



PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD and/or  
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 10, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, January 24, 2019 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, at which the applicant will request a Special Permit, Conditional Use, or Variance from the requirements of the Bexley Zoning Code.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18-037 Z  
Applicant: Eric & Stephanie Quigley  
Owner: Same  
Location: 124 Stanbery Ave.  
**ARB Request:** The applicant is seeking architectural review and approval, to allow additions to the rear (east) and side (north) of the principal structure. The applicant is seeking a recommendation to the Board of Zoning and Planning to allow a new detached garage.

**BZAP Request:** The applicant is seeking architectural review and approval to allow a new detached garage at the rear of the property. The applicant is also seeking a Special Permit in accordance with Bexley Code Section 1252.15(e) which limits an accessory structures ridgeline to not exceed 20', to allow the proposed detached garage to be 21' in height.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-27-2018

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

- Architectural Review    Conditional Use    Demolition    Planned Unit Dev.    Rezoning    Landscape Review    Special Permit

### Property & Project Information:

Property Address:

Brief Project Description:

### Applicant Information:

Applicant Name:

Applicant Address:  ,  ,

Applicant Email & Phone:

### Property Owner Information:

Owner Name:

Owner Address:  ,  ,

Owner Email & Phone:

### Attorney/Agent Information:

Agent Name:

Agent Address:  ,  ,

Agent Email & Phone:

- Completed Worksheets:**    Project Worksheet (Sheet A)    Architectural Review (Sheet B)    Tree Commission (Sheet D)

### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:  Date:

Owner Signature:  Date:

Agent Signature:  Date:

**Internal Use:**

Application #:    Board Referrals:    ARB    BZAP    City Council    Tree Commission

Staff Signature:    Date:

## Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

### Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation	\$ <input type="text"/>
- \$5.00 for each additional \$10,000 valuation.	\$ <input type="text"/>

### Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation	\$ <input type="text" value="90"/>
- \$5.00 for each additional \$10,000 valuation	\$ <input type="text" value="120"/>
- \$600.00 cap	\$ <input type="text"/>
- \$50.00 resubmittal fee	\$ <input type="text"/>

### Variance Review

Single Family:	\$100.00	\$ <input type="text"/>
Commercial Property:	\$100.00	\$ <input type="text"/>
Fences or Special Permits:	\$65.00	\$ <input type="text"/>
All others:	\$90.00	\$ <input type="text"/>

### Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text"/>
Replatting or new plat:	\$250.00	\$ <input type="text"/>

### Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text"/>
Over \$750,000	\$350.00	\$ <input type="text"/>
Fences and walls:	\$65.00	\$ <input type="text"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text"/>
Re-submittal Fee:	\$50.00	\$ <input type="text"/>

### Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text"/>

**Fee Total:** \$

## Project Worksheet

Residential

Commercial

Property Address:

124 Stanbery Ave. Bexley, OH 43209

Zoning District:

R-3 Medium Density

R-1 (25% Building & 40% Overall)

R-6 (35% Building & 60% Overall)

R-2 (25% Building & 50% Overall)

R-12 (35% Building & 70% Overall)

R-3 (25% Building & 50% Overall)

Other:

*\* Overall coverage includes hardscape*

Lot Info:

Width (ft.):

90

Depth (ft.):

160

Total Area (SF):

14,400

Primary Structure Info:

Existing Footprint (SF):

2,169

Proposed Addition (SF):

180

Removing (SF):

(Type of Structure):

Wood frame

Proposed new primary structure or residence (SF):

Total Square Footage:

2,349

Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):

Existing Footprint (SF):

440

New Structure Type:

Wood frame

Proposed Addition (SF):

Ridge Height:

27'-6"

Proposed New Structure (SF):

682

Is there a 2nd floor?

Yes

No

Total of all garage and accessory structures (SF):

1,112

2nd Floor SF:

300

Total building lot coverage (SF):

3,471

= 24 % of lot

Is this replacing an existing garage and/or accessory structure?

Yes

No

Hardscape:

Existing Driveway (SF):

2,080

Existing Patio (SF):

700

Existing Private Sidewalk (SF):

100

Proposed Additional Hardscape (SF):

Total Hardscape (SF):

2,880

Totals:

Total overall lot coverage (SF):

6,351

=

44

% of lot

Applicant Initial:

Internal Use:

Staff Review Date:

Meets Zoning

ARB Only

Variance or Modifications Needed

Staff Comments:

Staff Initial:

## Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form (Note: We will bring a photo board to the ARB meeting)

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

**Roofing**     House or Principal Structure     Garage Only     House & Garage

Existing Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
 Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Shingle Manufacturer:

New Roof Style & Color:

**Windows**     House or Principal Structure     Garage Only     House & Garage

Existing Window Type:     Casement     Fixed     Exterior Storm     Other:   
 Double Hung     Awning     Horizontal Sliding

Existing Window Materials:     Aluminum Clad Wood     Wood     Metal  
 Vinyl Clad Wood     Aluminum     Other:

New Window Manufacturer:

New Window Style/Mat./Color:

**Doors**     House or Principal Structure     Garage Only     House & Garage

Existing Entrance Door Type:     Wood     Insulated Metal     Fiberglass     Sidelights     Transom Windows

Existing Garage Door Type:     Wood     Insulated Metal     Fiberglass

Door Finish:     Stained     Painted

Proposed Door Type:     Style:     Color:

**Exterior Trim**

Existing Door Trim:     Cedar     Redwood     Pine     Std. Lumber Profile  
 Wood Composite     Aluminum Clad     Molding     Vinyl     Other:

Proposed New Door Trim:

Existing Window Trim:     Wood     Redwood     Pine     Std. Lumber Profile  
 Vinyl     Other:

Proposed New Window Trim:     Trim Color(s):

Do the Proposed Changes Affect the Overhangs?     Yes     No

## Architectural Review Worksheet (Continued)

Exterior Wall Finishes

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Natural Stone	Match existing stone
<input type="checkbox"/>	<input type="checkbox"/>	Cultured Stone	
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Stucco	Match existing stucco
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	<input type="text"/> <input type="text"/>

**Staff Confirmation (to be completed by Residential Design Consultant:**

Date of Review:

Approved By:

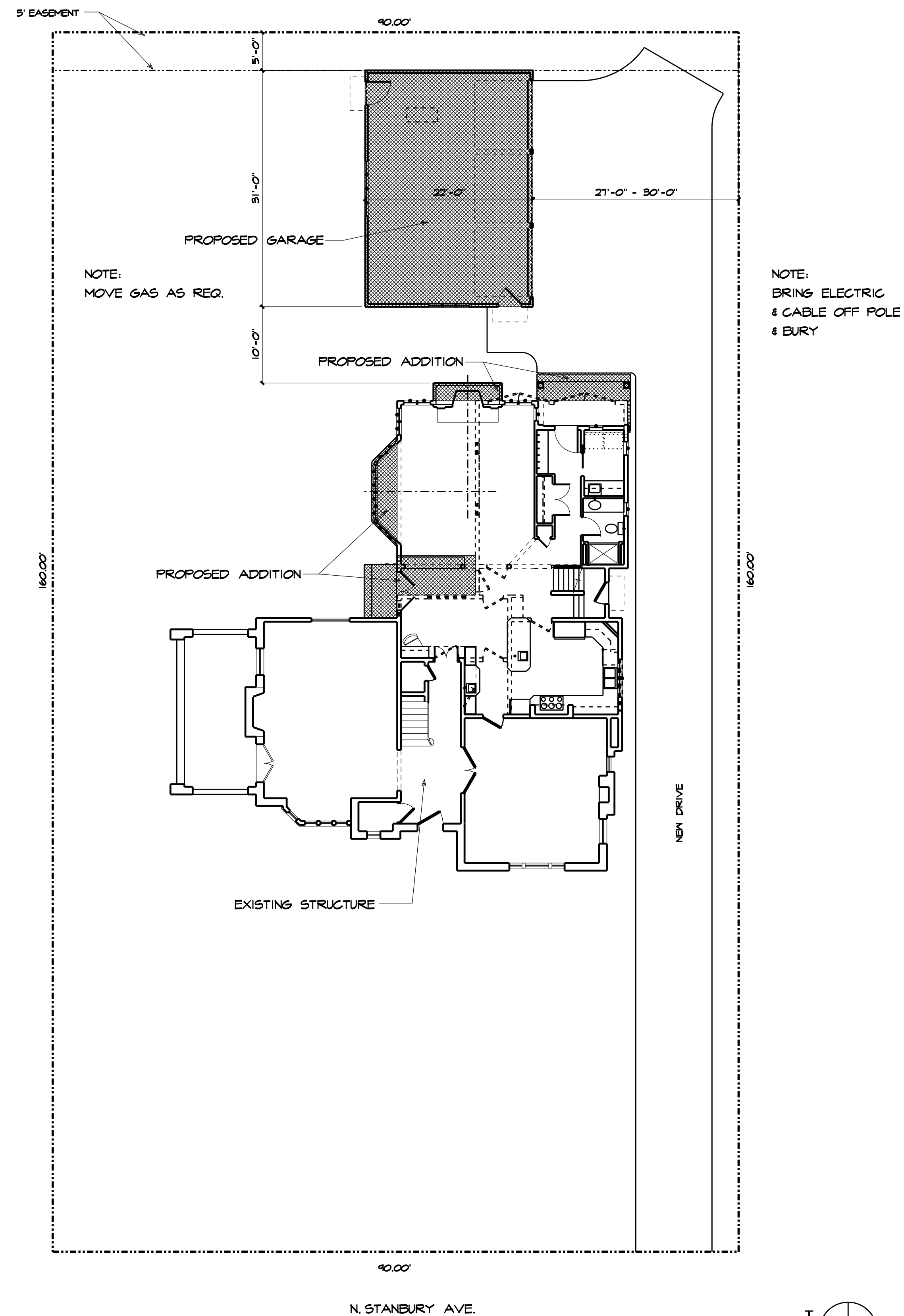
To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

