



PUBLIC NOTICE  
CITY OF BEXLEY  
ARCHITECTURAL REVIEW BOARD and/or  
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, October 11, 2018 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street.

The Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, October 25th, 2018 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio, at which the applicant will request a Special Permit, Conditional Use, or Variance from the requirements of the Bexley Zoning Code.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. It is a rule of the Board to withdraw an application when a representative is not present.

- a. Application No.: 18- 026 Z  
Applicant: Darryl Rogers – Rogers Krajnak Architects, Inc.  
Owner: Darius Kandawalla  
Location: 292 N. Drexel Ave.  
**ARB Request:** The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning for a two-story, three bay garage addition on the north side of the principal structure, a new open front porch which will replace the existing in a slightly different location, and a trellis on the south side of the principal structure, to replace an existing awning.

**BZAP Request:** The applicant is seeking architectural review and approval of a two-story garage addition to the north side of the principal structure, and remodel of the north and west facades. The applicant is also seeking an 11' variance from Bexley Code Section 1252.09 (R-2), which requires a 15' setback from the side property line for a principal structure, to allow the proposed trellis addition to be constructed 6' from the south side property line.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240. Mailed by: 9-27-2018

09.13.18

City of Bexley  
Architectural Review Board  
2242 East Main Street  
Bexley, Ohio 43209

Re: Architectural Review Hearing 10.11.18  
292 N. Drexel Ave. – Addition and Renovation

To Whom It May Concern:

I am writing you this letter to inform you that Darryl Rogers of Rogers Krajnak Architects, Inc. has my permission to be the applicant for our submission of documents for approval of Architectural Review for the above referenced project. Thank you for your consideration of our project.

Sincerely,

A handwritten signature in black ink, appearing to read "Darius Kandawalla", with a long, sweeping flourish extending to the right.

Darius Kandawalla, Owner

## Application Cover Sheet: Basic Project Information & Certification

### Purpose of Application (check all that apply):

- Architectural Review    Conditional Use    Demolition    Planned Unit Dev.    Rezoning    Landscape Review    Special Permit

### Property & Project Information:

Property Address:

Brief Project Description:

### Applicant Information:

Applicant Name:

Applicant Address:  ,  ,

Applicant Email & Phone:

### Property Owner Information:

Owner Name:

Owner Address:  ,  ,

Owner Email & Phone:

### Attorney/Agent Information:

Agent Name:

Agent Address:  ,  ,

Agent Email & Phone:

- Completed Worksheets:**    Project Worksheet (Sheet A)    Architectural Review (Sheet B)    Tree Commission (Sheet D)

### Signatures:

The attached application package is complete and accurate to the best of my knowledge. I understand that the City staff review of this application is dependent upon the accuracy of the information provided and that any inaccurate or inadequate information provided by me/my firm/etc. may delay review.

Applicant Signature:  Date:

Owner Signature:  Date:

Agent Signature:  Date:

**Internal Use:**

Application #:    Board Referrals:    ARB    BZAP    City Council    Tree Commission

Staff Signature:    Date:

## Application Cover Sheet: Review Fee Worksheet

Estimated Valuation of Project: \$

### Minor Architectural Review (Ex. Roof, window, siding)

Based upon the valuation of the project:

- \$50.00 for 1st \$10,000 valuation	\$ <input type="text" value="0"/>
- \$5.00 for each additional \$10,000 valuation.	\$ <input type="text" value="0"/>

### Major Architectural Review (Ex. New Construction, Additions, Garages, Decks, Pergola)

Based upon the valuation of the project:

- \$90.00 for the 1st \$10,000 valuation	\$ <input type="text" value="90"/>
- \$5.00 for each additional \$10,000 valuation	\$ <input type="text" value="245"/>
- \$600.00 cap	\$ <input type="text" value="0"/>
- \$50.00 resubmittal fee	\$ <input type="text" value="0"/>

### Variance Review

Single Family:	\$100.00	\$ <input type="text" value="100"/>
Commercial Property:	\$100.00	\$ <input type="text" value="0"/>
Fences or Special Permits:	\$65.00	\$ <input type="text" value="0"/>
All others:	\$90.00	\$ <input type="text" value="0"/>

### Zoning Fees

Rezoning:	- \$250.00 up to 1 acre site	\$ <input type="text" value="0"/>
	- \$60.00 for each additional acre (or part thereof)	\$ <input type="text" value="0"/>
Requests for amendment to PUD Plans:	\$300.00	\$ <input type="text" value="0"/>
Split of lot or existing parcel:	\$250.00	\$ <input type="text" value="0"/>
Replatting or new plat:	\$250.00	\$ <input type="text" value="0"/>

### Sign Review and Architectural Review for Commercial Properties

Project Value	Fee	
\$0 to \$5,000	\$100.00	\$ <input type="text" value="0"/>
\$5,001 to \$25,000	\$200.00	\$ <input type="text" value="0"/>
\$25,001 to \$75,000	\$250.00	\$ <input type="text" value="0"/>
\$75,001 to \$200,000	\$600.00	\$ <input type="text" value="0"/>
\$200,001 to \$750,000	\$1,000.00	\$ <input type="text" value="0"/>
Over \$750,000	\$350.00	\$ <input type="text" value="0"/>
Fences and walls:	\$65.00	\$ <input type="text" value="0"/>
Special Permit, Conditional Uses and All others:	\$90.00	\$ <input type="text" value="0"/>
Re-submittal Fee:	\$50.00	\$ <input type="text" value="0"/>

### Appeals

Appeal of ARB decision to BZAP:	\$50.00	\$ <input type="text" value="0"/>
Appeal of BZAP decision to City Council:	\$250.00	\$ <input type="text" value="0"/>

**Fee Total:** \$

## Project Worksheet

Residential       Commercial

Property Address:

Zoning District:

R-1 (25% Building & 40% Overall)       R-6 (35% Building & 60% Overall)  
 R-2 (25% Building & 50% Overall)       R-12 (35% Building & 70% Overall)  
 R-3 (25% Building & 50% Overall)       Other:

*\* Overall coverage includes hardscape*

Lot Info:      Width (ft.):       Depth (ft.):       Total Area (SF):

**Primary Structure Info:**  
 Existing Footprint (SF):   
 Proposed Addition (SF):   
 Removing (SF):       (Type of Structure):   
 Proposed new primary structure or residence (SF):   
 Total Square Footage:       **14%**

**Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, etc):**  
 Existing Footprint (SF):       New Structure Type:   
 Proposed Addition (SF):       Ridge Height:   
 Proposed New Structure (SF):       Is there a 2nd floor?     Yes     No  
 Total of all garage and accessory structures (SF):       2nd Floor SF:   
 Total building lot coverage (SF):       =  % of lot  
 Is this replacing an existing garage and/or accessory structure?     Yes     No

**Hardscape:**      Existing Driveway (SF):       Existing Patio (SF):       Existing Private Sidewalk (SF):   
 Proposed Additional Hardscape (SF):   
 Total Hardscape (SF):

Totals:      Total overall lot coverage (SF):  =  % of lot

Applicant Initial:

**Internal Use:**      Staff Review Date:        Meets Zoning       ARB Only       Variance or Modifications Needed  
 Staff Comments:       Staff Initial:

## Architectural Review Worksheet

Design changes involving window, siding, roof replacement projects, detached garages, accessory structure, and deck construction may be reviewed and approved by the Design Consultant and/or Zoning officer, if it meets all zoning code requirements and maintenance improvements conforming to the "SPECIFIC STANDARDS" in the Residential Review District Residential Design Guidelines. It may be directed to the Architectural Review Board or Board of Zoning and Planning for review and/or approval, if required by staff. Design approval is required in order to obtain a Building Permit. Work performed prior to an approval is subject to triple fees.

