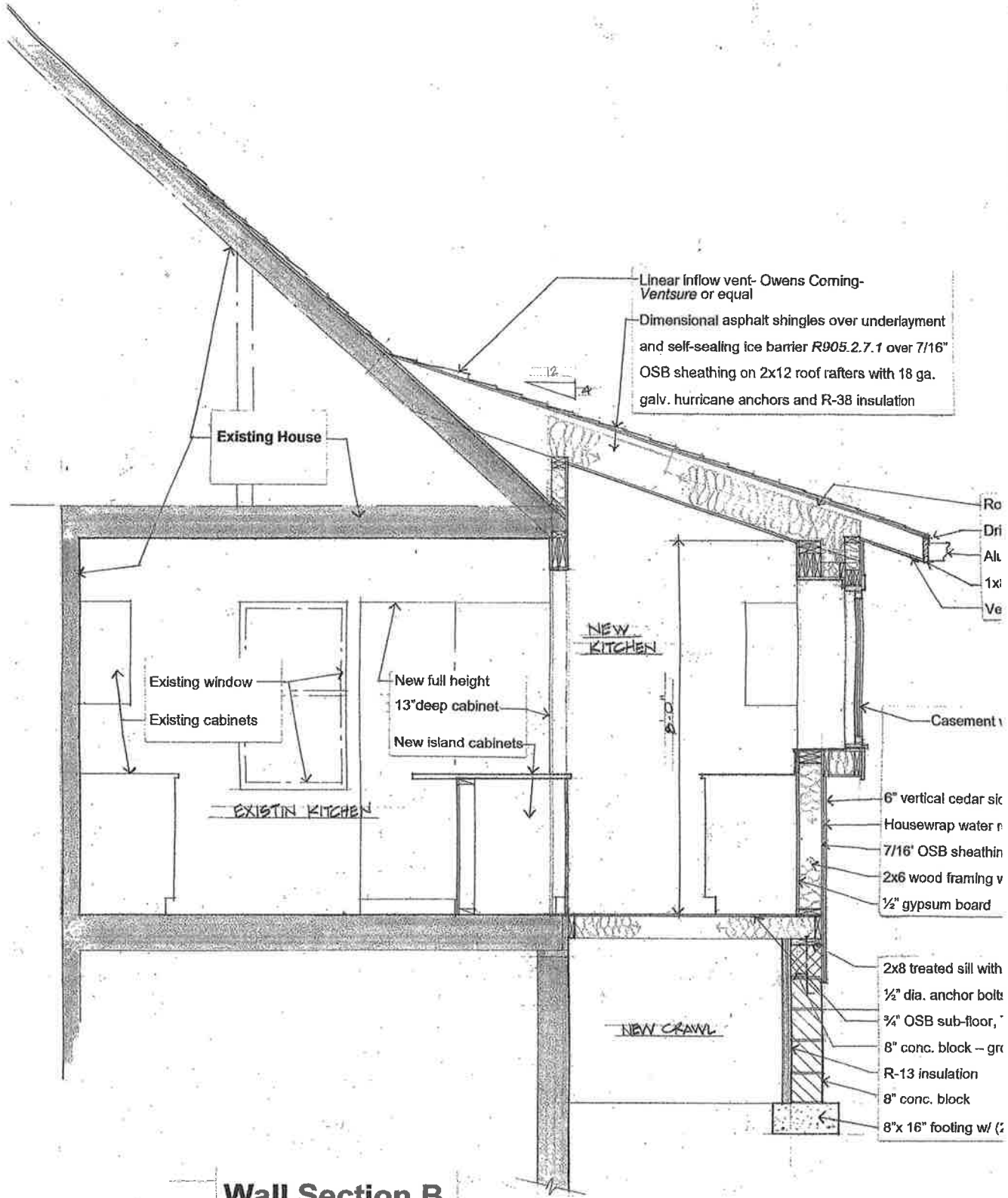
Architect

Bexley, Ohio 43212

5 of 5

biartrup@hotmail.com

10/28/18



Wall Section B

1/2" = 1'-0"



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD and/or
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18-938 A
Applicant: Heidi Bolyard, Simplified Living Arch & Design
Owner: Mark Talis
Location: 285 S. Cassady Ave.
ARB Request: The applicant is seeking architectural review and approval, to allow the existing 8' x 12' covered porch on the front (east side) of the principal structure to be replaced with an expanded (8' x 33') open porch.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review
 Conditional Use
 Demolition
 Planned Unit Dev.
 Rezoning
 Landscape Review
 Special Permit

Property & Project Information:

Property Address:

Brief Project Description:

Applicant Information:

Applicant Name:

Applicant Address: , ,

Applicant Email & Phone:

Property Owner Information:

Owner Name:

Owner Address: , ,

Owner Email & Phone:

Attorney/Agent Information:

Agent Name:

Agent Address: , ,

Agent Email & Phone:

- Completed Worksheets: Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet D)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: Date:

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:	- \$50.00 for 1st \$10,000 valuation	\$
	- \$5.00 for each additional \$10,000 valuation.	\$

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:	- \$90.00 for the 1st \$10,000 valuation	\$
	- \$5.00 for each additional \$10,000 valuation	\$
	- \$600.00 cap	\$
	- \$50.00 resubmittal fee	\$

Variance Review

Single Family:	\$100.00	\$
Commercial Property:	\$100.00	\$
Fences or Special Permits:	\$65.00	\$
All others:	\$90.00	\$

Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$
	- \$60.00 for each additional acre (or part thereof)	\$
Requests for amendment to PUD Plans:	\$300.00	\$
Split of lot or existing parcel:	\$250.00	\$
Replatting or new plat:	\$250.00	\$

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$
\$5,001 to \$25,000	\$200.00	\$
\$25,001 to \$75,000	\$250.00	\$
\$75,001 to \$200,000	\$600.00	\$
\$200,001 to \$750,000	\$1,000.00	\$
Over \$750,000	\$350.00	\$
Fences and walls:	\$65.00	\$
Special Permit, Conditional Uses and All others:	\$90.00	\$
Re-submittal Fee:	\$50.00	\$

Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$
Appeal of BZAP decision to City Council:	\$250.00	\$

Fee Total: \$

Project Worksheet

Residential

Commercial

Property Address:

Zoning District:

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

* Overall coverage includes hardscape

Lot Info:

Width (ft.):

Depth (ft.):

Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):

Proposed Addition (SF):

Removing (SF):

(Type of Structure:)

Proposed new primary structure or residence (SF):

Total Square Footage:

Garage and/or Accessory
Structure Info
(Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

New Structure Type:

Proposed Addition (SF):

Ridge Height:

Proposed New Structure (SF):

Is there a 2nd floor?

Yes

No

Total of all garage and accessory structures (SF):

2nd Floor SF:

Total building lot coverage (SF):

= % of lot

Is this replacing an existing garage and/or accessory structure?

Yes

No

Hardscape:

Existing Driveway (SF):

Existing Patio (SF):

Existing Private Sidewalk (SF):

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

Totals:

Total overall lot coverage (SF):

=

% of lot

Applicant Initial:

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing	House or Principal Structure	Garage Only	House & Garage		
Existing Roof Type:	Slate		Clay Tile	Wood Shake	Std. 3-tab Asphalt Shingle
	Arch. Dimensional Shingles		EPDM Rubber	TPO Rubber	Metal
New Roof Type:	Slate		Clay Tile	Wood Shake	Std. 3-tab Asphalt Shingle
	Arch. Dimensional Shingles		EPDM Rubber	TPO Rubber	Metal
New Shingle Manufacturer:					
New Roof Style & Color:					

Windows	House or Principal Structure	Garage Only	House & Garage		
Existing Window Type:	Casement		Fixed	Exterior Storm	Other:
	Double Hung		Awning	Horizontal Sliding	
Existing Window Materials:	Aluminum Clad Wood		Wood	Metal	
	Vinyl Clad Wood		Aluminum	Other:	
New Window Manufacturer:					
New Window Style/Mat./Color:					

Doors	House or Principal Structure	Garage Only	House & Garage		
Existing Entrance Door Type:	Wood	Insulated Metal	Fiberglass	Sidelights	Transom Windows
Existing Garage Door Type:	Wood	Insulated Metal	Fiberglass		
Door Finish:	Stained	Painted			
Proposed Door Type:		Style:		Color:	

Exterior Trim					
Existing Door Trim:	Cedar	Redwood	Pine	Std. Lumber Profile	
	Wood Composite	Aluminum Clad	Molding	Vinyl	Other:
Proposed New Door Trim:					
Existing Window Trim:	Wood	Redwood	Pine	Std. Lumber Profile	
	Vinyl	Other:			
Proposed New Window Trim:				Trim Color(s):	
Do the Proposed Changes Affect the Overhangs?		Yes	No		

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
		Natural Stone	
		Cultured Stone	
		Brick	
		Mortar	
		Stucco	
		Wood Shingle	
		Wood Siding	
		Vinyl Siding	
		Aluminum Siding	
		Other	

Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

285 S. Cassady Road
Bexley, Ohio 43209

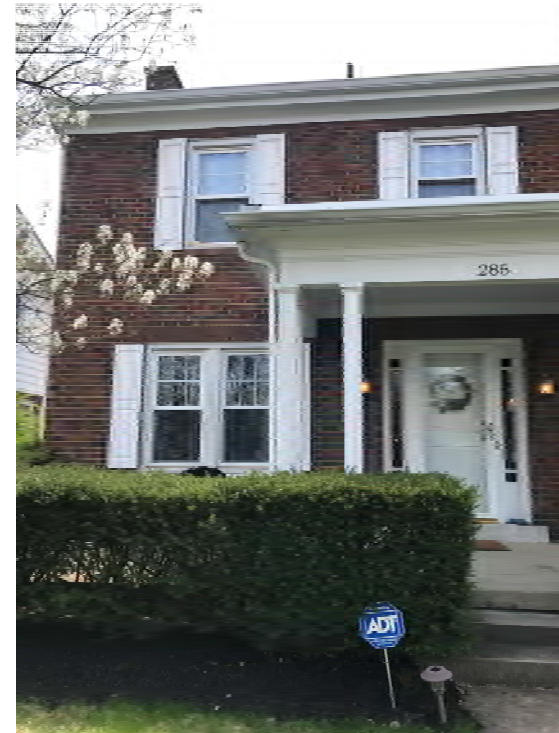
Existing Photos



Existing Front Elevation



Existing Front Elevation

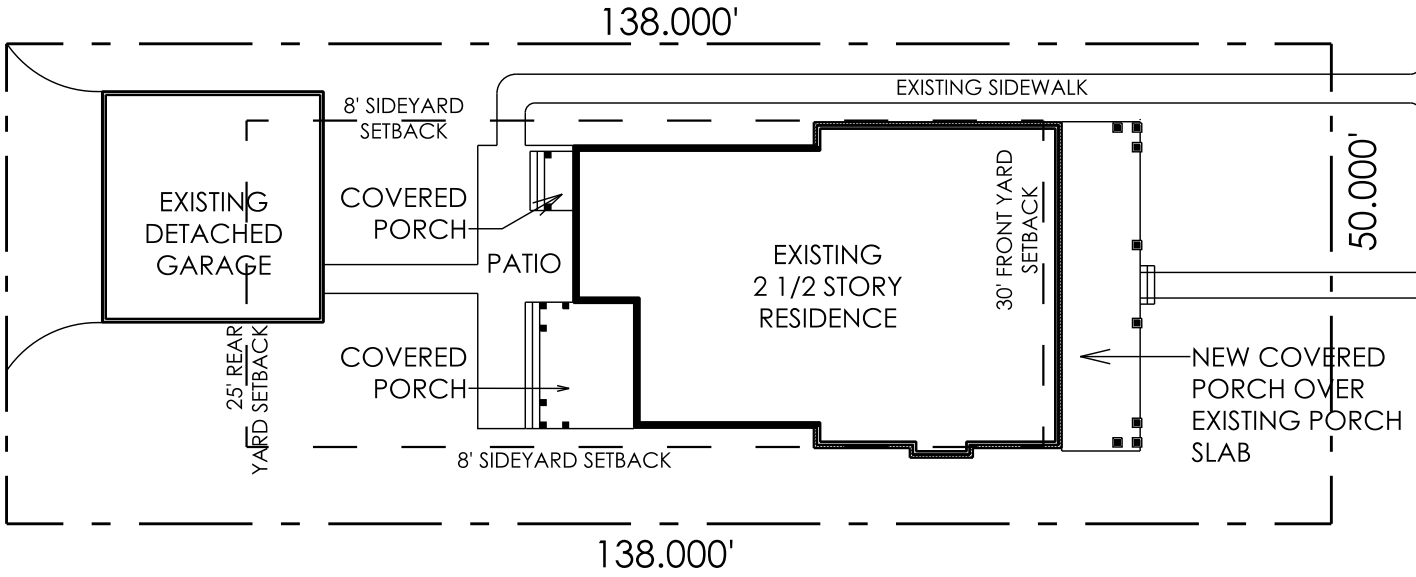


Existing Front Elevation

ALLEY

G/L

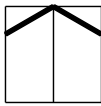
50.000'



50.000'

G/L

CASSADY RD



NORTH

SITE PLAN

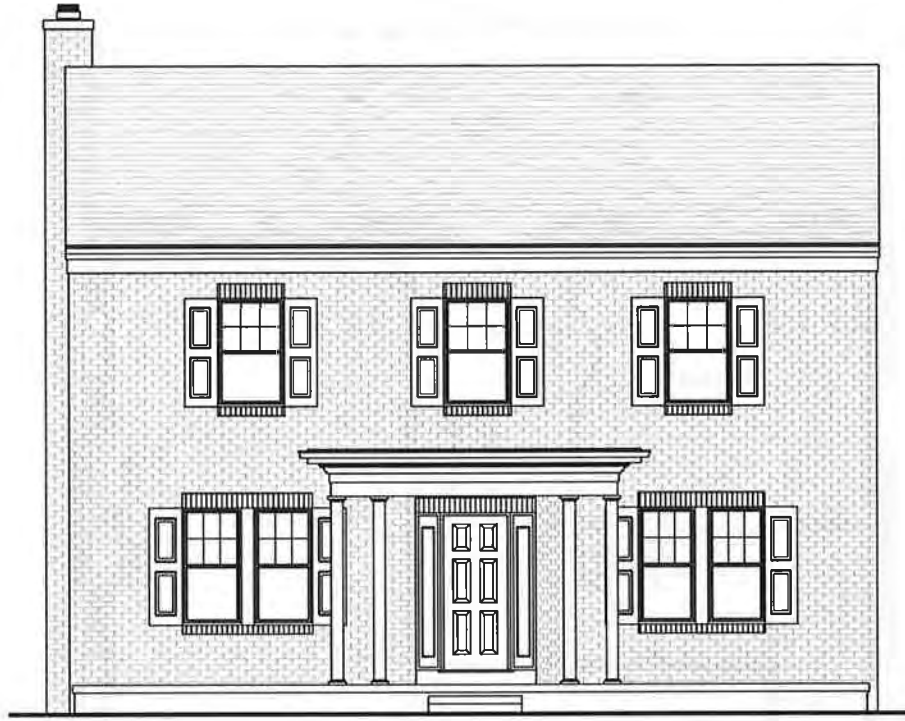
SCALE: 1" = 20'

111418	PRELIMINARY
000000	BIDDING
000000	CONSTRUCTION

Mark Talis
 285 S. Cassady Road
 Bexley, Ohio 43209



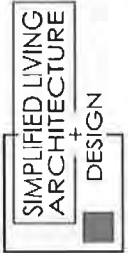
6065 Frantz Road . Suite 205
 Dublin, Ohio 43017
 614.774.2490 Phone
 614.633.1053 Fax
 simplifiedarchitecture.com



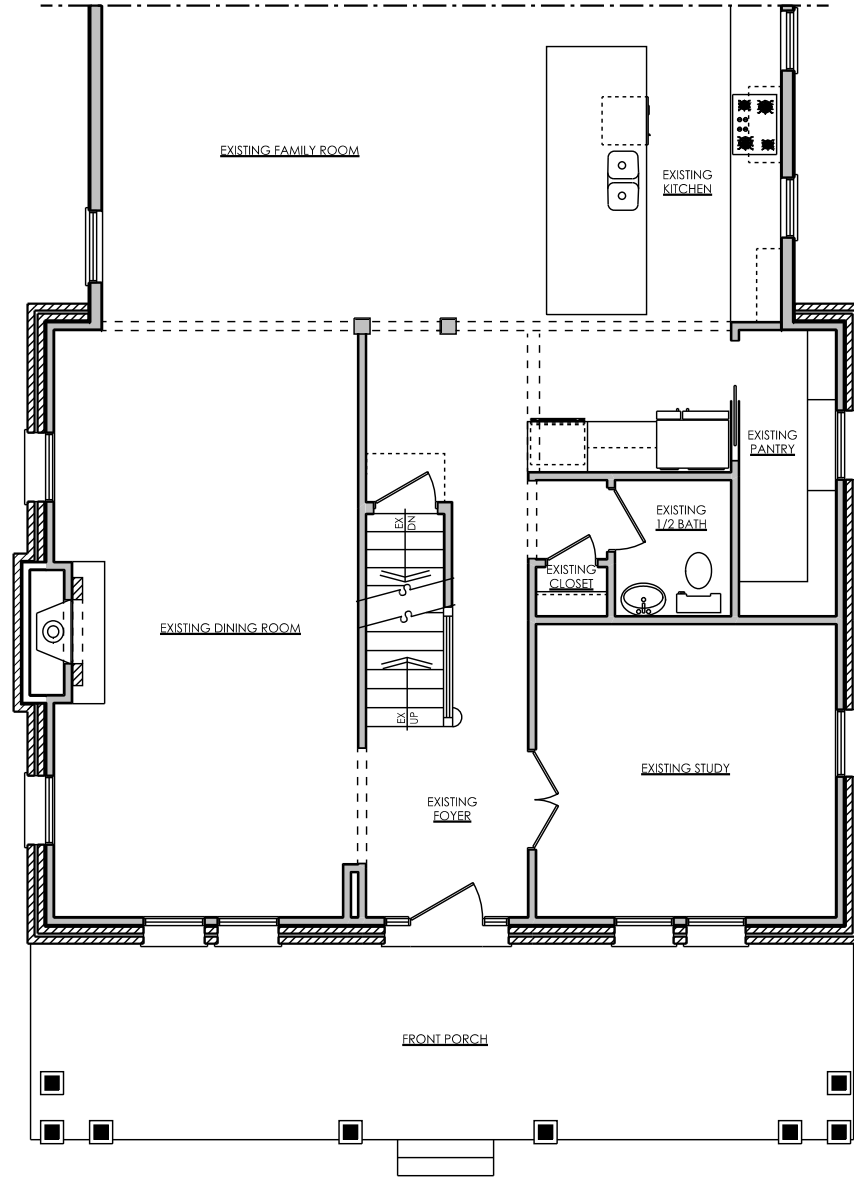
EXISTING FRONT ELEVATION
 SCALE: 1/8" = 1' 0"

000000	PRELIMINARY
000000	BIDDING
000000	CONSTRUCTION

Mark Talis
 285 S. Cassidy Road
 Bexley, Ohio 43209



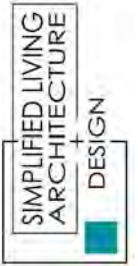
6065 Frantz Road . Suite 205
 Dublin, Ohio 43017
 614.774.2490 Phone
 614.633.1053 Fax
 simplifiedarchitecture.com



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

6065 Frantz Road . Suite 205
 Dublin, Ohio 43017
 614.774.2490 Phone
 614.633.1053 Fax
 simplifiedarchitecture.com



Mark Tallis
 285 S. Cassady Road
 Bexley, Ohio 43209

111418	PRELIMINARY
000000	BIDDING
000000	CONSTRUCTION



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

111418	PRELIMINARY
000000	BIDDING
000000	CONSTRUCTION

Mark Talis
 285 S. Cassady Road
 Bexley, Ohio 43209



6065 Frantz Road . Suite 205
 Dublin, Ohio 43017
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LEFT ELEVATION

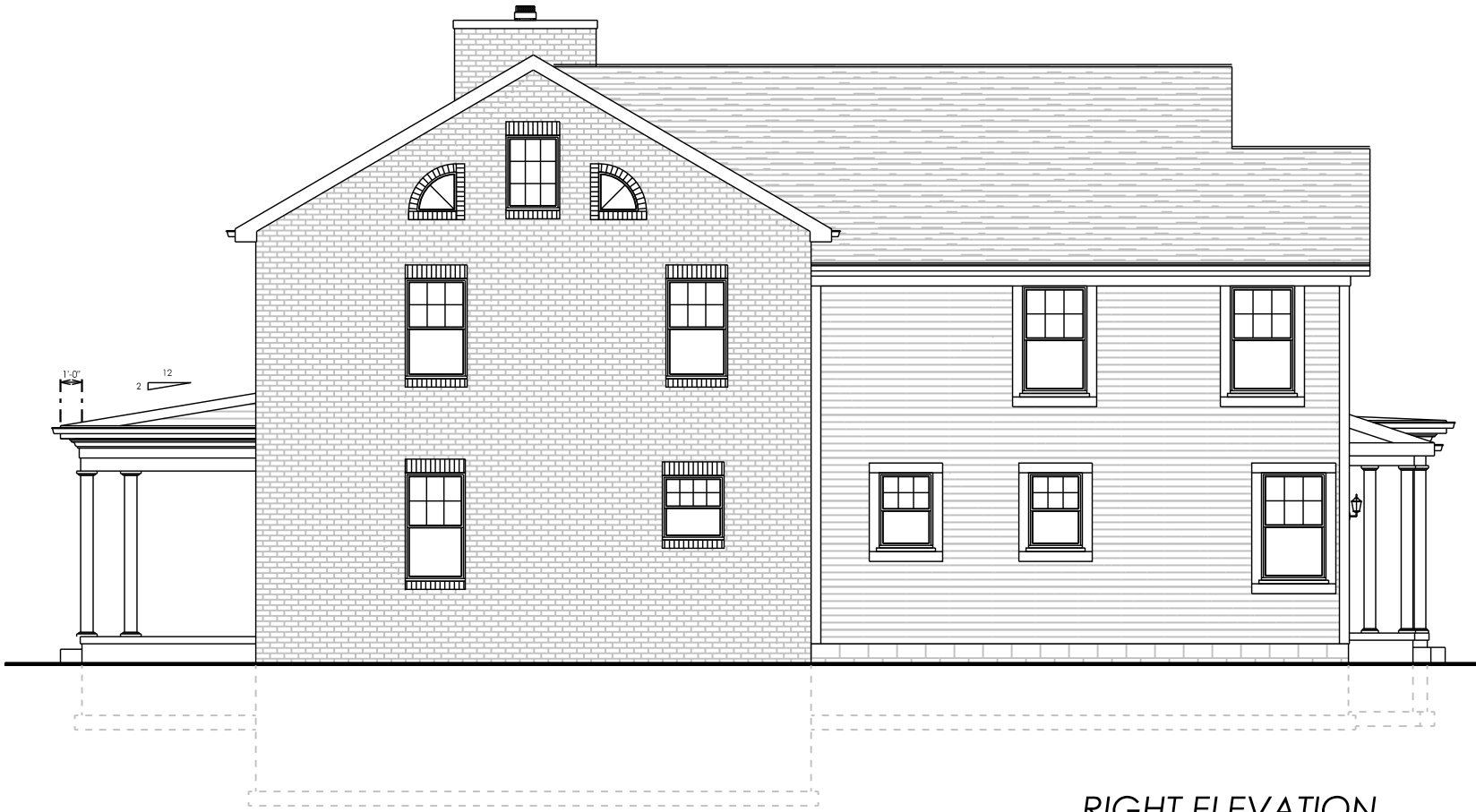
SCALE: 1/8" = 1'-0"