**GENERAL NOTES**

1. DIMENSIONS: ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD AND ALL EXTERIOR DIMENSIONS ARE TO FACE OF SHEATHING, BLOCK, OR POURED WALL FOUNDATION, UNLESS NOTED OTHERWISE.
2. VERIFICATION: CONTRACTORS ARE TO VERIFY ALL DIMENSIONS, ELEVATIONS, AND EXISTING CONDITIONS PRIOR TO INITIATING CONSTRUCTION AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
3. SCALE DRAWINGS: DO NOT SCALE DRAWINGS TO DETERMINE DIMENSIONS. CONTACT THE ARCHITECT FOR DETERMINATION OF ANY ADDITIONAL DIMENSIONS REQUIRED.
4. CODE COMPLIANCE: ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE DRAWINGS ARE TO COMPLY WITH ALL APPLICABLE STATE AND LOCAL BUILDING CODES.
5. COORDINATION: IT IS THE RESPONSIBILITY OF EACH SUB-CONTRACTOR TO COORDINATE THEIR WORK WITH ALL OTHER TRADES.
6. MATERIALS: ALL MATERIALS USED ARE TO BE NEW, FIRST CLASS QUALITY BUILDING MATERIALS. STORE ALL MATERIALS IN SUCH A MANNER SO AS NOT TO OVER STRESS OR DAMAGE ANY STRUCTURE OR MATERIAL DURING CONSTRUCTION.
7. TYPICAL CONDITIONS: DETAILS ARE GENERALLY TYPICAL, AND ARE NOT ALWAYS LIMITED TO SPECIFIC AREAS SHOWN. REVIEW ANY QUESTIONS OR CONFLICTS WITH THE ARCHITECT PRIOR TO CONSTRUCTION.
8. MASONRY VENEERS: AIR SPACE BEHIND MASONRY VENEER IS TO BE KEPT CLEAN AND FREE OF DEBRIS TO ALLOW FOR PROPER DRAINAGE TO WEEP HOLES. USE FELT BUILDING PAPER OR WATERTIGHT WRAP BEHIND ALL MASONRY WALLS.
9. FLASHING: THE CONTRACTOR IS TO PROVIDE REQUIRED FLASHING AND TAKE PRECAUTIONS TO ENSURE THAT THE HOUSE WILL BE WATERTIGHT. ALL FLASHING IS TO BE LAPPED A MINIMUM OF 6" TO FORM A CONTINUOUS BARRIER AND SEALED WITH AN APPROVED MATERIAL. WHERE FLASHING IS NOT CONTINUOUS, SUCH AS OVER WINDOW SILLS, TURN ENDS OF FLASHING UP TO FORM A DAM.
10. BLOCKING: PROVIDE BLOCKING, AS REQUIRED, IN WALLS AND CEILINGS TO ANCHOR ALL WALL AND CEILING MOUNTED FIXTURES AND FIXTURES. VERIFY LOCATIONS W/ OWNER.
11. FLOORING TRANSITIONS: ALL DISSIMILAR FLOOR MATERIALS SHALL MEET UNDER THE CENTER OF THE DOOR LEAF UNLESS SHOWN OTHERWISE. PROVIDE SMOOTH AND EVEN TRANSITIONS BETWEEN FLOORING MATERIALS TO AVOID TRIP HAZARDS.
12. TREATED WOOD: ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY IS TO BE PRESSURE TREATED.
13. LIGHTNING PROTECTION: THE CONTRACTOR IS TO PROVIDE U.L. LABEL LIGHTNING PROTECTION SYSTEM AS REQUIRED BY LOCAL BUILDING CODES.
14. SUMP PUMP BACK-UP: THE CONTRACTOR IS TO PROVIDE AND INSTALL BATTERY BACKUP SYSTEM FOR SUMP PUMPS.
15. RADON: IT IS NOT THE RESPONSIBILITY OF SULLIVAN BRUCK ARCHITECTS TO ENSURE THAT RADON LEVELS WITHIN THE COMPLETED STRUCTURE DO NOT EXCEED THOSE LEVELS RECOMMENDED BY THE U.S. EPA.
16. SHOP DRAWINGS: THE CONTRACTOR IS TO SUBMIT FIVE (5) COPIES OF REQUESTED SHOP DRAWINGS TO THE ARCHITECT FOR DESIGN INTENT REVIEW AND APPROVAL. ALL SHOP DRAWINGS ARE TO BE REVIEWED BY THE CONTRACTOR PRIOR TO SUBMISSION.
17. SAFETY, STRUCTURAL SHORING AND BRACING: THE HOUSE IS DESIGNED TO BE STRUCTURALLY STABLE WHEN COMPLETE. IT IS THE GENERAL CONTRACTOR'S RESPONSIBILITY TO PROVIDE PROPER BRACING AND TEMPORARY SHORING WHERE REQUIRED DURING CONSTRUCTION AND TO PROVIDE A SAFE WORKING ENVIRONMENT DURING CONSTRUCTION.
18. TREE PROTECTION: PROTECT EXISTING TREES TO REMAIN W/ FENCING AT THE DRIPLINE AND APPLY 12" OF MULCH UNDER ENTIRE DRIPLINE OF TREE. DO NOT CUT TREE ROOTS WHILE TRENCHING FOR UTILITIES.
19. SMOKE DETECTORS: PROVIDE AND INSTALL HARD WIRED SMOKE DETECTORS WITH BATTERY BACK-UPS PER CABO CODE, AND AT EVERY LEVEL OF THE HOUSE, AND IN EACH BEDROOM.
20. FIREBLOCKING: FIREBLOCKING SHALL BE INSTALLED PER SECTION 602.8 ORC.