Please provide photos of the existing structure with this form

Please indicate the existing materials and the proposed changes of exterior materials to be used in the completion of your design project. Check all that apply in each category below:

Roofing     House or Principal Structure     Garage Only     House & Garage

Existing Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
                                   Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Roof Type:     Slate     Clay Tile     Wood Shake     Std. 3-tab Asphalt Shingle  
                                   Arch. Dimensional Shingles     EPDM Rubber     TPO Rubber     Metal

New Shingle Manufacturer:   

New Roof Style & Color:   

Windows     House or Principal Structure     Garage Only     House & Garage

Existing Window Type:     Casement     Fixed     Exterior Storm     Other:   
                                   Double Hung     Awning     Horizontal Sliding

Existing Window Materials:     Aluminum Clad Wood     Wood     Metal  
                                   Vinyl Clad Wood     Aluminum     Other:

New Window Manufacturer:   

New Window Style/Mat./Color:   

Doors     House or Principal Structure     Garage Only     House & Garage

Existing Entrance Door Type:     Wood     Insulated Metal     Fiberglass     Sidelights     Transom Windows

Existing Garage Door Type:     Wood     Insulated Metal     Fiberglass

Door Finish:     Stained     Painted

Proposed Door Type:        Style:     Color:

Exterior Trim

Existing Door Trim:     Cedar     Redwood     Pine     Std. Lumber Profile  
                                   Wood Composite     Aluminum Clad     Molding     Vinyl     Other:

Proposed New Door Trim:   

Existing Window Trim:     Wood     Redwood     Pine     Std. Lumber Profile  
                                   Vinyl     Other:

Proposed New Window Trim:        Trim Color(s):

Do the Proposed Changes Affect the Overhangs?     Yes     No

**Architectural Review Worksheet (Continued)**

**Exterior Wall Finishes**

Existing	Proposed	Type:	Manufacturer, Style, Color:
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Natural Stone	To Match Existing
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Cultured Stone	To Match Existing
<input type="checkbox"/>	<input type="checkbox"/>	Brick	
<input type="checkbox"/>	<input type="checkbox"/>	Mortar	
<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Stucco	To Match Existing
<input type="checkbox"/>	<input type="checkbox"/>	Wood Shingle	
<input type="checkbox"/>	<input type="checkbox"/>	Wood Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Vinyl Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Aluminum Siding	
<input type="checkbox"/>	<input type="checkbox"/>	Other	

**Staff Confirmation (to be completed by Residential Design Consultant:**

Date of Review:

Approved By:

To be reviewed by ARB on:

Conditions/Stipulations:

Staff Initials:

## Variance Worksheet

Variance requests will be heard by the Bexley Board of Zoning and Planning. Variance requests are based upon a legal determination of whether the request meets the variance criteria specified by Bexley City Code.

Variance criteria are outlined below in question format. Please provide your narrative response to the variance questions.

### Description of the Proposed Variance

Please provide a thorough description of the variance being sought, and the reason why.

Two Variance requests are being sought for this project. Both variance requests are being requested to improve the architectural appearance of the home.

1. The West Side Front Yard Setback is encroached by the existing building and the existing porch. The New Front Porch will also encroach more than 10'-0" into the setback, though approximately 5' less than the existing porch, so it will improve the existing non-conformity.
2. The South Side Side Yard Setback will be encroached by the new Trellis to replace the existing canvas awning. The New Trellis will improve the aesthetic of the existing. Furthermore, the close property line and setback on the South boundary are the result of a property split that has unfairly narrowed the side yard of the property, creating a hardship.

### Variance Question 1

Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

Yes, properties in this area and price range have well designed porches and landscaping, meaning this property will need similar features to match value. While this existing property has very basic versions of these, the quality of the existing front porch and side yard canvas awning could be much farther improved to better fit the area, which this project will achieve.

### Variance Question 2

Is the variance substantial? Please describe.

No, the fact that our variance requests are required only for elements that we are replacing or improving means that the variance requests are only to improve the architectural quality of the existing home, and as such, the variance is not a major change from the existing.

### Variance Question 3

Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

No, the existing character of the property will be improved. Furthermore, the variance requests are only required for parts of the project that will substantially improve the style and value of the property, therefore bringing the property into better conformity with the nearby context.



## Variance Worksheet (Continued)

Variance requests will be heard by the Bexley Board of Zoning and Planning. Variances are based upon a legal determination of whether the request meets the variance criteria specified by Bexley City Code.

Variance criteria are outlined below in question format. Please provide your narrative response to the variance questions.

### Variance Question 4

Would the variance adversely affect the delivery of governmental services (e.g., water, sewer, garbage)? Please describe.

No, There are no changes to government services as part of the project scope.

### Variance Question 5

Did the property owner purchase the property with knowledge of the zoning restriction? Please describe.

No, the property owner approached Rogers Krajnak Architects to provide architectural services and create schematic design options to improve the house. During the course of our existing conditions documentation, these non-conformities were discovered.

### Variance Question 6

Can the property owner's predicament feasibly be obviated through some method other than a variance? Please describe.

No, The front Porch can only be located at the West side of the house to still be functional and proper to the area. The South Patio Trellis can only be located at that location to achieve a comfortable covered patio at that location with the existing 3 sets of french doors that open up to it.


### Variance Question 7

Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

Yes, while the boundaries are encroached by the new project scope, the new Porch and South Patio Trellis will be further in character with the existing house, and will not unduly impact the street, neighbors, or property values. The New Front Porch will improve the existing non-conforming condition at the Front Yard Setback. The Heavy landscaping at the North Side of the property immediately adjacent to the South of this property allows for an existing awning to be located while screened and not impacting the neighbor's right to light or space, and the New Trellis will visually improve this existing non-conforming condition.



Vicinity Map  
N.T.S.



<b>The Kandawalla / Bachmann Residence</b>		
292 N Drexel Avenue, Bexley, Ohio 43209		
 <b>ROGERS KRAJNAK</b> ARCHITECTS, INC.	264 South Third Street Columbus, Ohio 43215	<b>09.13.18</b> ARB / BZA Submission
	telephone (614) 461.0243 facsimile (614) 461.6243 www.rogerskrajnak.com	RKA Project # 18006.00



Photos of Existing West Side of Residence



Photos of Existing North Side of Residence



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Photos of Existing East Side of Residence



Photos of Existing South Side of Residence

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## PRELIMINARY ZONING MEMORANDUM

Date: 07.09.18, **Revised 08.13.18**

To: Darius Kandawalla and Laurette Bachman  
292 N. Drexel Avenue  
Bexley, OH 43209

Re: The Kandawalla-Bachman Residence  
RKA Project Number 18006.00

Prepared By: Tim Shamblin

Note: All information pertaining to current (existing) conditions is approximate and based on information from a mortgage survey prepared by Myers Surveying Company dated 06/08/2016, information from Franklin County Auditor, City of Bexley maps, and a conversation with Kathy Rose, City of Bexley Zoning Officer, on 07.09.18. The Owner must provide a site survey, prepared by a State of Ohio professional surveyor, to verify the exact existing conditions. After a survey is created, this document will be re-evaluated and revised as required.

- *City of Bexley Zoning District: R-2, Intermediate*
- *Minimum lot requirements: 24,000 sq.ft*  
*Minimum 120' width*  
*Minimum 200' depth*  
**Current Lot Area: 34,299 sq.ft., OK**  
**Current Lot Width: 131'-3", OK**  
**Current Lot Depth: 260'-0" OK**
- *Maximum lot coverage (Building): 25% (8574.8 sq.ft.) – Includes principal structure and accessory structures.*  
**Current Lot Coverage (Building): 11.8% (4,058.7 sq.ft.), OK.**  
**Potential Additional Building Coverage: 13.2% (4,516.1 sq.ft.)**  
**Proposed New Total Building Coverage: 14.6% (5,004.0 sq.ft.), OK**
- *Maximum lot coverage (Overall): 40% (13,719.6 sq.ft.) – Includes Maximum Lot Coverage (Building) plus the ground area of all swimming pools, patios, driveways, sidewalks, required off-street parking and loading spaces to the horizontally projected area of the lot.*  
**Current Lot Coverage (Overall): 36.6% (12,546.8 sq.ft.), OK**  
**Potential Additional Lot Coverage: 3.4% (1,172.8 sq.ft.)**  
**Proposed New Total Lot Coverage: 34.4% (11,792.6 sq.ft.), OK**

- *Minimum Yard Requirements:*
  - *front: 30 feet or average existing dwelling setback, whichever is greater. Average dwelling setback is average setback of 3 houses on either side of residence.*
    - *(1252.11) (c): Unenclosed porches may extend ten feet into the required front yard. If uncovered, a deck may extend four feet into a required side or rear yard.*
      - Current Average Dwelling Front Setback: +/- 88'-3"
      - Current Front Setback to Residence: +/-79'-10", existing nonconforming condition
      - Current Porch Encroaches into Front Yard: +/-22'-1", existing nonconforming condition
      - Proposed Front Setback to Residence: +/-79'-10", existing nonconforming condition
    - *side: 15 feet*
      - Required North Side Setback: 15'-0"
      - Current North Side Setback: +/-18'-11", OK
      - Required South Side Setback: 15'-0"
      - Current South Side Setback: +/-16'-10" for residence, OK  
 +/-7'-6" for awning, existing nonconforming condition
      - Proposed North Side Setback: 15'-1", OK
      - Proposed South Side Setback: 6'-2", new nonconforming condition, Variance required
    - *rear: 50 feet*
      - Required Rear Setback: 50'-0"
      - Current Rear Setback: 80'-4", OK
- *Maximum mean height of ridge and eave on principal building is not to exceed 2 ½ stories and 40 feet in height.*
- *Per 1230.15 "Building height" means the vertical distance measured from the average grade of the ground at the front of the building (before construction) to the highest point of the roof for flat roofs, to the mean height between eaves and ridge for gable, hip and gambrel roofs*
  - Current Building Height: +/- 27'-9" (2 ½ stories) OK
- *Pool Requirements*
  - *A private swimming pool shall be permitted as an accessory use to any permitted residential use provided it meets the requirements of Chapter 1464 of the Building and Housing Code.*
    - Pool enclosed with fence greater than 4' tall and less than 6' tall:
      - Enclosed by Fence and Building: Yes, OK
      - Wood / Metal Yard Fence Height: +/- 72", OK
      - Rear Yard Stone Wall Height: +/- 76", existing nonconforming condition
    - Pool is greater than 5' within building setback lines:
      - No, Existing encroachment