111418	PRELIMINARY
000000	BIDDING
000000	CONSTRUCTION

Mark Talis
 285 S. Cassady Road
 Bexley, Ohio 43209

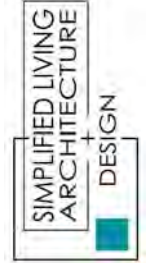


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RIGHT ELEVATION

SCALE: 1/8" = 1'-0"



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111418	PRELIMINARY
000000	BIDDING
000000	CONSTRUCTION



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD and/or
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18- 059 A
Applicant: Pete Foster
Owner: Michelle Kramer
Location: 466 N. Columbia Ave.
ARB Request: [The applicant is seeking architectural review and approval, to allow a one-story addition on the east side \(rear\) of the principal structure.](#)

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review Conditional Use Demolition Planned Unit Dev. Rezoning Special Permit

Property & Project Information:

Property Address:

Brief Project Description:

Applicant Information:

Applicant Name:

Applicant Address: , ,

Applicant Email & Phone:

Property Owner Information:

Owner Name:

Owner Address: , ,

Owner Email & Phone:

Attorney/Agent Information:

Agent Name:

Agent Address: , ,

Agent Email & Phone:

- Completed Worksheets: Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet C)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: Date:

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$ 130,000

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation. \$

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation \$ 90.00
- \$5.00 for each additional \$10,000 valuation \$ 60.00
- \$600.00 cap \$
- \$50.00 resubmittal fee \$

Variance Review

Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text"/>
All others:	\$90.00	\$ <input type="text"/>

Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text"/>
Replatting or new plat:	\$250.00	\$ <input type="text"/>

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>

Fences and walls: \$65.00 \$

Special Permit, Conditional Uses and All others: \$90.00 \$

Re-submittal Fee: \$50.00 \$

Appeals

Appeal of ARB decision to BZAP: \$50.00 \$

Appeal of BZAP decision to City Council: \$250.00 \$

Fee Total: \$ 150.00

SHEET B CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Project Worksheet

Residential Commercial

Property Address:

Zoning District:

R-3

- R-1 (25% Building & 40% Overall)
- R-2 (25% Building & 50% Overall)
- R-3 (25% Building & 50% Overall)
- R-6 (35% Building & 60% Overall)
- R-12 (35% Building & 70% Overall)
- Other:

* Overall coverage includes hardscape

Lot Info: Width (ft.): Depth (ft.): Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):	<input type="text" value="2330"/>	
Proposed Addition (SF):	<input type="text" value="791"/>	
Removing (SF):	<input type="text" value="484"/>	(Type of Structure): <input type="text" value="ATTACHED GARAGE"/>
Proposed new primary structure or residence (SF):	<input type="text"/>	
Total Square Footage:	<input type="text" value="2637"/>	


Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):	<input type="text" value="2330"/>	New Structure Type:	<input type="text"/>
Proposed Addition (SF):	<input type="text"/>	Ridge Height:	<input type="text"/>
Proposed New Structure (SF):	<input type="text"/>	Is there a 2nd floor?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Total of all garage and accessory structures (SF):	<input type="text"/>	2nd Floor SF:	<input type="text"/>
Total building lot coverage (SF):	<input type="text" value="2637"/>	=	<input type="text" value="12"/> % of lot
Is this replacing an existing garage and/or accessory structure?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No		

Hardscape:

Existing Driveway (SF):	<input type="text" value="2909"/>	Existing Patio (SF):	<input type="text" value="450"/>	Existing Private Sidewalk (SF):	<input type="text" value="170"/>
Proposed Additional Hardscape (SF):	<input type="text" value="251"/>				
Total Hardscape (SF):	<input type="text" value="3776"/>				

Totals: Total overall lot coverage (SF): = % of lot

Applicant Initial: 

Internal Use:	Staff Review Date: <input type="text"/>	<input type="checkbox"/> Meets Zoning	<input type="checkbox"/> ARB Only	<input type="checkbox"/> Variance or Modifications Needed
	Staff Comments: <input style="width: 90%;" type="text"/>	Staff Initial: <input style="width: 50px;" type="text"/>		

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer: CERTAINTEED

New Roof Style & Color: MATCH EXISTING

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer: INTEGRITY ULTRA FLEX

New Window Style/Mat./Color: MATCH EXISTING

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: INSULATED METAL Style: PULL GLASS Color: MATCH EXISTING

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim: CEDAR MATCH EXISTING

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other:

Proposed New Window Trim: MATCH EXISTING Trim Color(s):

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Stucco	MATCH EXISTING
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	

Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

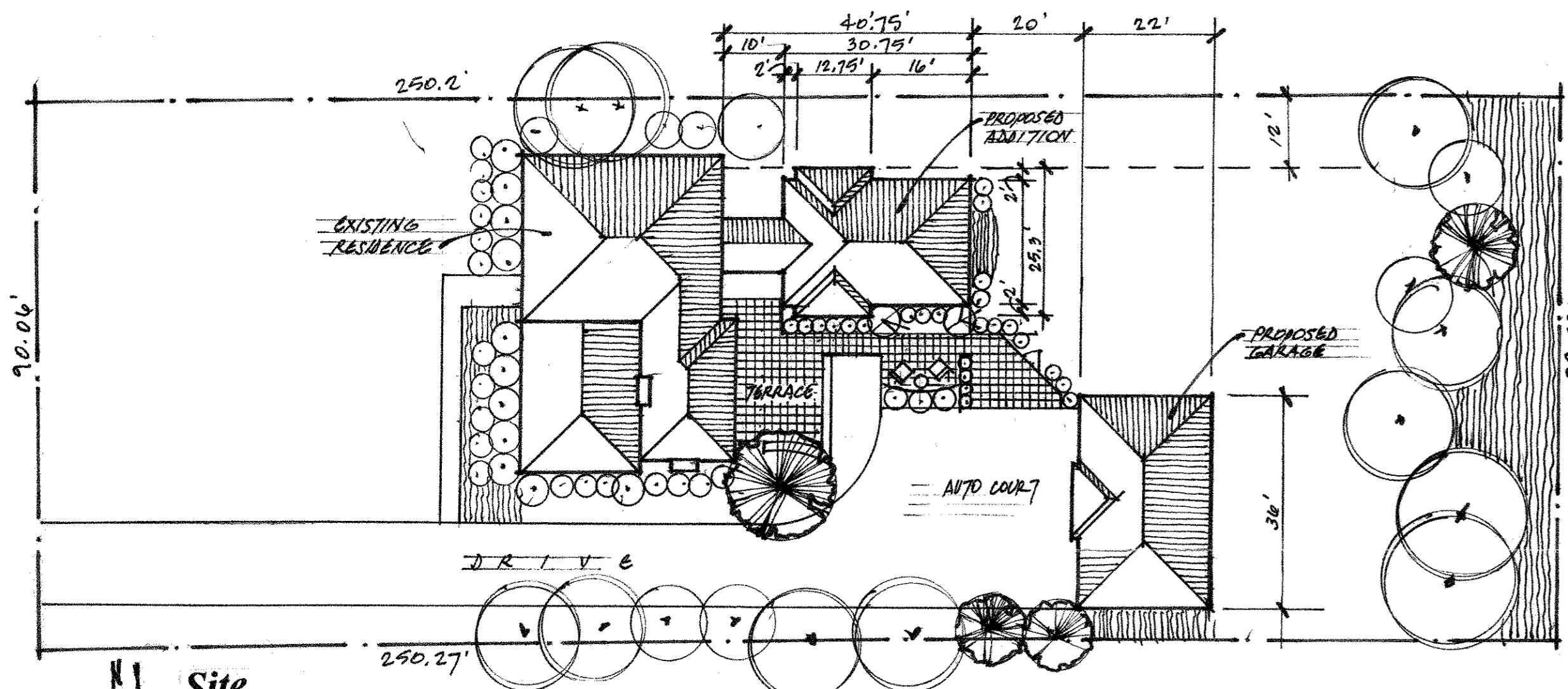


Residential Design
LLC

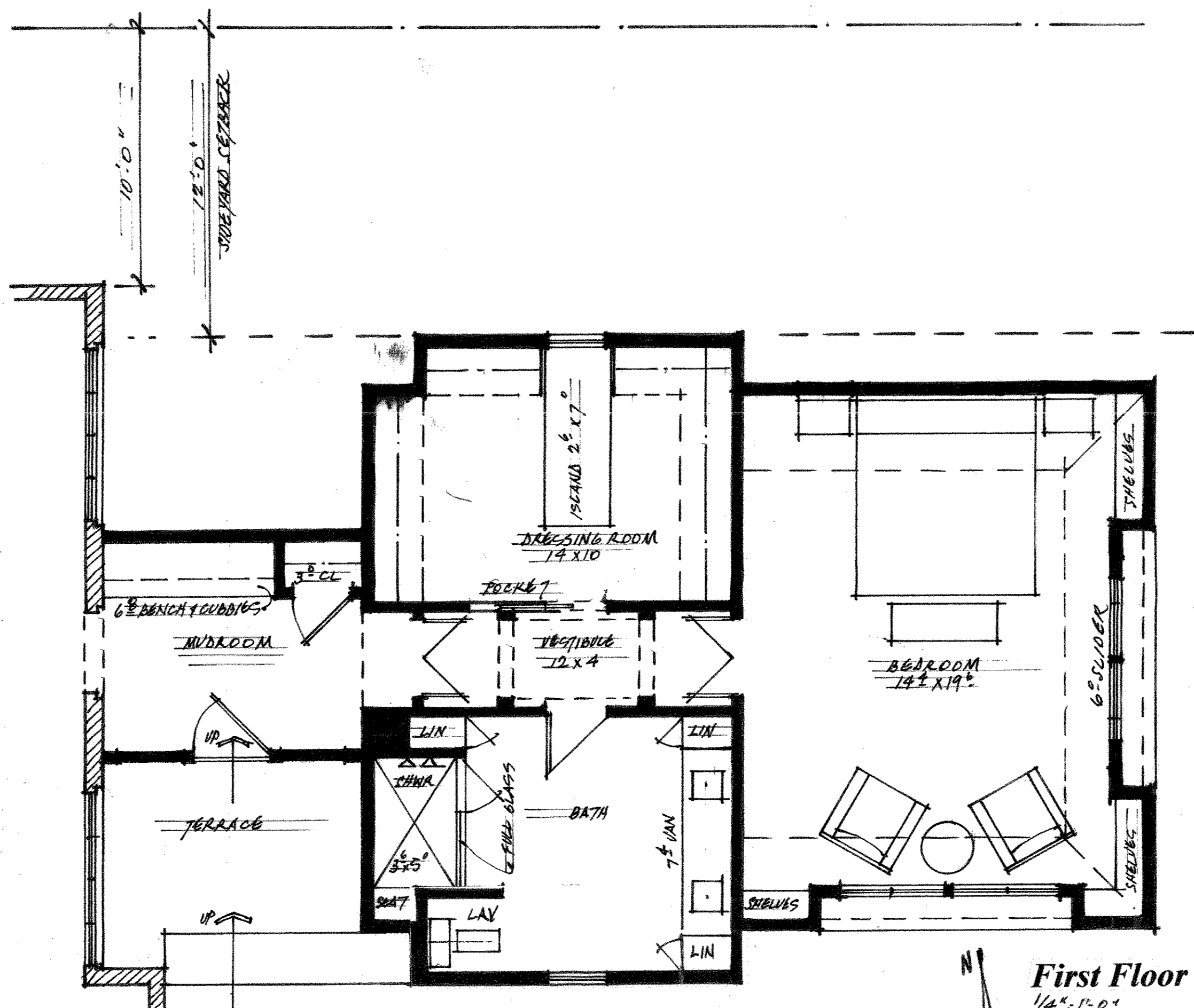
466 North Columbia Avenue
Bexley, Ohio
December 10, 2018



South Elevation
1/4" = 1'-0"



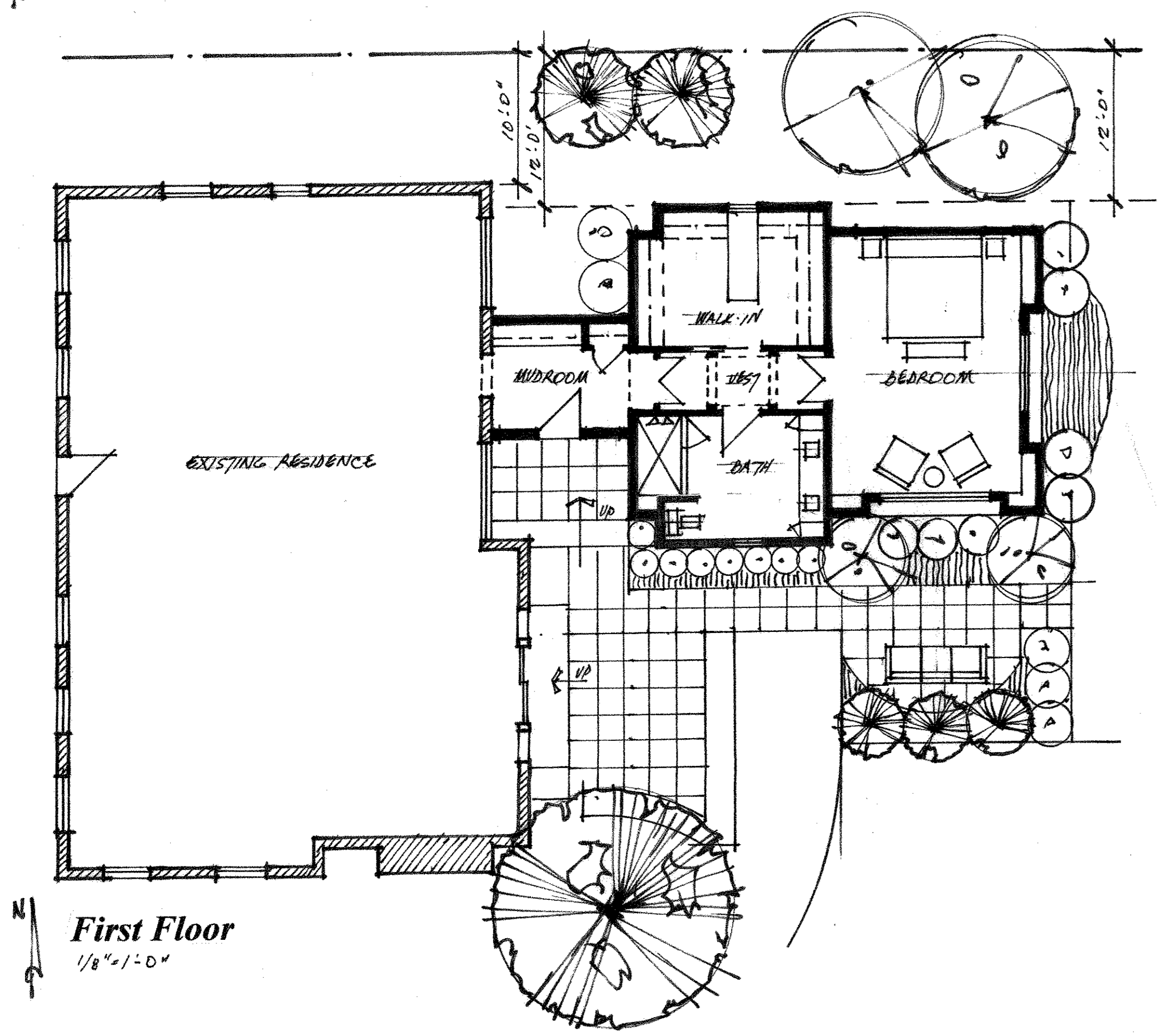
Site
1" = 20'



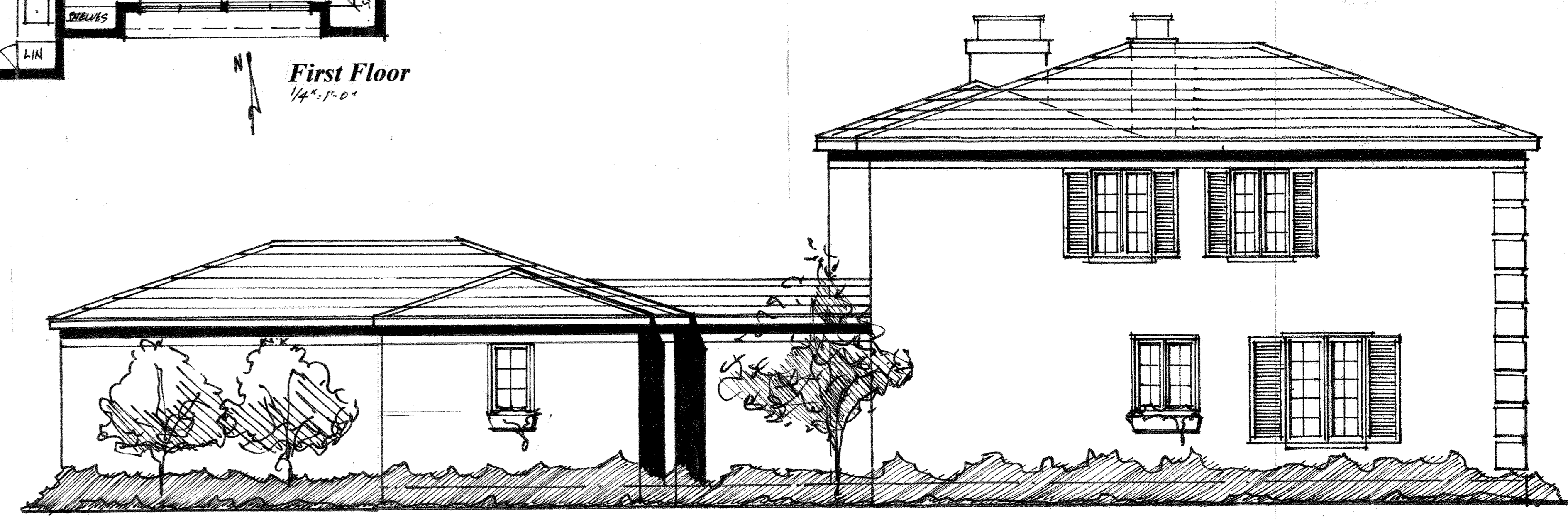
First Floor
1/4" = 1'-0"



East Elevation
1/4" = 1'-0"



First Floor
1/8" = 1'-0"



North Elevation
1/4" = 1'-0"





ADT





BUILDERS
TRASH SERVICE
614-444-7060





PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD and/or
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18- 058 A
Applicant: Pete Foster
Owner: Gregory Buzzell
Location: 91 S. Roosevelt Ave.
ARB Request: The applicant is seeking architectural review and approval, to allow a 2nd story addition on the south side of the 2-story principal structure, over the 1-story portion of the house.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review Conditional Use Demolition Planned Unit Dev. Rezoning Special Permit

Property & Project Information:

Property Address:

Brief Project Description:

Applicant Information:

Applicant Name:

Applicant Address: , ,

Applicant Email & Phone:

Property Owner Information:

Owner Name:

Owner Address: , ,

Owner Email & Phone:

Attorney/Agent Information:

Agent Name:

N/A Agent Address: , ,

Agent Email & Phone:

- Completed Worksheets: Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet C)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: Date:

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$ 180,000

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation \$ 50
- \$5.00 for each additional \$10,000 valuation. \$ 85

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation \$
- \$600.00 cap \$
- \$50.00 resubmittal fee \$

Variance Review

Single Family: \$100.00 \$

Commercial Property: \$100.00 \$

Fences or Special Permits: \$65.00 \$

All others: \$90.00 \$

Zoning Fees

Rezoning:

- \$250.00 up to 1 acre site \$
- \$60.00 for each additional acre (or part thereof) \$

Requests for amendment to PUD Plans: \$300.00 \$

Split of lot or existing parcel: \$250.00 \$

Replatting or new plat: \$250.00 \$

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>

Fences and walls: \$65.00 \$

Special Permit, Conditional Uses and All others: \$90.00 \$

Re-submittal Fee: \$50.00 \$

Appeals

Appeal of ARB decision to BZAP: \$50.00 \$

Appeal of BZAP decision to City Council: \$250.00 \$

Fee Total: \$ 135.00 ✓

Project Worksheet

Residential Commercial

Property Address: 91 SOUTH ROOSEVELT

Zoning District: R-6

- R-1 (25% Building & 40% Overall)
- R-2 (25% Building & 50% Overall)
- R-3 (25% Building & 50% Overall)
- R-6 (35% Building & 60% Overall)
- R-12 (35% Building & 70% Overall)
- Other:

* Overall coverage includes hardscape

Lot Info: Width (ft.): 75 Depth (ft.): 139 Total Area (SF): 10,425

Primary Structure Info:

Existing Footprint (SF): 1403

Proposed Addition (SF): 14x27=378 308 **SECOND FLOOR ONLY*

Removing (SF): (Type of Structure):

Proposed new primary structure or residence (SF):

Total Square Footage: 2681 2611 *1st 1403* *2nd 900 (EXIST) + 378 (NEW) = 1278* *1278*

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF): 400 New Structure Type:

Proposed Addition (SF): Ridge Height:

Proposed New Structure (SF): Is there a 2nd floor? Yes No

Total of all garage and accessory structures (SF): 400 2nd Floor SF:

Total building lot coverage (SF): NO CHANGE 1803 = 17 % of lot

Is this replacing an existing garage and/or accessory structure? Yes No

Hardscape:

Existing Driveway (SF): 1417 Existing Patio (SF): Existing Private Sidewalk (SF): 60

Proposed Additional Hardscape (SF):

Total Hardscape (SF): 1477

Totals: Total overall lot coverage (SF): 3280 = 31 % of lot **NO CHANGE*

Applicant Initial: [Signature]

Internal Use: Staff Review Date: Meets Zoning ARB Only Variance or Modifications Needed

Staff Comments:

Staff Initial:

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer: MATCH EXISTING

New Roof Style & Color: MATCH EXISTING

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer: MATCH EXISTING

New Window Style/Mat./Color: MATCH EXISTING

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: Style: Color:

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim: N/A

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other: JAMES HARDIE

Proposed New Window Trim: JAMES HARDIE Trim Color(s): MATCH EXISTING

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Other	JAMES HARDIE MATCH EXISTING EXPOSURE

Staff Confirmation (to be completed by Residential Design Consultant:

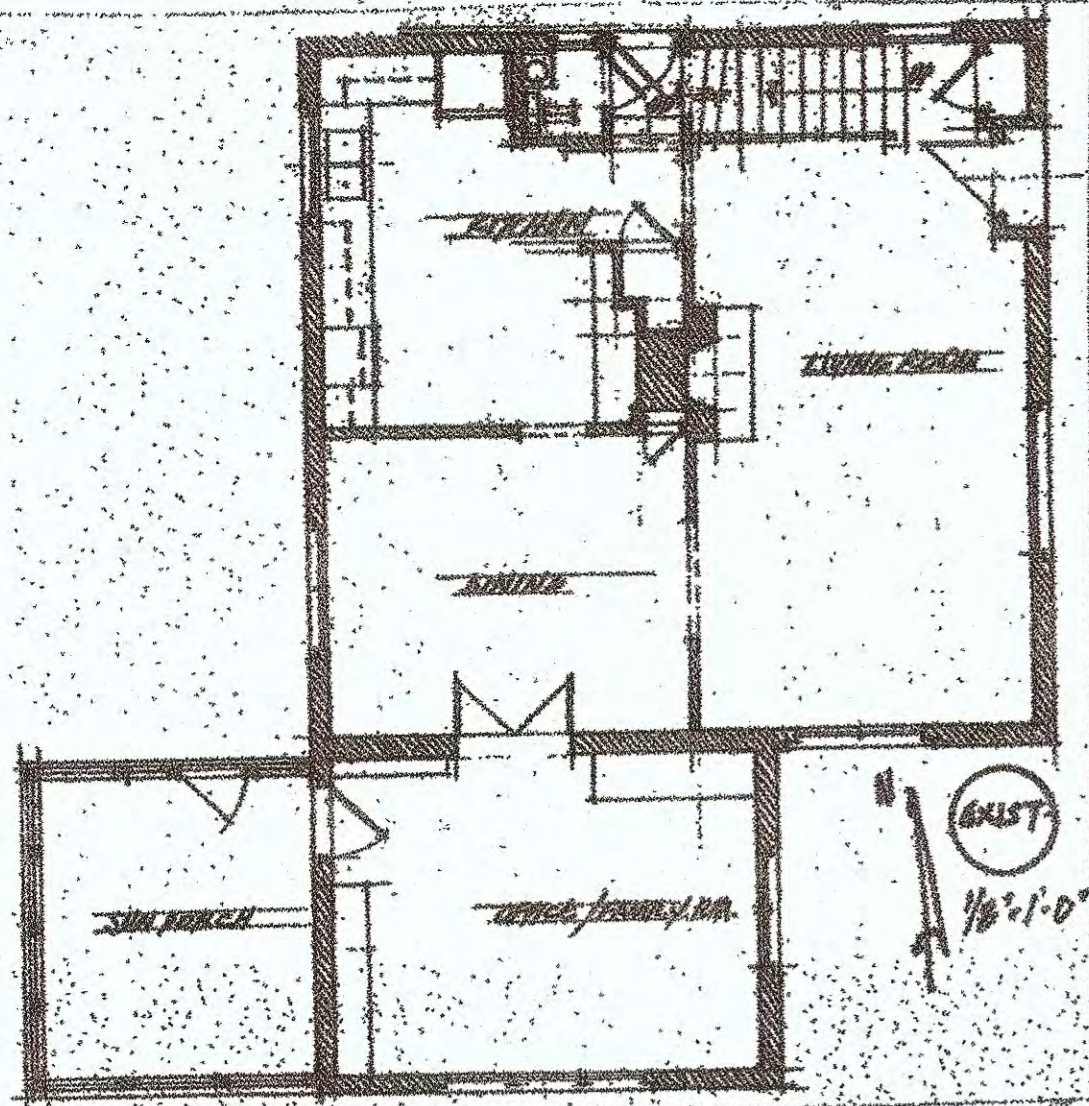
Date of Review:

Approved By:

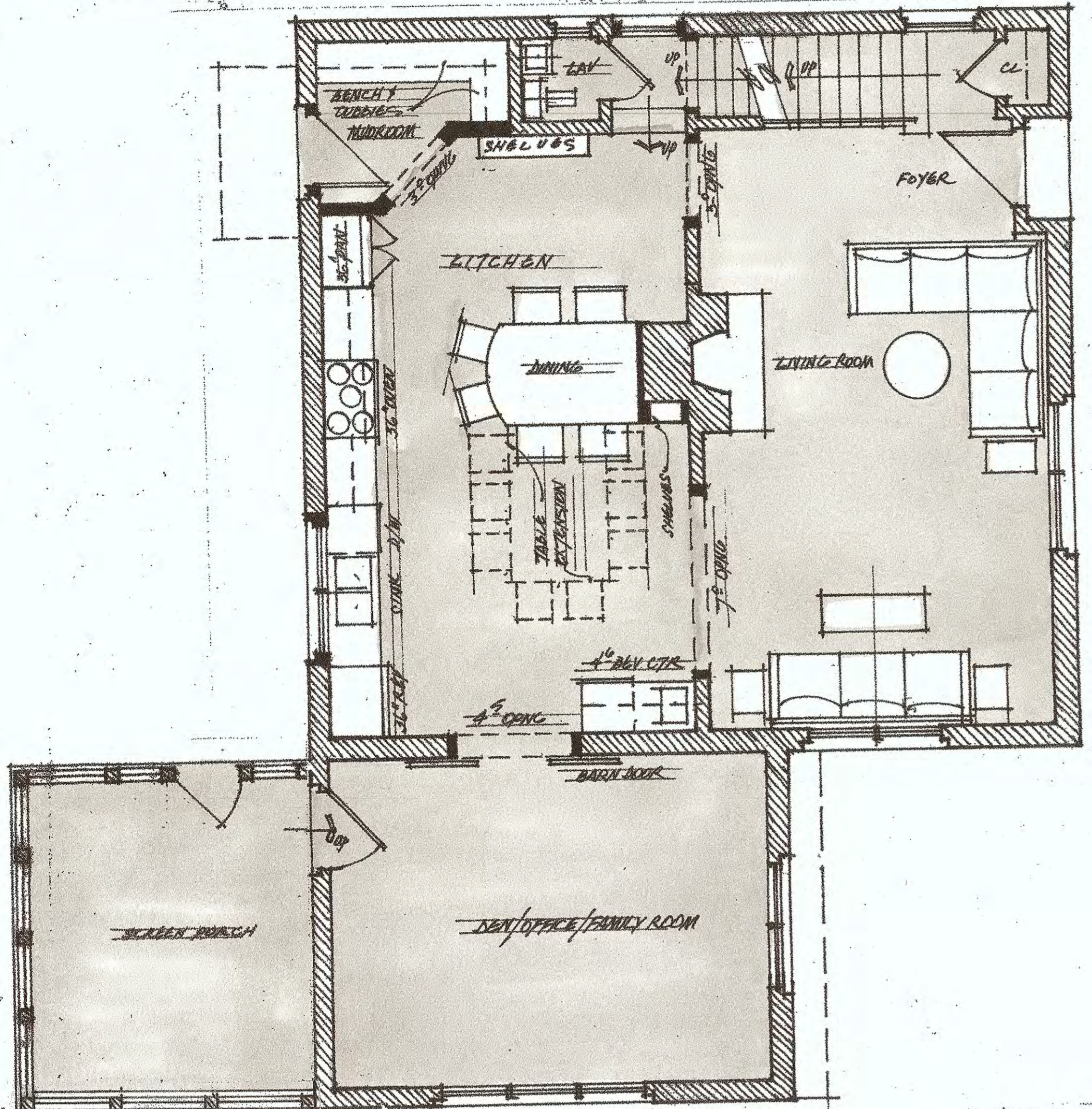
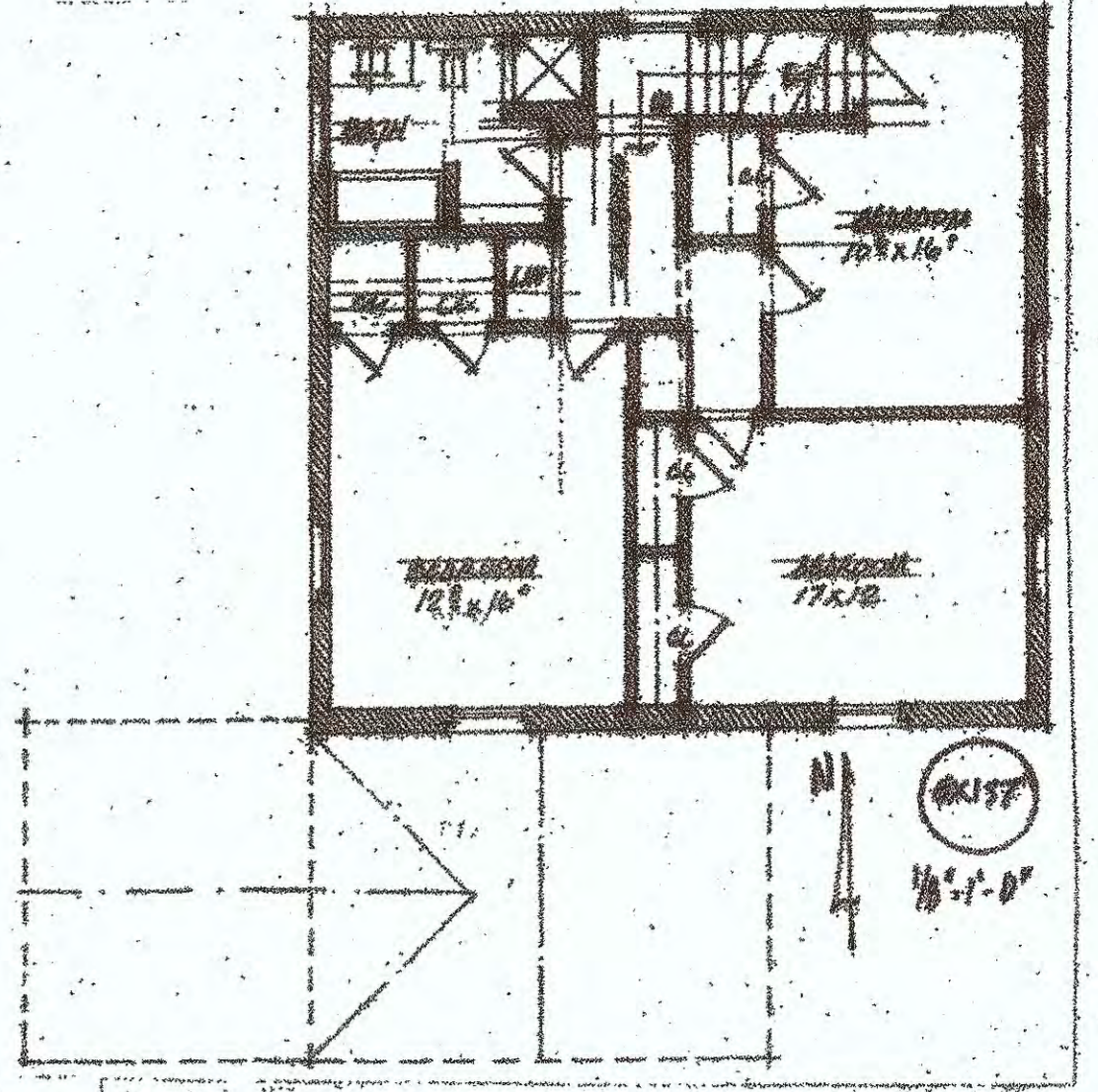
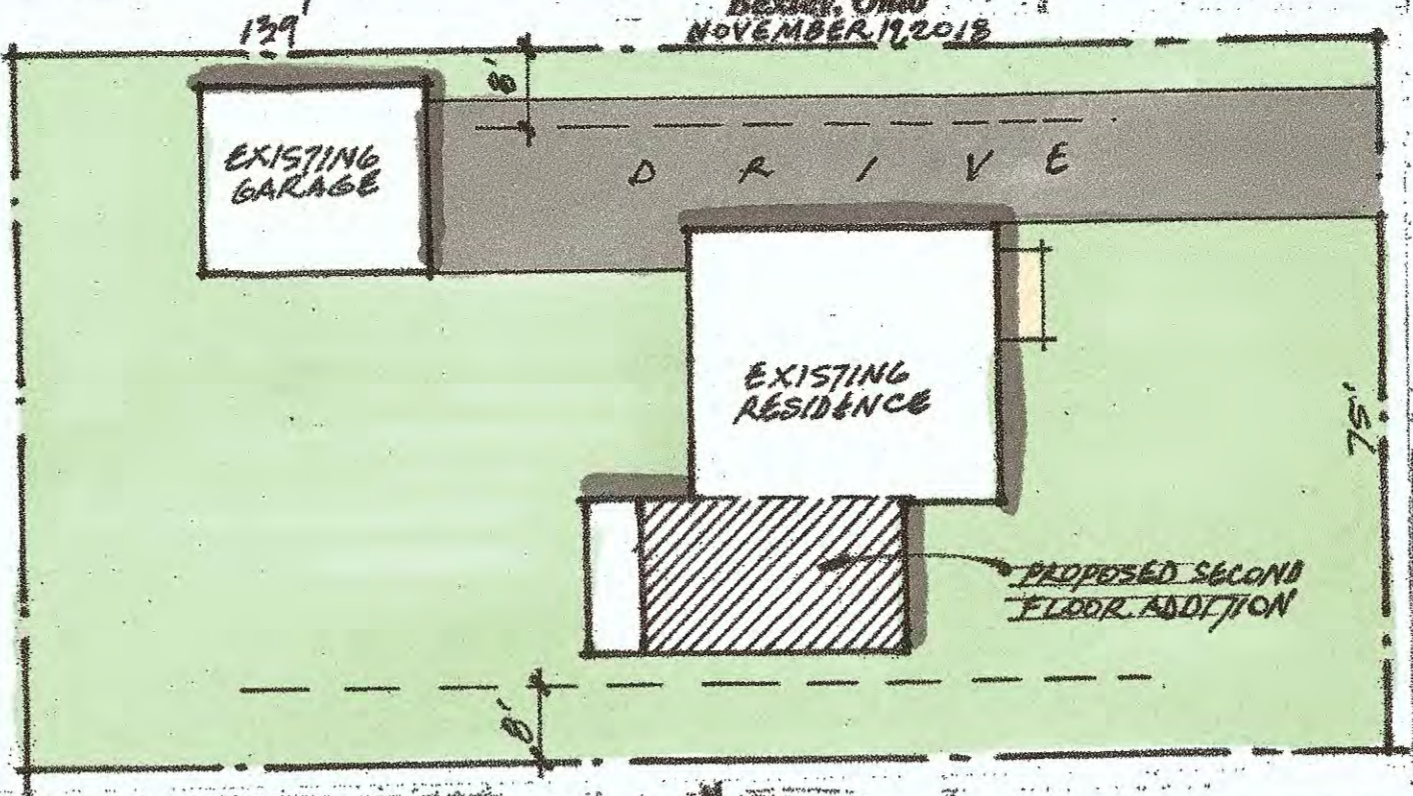
To be reviewed by ARB on:

Conditions/Stipulations:

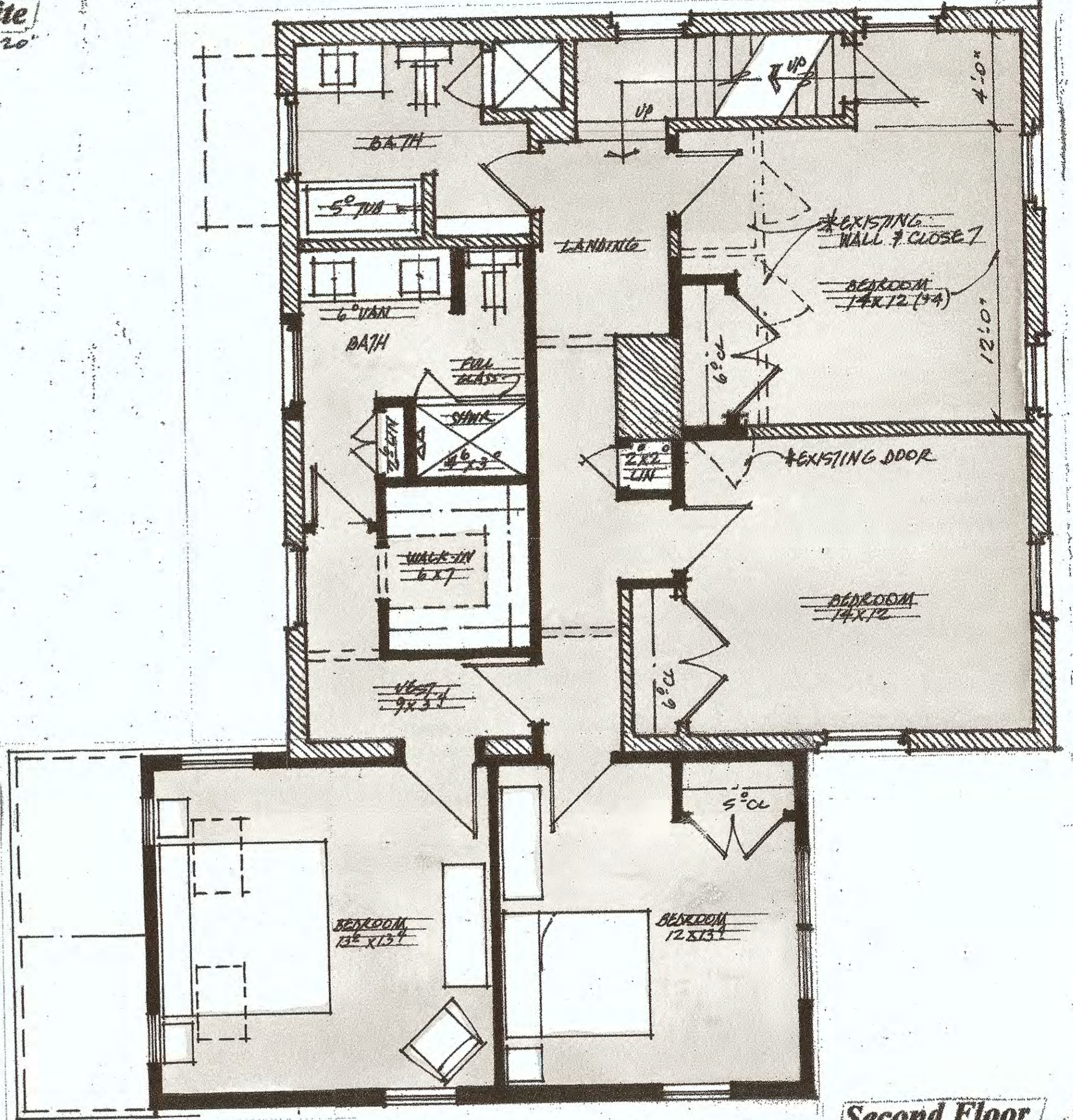
Staff Initials:



PER POSTER
 Residential Design
 for
Buzzell Residence
 91 South Roosevelt Avenue
 Beavly, Ohio
 NOVEMBER 11, 2012



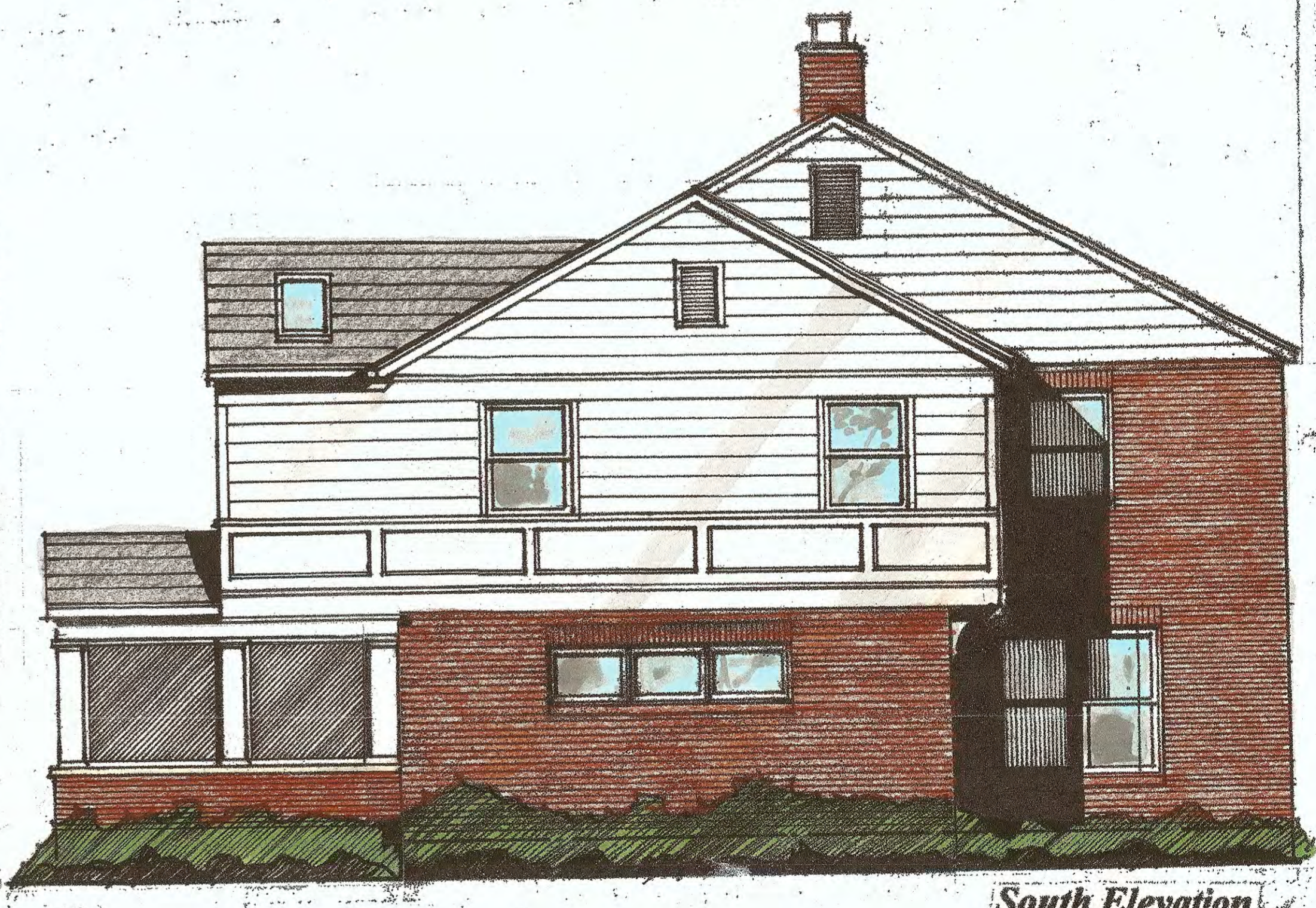
First Floor
1/4"=1'-0"