**Addition & Remodel**  
 124 Stanbury Ave. Bexley, OH 43209

5-14-04

7-6-04

Site Plan

C1-1

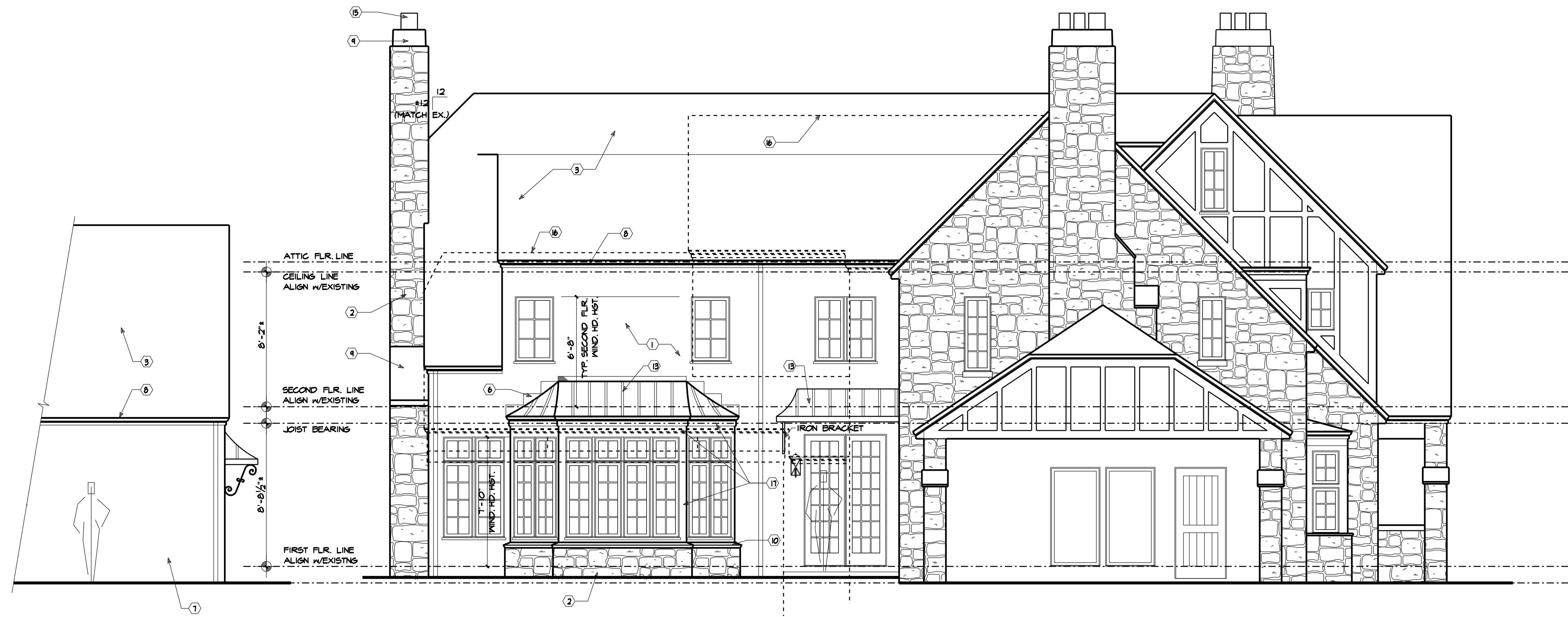
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A12  
NO SCALE

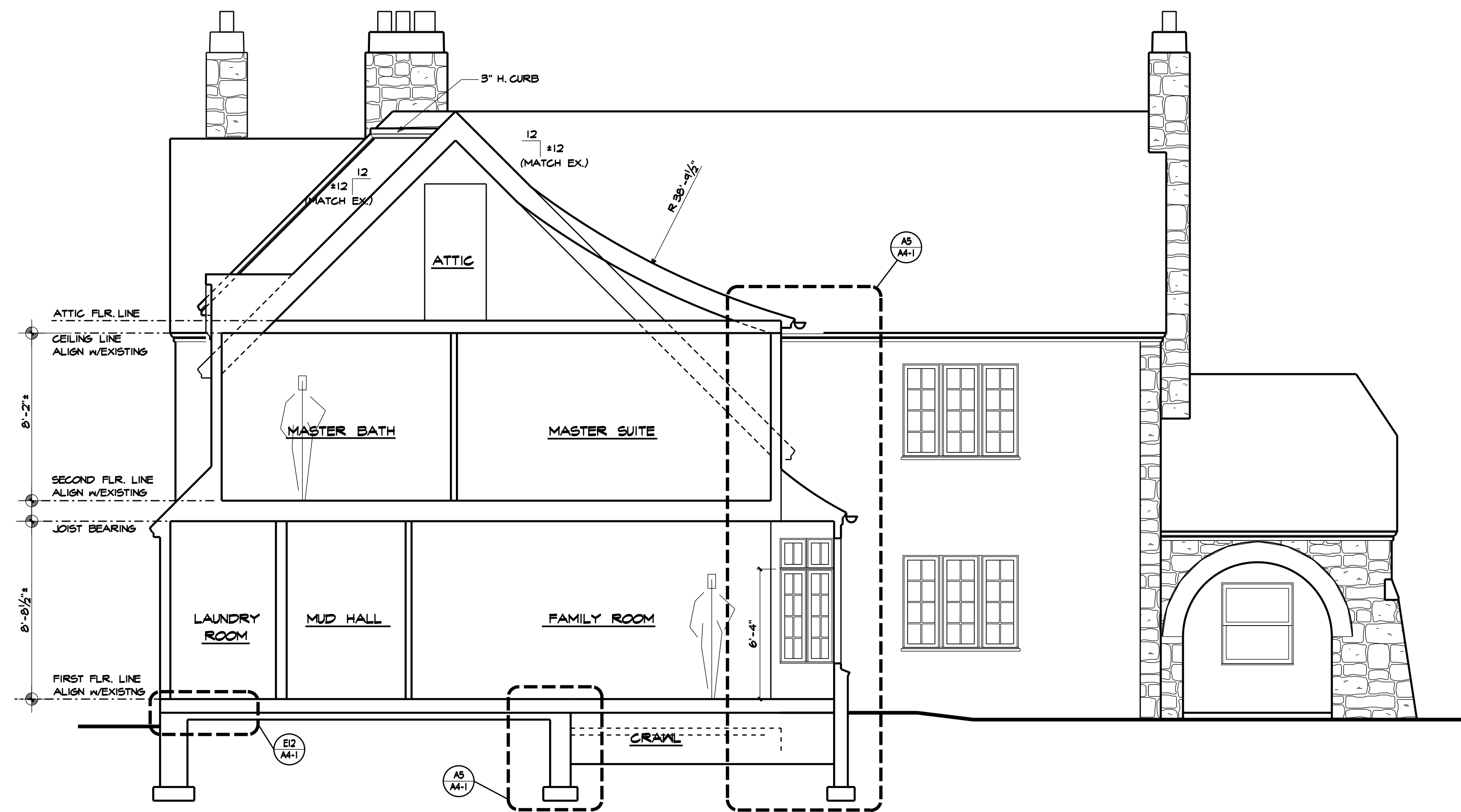
General Notes

A7  
1" = 10'-0"

Site Plan



**E12** Rear Elevation  
 1/4" = 1'-0"



**A12** Building Section  
 1/4" = 1'-0"

ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	STUCCO (MATCH EXISTING)
2	STONE (MATCH EXISTING)
3	40 YR. DIMENSIONAL SHINGLES
4	8"x8" TIMBER POST & BRACKETS
5	8" x 11, x8" H TIMBER BEAM
6	FLASHING
7	FLUSH O.H. DOOR W/ APPLIED CUST. TRIM
8	5/4x6 WOOD FASCIA W/ CROWN OVER
9	LIMESTONE COPING - FLASH
10	LIMESTONE SILL - BEVEL TOP FOR DRAINAGE
11	WOOD BOARD & BATTEN SIDING
12	HD. BRICK MOLD (MATCH EXISTING)
13	COPPER STANDING SEAM ROOFING
14	HALF-RND. PTD. METAL GUTTERS (W/ STRAP HANGERS) & D.S.
15	AUTHENTIC CHIMNEY POTS
16	EXISTING PROFILE
17	5/4x WOOD TRIM
18	EXTENDED SHINGLE MOLD OVER 5/4 X 6 WOOD RAKE
19	BLESTONE
20	IRON RAILINGS
21	INTERIOR PROFILE
22	3" H. CURB (FLASHING)
23	
24	
25	