*Maximum Fence Height Requirements:*

- No fence, wall or combination thereof shall exceed seventy-two inches in height as measured from the average grade of that portion of the lot in the rear or side yard. No side yard fence shall extend beyond the front set-back line or the existing front building façade, whichever is greater. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included within the seventy-two inch maximum height restriction.*

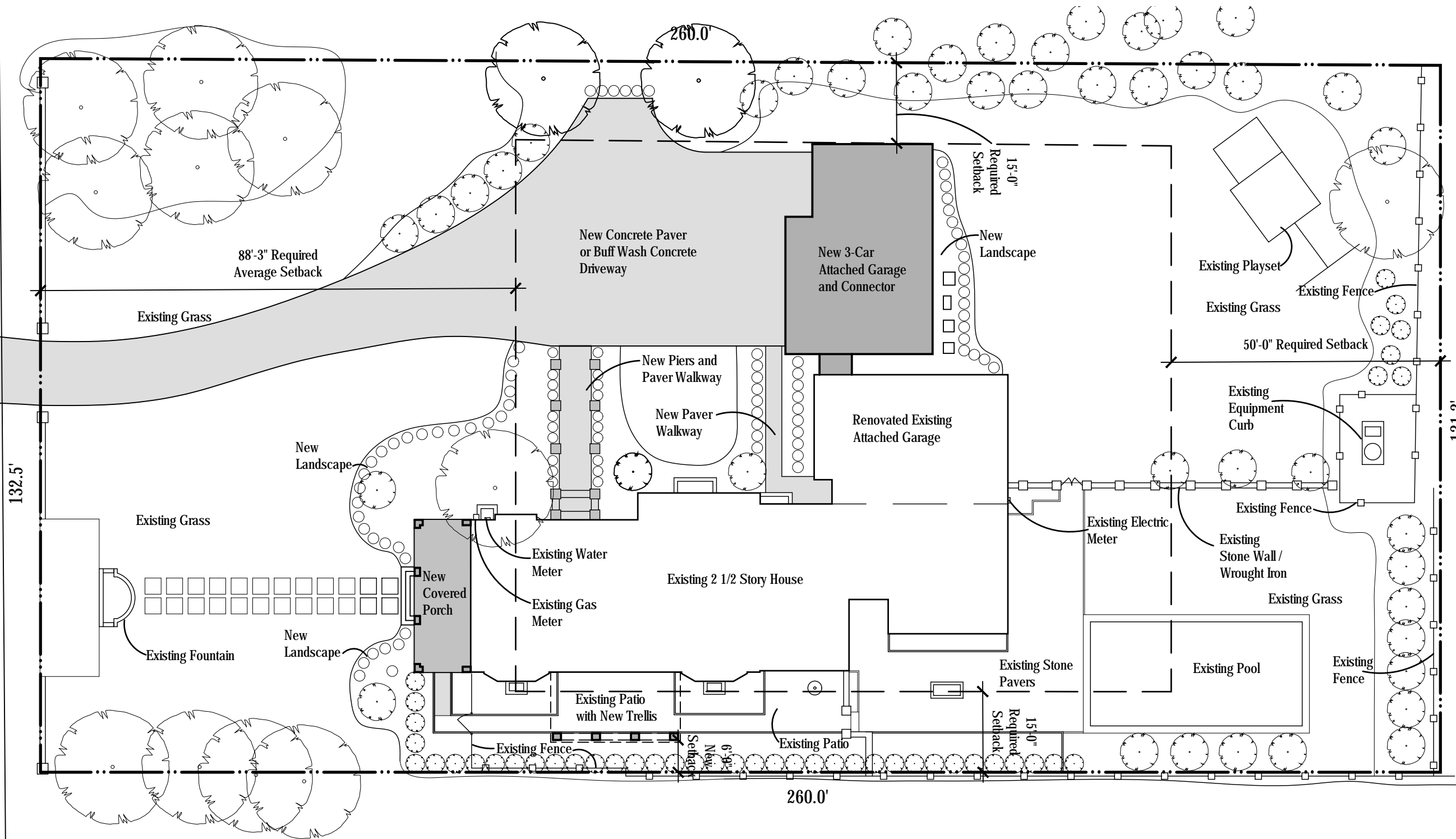
**Current Fence Height:**

Metal Front / Side Yard Fence: +/- 72", **OK**

Rear Yard Stone Wall: +/- 76", existing nonconforming condition

**Fence Encroaches Front Yard:** Yes, existing non-conforming condition, but does not extend beyond front of house

North Drexel Avenue



**Proposed Site Plan**

1" = 20'-0"



\*All information shown on this site plan is approximate, and must be verified with a detailed survey prepared by a State of Ohio Licensed Surveyor. The site plan is comprised of information obtained from a mortgage survey prepared by Myers Surveying Company, dated 06/08/2016, information from the Franklin County Auditor Website, and approximate field measurements. The site plan is conceptual in nature and shall only be used for general purposes. Rogers Krajnak Architects, Inc. shall maintain no liability for the information contained on this site plan.

**The Kandawalla / Bachmann Residence**

292 North Drexel Avenue, Bexley, Ohio 43209

**ROGERS  
KRAJNAK**  
ARCHITECTS, INC.

264 South Third Street  
Columbus, Ohio 43215

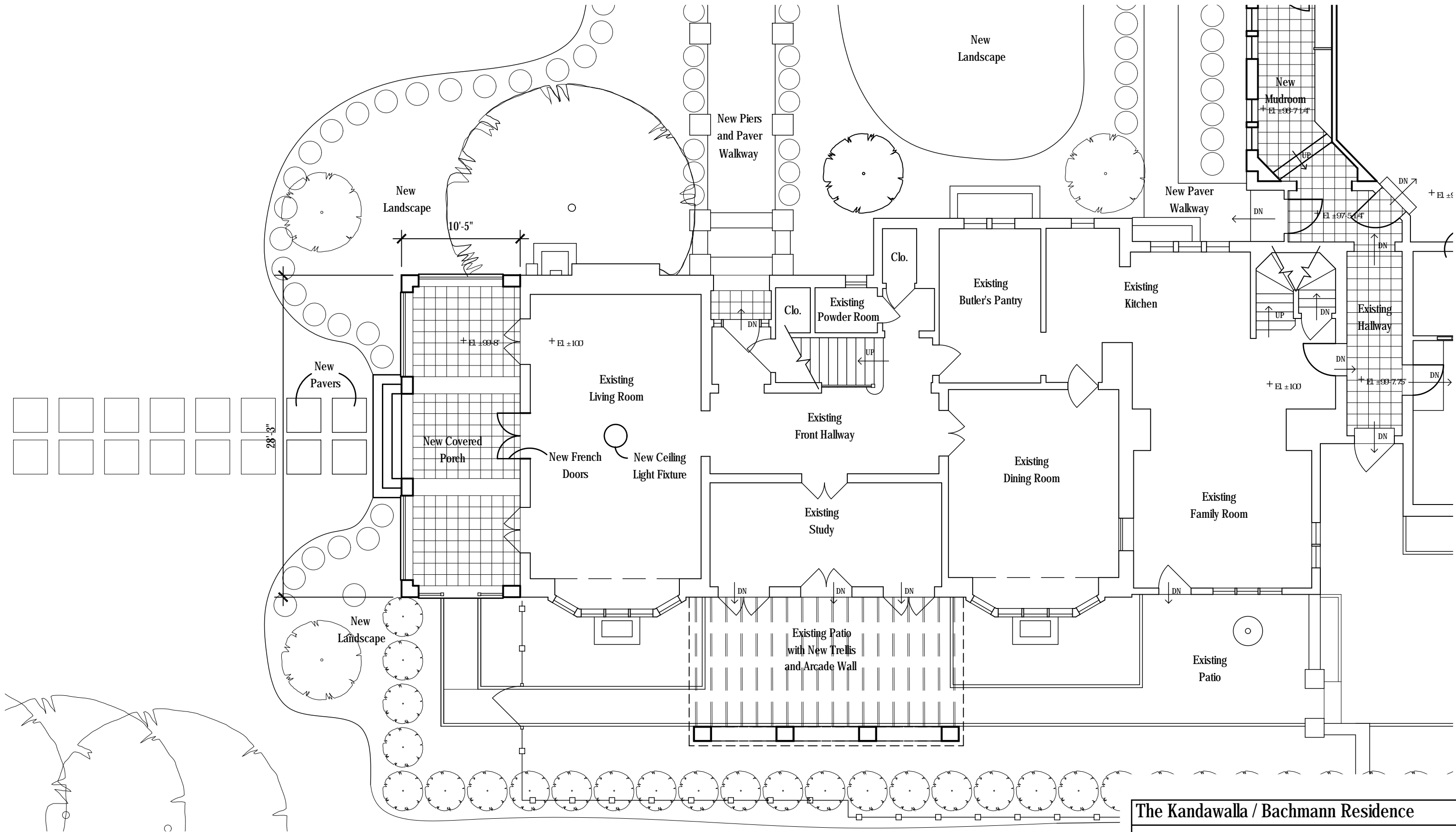
Telephone (614) 451-8345  
Facsimile (614) 451-6345  
www.rogerskrajnak.com