Second Floor
1/4"=1'-0"



East Elevation
1/4"=1'-0"



South Elevation
1/4"=1'-0"



North Elevation
1/4"=1'-0"



West Elevation
1/4"=1'-0"





115
ROOSEVELT





111
W. 11th St.



14 N
DORCHESTER



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD and/or
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, January 24, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, at which the applicant will request a Special Permit, Conditional Use, or Variance from the requirements of the Bexley Zoning Code.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18 - 034 Z
Applicant: Pete Foster Residential Design, LLC
Owner: Mr. & Mrs. T. Jones
Location: 187 S. Ardmore Rd.
ARB Request: [The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a new detached garage.](#)

BZAP Request: [The applicant is seeking architectural review and approval to allow a new detached garage at the rear of the property. The applicant is also seeking a Special Permit in accordance with Bexley Code Section 1252.15\(e\) which limits an accessory structures ridgeline to not exceed 20', to allow the proposed detached garage to be 21.5' in height.](#)

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review Conditional Use Demolition Planned Unit Dev. Rezoning Special Permit

Property & Project Information:

Property Address:

Brief Project Description:

Applicant Information:

Applicant Name:

Applicant Address: , ,

Applicant Email & Phone:

Property Owner Information:

Owner Name:

Owner Address: , ,

Owner Email & Phone:

Attorney/Agent Information:

N/A

Agent Name:

Agent Address: , ,

Agent Email & Phone:

- Completed Worksheets: Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet C)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: Date:

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: Date:

REVISED 12/13/18

SHEET
A.2

CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project: - \$50.00 for 1st \$10,000 valuation \$ 50.00
- \$5.00 for each additional \$10,000 valuation. \$ 20.00

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project: - \$90.00 for the 1st \$10,000 valuation \$
- \$5.00 for each additional \$10,000 valuation \$
- \$600.00 cap \$
- \$50.00 resubmittal fee \$

Variance Review

Single Family: \$100.00 12/13/18 \$ 100.00
Commercial Property: \$100.00 \$
Fences or Special Permits: \$65.00 \$
All others: \$90.00 \$

Zoning Fees

Rezoning: - \$250.00 up to 1 acre site \$
- \$60.00 for each additional acre (or part thereof) \$

Requests for amendment to PUD Plans: \$300.00 \$

Split of lot or existing parcel: \$250.00 \$

Replatting or new plat: \$250.00 \$

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>

Fences and walls: \$65.00 \$

Special Permit, Conditional Uses and All others: \$90.00 \$

Re-submittal Fee: \$50.00 \$

Appeals

Appeal of ARB decision to BZAP: \$50.00 \$
Appeal of BZAP decision to City Council: \$250.00 \$

Fee Total: \$ 70.00

PREVIOUSLY PAID

TOTAL 170.00

Project Worksheet

Residential Commercial

Property Address:

Zoning District:

R-1 (25% Building & 40% Overall)

R-2 (25% Building & 50% Overall)

R-3 (25% Building & 50% Overall)

R-6 (35% Building & 60% Overall)

R-12 (35% Building & 70% Overall)

Other:

* Overall coverage includes hardscape

Lot Info:

Width (ft.):

Depth (ft.):

Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):

Proposed Addition (SF):

Removing (SF):

Proposed new primary structure or residence (SF):

Total Square Footage:

(Type of Structure):

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

Proposed Addition (SF):

Proposed New Structure (SF):

Total of all garage and accessory structures (SF):

Total building lot coverage (SF):

Is this replacing an existing garage and/or accessory structure? Yes No

New Structure Type:

Ridge Height:

Is there a 2nd floor?

Yes No

2nd Floor SF:

= % of lot

2ND FLOOR VOLUME IS LESS THAN 33% OF FIRST FLOOR

Hardscape:

Existing Driveway (SF):

Existing Patio (SF):

Existing Private Sidewalk (SF):

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

Totals:

Total overall lot coverage (SF):

=

% of lot

Applicant Initial:

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:

Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer: CERTAINTEED

New Roof Style & Color: MATCH EXISTING ON HOUSE

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer: MARVIN. MATCH EXISTING ON HOUSE

New Window Style/Mat./Color: DOUBLE HUNG / CASEMENT

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: INSULATED METAL Style: TOP HALF GLASS Color:

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim:

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other:

Proposed New Window Trim: JAMES HARDI. MATCH HOUSE Trim Color(s): MATCH HOUSE

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Brick	MATCH EXISTING ON HOUSE
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	

Other JAMES HARDI TRIM & PANELS - MATCH HOUSE
 THIN BRICK - MATCH EXISTING ON HOUSE

Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

12/13/18

Variance Worksheet

Variance requests will be heard by the Bexley Board of Zoning and Planning. Variances are based upon a legal determination of whether the request meets the variance criteria specified by Bexley City Code.

Variance criteria are outlined below in question format. Please provide your narrative response to the variance questions.

Description of the Proposed Variance

Please provide a thorough description of the variance being sought, and the reason why.

REQUESTING A VARIANCE TO ALLOW FOR THE RIDGE OF THE NEW DETACHED GARAGE TO EXCEED THE ALLOWABLE MAXIMUM HEIGHT OF 20'-0" BY 1'-6". THIS ADDITIONAL HEIGHT IS NECESSARY TO ALLOW FOR THE REQUIRED HEAD HEIGHT NECESSARY AT THE TOP OF THE STAIR LEADING FROM THE FIRST FLOOR TO THE SECOND FLOOR.

Variance Question 1

Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

THE ADDITIONAL HEIGHT WILL ALLOW FOR A MORE DESIRABLE GARAGE AS IT WILL HAVE A USEABLE SECOND FLOOR. THIS WOULD BENEFIT THE VALUE OF THE PROPERTY.

Variance Question 2

Is the variance substantial? Please describe.

THE ADDITIONAL HEIGHT IS STILL SENSITIVE TO THE SCALE OF THE EXISTING RESIDENCE AND PROPERTY

Variance Question 3

Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

THIS ADDITIONAL 1'-6" IN HEIGHT WOULD NOT BE DETRIMENTAL TO THE ADJACENT PROPERTIES OR THE CHARACTER OF THE "ALLEY SCAPE". OTHER NEW GARAGES HAVE BEEN CONSTRUCTED ALONG THIS ALLEY. ONE GARAGE IN PARTICULAR (2 HOUSES NORTH) HAS A NEWER GARAGE THAT APPEARS TO BE APPROXIMATELY 24'-0" TALL

12/13/18

Variance Worksheet (Continued)

Variance requests will be heard by the Bexley Board of Zoning and Planning. Variance requests are based upon a legal determination of whether the request meets the variance criteria specified by Bexley City Code.

Variance criteria are outlined below in question format. Please provide your narrative response to the variance questions.

Variance Question 4

Would the variance adversely affect the delivery of governmental services (e.g., water, sewer, garbage)? Please describe.

NO.

Variance Question 5

Did the property owner purchase the property with knowledge of the zoning restriction? Please describe.

NO. MAXIMUM RIDGE HEIGHT OF 20'-0" WAS NOT IN AFFECT.

Variance Question 6

Can the property owner's predicament feasibly be obviated through some method other than a variance? Please describe.

NO. NEED THE HEIGHT TO ALLOW FOR PERMANENT SECOND FLOOR ACCESS

Variance Question 7

Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

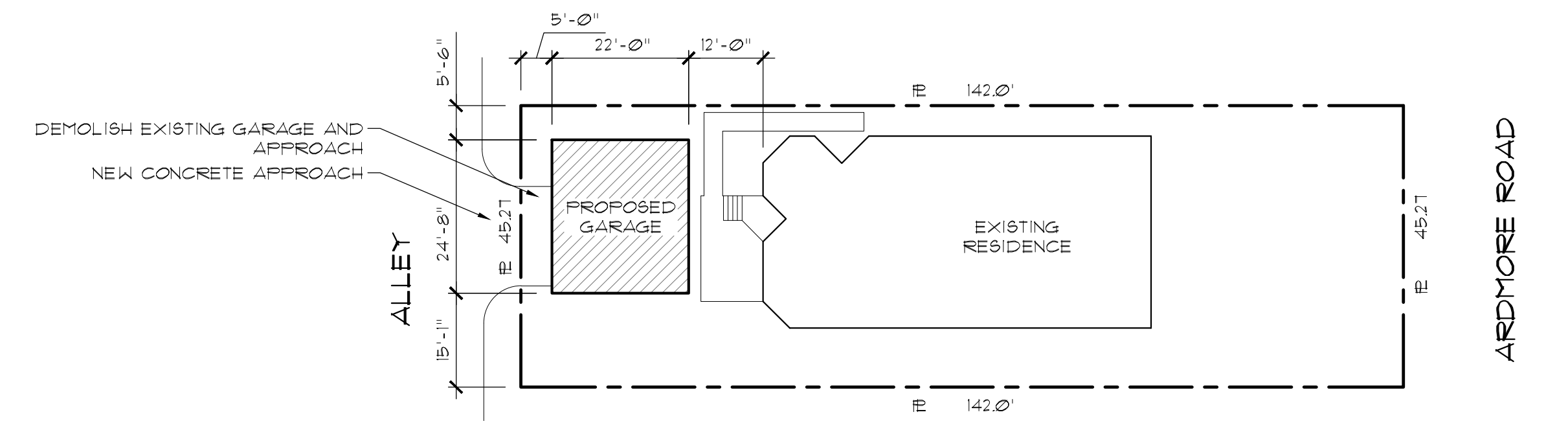
THE NEW DETACHED GARAGE IS RESPECTFUL OF THE SCALE OF THE EXISTING RESIDENCE. DUE TO THE FACT THAT THE NEW GARAGE IS LOCATED AT THE REAR OF THE PROPERTY THE ADDITIONAL 1'-6" IN HEIGHT WILL NOT NEGATIVELY IMPACT THE NEIGHBORING PROPERTIES



Residential Design
LLC

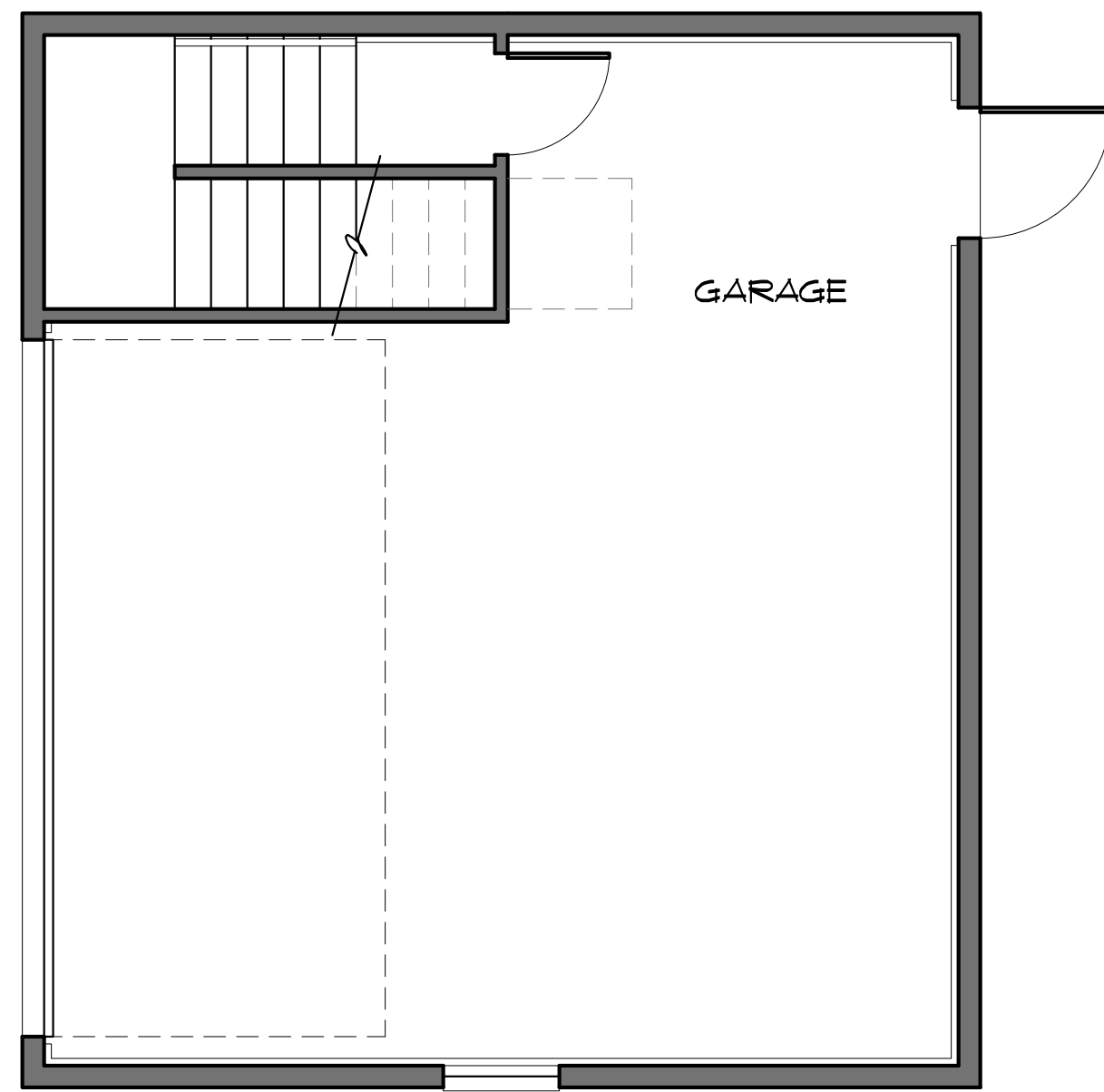
JONES GARAGE
187 SOUTH ARDMORE
BEXLEY, OHIO

DECEMBER 13, 2018



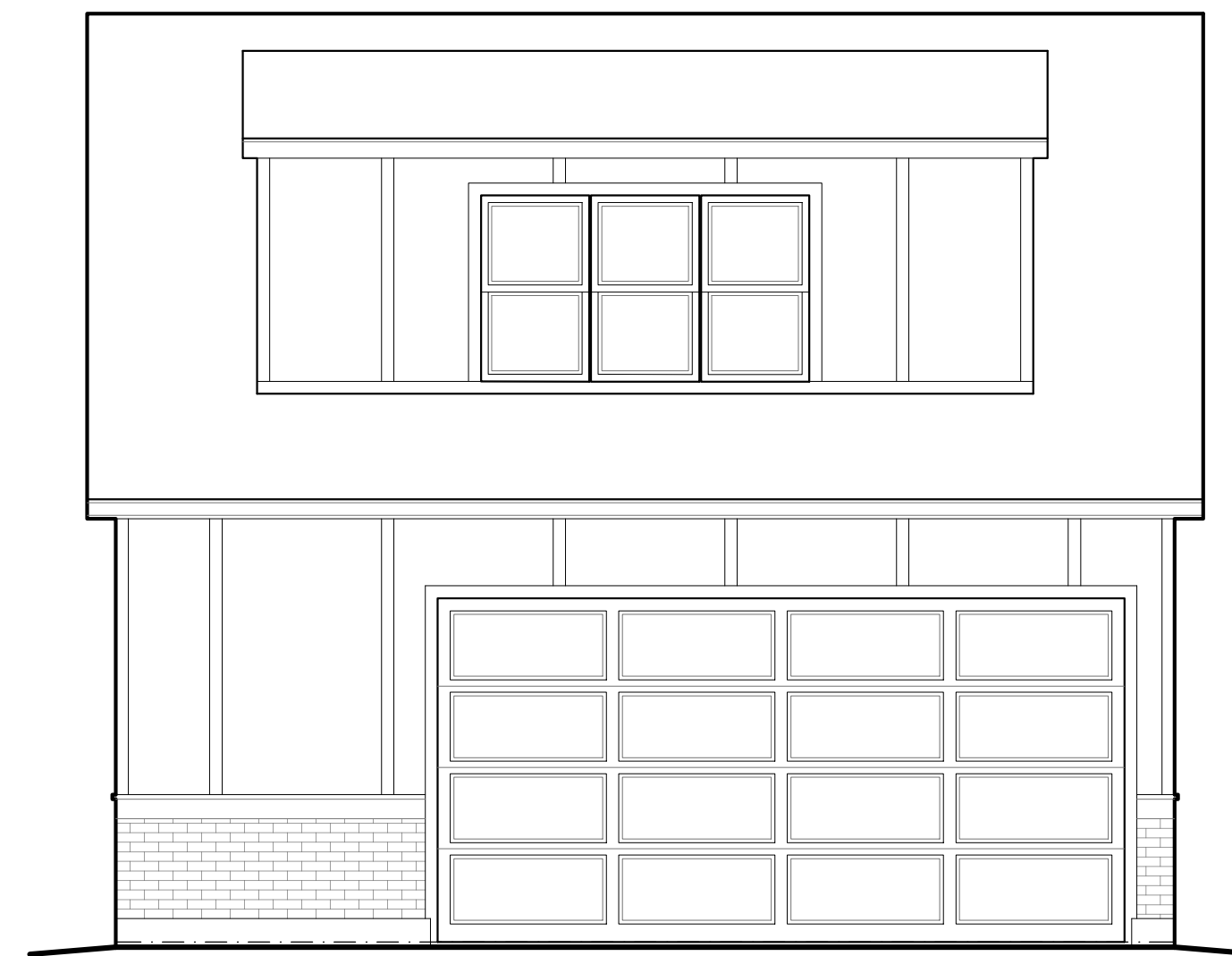
SITE PLAN

SCALE 1" = 20'-0"



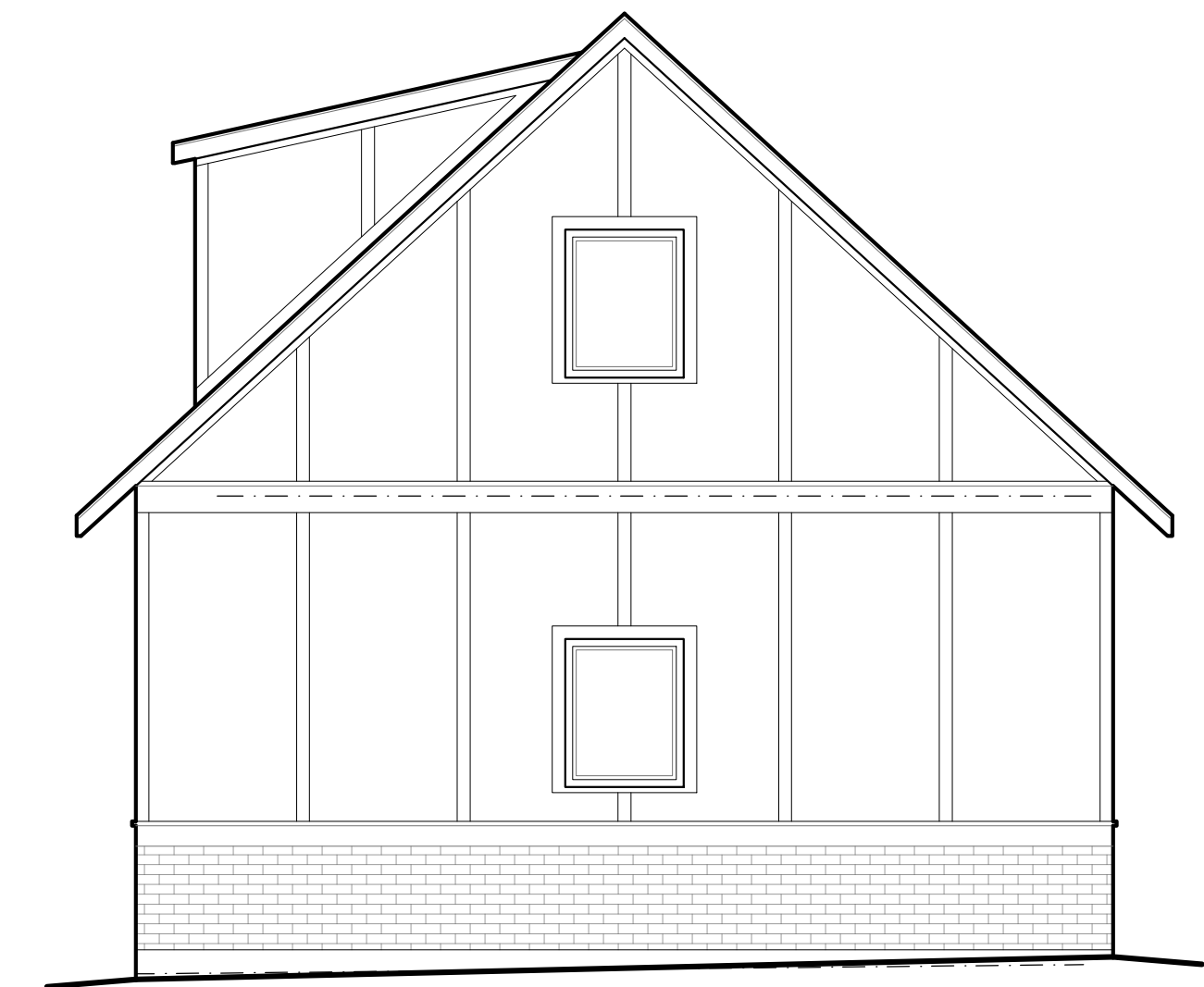
FIRST FLOOR PLAN

SCALE 1/4" = 1'-0"