5-18-04

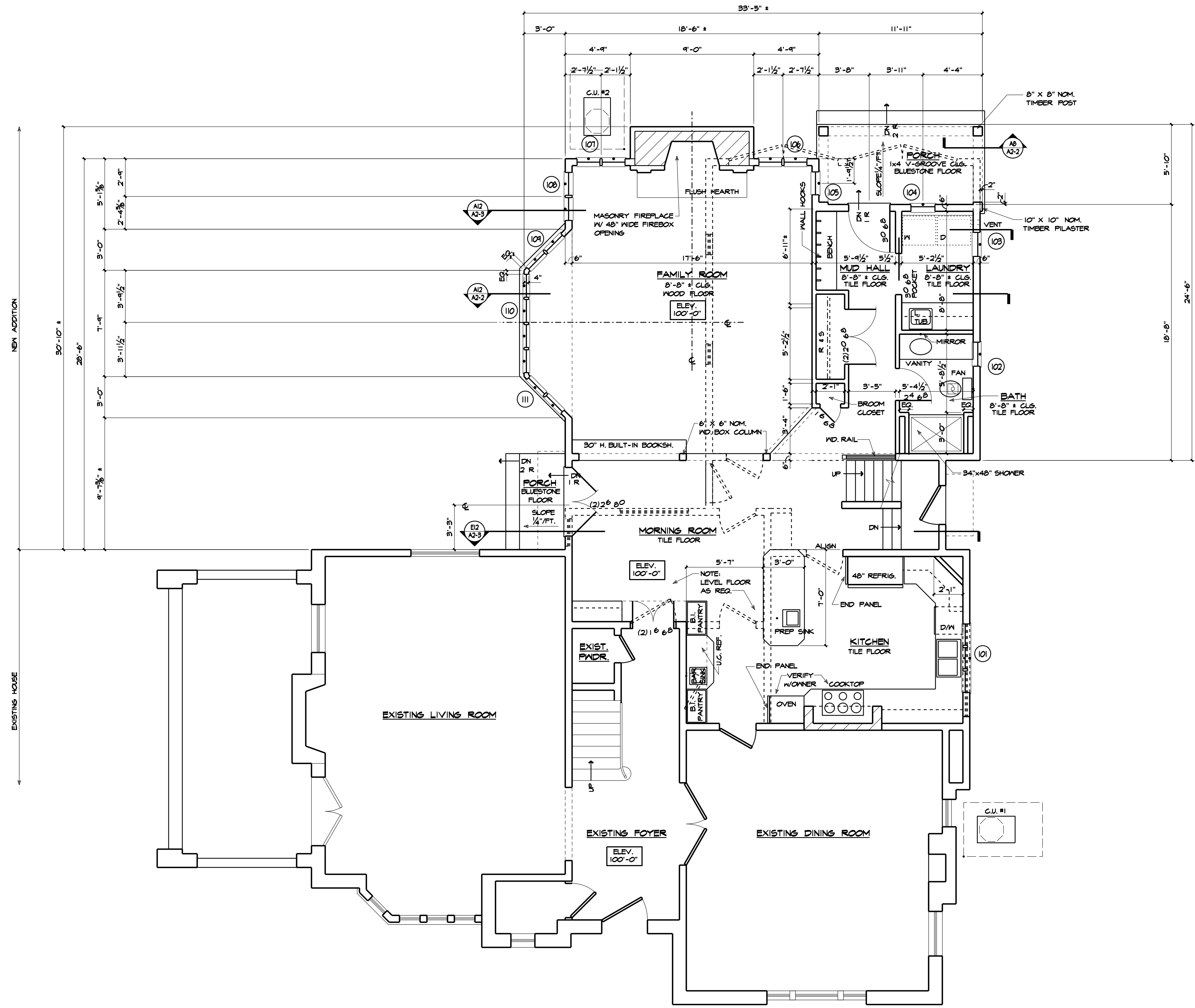
7-6-04

\* ALL NOTES MAY NOT APPLY TO THIS DRAWING.  
 NOTE: PROVIDE ATTIC VENTILATION AS REQUIRED BY LOCAL CODE.

**A12** Elevation Keynotes  
 NONE

**A2-2**  
 02523.00





Addition & Remodel

  
 124 Stanbery Ave., Bexley, OH 43209

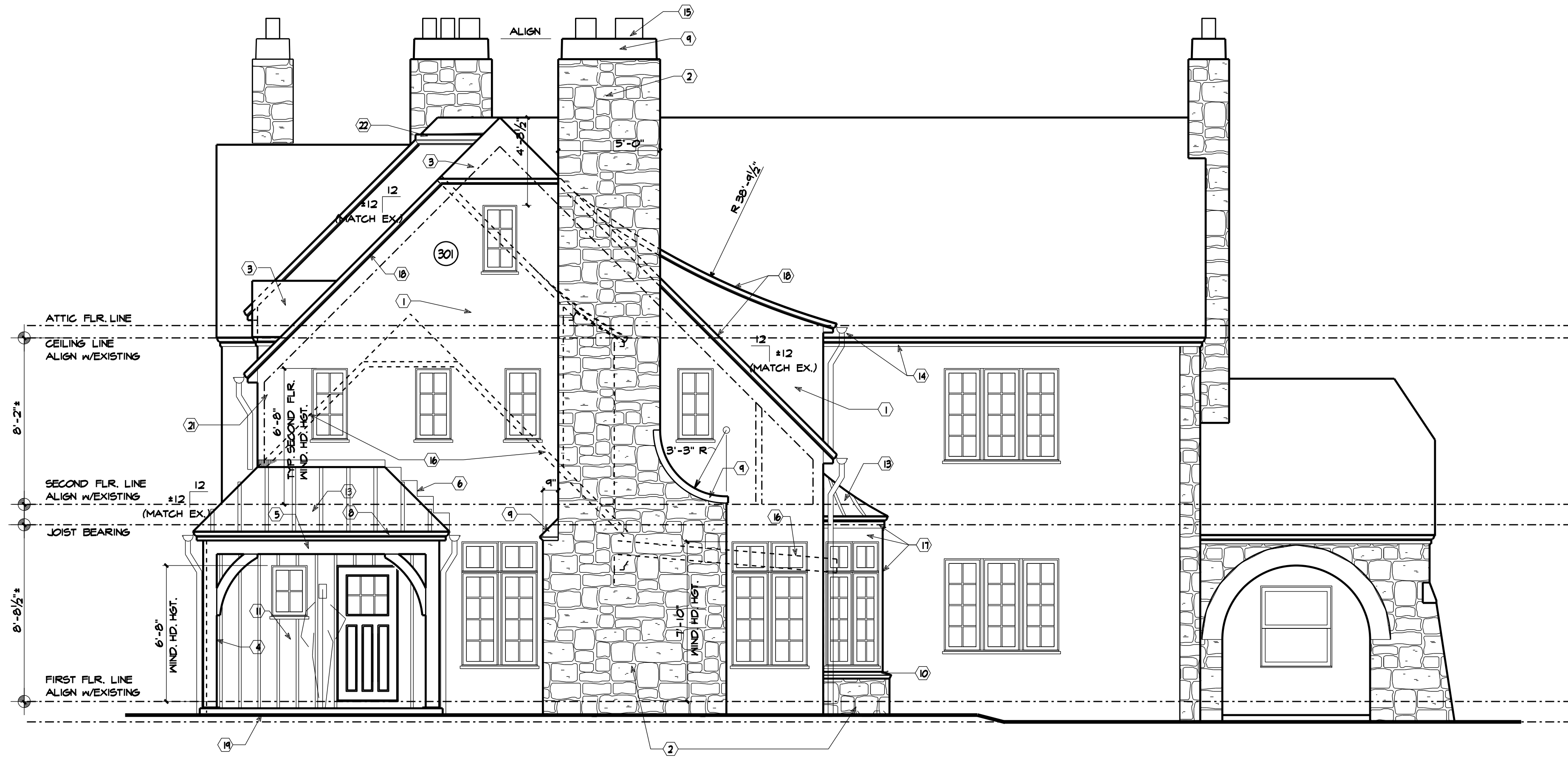
5-14-04  
 7-6-04

First Floor Plan

A12  
 1/4" = 1'-0"