09.13.18  
ARB / BZA Submission

**A0.0**

RKA Project # 18006.00





**Proposed First Floor Plan**

1/8" = 1'-0"



**The Kandawalla / Bachmann Residence**

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**A1.1**

RKA Project # 18006.00





Third Floor  
±118'-5 1/4"

Second Floor  
±109'-6"

First Floor  
100'-0"

Existing Two Car Garage

Existing Front Porch to be Replaced

Existing Awning to be Removed

**1 Existing West Elevation**

1/8" = 1'-0"

<b>The Kandawalla / Bachmann Residence</b>	
292 North Drexel Avenue, Bexley, Ohio 43209	
 <b>ROGERS KRAJNAK</b> ARCHITECTS, INC.	264 South Third Street Columbus, Ohio 43215  telephone (614) 451-6343 facsimile (614) 451-6343 www.rogerskrajnak.com
	<b>09.13.18</b> ARB / BZA Submission  <b>A3.0e</b> RKA Project # 18006.00



New Three Car Garage and Connector

New Piers and Concrete Paver Walkway and  
New Renovated Existing Attached Garage

New Covered Front Porch

New Trellis with Arched Support Wall

**1 Proposed West Elevation**  
1/8" = 1'-0"

**The Kandawalla / Bachmann Residence**

292 North Drexel Avenue, Bexley, Ohio 43209

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09.13.18  
ARB / BZA Submission

**A3.0**

RKA Project # 18006.00



**1 Existing North Elevation**  
 1/8" = 1'-0"

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	<b>09.13.18</b> ARB / BZA Submission  <b>A3.1e</b> RKA Project # 18006.00



New Three Car Garage and Connector

New Piers and Concrete Paver Walkway

New Covered Front Porch

**1 Proposed North Elevation**  
1/8" = 1'-0"

**The Kandawalla / Bachmann Residence**

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09.13.18  
ARB / BZA Submission

**A3.1**

RKA Project # 18006.00



Existing Front Porch to be Replaced

Existing Awning to be Removed

**1 Existing South Elevation**  
1/8" = 1'-0"

**The Kandawalla / Bachmann Residence**

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09.13.18  
ARB / BZA Submission

**A3.3e**

RKA Project # 18006.00



New Covered Front Porch

New Trellis with Arched Support Wall

**1 Proposed South Elevation**

1/8" = 1'-0"

**The Kandawalla / Bachmann Residence**

292 North Drexel Avenue, Bexley, Ohio 43209

**ROGERS  
KRAJNAK**  
ARCHITECTS, INC.

264 South Third Street  
Columbus, Ohio 43215

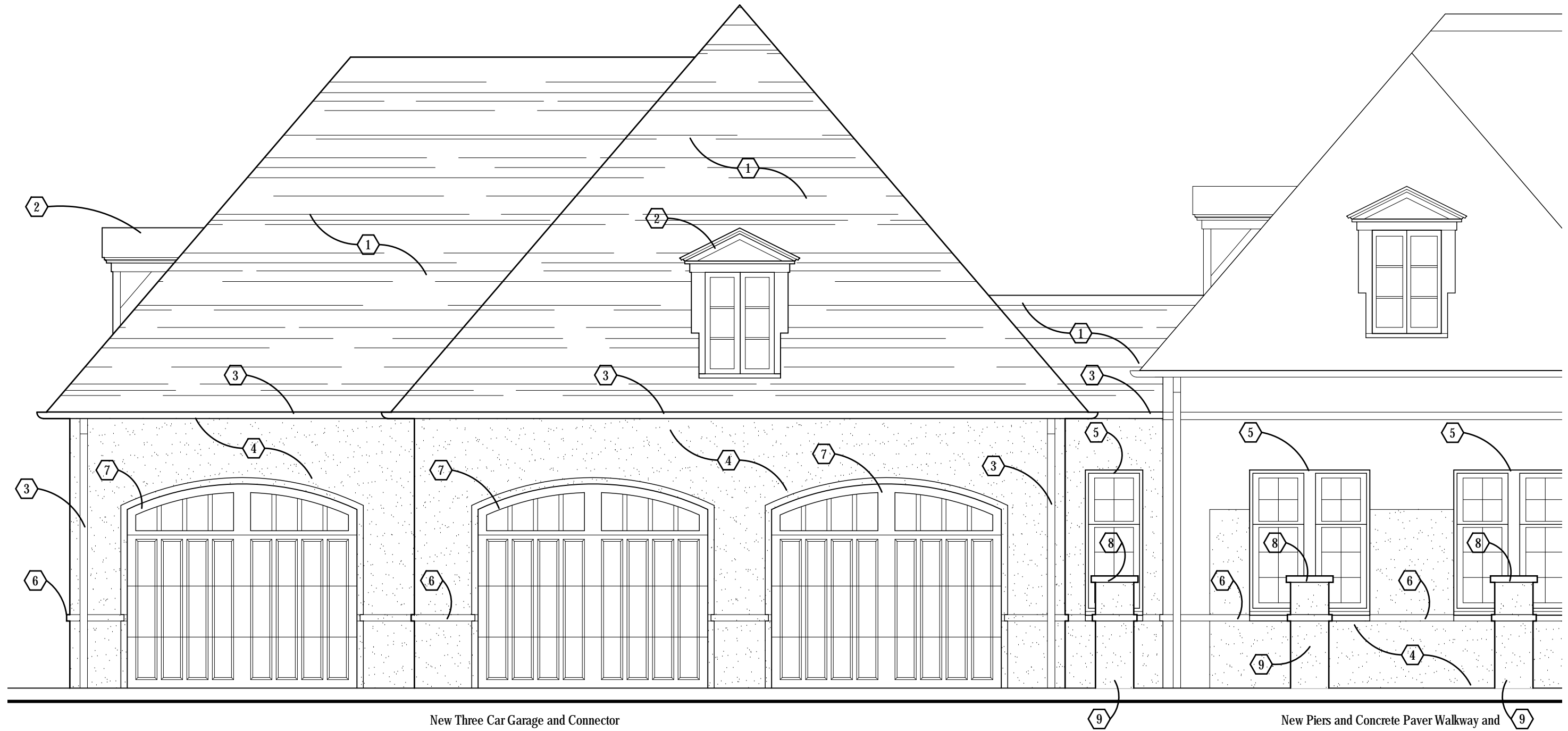
Telephone: (614) 451-6343  
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**09.13.18**  
ARB / BZA Submission

**A3.3**

RKA Project # 18006.00





New Three Car Garage and Connector

New Piers and Concrete Paver Walkway and New Renovated Existing Attached Garage

**1** Proposed Partial West Elevation - New Garage  
1/4" = 1'-0"

**CODED NOTES:**

1. New asphalt shingle roof to match existing asphalt shingle roof.
2. New dormer to match existing dormers.
3. New half round gutter and downspout to match existing gutters.
4. New stucco to match existing stucco - to be painted.
5. New windows to match existing windows on North facade.
6. New stucco trim. Stucco to match existing stucco.
7. New wood carriage house style overhead garage door, with arched glass in top light. To be painted.
8. New limestone cap.
9. New stucco piers.
10. New custom wrought iron railing.
11. New smooth cedar trellis - painted.
12. New french doors to match existing.
13. New wood crown trim.
14. New steps with limestone treads.