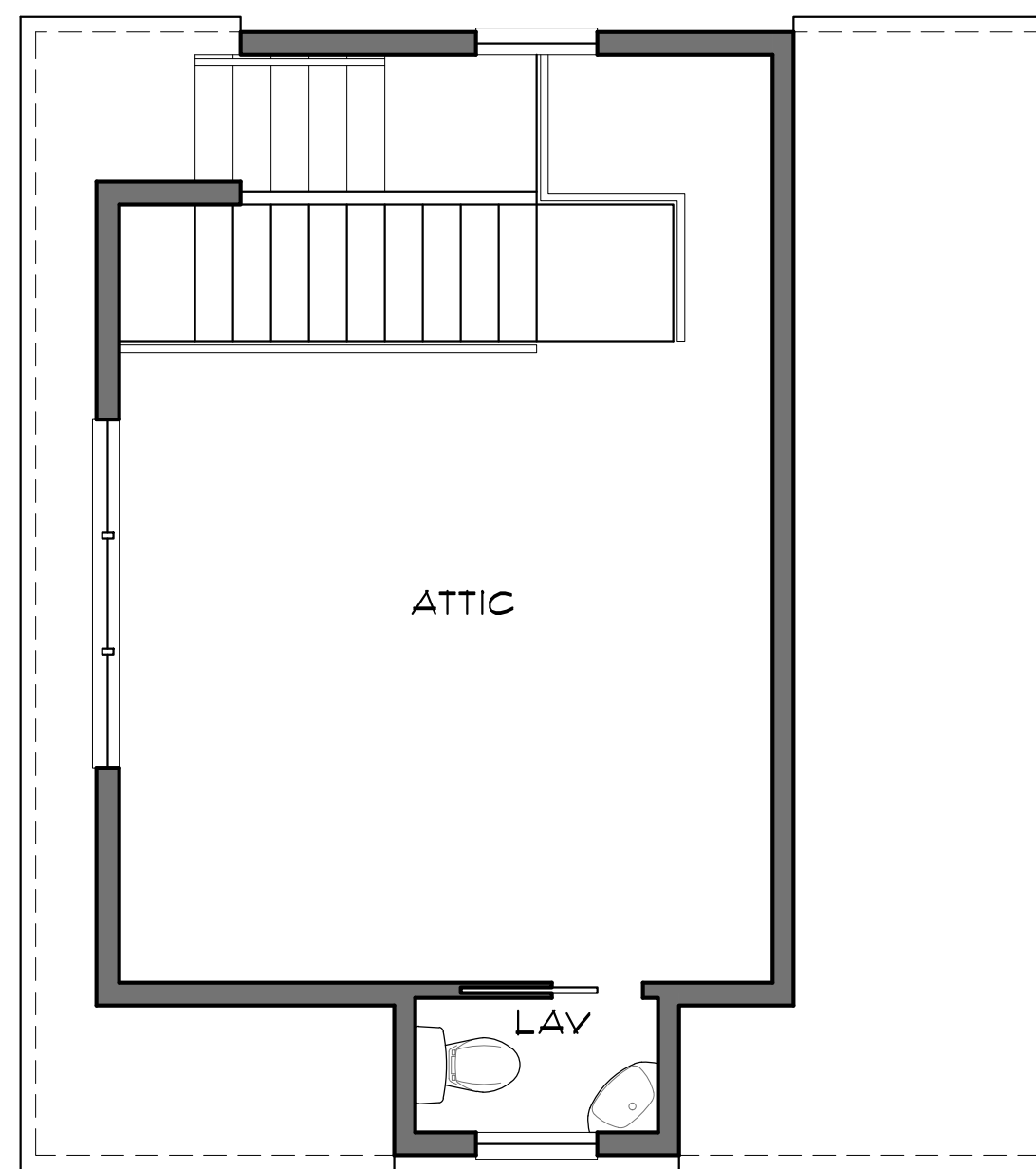
WEST ELEVATION

SCALE 1/4" = 1'-0"



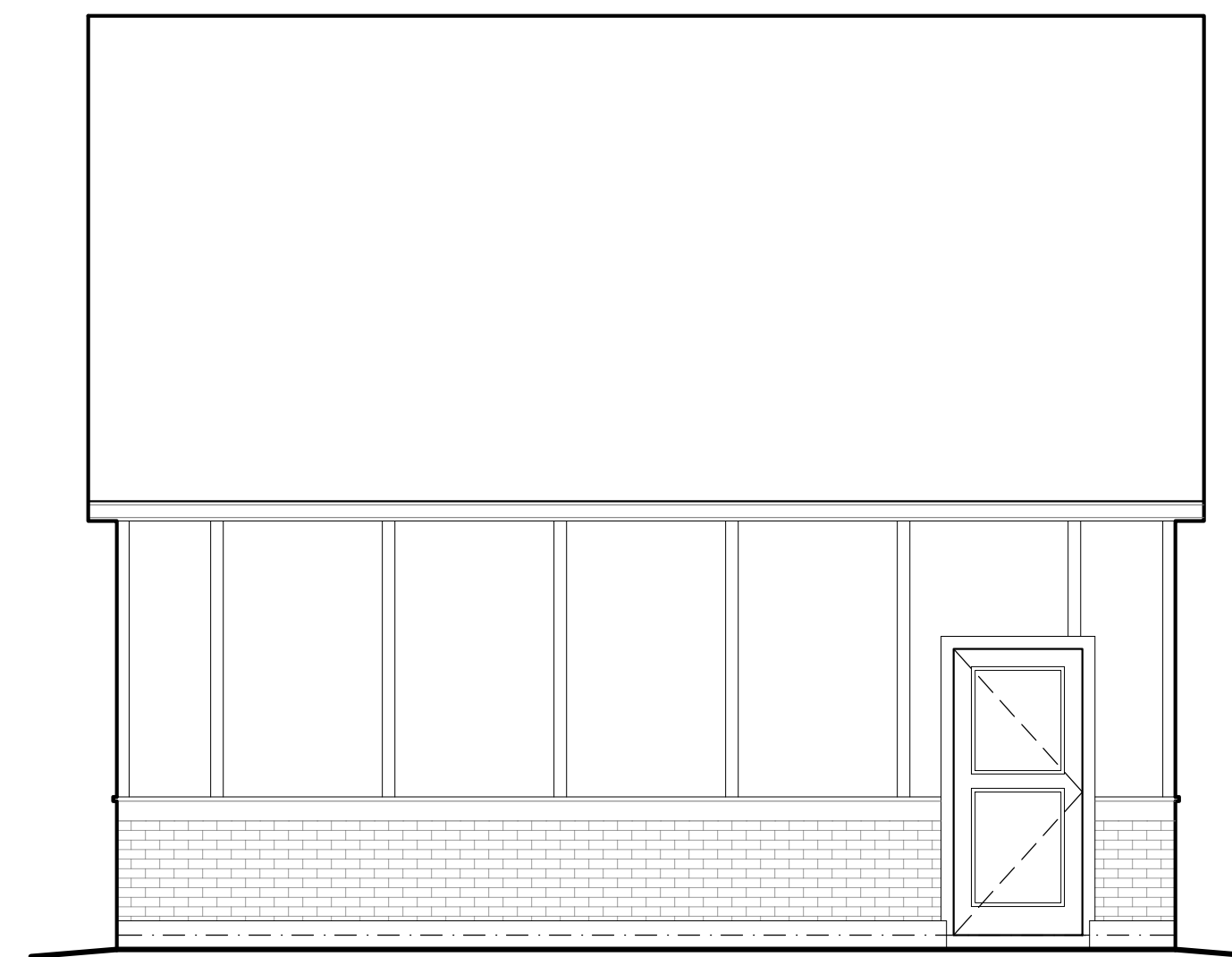
SOUTH ELEVATION

SCALE 1/4" = 1'-0"



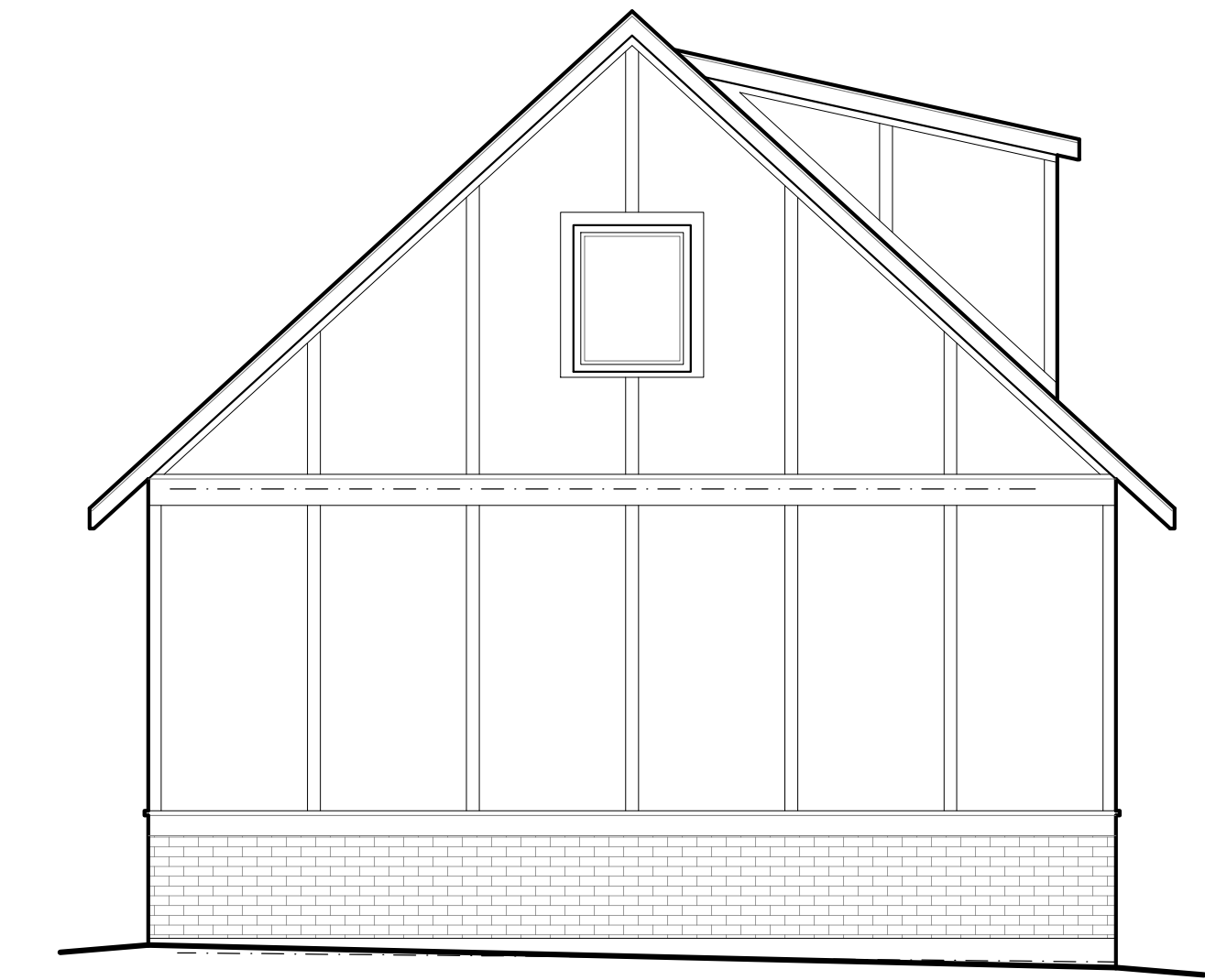
SECOND FLOOR PLAN

SCALE 1/4" = 1'-0"



EAST ELEVATION

SCALE 1/4" = 1'-0"



NORTH ELEVATION

SCALE 1/4" = 1'-0"









PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD and/or
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, January 24, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, at which the applicant will request a Special Permit, Conditional Use, or Variance from the requirements of the Bexley Zoning Code.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18-037 Z
Applicant: Eric & Stephanie Quigley
Owner: Same
Location: 124 Stanbery Ave.
ARB Request: The applicant is seeking architectural review and approval, to allow additions to the rear (east) and side (north) of the principal structure. The applicant is seeking a recommendation to the Board of Zoning and Planning to allow a new detached garage.

BZAP Request: The applicant is seeking architectural review and approval to allow a new detached garage at the rear of the property. The applicant is also seeking a Special Permit in accordance with Bexley Code Section 1252.15(e) which limits an accessory structures ridgeline to not exceed 20', to allow the proposed detached garage to be 21' in height.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review Conditional Use Demolition Planned Unit Dev. Rezoning Landscape Review Special Permit

Property & Project Information:

Property Address:

Brief Project Description:

Applicant Information:

Applicant Name:

Applicant Address: , ,

Applicant Email & Phone:

Property Owner Information:

Owner Name:

Owner Address: , ,

Owner Email & Phone:

Attorney/Agent Information:

Agent Name:

Agent Address: , ,

Agent Email & Phone:

- Completed Worksheets:** Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet D)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature: Date:

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: Date:

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation	\$ <input type="text"/>
- \$5.00 for each additional \$10,000 valuation.	\$ <input type="text"/>

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation	\$ <input type="text" value="90"/>
- \$5.00 for each additional \$10,000 valuation	\$ <input type="text" value="120"/>
- \$600.00 cap	\$ <input type="text"/>
- \$50.00 resubmittal fee	\$ <input type="text"/>

Variance Review

Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text"/>
All others:	\$90.00	\$ <input type="text"/>

Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text"/>
Replatting or new plat:	\$250.00	\$ <input type="text"/>

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>
Fences and walls:	\$65.00	\$ <input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text"/>
Re-submittal Fee:	\$50.00	\$ <input type="text"/>

Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text"/>

Fee Total: \$

Project Worksheet

Residential

Commercial

Property Address:

124 Stanbery Ave. Bexley, OH 43209

Zoning District:

R-3 Medium Density

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

** Overall coverage includes hardscape*

Lot Info:

Width (ft.):

90

Depth (ft.):

160

Total Area (SF):

14,400

Primary Structure Info:

Existing Footprint (SF):

2,169

Proposed Addition (SF):

180

Removing (SF):

(Type of Structure):

Wood frame

Proposed new primary structure or residence (SF):

Total Square Footage:

2,349

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

440

New Structure Type:

Wood frame

Proposed Addition (SF):

Ridge Height:

27'-6"

Proposed New Structure (SF):

682

Is there a 2nd floor?

Yes

No

Total of all garage and accessory structures (SF):

1,112

2nd Floor SF:

300

Total building lot coverage (SF):

3,471

= 24 % of lot

Is this replacing an existing garage and/or accessory structure?

Yes

No

Hardscape:

Existing Driveway (SF):

2,080

Existing Patio (SF):

700

Existing Private Sidewalk (SF):

100

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

2,880

Totals:

Total overall lot coverage (SF):

6,351

=

44

% of lot

Applicant Initial:

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:



Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form (Note: We will bring a photo board to the ARB meeting)

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer:

New Roof Style & Color:

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer:

New Window Style/Mat./Color:

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: Style: Color:

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim:

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other:

Proposed New Window Trim: Trim Color(s):

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Natural Stone	Match existing stone
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Stucco	Match existing stucco
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	<input type="text"/> <input type="text"/>

Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

Approved By:

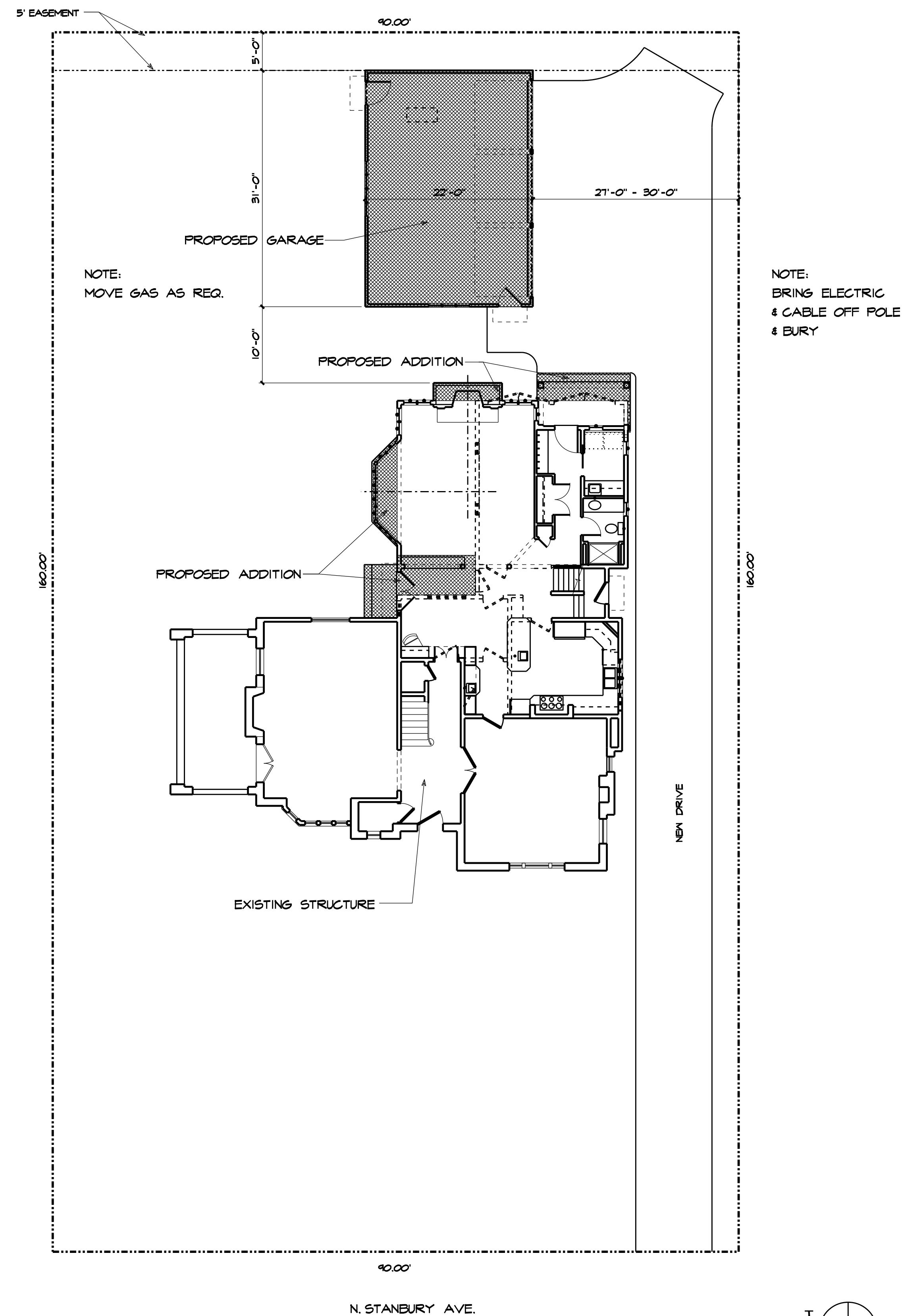
To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

GENERAL NOTES

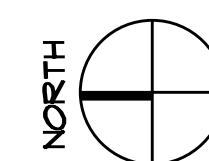
1. DIMENSIONS: ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD AND ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, BLOCK, OR POURED WALL FOUNDATION, UNLESS NOTED OTHERWISE.
2. VERIFICATION: CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
3. SCALE DRAWINGS: DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS. CONTACT THE ARCHITECT FOR DETERMINATION OF ANY ADDITIONAL DIMENSIONS REQUIRED.
4. CODE COMPLIANCE: ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE DRAWINGS ARE TO COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
5. COORDINATION: IT IS THE RESPONSIBILITY OF EACH SUB-CONTRACTOR TO COORDINATE THEIR WORK WITH ALL OTHER TRADES.
6. MATERIALS: ALL MATERIALS USED ARE TO BE NEW, FIRST CLASS QUALITY BUILDING MATERIALS. STORE ALL MATERIALS IN SUCH A MANNER SO AS NOT TO OVER STRESS OR DAMAGE ANY STRUCTURE OR MATERIAL DURING CONSTRUCTION.
7. TYPICAL CONDITIONS: DETAILS ARE GENERALLY TYPICAL, AND ARE NOT ALWAYS LIMITED TO SPECIFIC AREAS SHOWN. REVIEW ANY QUESTIONS OR CONFLICTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
8. MASONRY VENEERS: AIR SPACE BEHIND MASONRY VENEER IS TO BE KEPT CLEAN AND FREE OF DEBRIS TO ALLOW FOR PROPER DRAINAGE TO WEEP HOLES. USE FELT BUILDING PAPER OR WATERTIGHT WRAP BEHIND ALL MASONRY WALLS.
9. FLASHING: THE CONTRACTOR IS TO PROVIDE REQUIRED FLASHING AND TAKE PRECAUTIONS TO ENSURE THAT THE HOUSE WILL BE WATERTIGHT. ALL FLASHING IS TO BE LAPPED A MINIMUM OF 6" TO FORM A CONTINUOUS BARRIER AND SEALED WITH AN APPROVED MATERIAL. WHERE FLASHING IS NOT CONTINUOUS, SUCH AS OVER WINDOW SILLS, TURN ENDS OF FLASHING UP TO FORM A DAM.
10. BLOCKING: PROVIDE BLOCKING, AS REQUIRED, IN WALLS AND CEILINGS TO ANCHOR ALL WALL AND CEILING MOUNTED FIXTURES AND FIXTURES. VERIFY LOCATIONS W/ OWNER.
11. FLOORING TRANSITIONS: ALL DISSIMILAR FLOOR MATERIALS SHALL MEET UNDER THE CENTER OF THE DOOR LEAF UNLESS SHOWN OTHERWISE. PROVIDE SMOOTH AND EVEN TRANSITIONS BETWEEN FLOORING MATERIALS TO AVOID TRIP HAZARDS.
12. TREATED WOOD: ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY IS TO BE PRESSURE TREATED.
13. LIGHTNING PROTECTION: THE CONTRACTOR IS TO PROVIDE U.L. LABEL LIGHTNING PROTECTION SYSTEM AS REQUIRED BY LOCAL BUILDING CODES.
14. SUMP PUMP BACK-UP: THE CONTRACTOR IS TO PROVIDE AND INSTALL BATTERY BACKUP SYSTEM FOR SUMP PUMPS.
15. RADON: IT IS NOT THE RESPONSIBILITY OF SULLIVAN BRUCK ARCHITECTS TO ENSURE THAT RADON LEVELS WITHIN THE COMPLETED STRUCTURE DO NOT EXCEED THOSE LEVELS RECOMMENDED BY THE U.S. EPA.
16. SHOP DRAWINGS: THE CONTRACTOR IS TO SUBMIT FIVE (5) COPIES OF REQUESTED SHOP DRAWINGS TO THE ARCHITECT FOR DESIGN INTENT REVIEW AND APPROVAL. ALL SHOP DRAWINGS ARE TO BE REVIEWED BY THE CONTRACTOR PRIOR TO SUBMISSION.
17. SAFETY, STRUCTURAL SHORING AND BRACING: THE HOUSE IS DESIGNED TO BE STRUCTURALLY STABLE WHEN COMPLETE. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE PROPER BRACING AND TEMPORARY SHORING WHERE REQUIRED DURING CONSTRUCTION AND TO PROVIDE A SAFE WORKING ENVIRONMENT DURING CONSTRUCTION.
18. TREE PROTECTION: PROTECT EXISTING TREES TO REMAIN W/ FENCING AT THE DRIPLINE AND APPLY 12" OF MULCH UNDER ENTIRE DRIPLINE OF TREE. DO NOT CUT TREE ROOTS WHILE TRENCHING FOR UTILITIES.
19. SMOKE DETECTORS: PROVIDE AND INSTALL HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UPS PER CABO CODE, AND AT EVERY LEVEL OF THE HOUSE, AND IN EACH BEDROOM.
20. FIREBLOCKING: FIREBLOCKING SHALL BE INSTALLED PER SECTION 602.8 ORC.