First Floor Plan

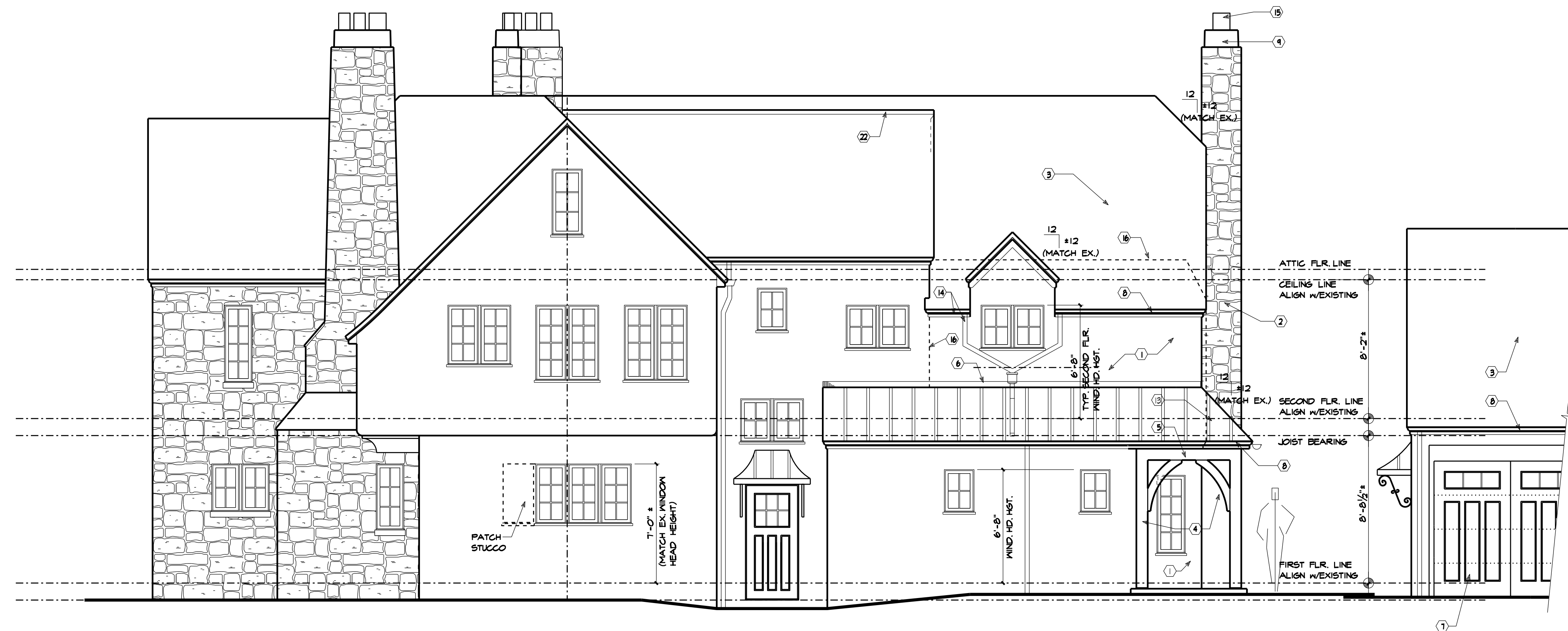
A1-2  
 09523.00



ELEVATION KEYNOTES	
MARK	DESCRIPTION
1	STUCCO (MATCH EXISTING)
2	STONE (MATCH EXISTING)
3	40 YR. DIMENSIONAL SHINGLES
4	8"x8" TIMBER POST & BRACKETS
5	8" W. x8" H TIMBER BEAM
6	FLASHING
7	FLUSH O.H. DOOR W/ APPLIED CUST. TRIM
8	5/4x6 WOOD FASCIA W/ CROWN OVER
9	LIMESTONE COPING - FLASH
10	LIMESTONE SILL - BEVEL TOP FOR DRAINAGE
11	WOOD BOARD & BATTEN SIDING
12	IND. BRICK MOLD (MATCH EXISTING)
13	COPPER STANDING SEAM ROOFING
14	HALF-RND. PTD. METAL GUTTERS (W/ STRAP HANGERS) & D.S.
15	AUTHENTIC CHIMNEY POTS
16	EXISTING PROFILE
17	5/4x WOOD TRIM
18	EXTENDED SHINGLE MOLD OVER 5/4 X 6 WOOD RAKE
19	BLUESTONE
20	IRON RAILING
21	INTERIOR PROFILE
22	3" H. CURB (FLASHING)
23	
24	
25	

\* ALL NOTES MAY NOT APPLY TO THIS DRAWING.  
NOTE: PROVIDE ATTIC VENTILATION AS REQUIRED BY LOCAL CODE.