**The Kandawalla / Bachmann Residence**

292 North Drexel Avenue, Bexley, Ohio 43209

**ROGERS  
KRAJNAK**  
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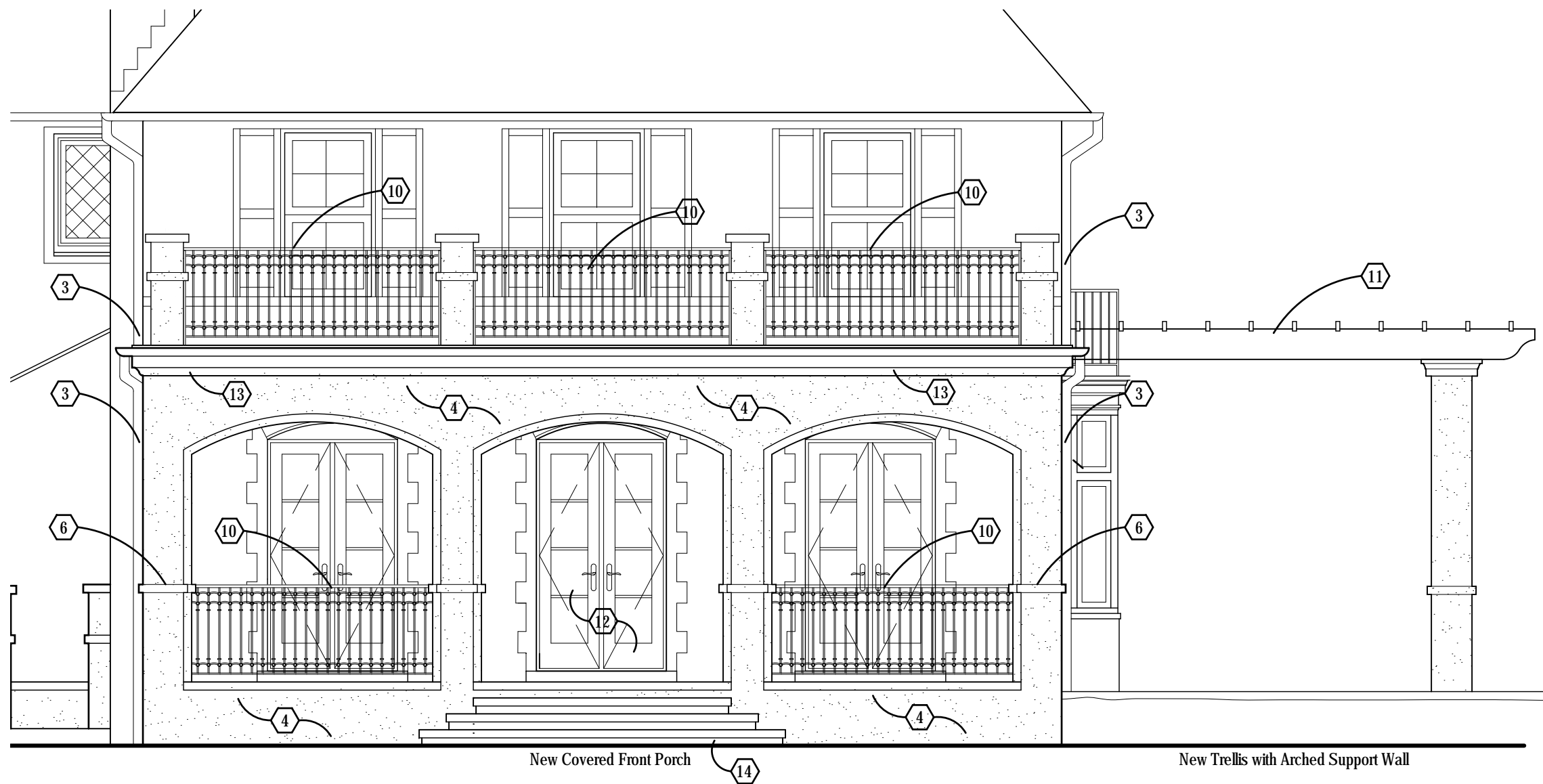
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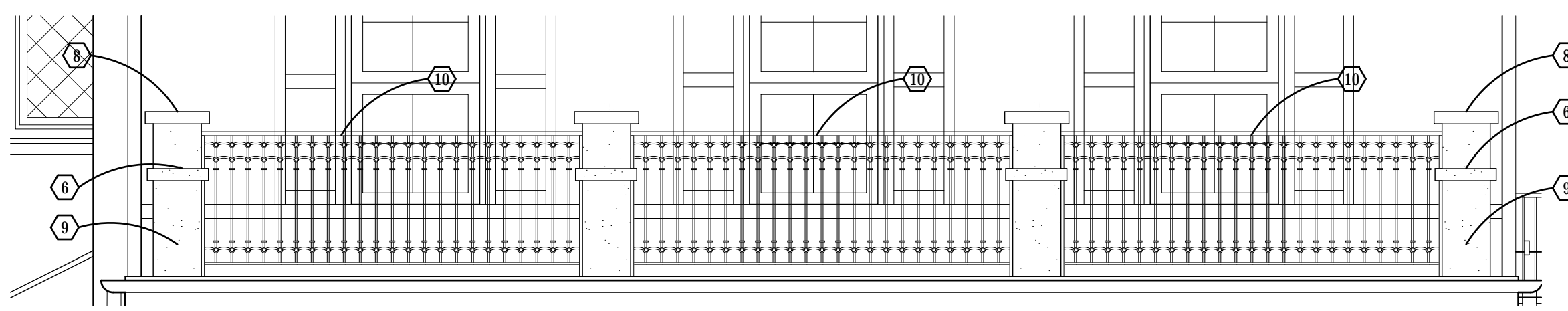
**A3.5**

RKA Project # 18006.00



- CODED NOTES:**
1. New asphalt shingle roof to match existing asphalt shingle roof.
  2. New dormer to match existing dormers.
  3. New half round gutter and downspout to match existing gutters.
  4. New stucco to match existing stucco - to be painted.
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  10. New custom wrought iron railing.
  11. New smooth cedar trellis - painted.
  12. New french doors to match existing.
  13. New wood crown trim.
  14. New steps with limestone treads.

**1 Proposed Partial West Elevation - New Front Porch**  
 1/4" = 1'-0"



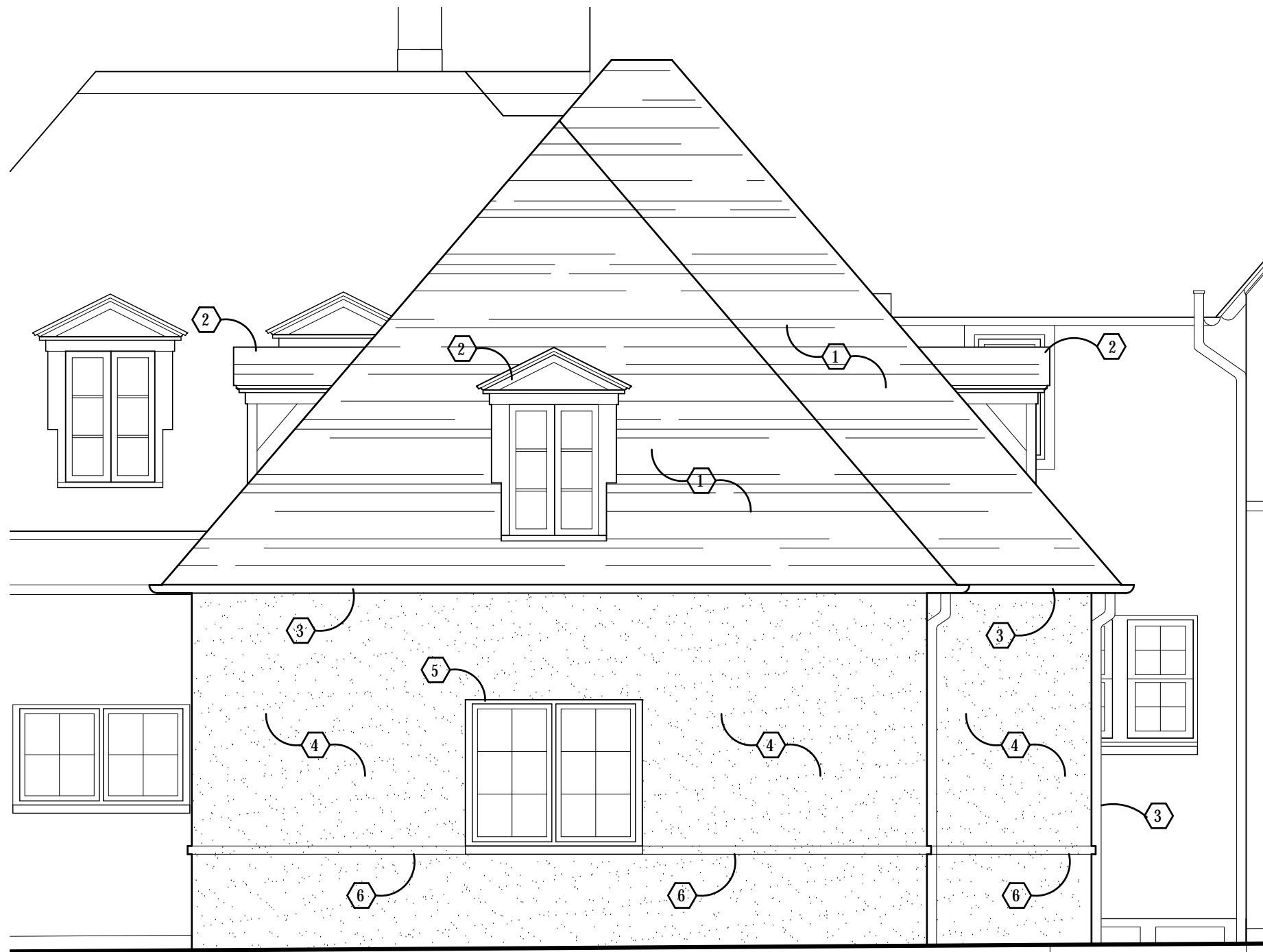
**2 Proposed Wrought Iron Railing Detail**  
 3/8" = 1'-0"