Addition & Remodel
 124 Stanbury Ave. Bexley, OH 43209

5-14-04

7-6-04



Site Plan

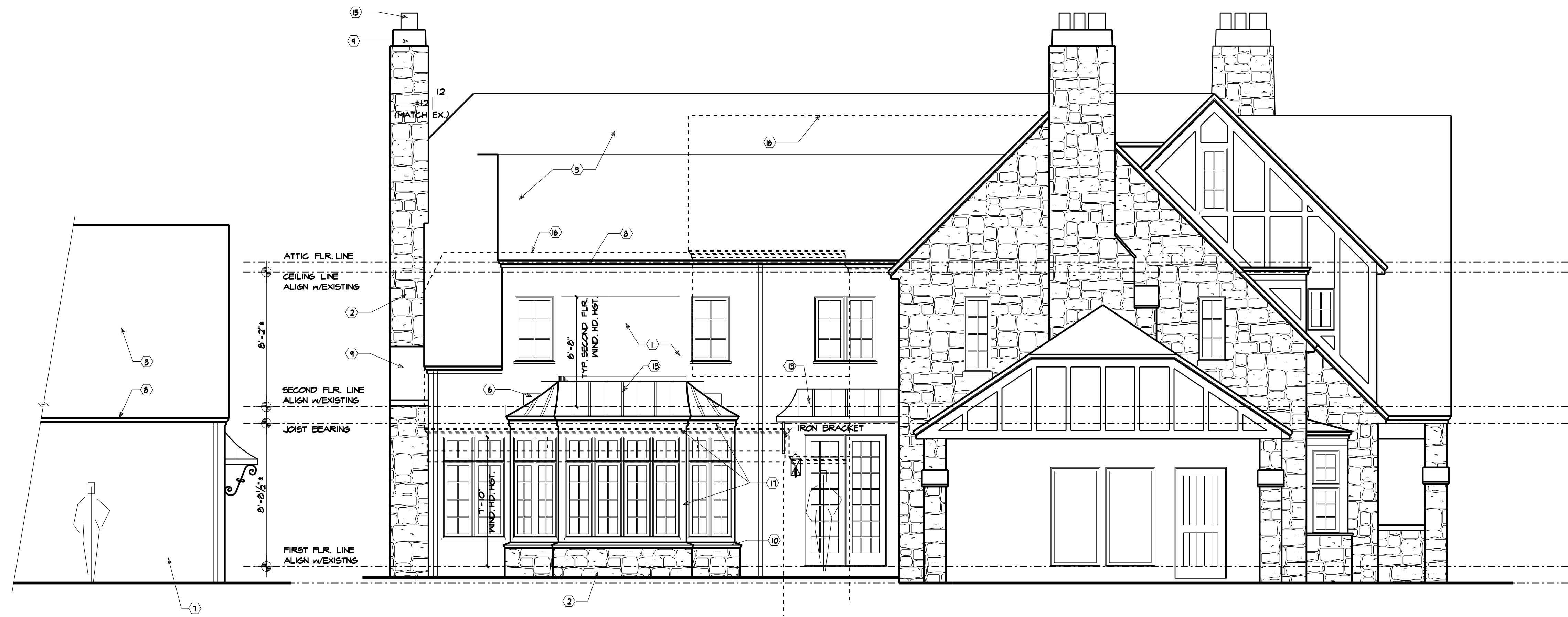
A12
NO SCALE

General Notes

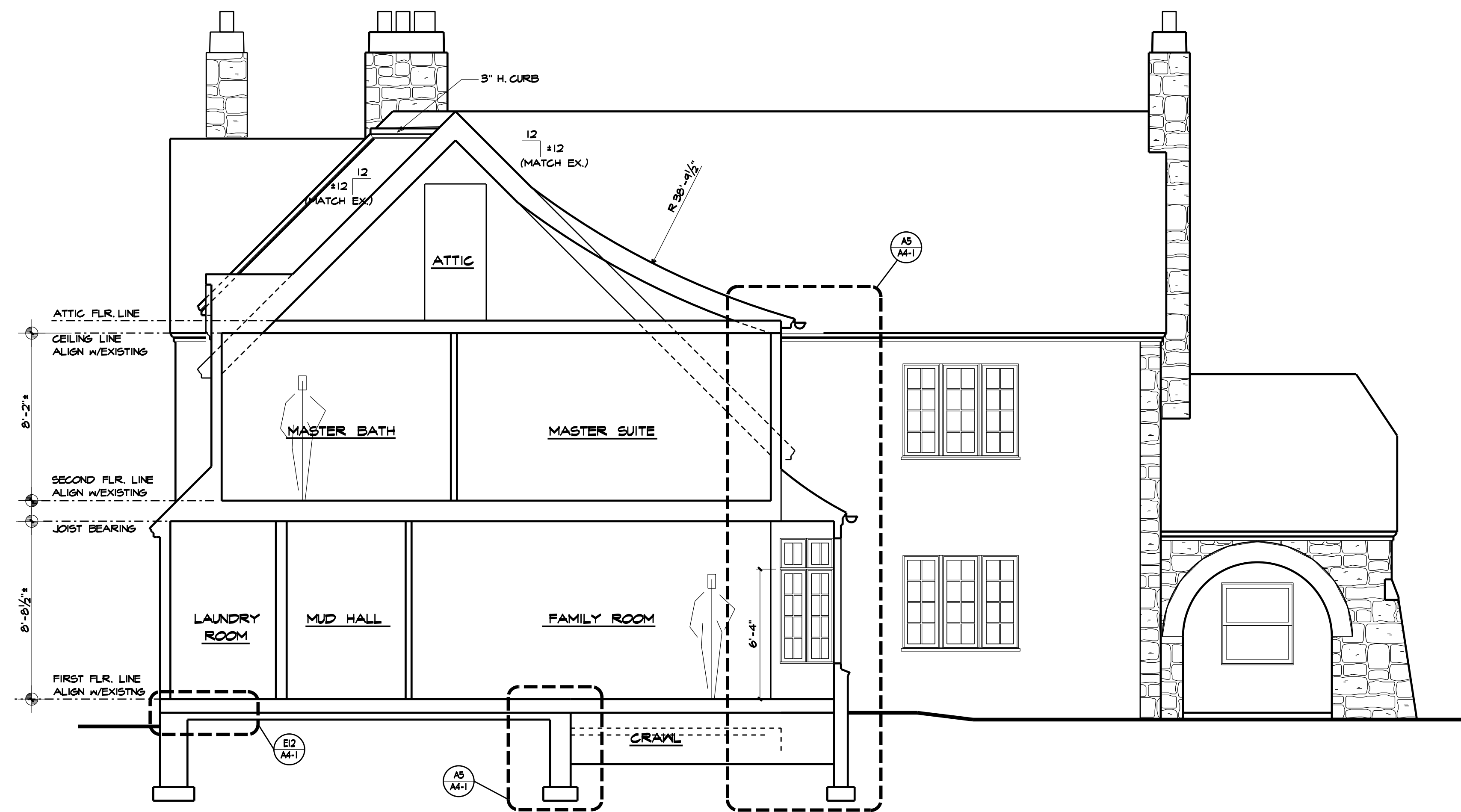
A7
1" = 10'-0"

Site Plan

C1-1
09523.00



E12 **Rear Elevation**
 1/4" = 1'-0"



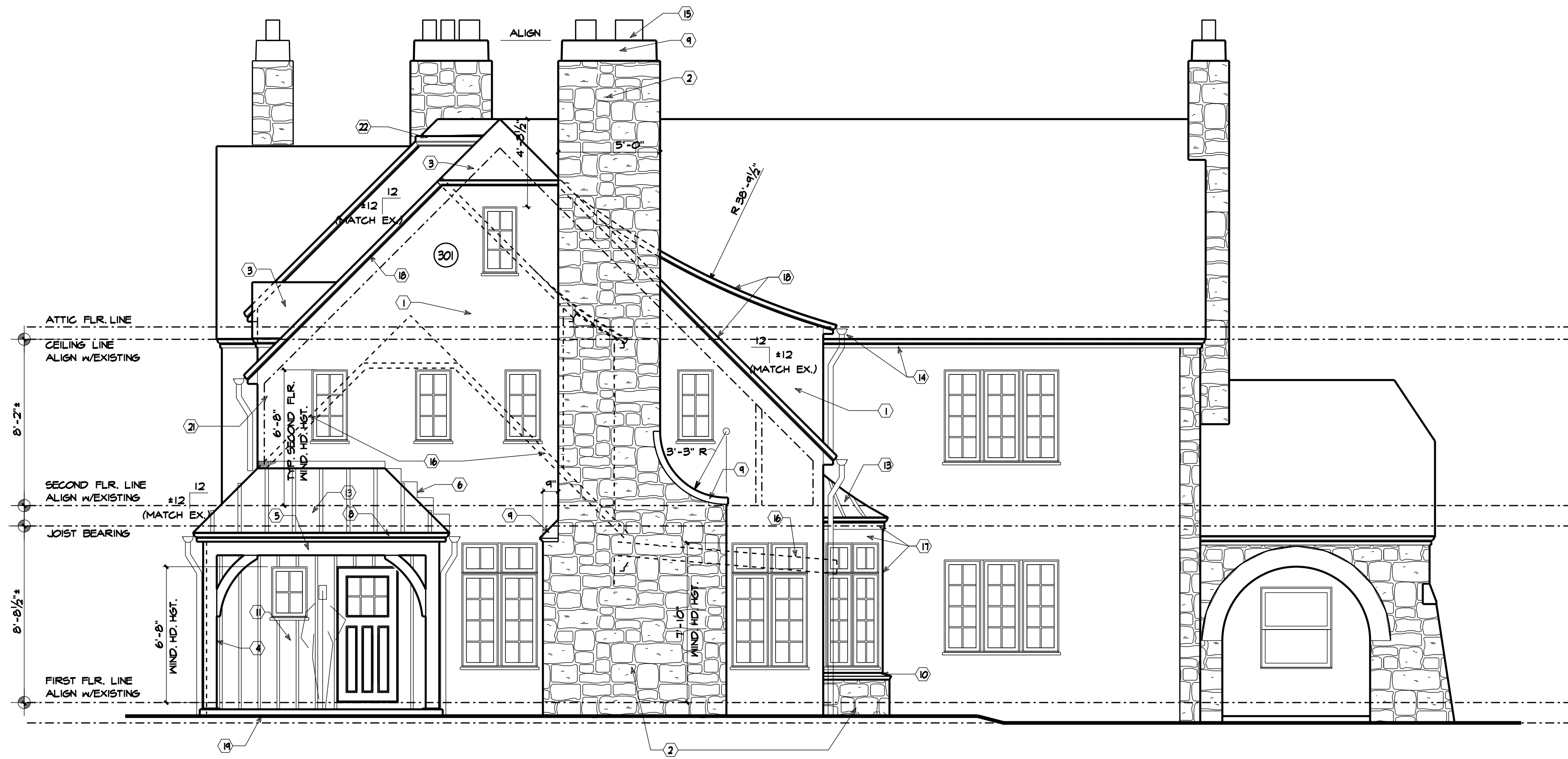
A12 **Building Section**
 1/4" = 1'-0"

ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	STUCCO (MATCH EXISTING)
2	STONE (MATCH EXISTING)
3	40 YR. DIMENSIONAL SHINGLES
4	8"x8" TIMBER POST & BRACKETS
5	8" x 11, x8" H TIMBER BEAM
6	FLASHING
7	FLUSH O.H. DOOR W/ APPLIED CUST. TRIM
8	5/4x6 WOOD FASCIA W/ CROWN OVER
9	LIMESTONE COPING - FLASH
10	LIMESTONE SILL - BEVEL TOP FOR DRAINAGE
11	WOOD BOARD & BATTEN SIDING
12	WD. BRICK MOLD (MATCH EXISTING)
13	COPPER STANDING SEAM ROOFING
14	HALF-RND. PTD. METAL GUTTERS (W/ STRAP HANGERS) & D.S.
15	AUTHENTIC CHIMNEY POTS
16	EXISTING PROFILE
17	5/4x WOOD TRIM
18	EXTENDED SHINGLE MOLD OVER 5/4 X 6 WOOD RAKE
19	BLESTONE
20	IRON RAILINGS
21	INTERIOR PROFILE
22	3" H. CURB (FLASHING)
23	
24	
25	

* ALL NOTES MAY NOT APPLY TO THIS DRAWING.
 NOTE: PROVIDE ATTIC VENTILATION AS REQUIRED BY LOCAL CODE.

5-14-04

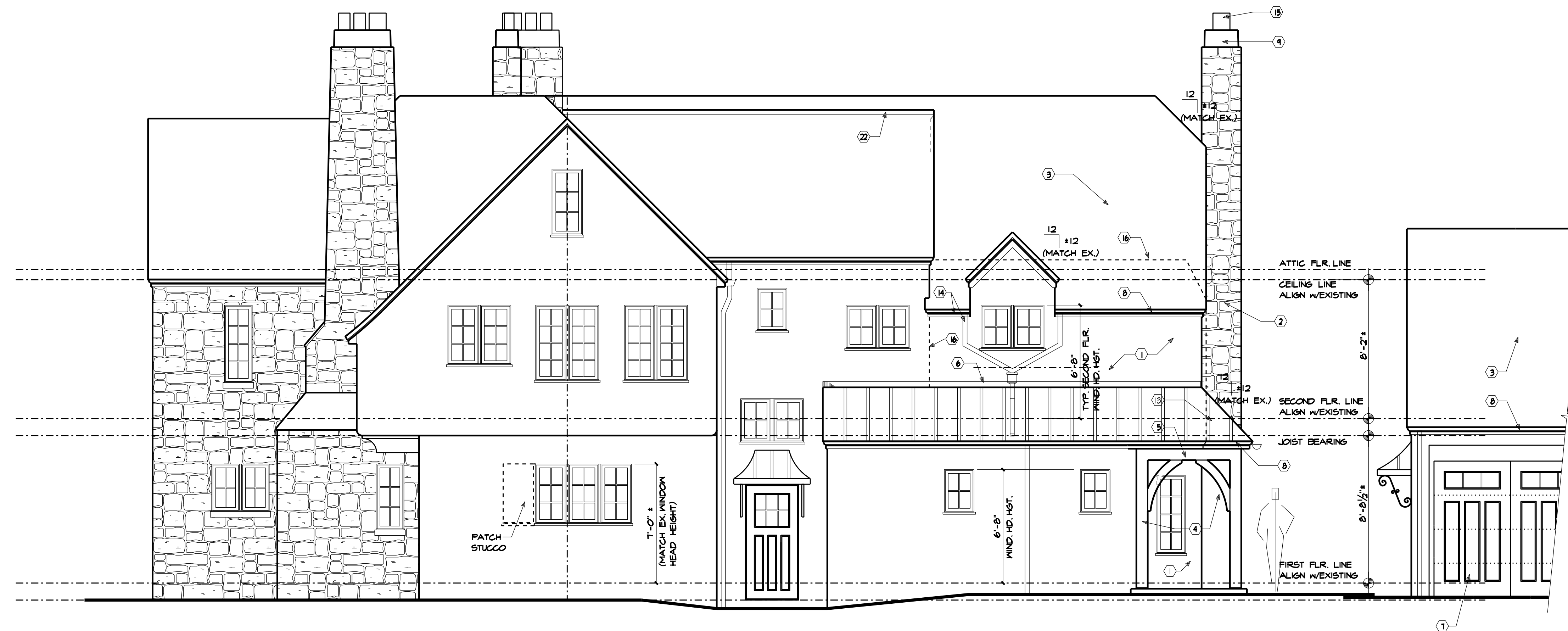
7-6-04



ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	STUCCO (MATCH EXISTING)
2	STONE (MATCH EXISTING)
3	40 YR. DIMENSIONAL SHINGLES
4	8"x8" TIMBER POST & BRACKETS
5	8" W. x8" H TIMBER BEAM
6	FLASHING
7	FLUSH O.H. DOOR W/ APPLIED CUST. TRIM
8	5/4x6 WOOD FASCIA W/ CROWN OVER
9	LIMESTONE COPING - FLASH
10	LIMESTONE SILL - BEVEL TOP FOR DRAINAGE
11	WOOD BOARD & BATTEN SIDING
12	IND. BRICK MOLD (MATCH EXISTING)
13	COPPER STANDING SEAM ROOFING
14	HALF-RND. PTD. METAL GUTTERS (W/ STRAP HANGERS) & D.S.
15	AUTHENTIC CHIMNEY POTS
16	EXISTING PROFILE
17	5/4x WOOD TRIM
18	EXTENDED SHINGLE MOLD OVER 5/4 X 6 WOOD RAKE
19	BLUESTONE
20	IRON RAILING
21	INTERIOR PROFILE
22	3" H. CURB (FLASHING)
23	
24	
25	

* ALL NOTES MAY NOT APPLY TO THIS DRAWING.
NOTE: PROVIDE ATTIC VENTILATION AS REQUIRED BY LOCAL CODE.

E12	Rear Elevation	E4	Elevation Keynotes
1/4" = 1'-0"		NO SCALE	



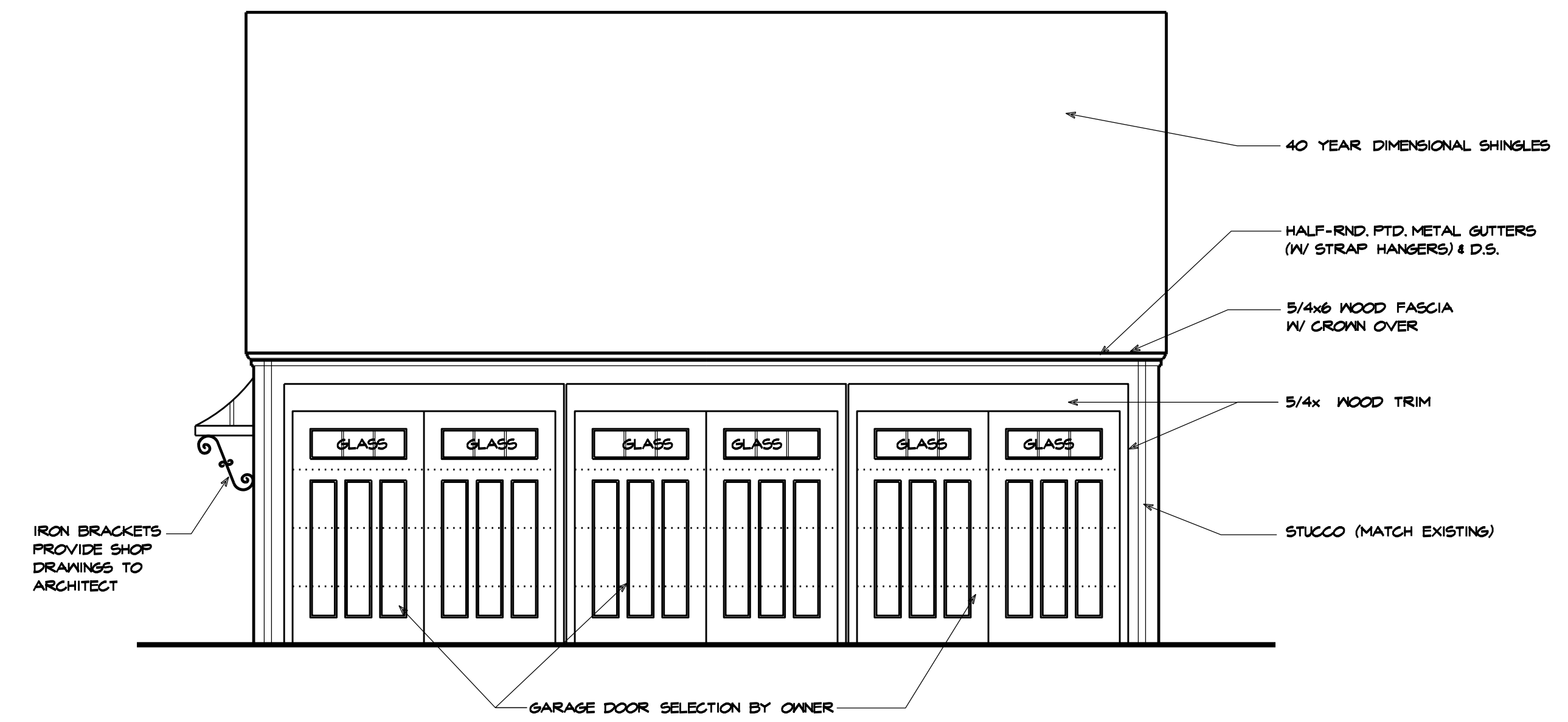
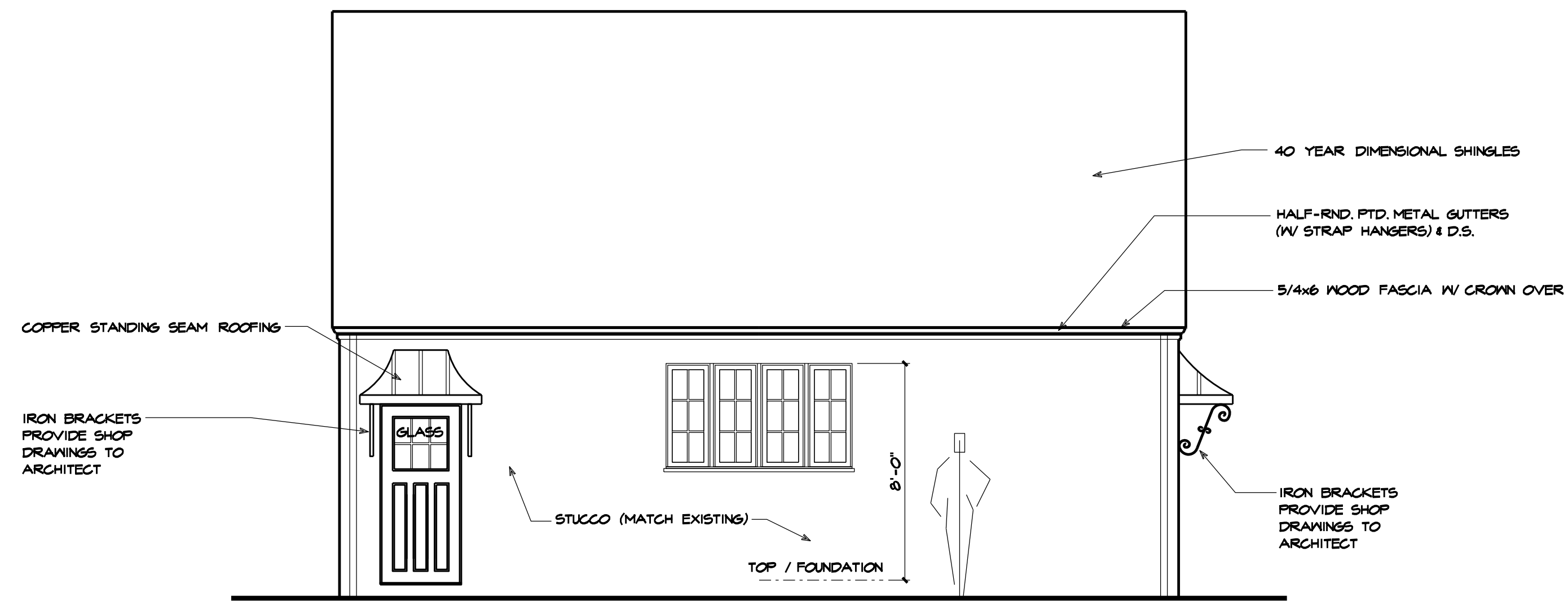
A12	Right Side Elevation		
1/4" = 1'-0"			