E12	Rear Elevation	E4	Elevation Keynotes
1/4" = 1'-0"		NO SCALE	



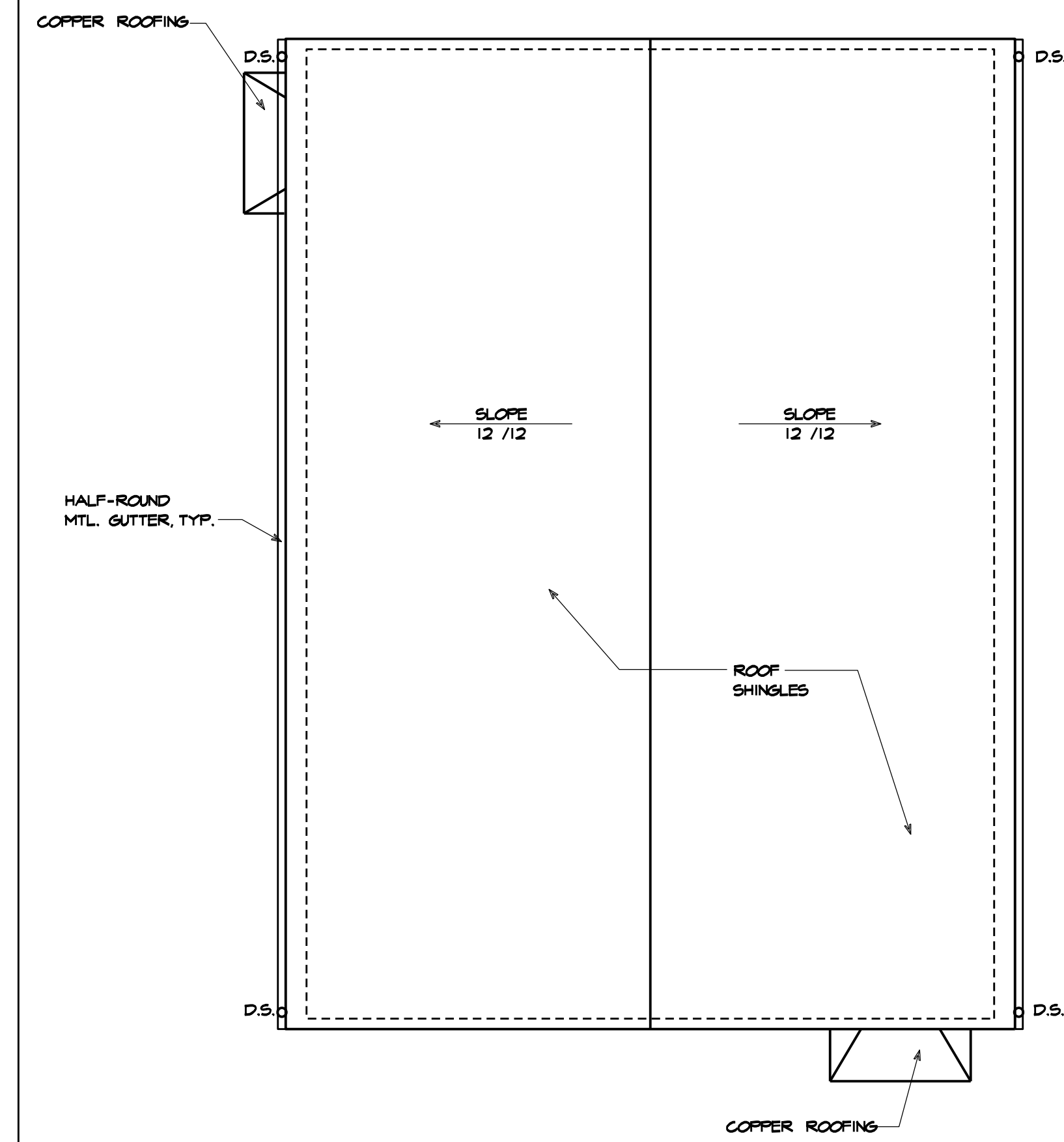
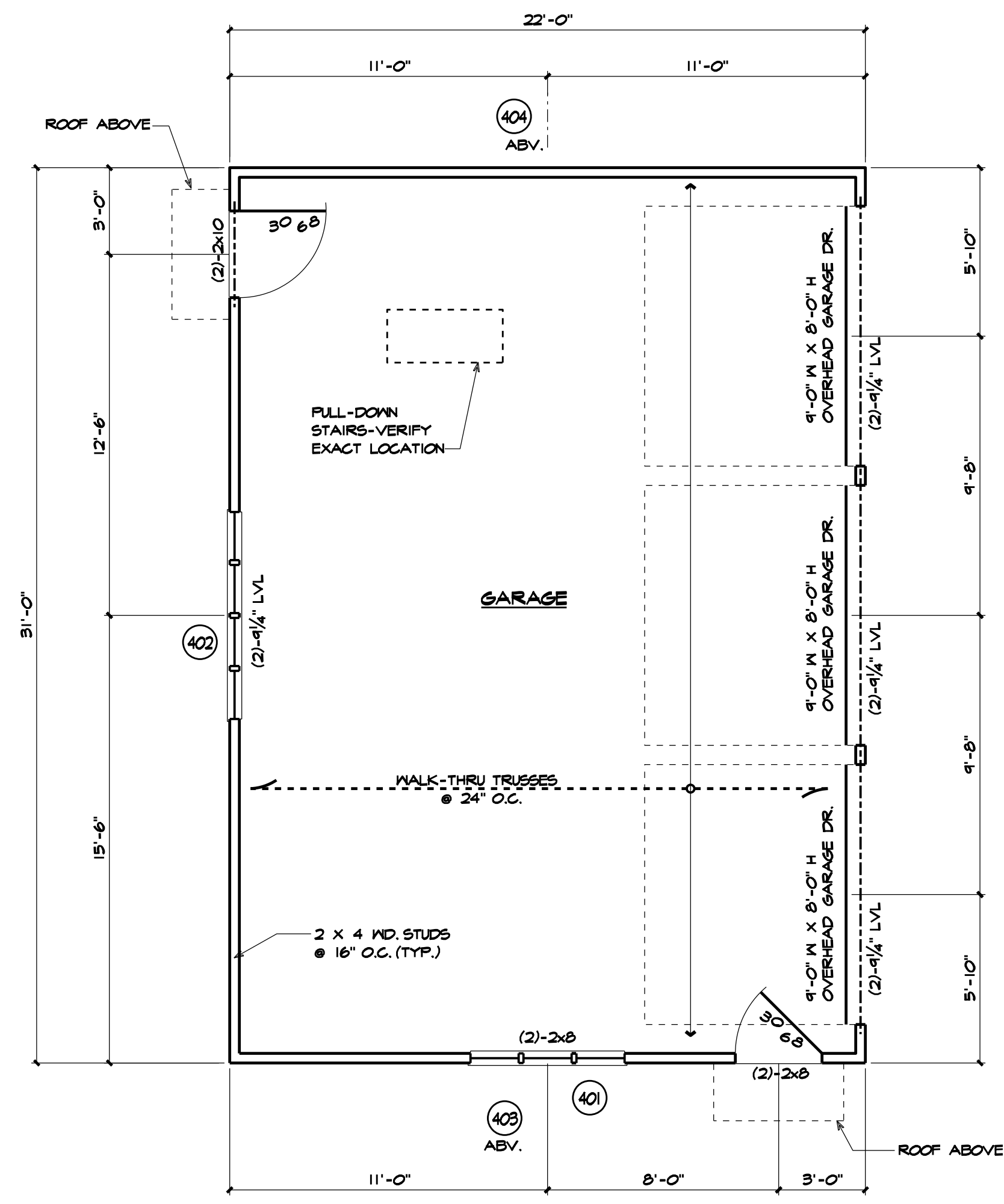
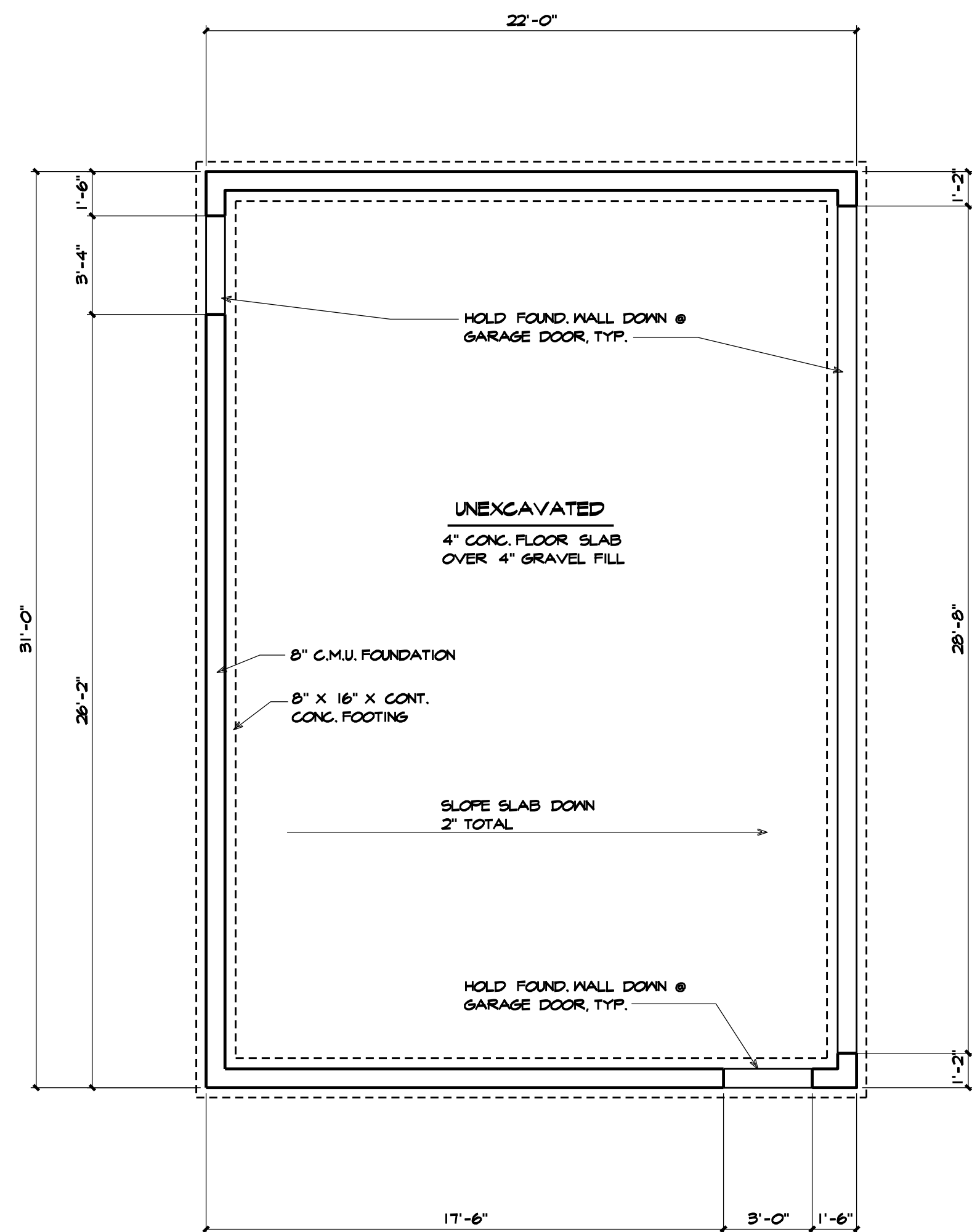
A12	Right Side Elevation		
1/4" = 1'-0"			