**The Kandawalla / Bachmann Residence**  
 292 North Drexel Avenue, Bexley, Ohio 43209

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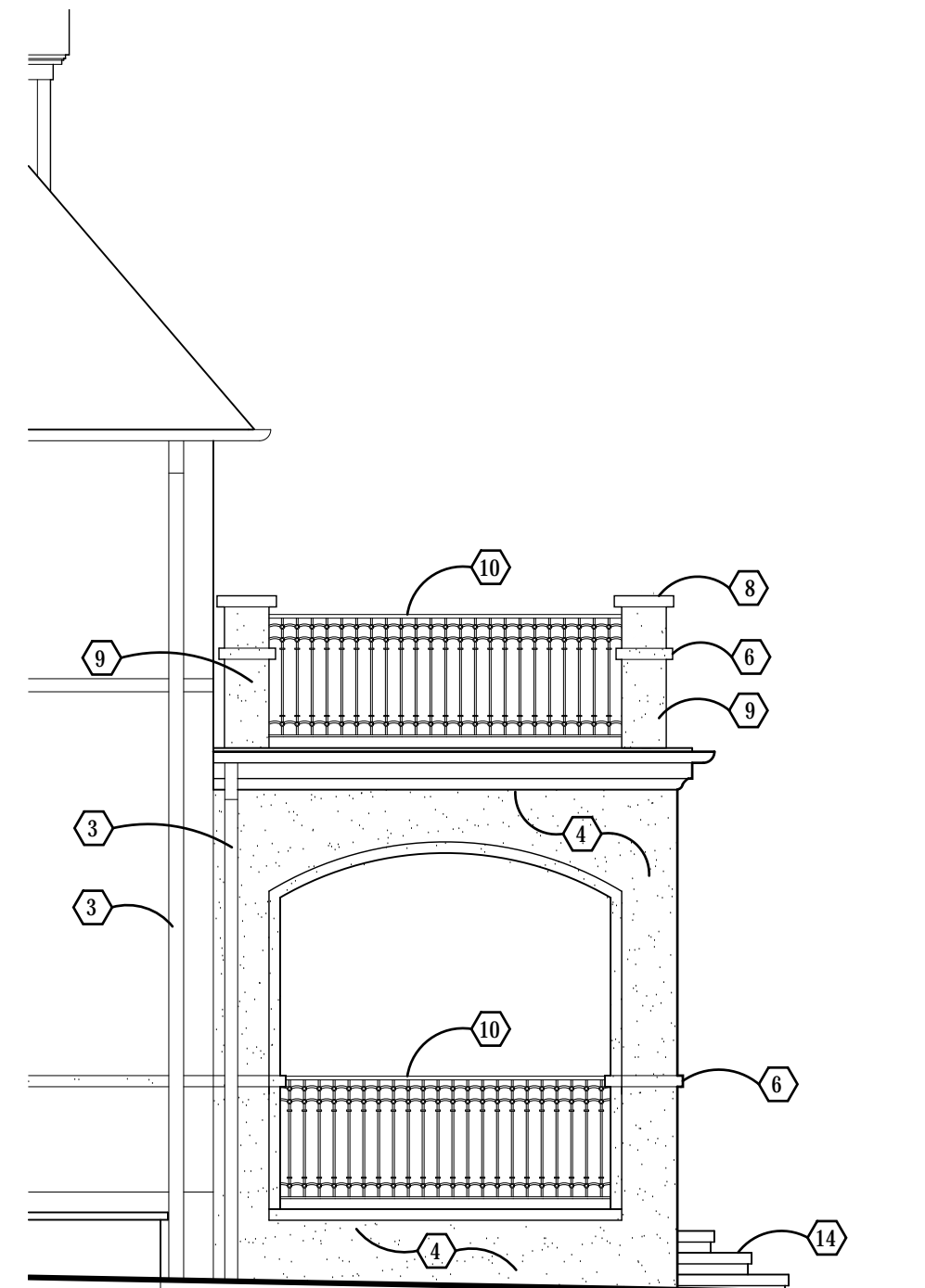
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**A3.6**  
 RKA Project # 18006.00



New Three Car Garage and Connector

**1** Proposed Partial North Elevation - New Three Car Garage  
1/4" = 1'-0"



New Covered Front Porch

**2** Proposed Partial North Elevation - New Front Porch  
1/4" = 1'-0"

**CODED NOTES:**

1. New asphalt shingle roof to match existing asphalt shingle roof.
2. New dormer to match existing dormers.
3. New half round gutter and downspout to match existing gutters.
4. New stucco to match existing stucco - to be painted.
5. New windows to match existing windows on North facade.
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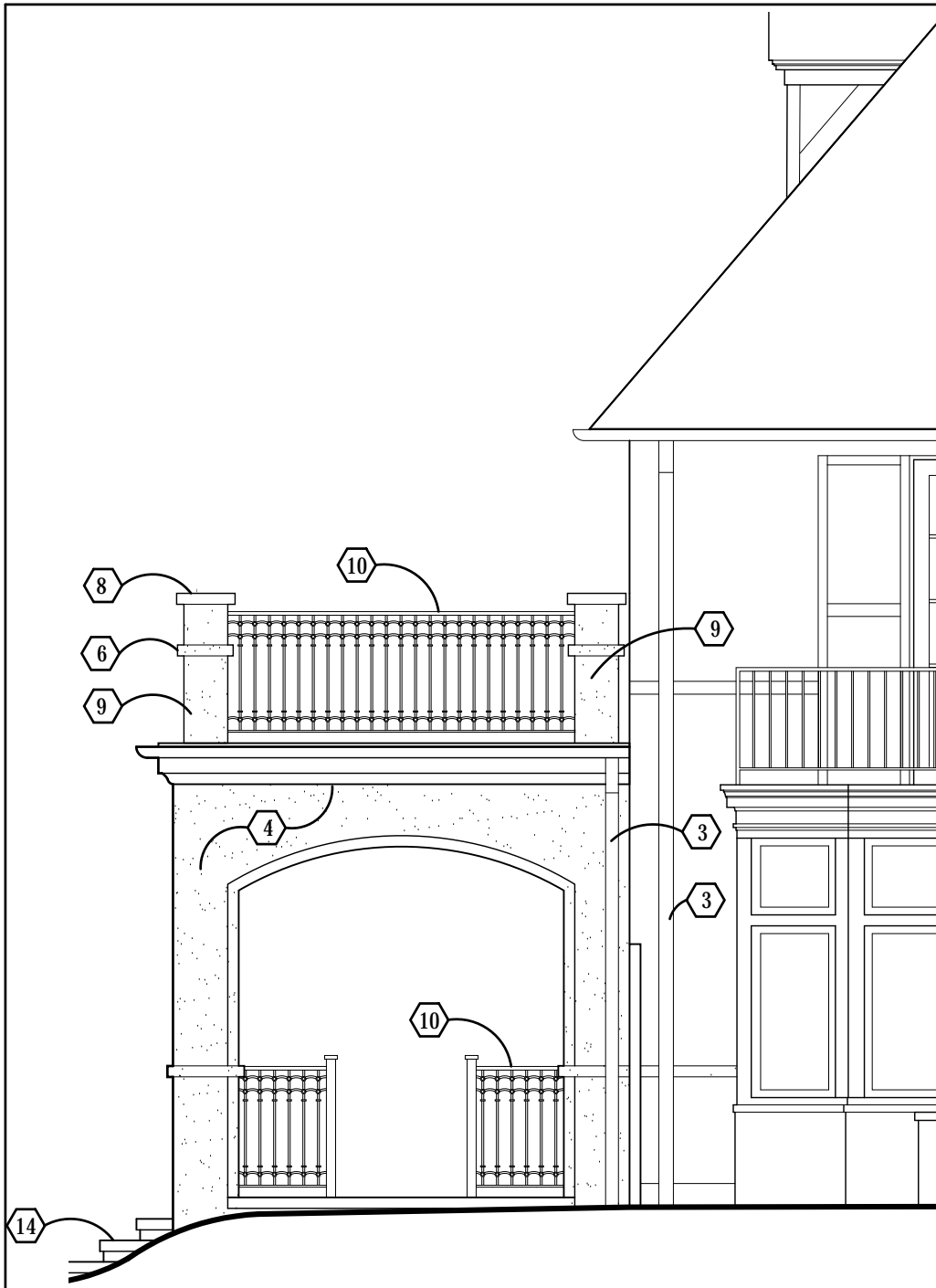
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**A3.7**

RKA Project # 18006.00



New Covered Front Porch

**1** Proposed Partial South Elevation - New Porch  
1/4" = 1'-0"

**CODED NOTES:**

1. New asphalt shingle roof to match existing asphalt shingle roof.
2. New dormer to match existing dormers.
3. New half round gutter and downspout to match existing gutters.
4. New stucco to match existing stucco - to be painted.
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10. New custom wrought iron railing.
11. New smooth cedar trellis - painted.
12. New french doors to match existing.
13. New wood crown trim.
14. New steps with limestone treads.