Addition & Remodel
 124 Stanbery Ave. Bexley, OH 43209

5-14-04
7-6-04

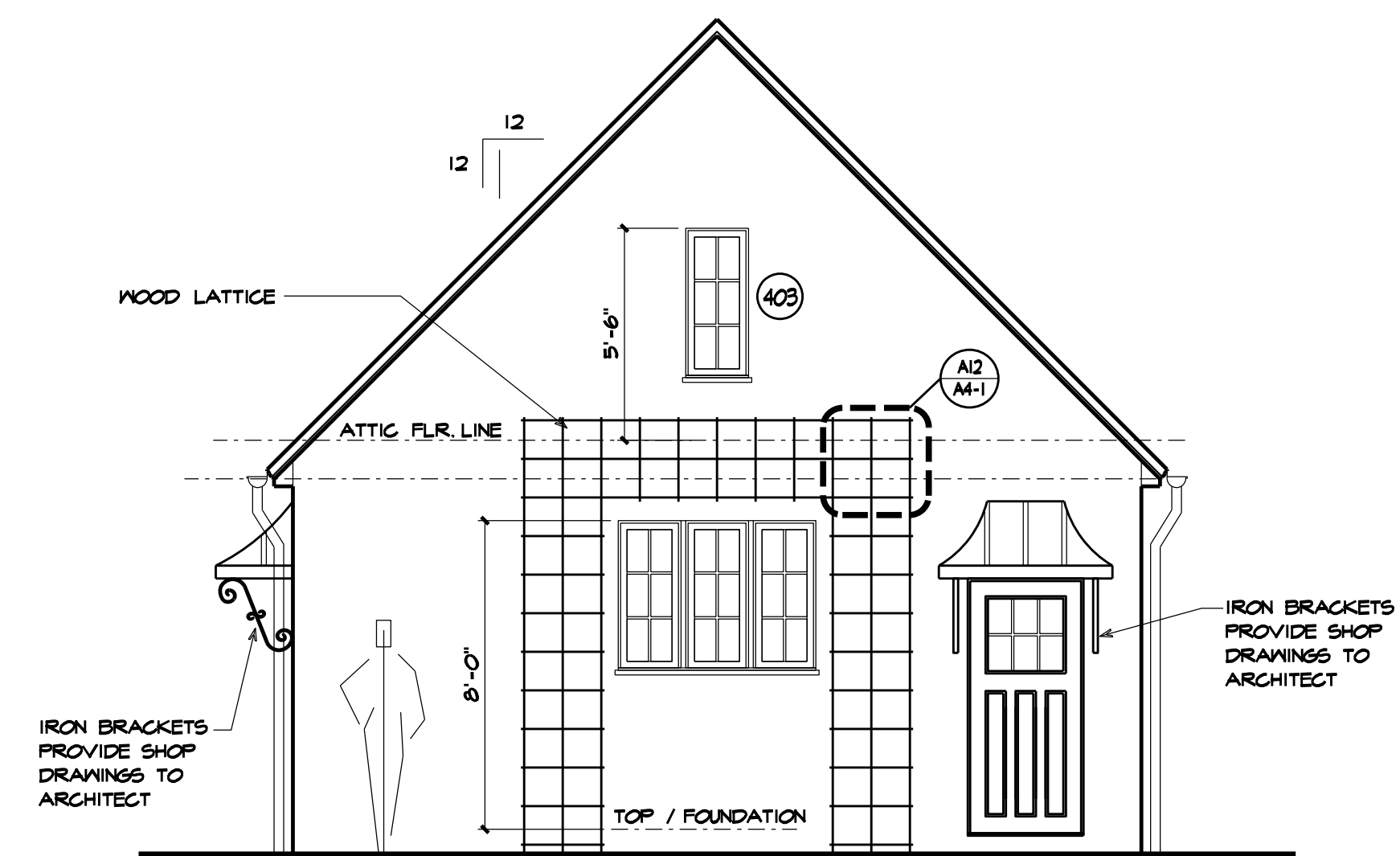
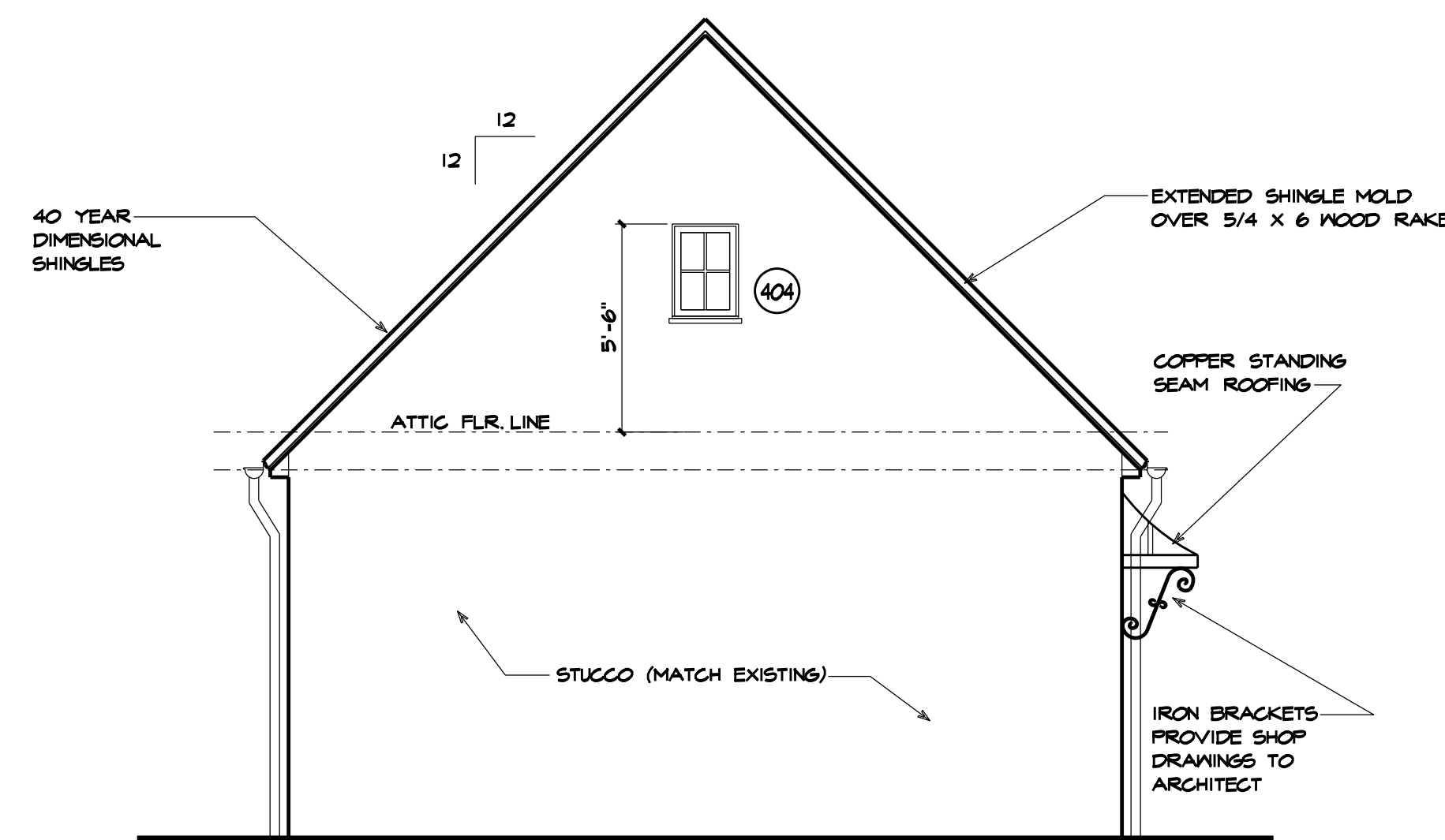
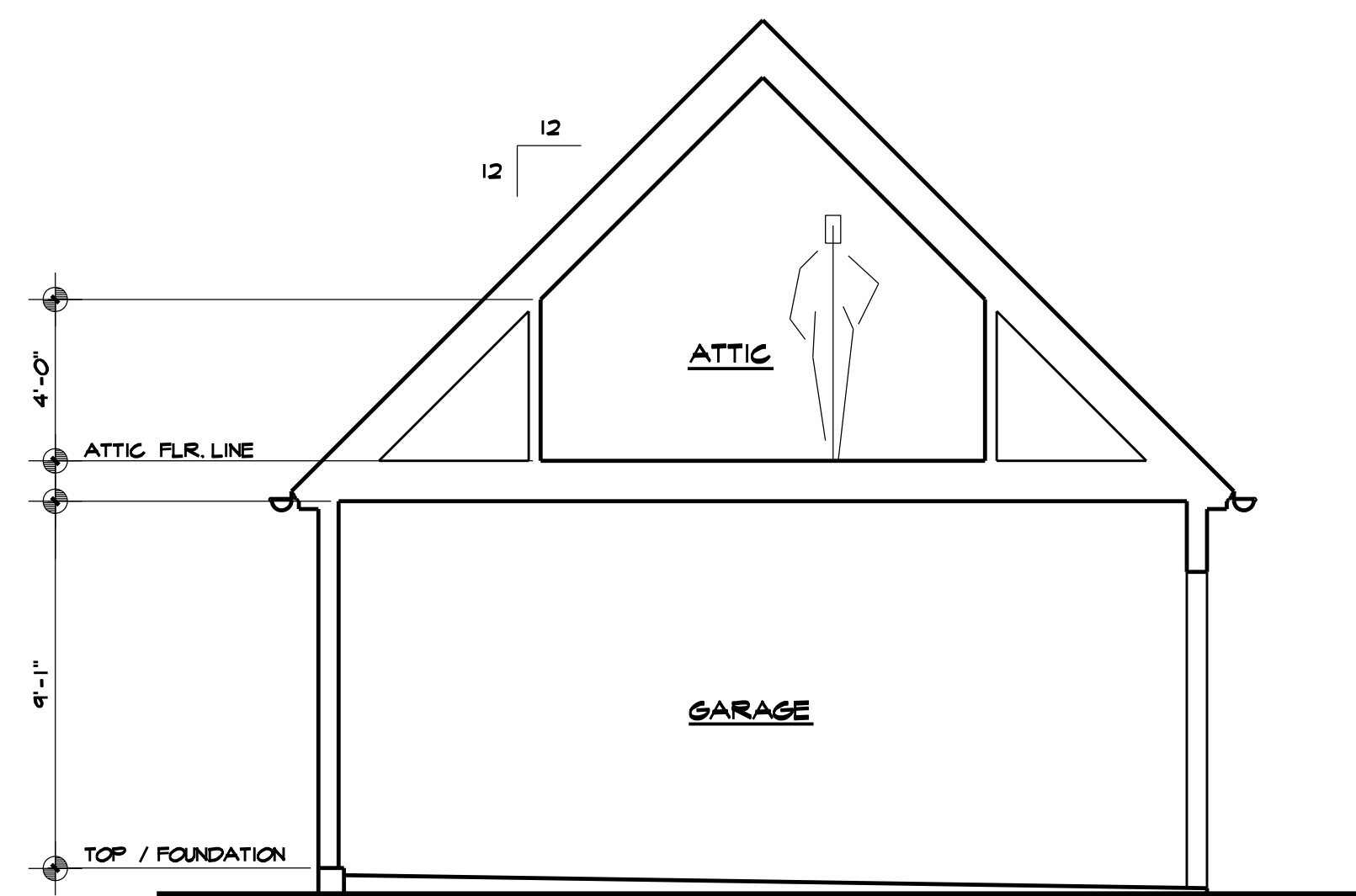
Elevations

A2-1
09523.00



E12 Left Side Elevation
 1/4" = 1'-0"

E6 Right Side Elevation
 1/4" = 1'-0"



A12 Building Section
 1/4" = 1'-0"

A8 Rear Elevation
 1/4" = 1'-0"

A4 Front Elevation
 1/4" = 1'-0"

5-14-04

7-6-04



PUBLIC NOTICE
CITY OF BEXLEY
BOARD OF ZONING AND PLANNING

The Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, November 29th, 2018 at 6:00 PM,** in City Council Chambers, Bexley City Hall, 2242 East Main Street, at which the applicant will request a Special Permit, Conditional Use, or Variance from the requirements of the Bexley Zoning Code.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18-0032 Z
Applicant: Brad Schoch
Owner: Greg & Corry Tishkoff
Location: 270 S. Columbia Ave. (vacant lot south of 256 S. Columbia)
BZAP Request: The applicant is seeking a 3.5' variance from Bexley Code Section 1252.09 (R-3) which requires a 97' average front yard setback, to allow a new single-family dwelling to be constructed 93.5' from the front (west) property line. The applicant is also seeking preliminary architectural review of the proposed new single-family dwelling.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 11-15-2018

2018030

SHEET
A.1

CITY OF BEXLEY UNIFIED PLANNING APPLICATION

Application Cover Sheet: Basic Project Information & Certification

Purpose of Application (check all that apply):

- Architectural Review
 Conditional Use
 Demolition
 Planned Unit Dev.
 Rezoning
 Landscape Review
 Special Permit

Property & Project Information: 270 S. Columbia Ave.
~~256 S. Columbia~~

Property Address: 256 Columbia Avenue, Bexley Ohio

Brief Project Description: Construct new two story frame residence

Applicant Information:

Applicant Name: Brad Schoch - Romanelli & Hughes Building Company

Applicant Address: 148 W. Schrock Rd. , Westerville , OH 43081

Applicant Email & Phone: btschoch@gmail.com - 614 530-9400

Property Owner Information:

Owner Name: Greg and Corry Tishkoff

Owner Address: , , ,

Owner Email & Phone: gregtishkoff@gmail.com - 614 403-8265

Attorney/Agent Information:

Agent Name:


Agent Address: , , ,

Agent Email & Phone:

Completed Worksheets: Project Worksheet (Sheet A) Architectural Review (Sheet B) Tree Commission (Sheet D)

Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:  Date: 10/18/18

Owner Signature: Date:

Agent Signature: Date:

Internal Use:

Application #: _____ Board Referrals: ARB BZAP City Council Tree Commission

Staff Signature: _____ Date: _____

Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project: - \$50.00 for 1st \$10,000 valuation \$
 - \$5.00 for each additional \$10,000 valuation. \$

Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project: - \$90.00 for the 1st \$10,000 valuation \$
 - \$5.00 for each additional \$10,000 valuation \$
 - \$600.00 cap \$
 - \$50.00 resubmittal fee \$

Variance Review

Single Family: \$100.00 \$
 Commercial Property: \$100.00 \$
 Fences or Special Permits: \$65.00 \$
 All others: \$90.00 \$

Zoning Fees

Rezoning: - \$250.00 up to 1 acre site \$
 - \$60.00 for each additional acre (or part thereof) \$
 Requests for amendment to PUD Plans: \$300.00 \$
 Split of lot or existing parcel: \$250.00 \$
 Replatting or new plat: \$250.00 \$

Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>
Fences and walls:	\$65.00	\$ <input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text"/>
Re-submittal Fee:	\$50.00	\$ <input type="text"/>

Appeals

Appeal of ARB decision to BZAP: \$50.00 \$
 Appeal of BZAP decision to City Council: \$250.00 \$

Fee Total: \$

~~\$1,000.00~~

\$4,000.00



Project Worksheet

Residential Commercial

Property Address:

256 S. Columbia Avenue, Bexley OH

Zoning District:

R-3

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

** Overall coverage includes hardscape*

Lot Info:

Width (ft.): Depth (ft.): Total Area (SF):

Primary Structure Info:

Existing Footprint (SF):	<input type="text"/>	(Type of Structure):	<input type="text"/>
Proposed Addition (SF):	<input type="text"/>		
Removing (SF):	<input type="text"/>		
Proposed new primary structure or residence (SF):	<input type="text"/>		
Total Square Footage:	<input type="text"/>		

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):	<input type="text"/>	New Structure Type:	<input type="text" value="FRAME RESIDENCE"/>
Proposed Addition (SF):	<input type="text"/>	Ridge Height:	<input type="text" value="31'-8\"/>
Proposed New Structure (SF):	<input type="text" value="4,542"/>	Is there a 2nd floor?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Total of all garage and accessory structures (SF):	<input type="text" value="963"/>	2nd Floor SF:	<input type="text" value="2,383"/>
Total building lot coverage (SF):	<input type="text" value="5,505"/>	=	<input type="text" value="15.6"/> % of lot
Is this replacing an existing garage and/or accessory structure?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

Hardscape:

Existing Driveway (SF):	<input type="text"/>	Existing Patio (SF):	<input type="text"/>	Existing Private Sidewalk (SF):	<input type="text"/>
Proposed Additional Hardscape (SF):	<input type="text" value="3,867"/>				
Total Hardscape (SF):	<input type="text"/>				

Totals:

Total overall lot coverage (SF): = % of lot

Applicant Initial:

Internal Use:

Staff Review Date: Meets Zoning ARB Only Variance or Modifications Needed

Staff Comments:

Staff Initial:



Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing House or Principal Structure Garage Only House & Garage

Existing Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Roof Type: Slate Clay Tile Wood Shake Std. 3-tab Asphalt Shingle
 Arch. Dimensional Shingles EPDM Rubber TPO Rubber Metal

New Shingle Manufacturer: CERTAINTEED LANDMARK

New Roof Style & Color: WEATHERED WOOD

Windows House or Principal Structure Garage Only House & Garage

Existing Window Type: Casement Fixed Exterior Storm Other:
 Double Hung Awning Horizontal Sliding

Existing Window Materials: Aluminum Clad Wood Wood Metal
 Vinyl Clad Wood Aluminum Other:

New Window Manufacturer: ANDERSON - 200 SERIES

New Window Style/Mat./Color: FIBERGLASS CLAD EXTERIOR - WHITE

Doors House or Principal Structure Garage Only House & Garage

Existing Entrance Door Type: Wood Insulated Metal Fiberglass Sidelights Transom Windows

Existing Garage Door Type: Wood Insulated Metal Fiberglass

Door Finish: Stained Painted

Proposed Door Type: WOOD/GLASS Style: FRENCH Color: TBD

Exterior Trim

Existing Door Trim: Cedar Redwood Pine Std. Lumber Profile
 Wood Composite Aluminum Clad Molding Vinyl Other:

Proposed New Door Trim: WOOD & GLASS

Existing Window Trim: Wood Redwood Pine Std. Lumber Profile
 Vinyl Other:

Proposed New Window Trim: WOOD COMPOSITE Trim Color(s): WHITE

Do the Proposed Changes Affect the Overhangs? Yes No

Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input type="checkbox"/>	<input type="checkbox"/>	Natural Stone	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cultured Stone	NOTE ALL EXTERIOR SELECTIONS ARE IN PROCESS - TO BE PROVIDED SHORTLY
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Brick	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Mortar	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Stucco	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input checked="" type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	

Staff Confirmation (to be completed by Residential Design Consultant:

Date of Review:

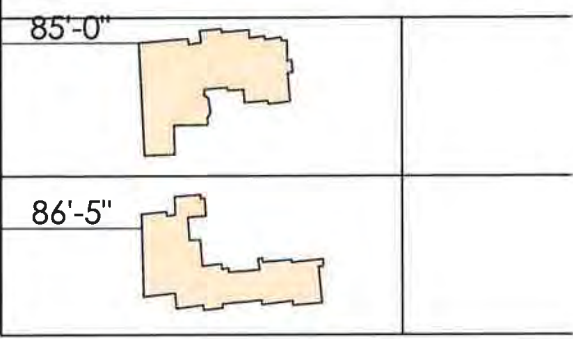
Approved By:

To be reviewed by ARB on:

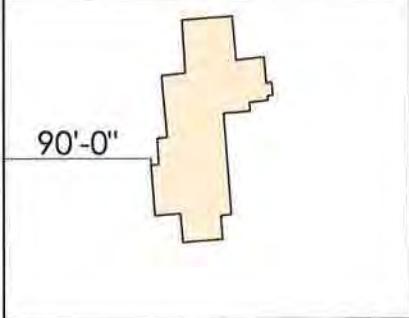
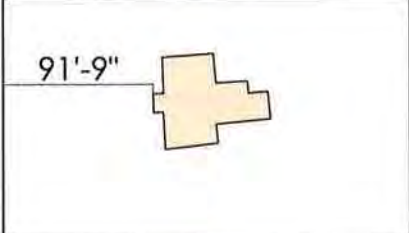
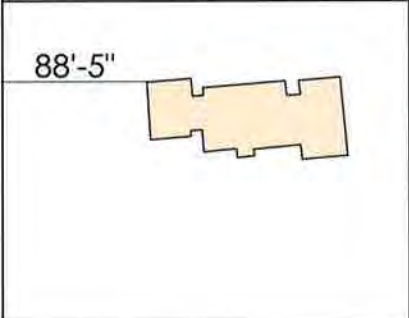
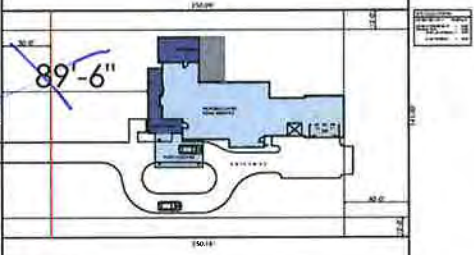
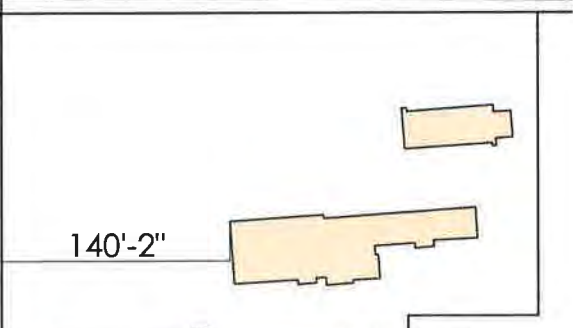
Conditions/Stipulations:

Staff Initials:





DALE AVENUE



93.5'
to
back of porch

S. COLUMBIA AVENUE

(include 140') 21"
580 x (1.75)
581.75 ÷ 6 lots
96.9 (97)

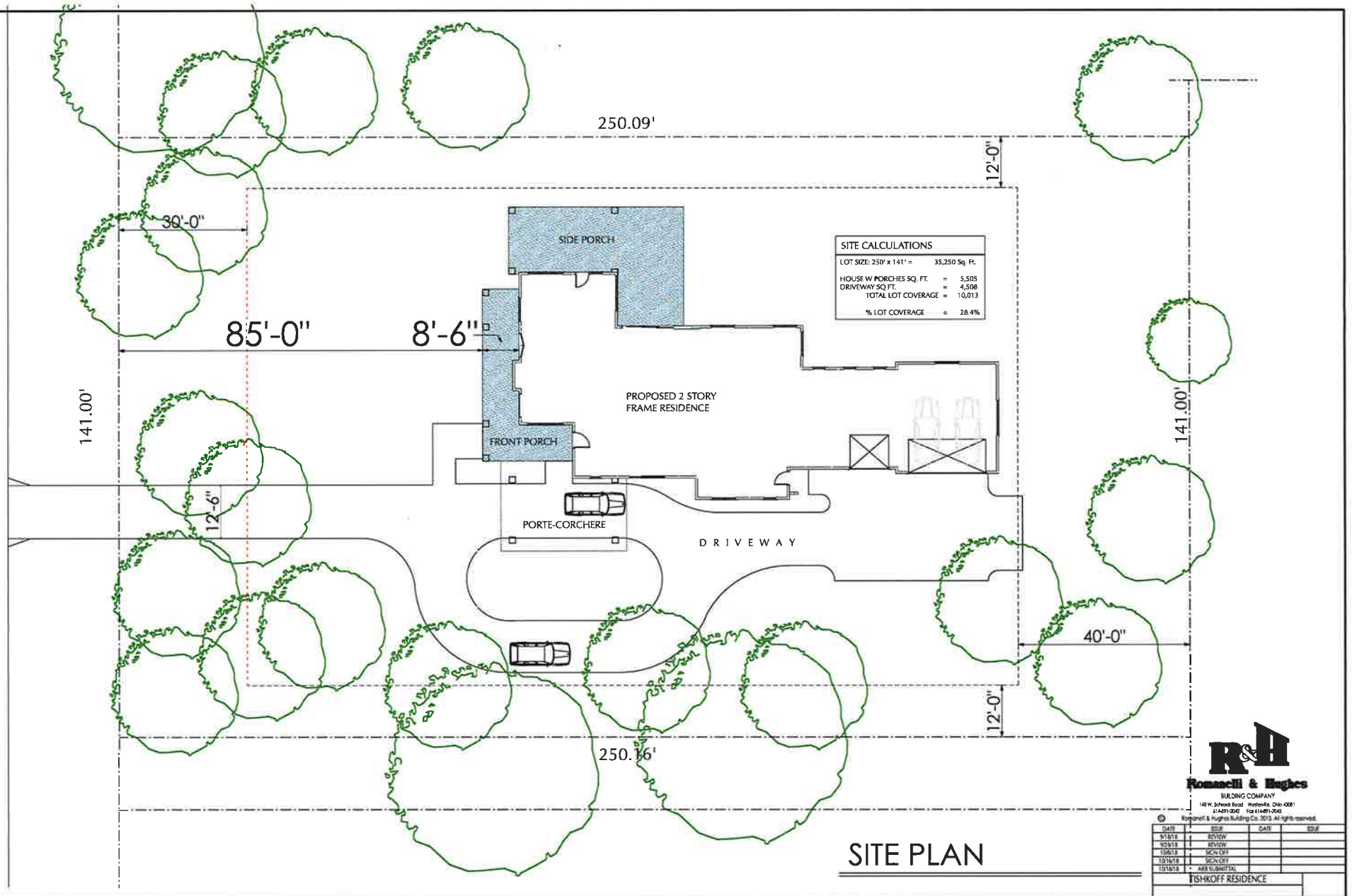
(throw out 140.2")
440' 1.5"
441.5" ÷ 5 lots
(88.3)

93.5' to enclosed space

R&H
Romanelli & Hughes
BUILDING COMPANY
148 N. Jewel Road - Memphis, TN 38117
901-526-8200 fax 901-526-8201
Romanelli & Hughes Building Co. 2013. All rights reserved.

DATE	REVISION	DATE	BY
TISHKOFF RESIDENCE			
256 S. COLUMBIA AVE.			

S. COLUMBIA AVENUE



SITE PLAN



Romarelli & Hughes
BUILDING COMPANY

141 W. Johnson Road, Westerville, Ohio 43081

(614) 891-0242 Fax (614) 891-0245

Romarelli & Hughes Building Co. 2015. All rights reserved.

DATE	DESCRIPTION	DATE	DESCRIPTION
5/15/18	REVIEW		
5/25/18	REVIEW		
7/26/18	SCALE UP		
10/19/18	SCALE UP		
10/19/18	ANS SUBMITTAL		

TISHKOFF RESIDENCE



FRONT VIEW 1

R&H
Romanelli & Hughes
 BUILDING COMPANY
 148 S. Jones Street - Columbus, Ohio 43206
 614.861.8442 Fax: 614.861.2843

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DATE	BY	CHECKED	SCALE
	W. HUGHES		
	M. ROMANELLI		
	M. ROMANELLI		
	M. ROMANELLI		
	M. ROMANELLI		
	M. ROMANELLI		
	M. ROMANELLI		
	M. ROMANELLI		
	M. ROMANELLI		
	M. ROMANELLI		
TISHKOFF RESIDENCE			



LEFT
ELEVATION



RIGHT
ELEVATION



Romanelli & Hughes

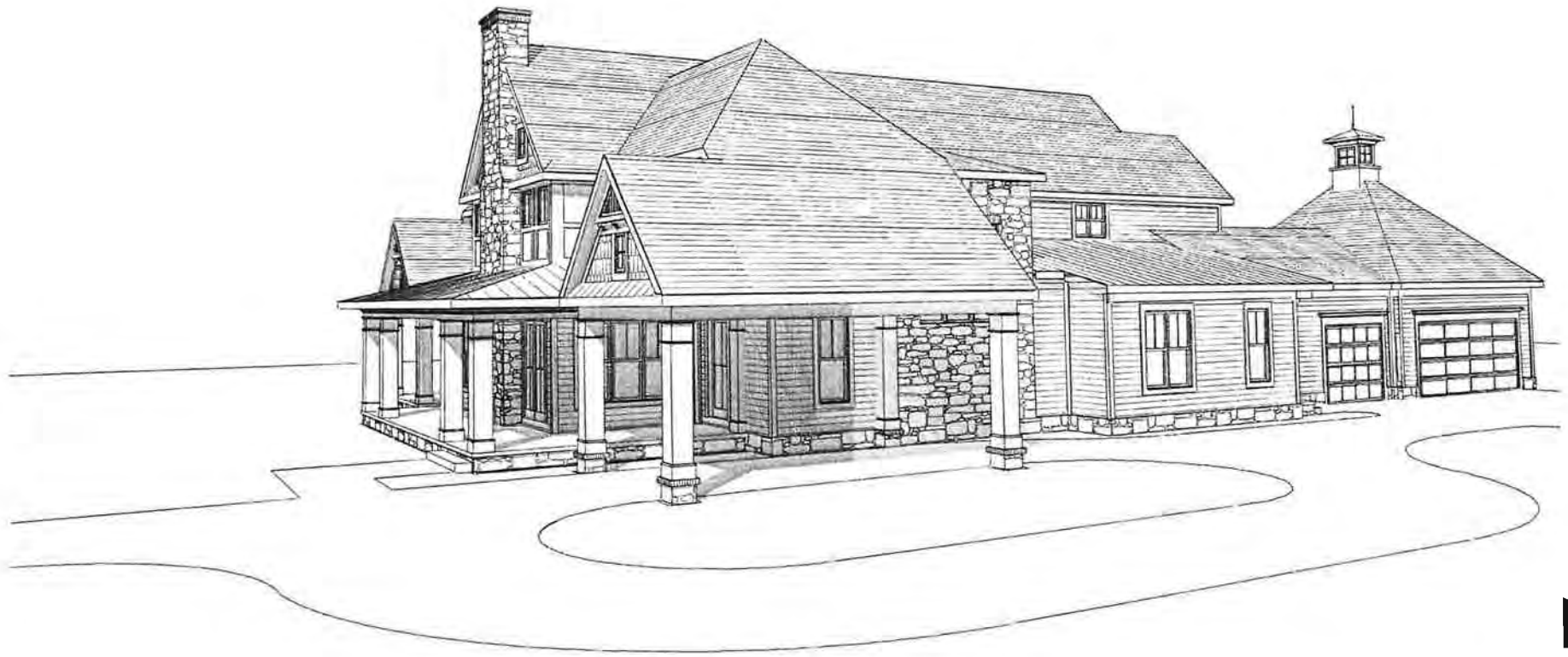
BUILDING COMPANY

140 W. Superior Street, Aurora, IL 60105

630.477.2342 630.474.8125

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DATE	SCALE	DATE	SCALE
12/15/13	AS SHOWN		
12/15/13	REVISED		
12/15/13	REVISED		
12/15/13	REVISED		
12/15/13	REVISED		
12/15/13	REVISED		
12/15/13	REVISED		
TISHKOFF RESIDENCE			



FRONT VIEW 2



Hagles

PARTY

614.691.2042 Fax 614.691.2045
 Karpinski & Hughes Building Co., 20 E. Main Street, Columbus, OH 43211

DATE	ISSUE	SCALE	FILE
01/01/11	REVIEW		
02/01/11	REVIEW		
03/01/11	SCALE		
04/01/11	SCALE		
05/01/11	APP SUBMITTAL		

FISHKOFF RESIDENCE

FIRST FLOOR PLAN

2,782 FIN. SQ.FT. 1/8" = 1'-0"
 963 GARAGE SQ.FT.
 436 FRONT PORCH SQ.FT.
 388 SIDE PORCH SQ.FT.
 505 PORTE COCHERE SQ.FT.
 431 PATIO SQ.FT.



Romanelli & Hughes
 BUILDING COMPANY
 1219 School Road, Westerville, Ohio 43081
 614.891.2018 Fax: 614.891.1340

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DATE	SCALE	DATE	SCALE
01/15/13	AS SHOWN		
02/15/13	AS SHOWN		
03/15/13	AS SHOWN		
04/15/13	AS SHOWN		
05/15/13	AS SHOWN		
06/15/13	AS SHOWN		
TISHKOFF RESIDENCE			

BASEMENT PLAN

1,732 FIN. SQ.FT.

1/8" = 1'-0"



Romanelli & Hughes

BUILDING COMPANY

1410 S. 20th Street, Phoenix, AZ 85024

PH: 602.252.1111 FAX: 602.252.1112

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DATE	ISSUE	DATE	ISSUE
01/15/11	REVISED		
02/01/11	REVISED		
02/01/11	SLUR OFF		
02/01/11	SLUR OFF		
02/01/11	SLUR OFF		
02/01/11	SLUR OFF		
02/01/11	SLUR OFF		
TISHOFF RESIDENCE			

SECOND FLOOR PLAN

2,383 FIN. SQ.FT.

1/8" = 1'-0"



Romanelli & Hughes

BUILDING COMPANY
140 W. School Road, Westerville, OH 43081
(614) 871-2200 Fax (614) 871-2214

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DATE	BY	DATE	BY
11/15/13	REVISION		
11/15/13	REVISION		
11/15/13	REVISION		
11/15/13	REVISION		
11/15/13	REVISION		
11/15/13	REVISION		
TISHKOFF RESIDENCE			



- 30 YR. DIMENSIONAL ASPHALT ROOF
- CEDAR SHAKE SIDING - PAINTED
- CLAPBOARD SIDING - PAINTED
- MANUF. VENEER STONE
- STANDING SEAM METAL ROOF
- FIBERGLASS COLUMNS

FRONT ELEVATION

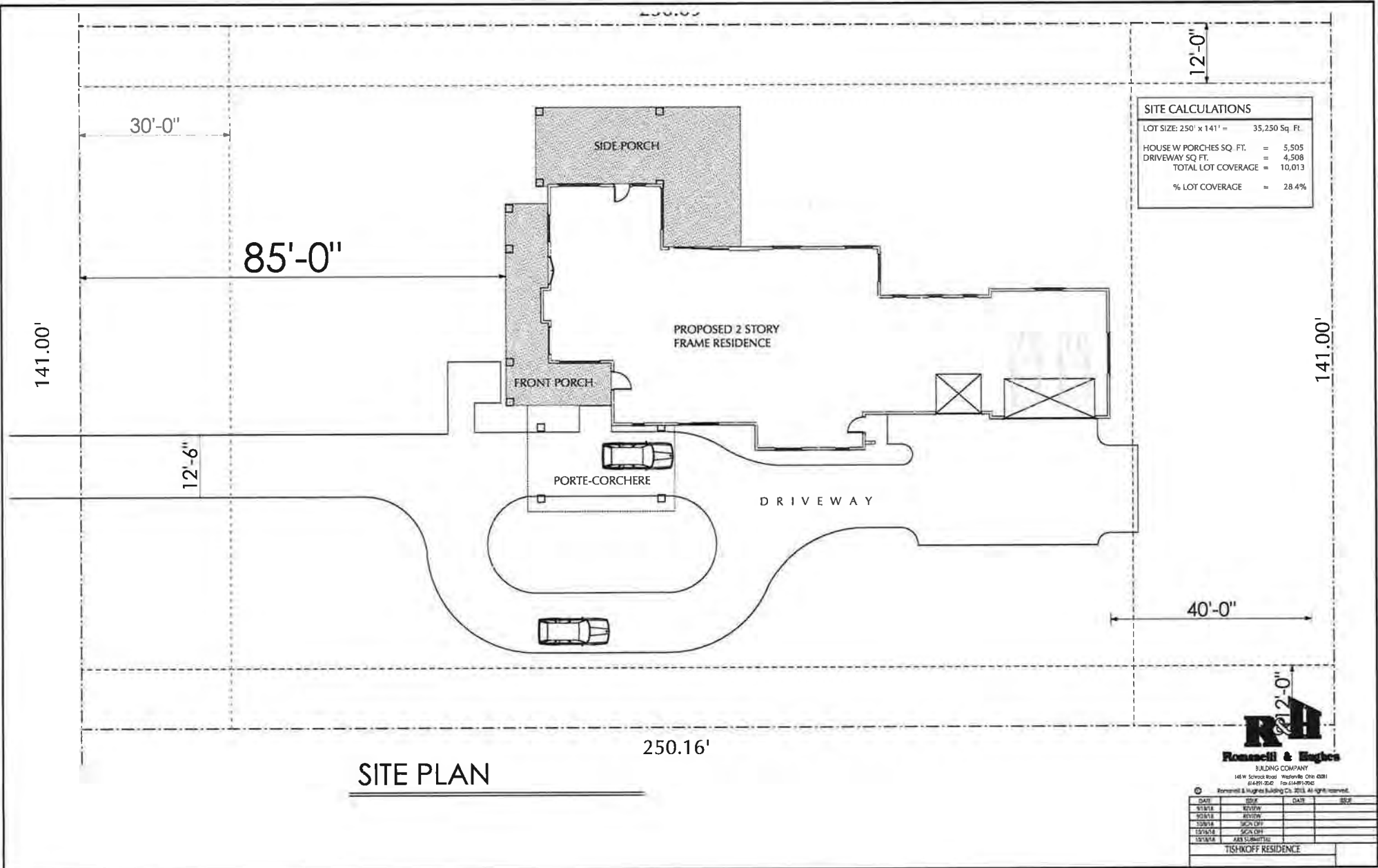


REAR ELEVATION

RH
Romanelli & Hughes

BUILDING COMPANY
68 W. 3rd Street, Waukegan, Ill. 60087
414-992-1944 FAX 414-992-1945

NO.	DATE	DESCRIPTION	BY	CHKD.
1		CONTRACT		
2		REVISED		
3		WORK SHOWN		
4		REVISIONS		
5		ARCH. REVISIONS		
TISHKOFF RESIDENCE				



SITE CALCULATIONS	
LOT SIZE: 250' x 141' =	35,250 Sq. Ft.
HOUSE W PORCHES SQ. FT. =	5,505
DRIVEWAY SQ. FT. =	4,508
TOTAL LOT COVERAGE =	10,013
% LOT COVERAGE =	28.4%

SITE PLAN

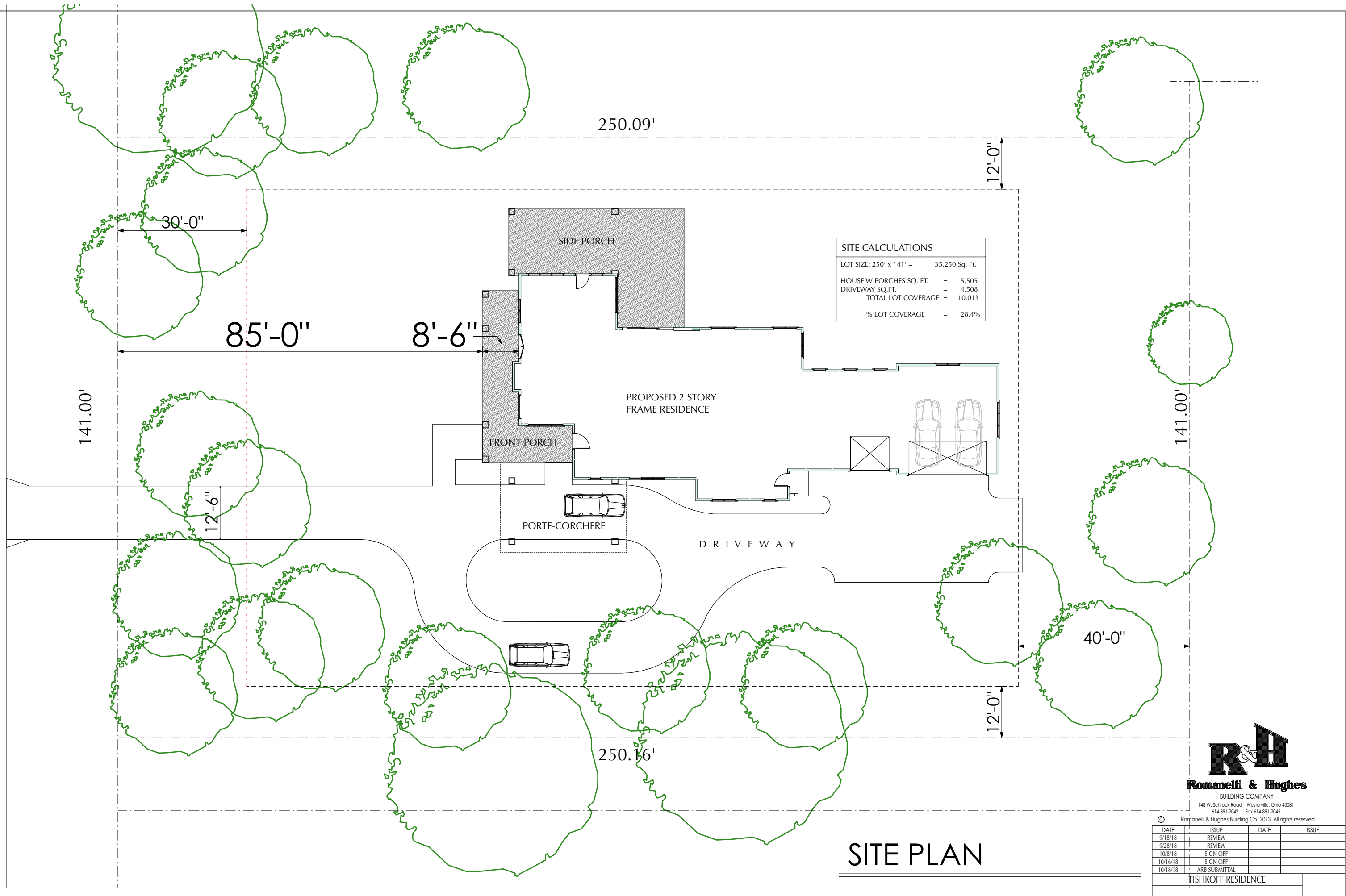
Romaneli & Hughes
BUILDING COMPANY
148 W. Spruce Road Westerville, Ohio 43081
614.891.0200 Fax 614.891.0100

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DATE	BY	DATE	BY
01/15/14	REVISED		
02/15/14	REVISED		
03/15/14	SCA OFF		
05/15/14	SCA ONI		
07/15/14	JOB SUBMITTED		

TISHKOFF RESIDENCE

S. COLUMBIA AVENUE



SITE PLAN



Romanelli & Hughes
BUILDING COMPANY

148 W. Schrock Road Westerville, Ohio 43081
614-891-2042 Fax 614-891-2045

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DATE	ISSUE	DATE	ISSUE
9/18/18	REVIEW		
9/28/18	REVIEW		
10/8/18	SIGN OFF		
10/16/18	SIGN OFF		
10/18/18	ARB SUBMITTAL		

TISHKOFF RESIDENCE