Addition & Remodel  
 124 Stanbery Ave. Bexley, OH 43209

5-14-04  
7-6-04

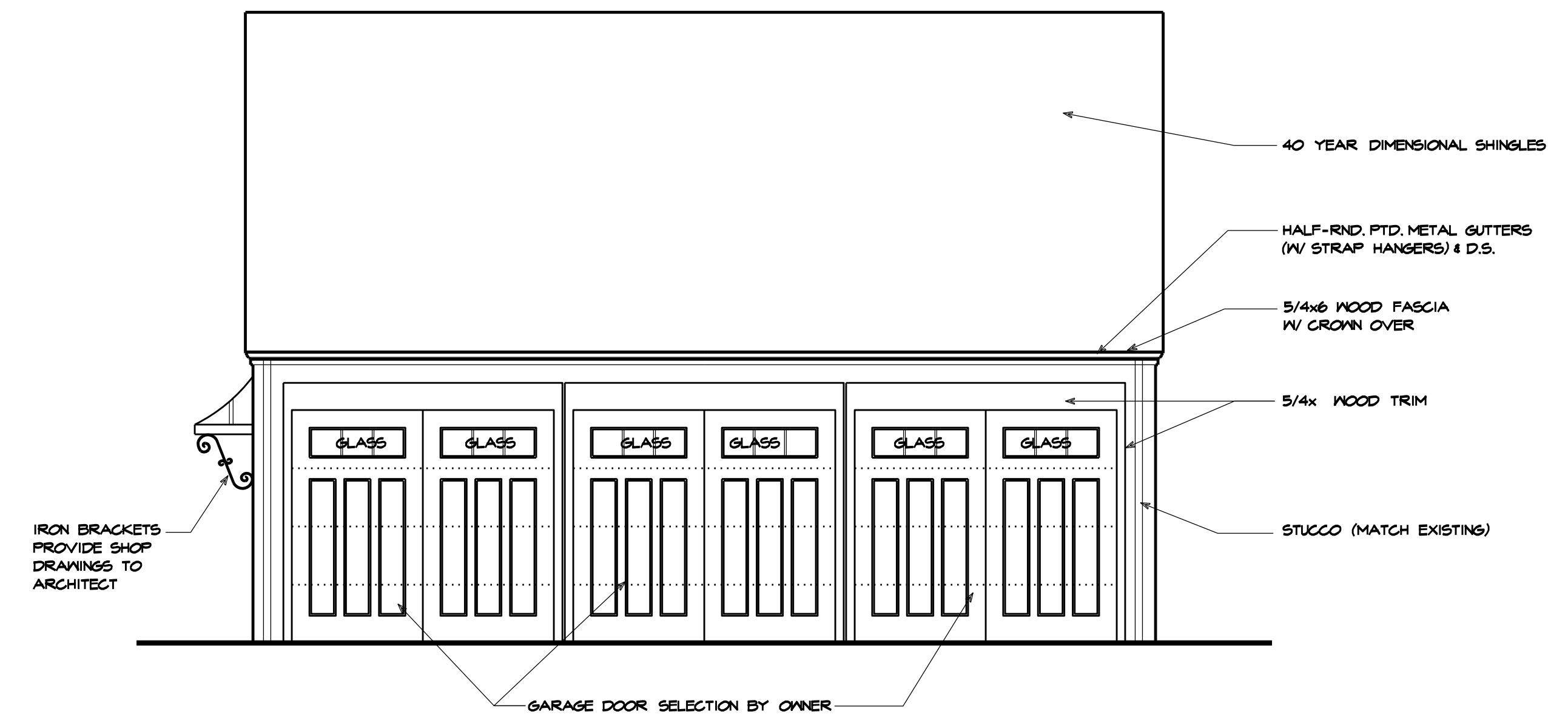
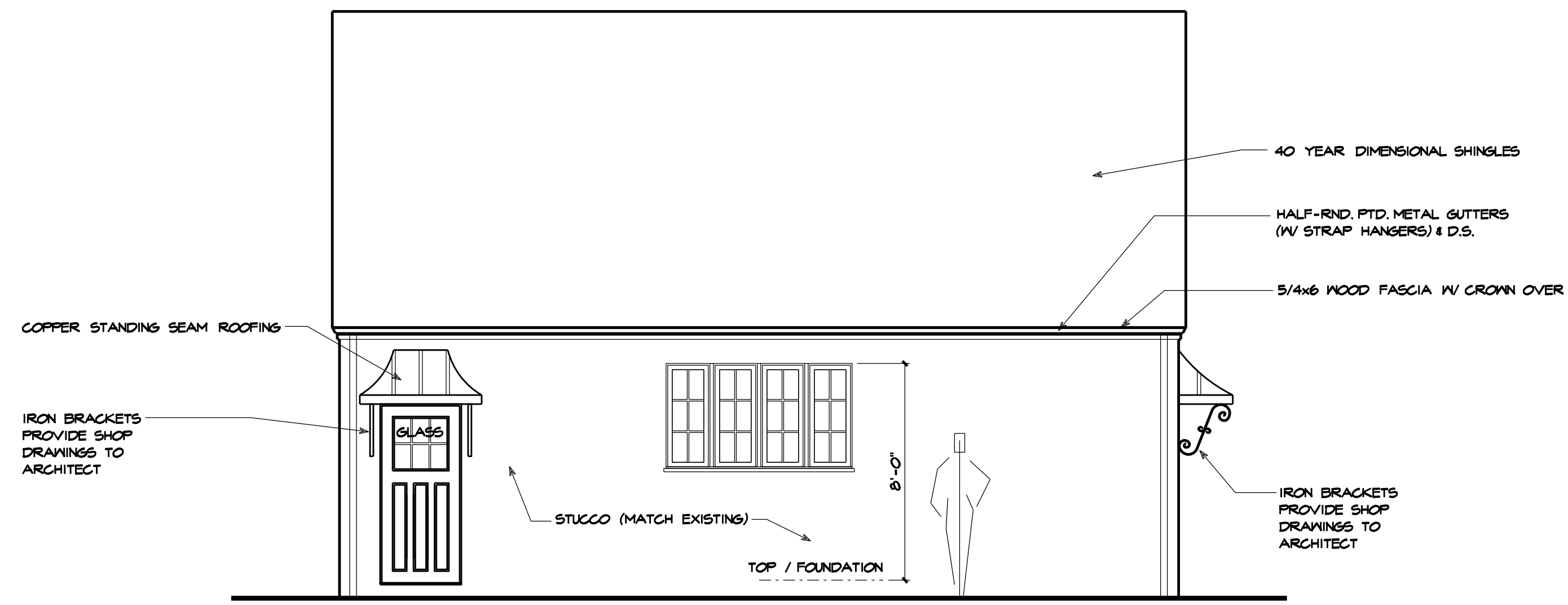
Elevations