New Trellis with Arched Support Wall

**2** Proposed Partial South Elevation  
1/4" = 1'-0"

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**A3.8**

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1 **3D Computer Model View - Existing Conditions**  
Not to Scale

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**A4.0**

RKA Project # 18006.00



1 3D Computer Model View - Proposed  
Not to Scale

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**A4.1**

RKA Project # 18006.00



1 **3D Computer Model View - Existing Conditions**  
Not to Scale

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**A4.2**

RKA Project # 18006.00



**1** 3D Computer Model View - Proposed  
Not to Scale

**The Kandawalla / Bachmann Residence**

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**A4.3**

RKA Project # 18006.00





1 **3D Computer Model View - Existing Conditions**  
Not to Scale

**The Kandawalla / Bachmann Residence**

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**A4.4**

RKA Project # 18006.00



1 **3D Computer Model View - Proposed**  
Not to Scale

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**A4.5**

RKA Project # 18006.00



1 **3D Computer Model View - Existing Conditions**  
Not to Scale

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**A4.6**

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1 3D Computer Model View - Proposed  
Not to Scale

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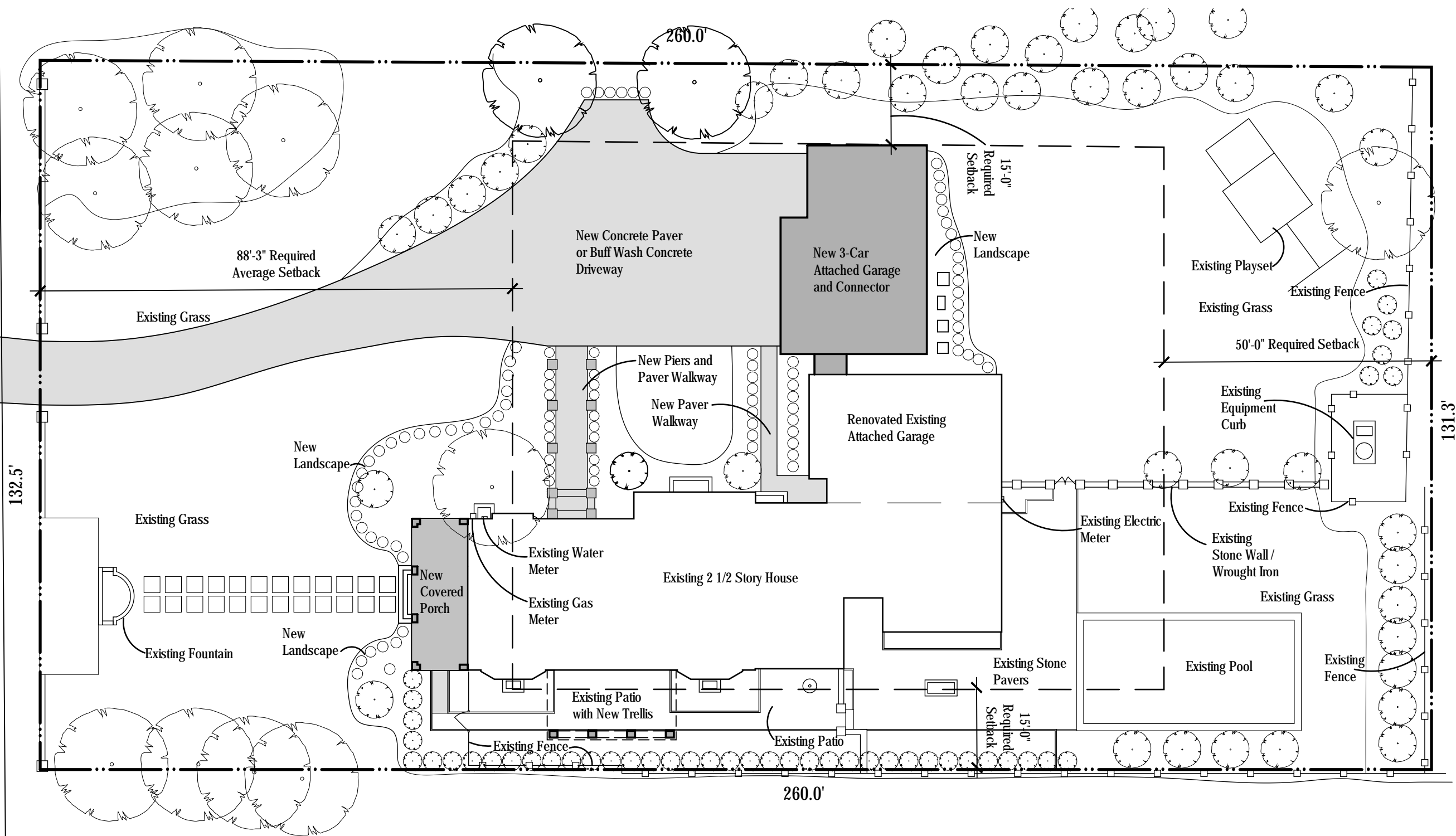
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**A4.7**