A2-1  
09523.00

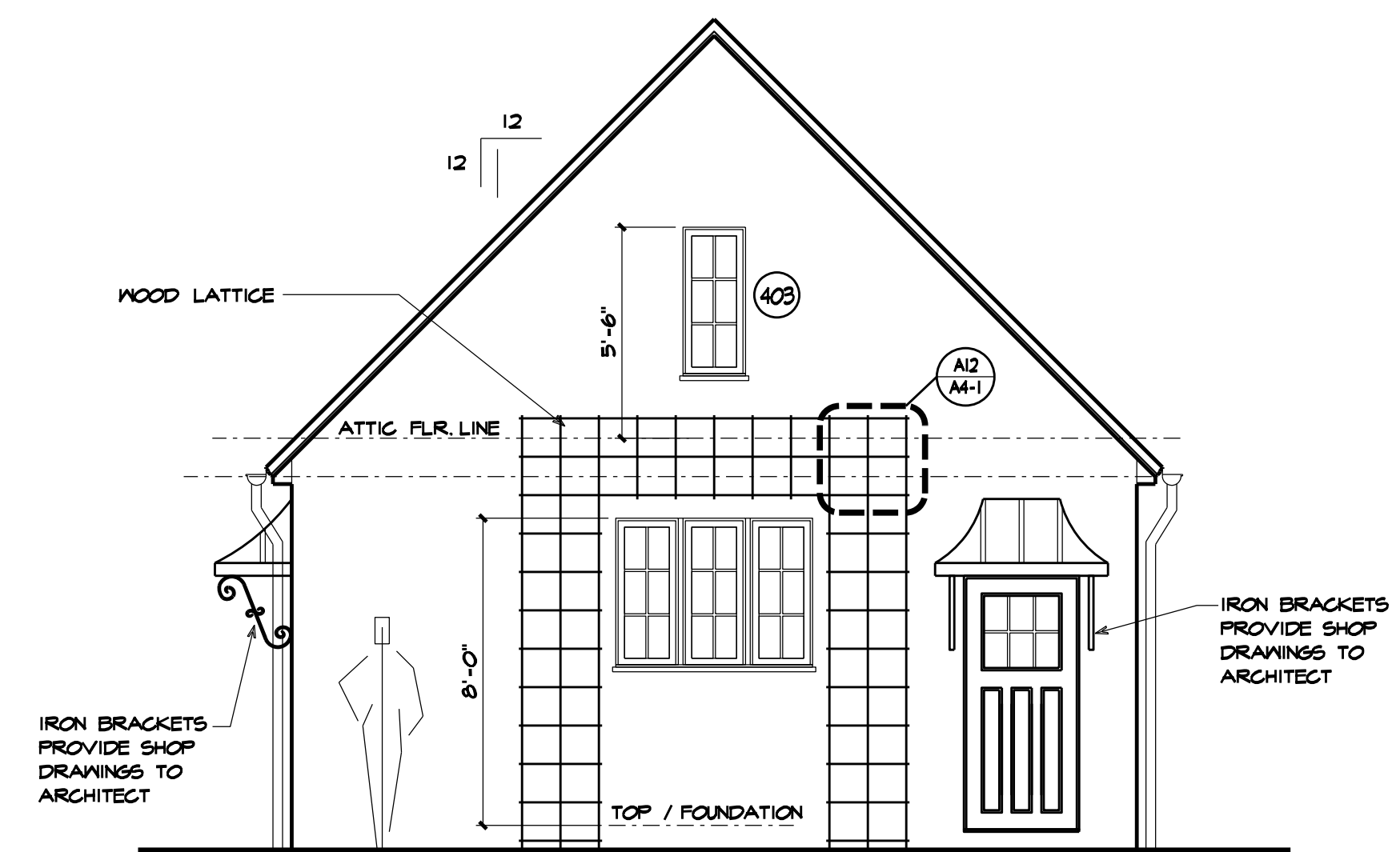
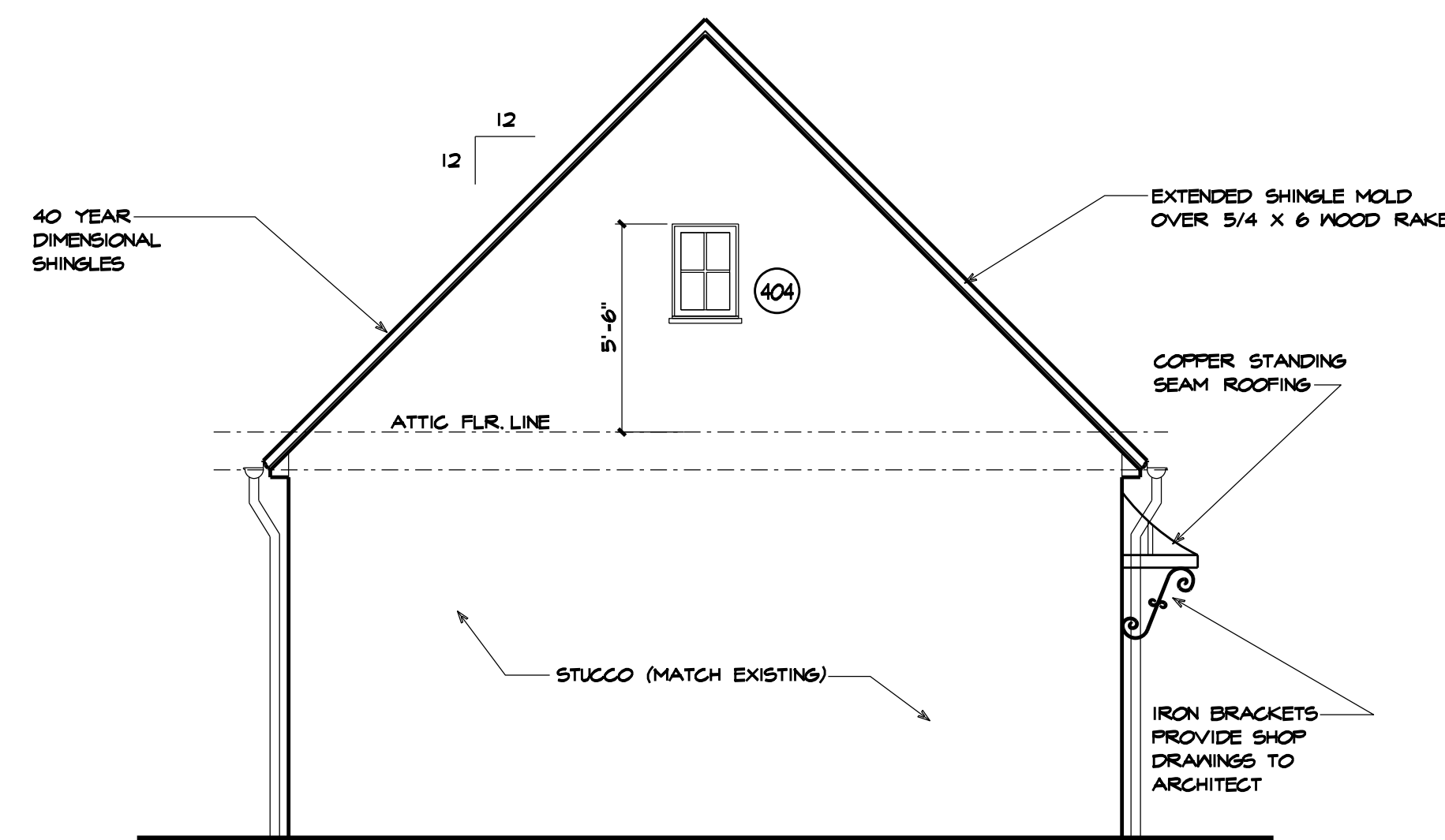
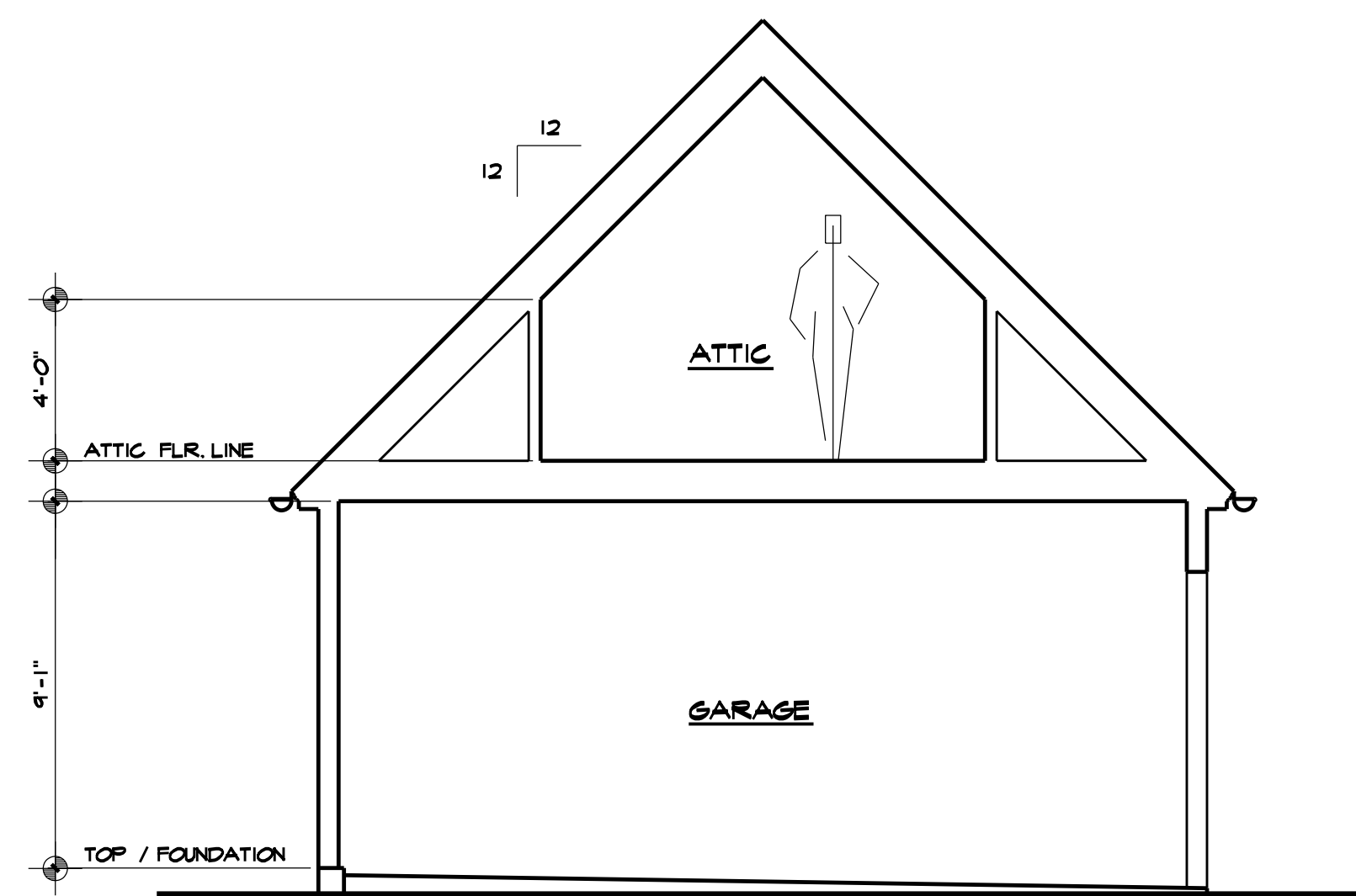


5-14-04  
 7-6-04

<p>A12  <small>1/4" = 1'-0"</small></p>	<p>Garage Foundation Plan</p>	<p>A8  <small>1/4" = 1'-0"</small></p>	<p>Garage First Floor Plan</p>	<p>A4  <small>1/4" = 1'-0"</small></p>	<p>Garage Roof Plan</p>
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E12	Left Side Elevation	E6	Right Side Elevation
1/4" = 1'-0"		1/4" = 1'-0"	



A12	Building Section	A8	Rear Elevation	A4	Front Elevation
1/4" = 1'-0"		1/4" = 1'-0"		1/4" = 1'-0"	

5-14-04

7-6-04