RKA Project # 18006.00

Drexel Avenue

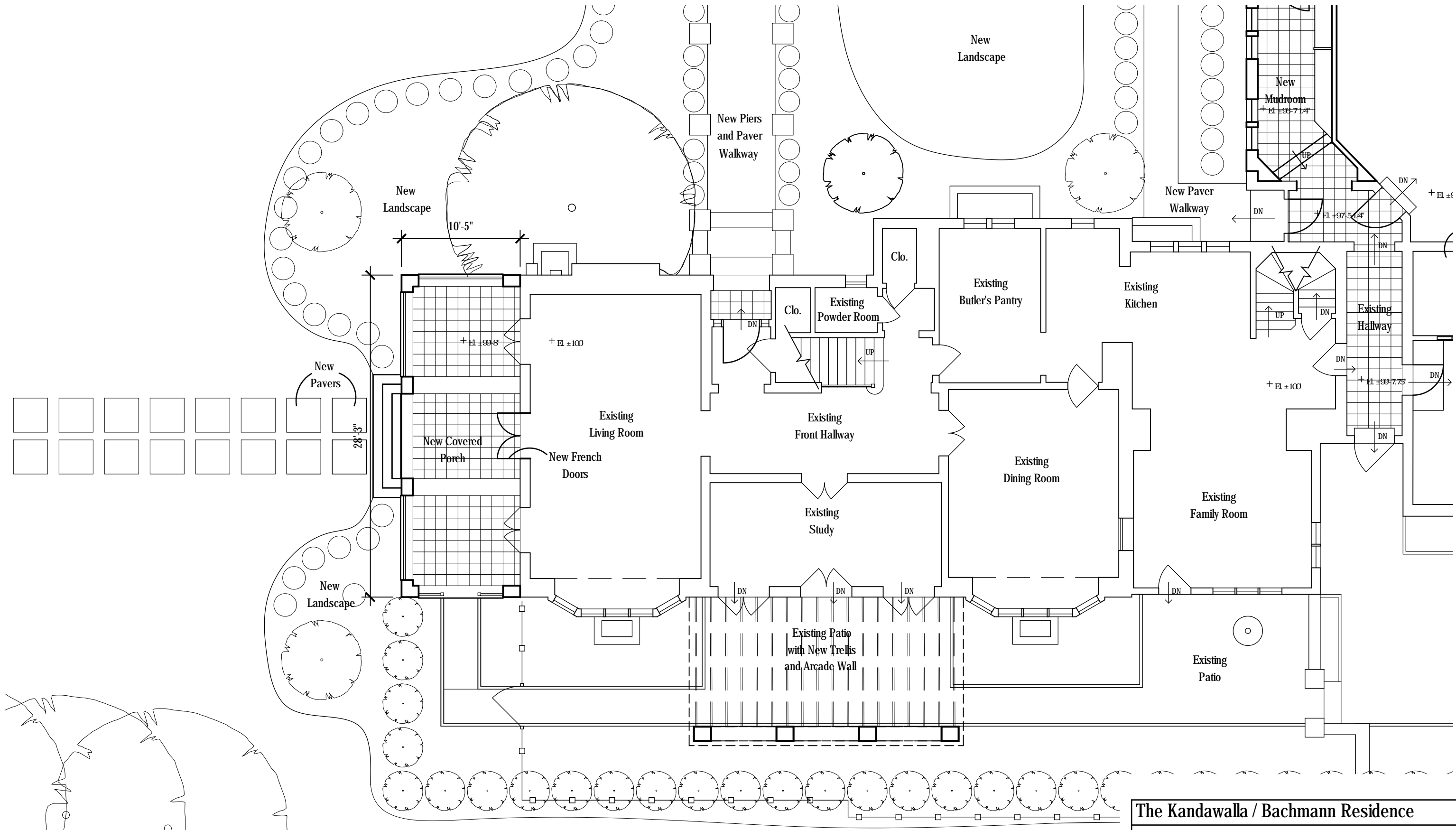


**Proposed Site Plan**  
1" = 20'-0"



\*All information shown on this site plan is approximate, and must be verified with a detailed survey prepared by a State of Ohio Licensed Surveyor. The site plan is comprised of information obtained from a mortgage survey prepared by Myers Surveying Company, dated 06/08/2016, information from the Franklin County Auditor Website, and approximate field measurements. The site plan is conceptual in nature and shall only be used for general purposes. Rogers Krajinak Architects, Inc. shall maintain no liability for the information contained on this site plan.

<b>The Kandawalla / Bachmann Residence</b>	
292 N Drexel Avenue, Bexley, Ohio 43209	
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	<p>09.06.18 Final Schematic Design</p> <p><b>A0.0</b></p> <p>RKA Project # 18006.00</p>



**Proposed First Floor Plan**

1/8" = 1'-0"



**The Kandawalla / Bachmann Residence**

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**09.06.18**  
Final Schematic Design

**A1.1**

RKA Project # 18006.00





New Three Car Garage and Connector

New Piers and Concrete Paver Walkway and  
New Renovated Existing Attached Garage

New Covered Front Porch

New Trellis with Arched Support Wall

**1 Proposed West Elevation**  
1/8" = 1'-0"

**The Kandawalla / Bachmann Residence**

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**09.06.18**  
Final Schematic Design

**A3.0**

RKA Project # 18006.00





New Three Car Garage and Connector

New Piers and Concrete Paver Walkway

New Covered Front Porch

**1 Proposed North Elevation**  
1/8" = 1'-0"

**The Kandawalla / Bachmann Residence**

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**09.06.18**  
Final Schematic Design

**A3.1**

RKA Project # 18006.00



New Covered Front Porch

New Trellis with Arched Support Wall

**1 Proposed South Elevation**

1/8" = 1'-0"

**The Kandawalla / Bachmann Residence**

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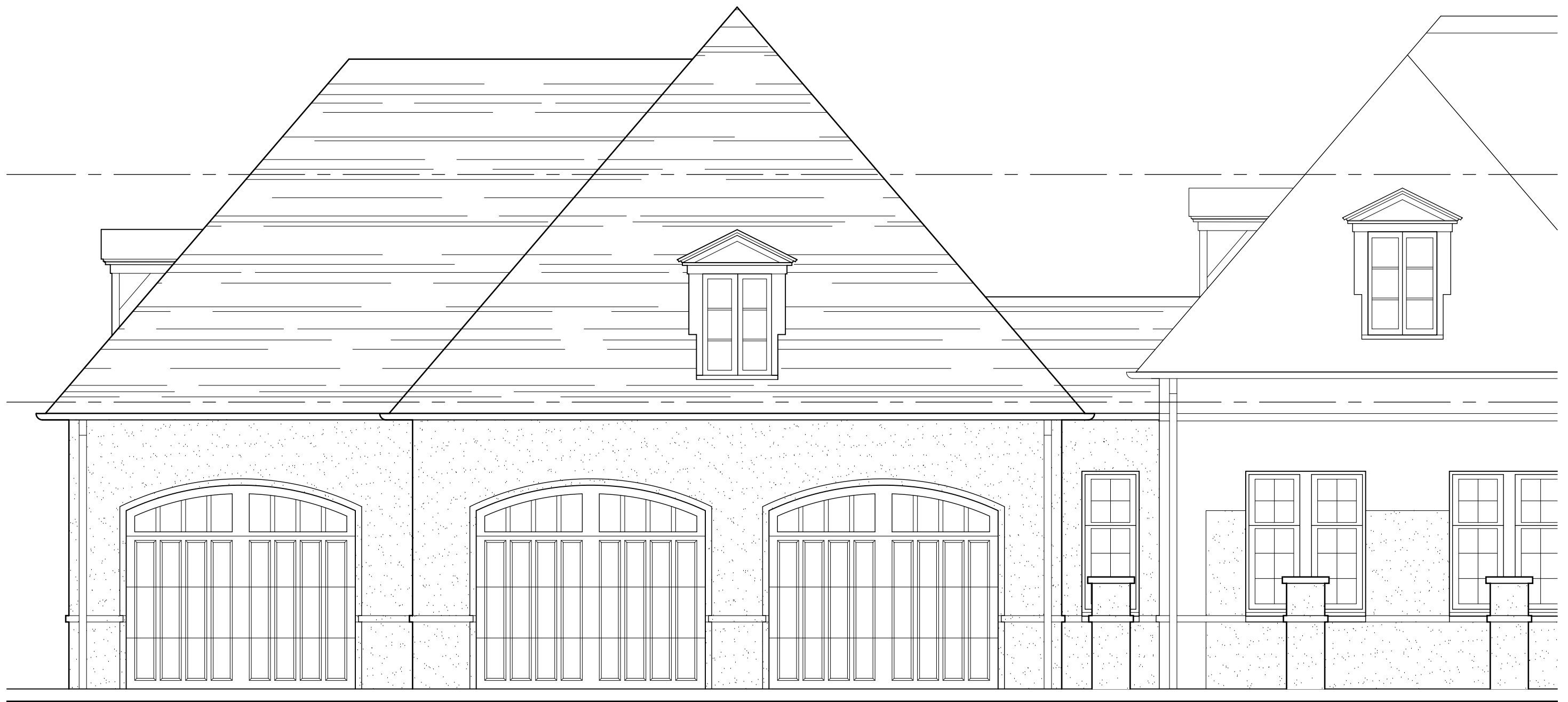
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**09.06.18**  
Final Schematic Design

**A3.3**

RKA Project # 18006.00



New Three Car Garage and Connector

New Piers and Concrete Paver Walkway and  
New Renovated Existing Attached Garage

**1** Proposed Partial West Elevation - New Garage  
1/4" = 1'-0"

**The Kandawalla / Bachmann Residence**

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**09.06.18**  
Final Schematic Design

**A3.5**

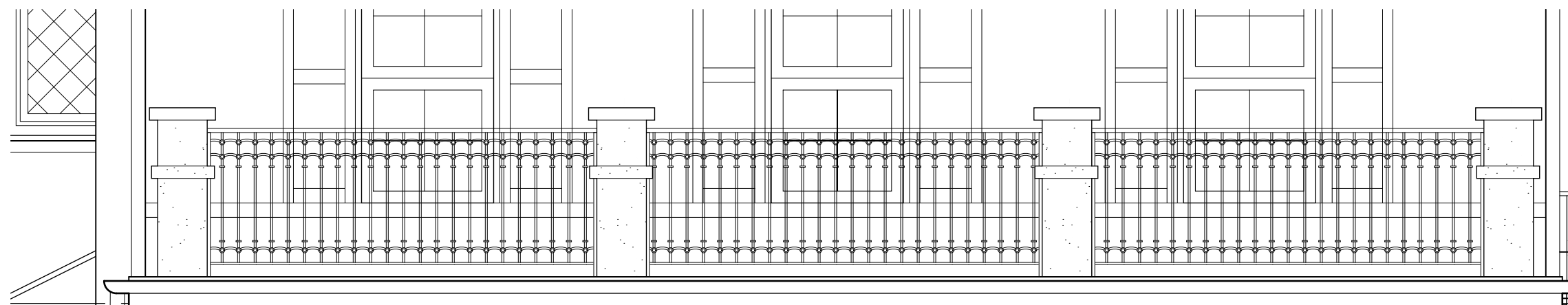
RKA Project # 18006.00



New Covered Front Porch

New Trellis with Arched Support Wall

**1 Proposed Partial West Elevation - New Front Porch**  
 1/4" = 1'-0"



**2 Proposed Wrought Iron Railing Detail**  
 3/8" = 1'-0"

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Final Schematic Design

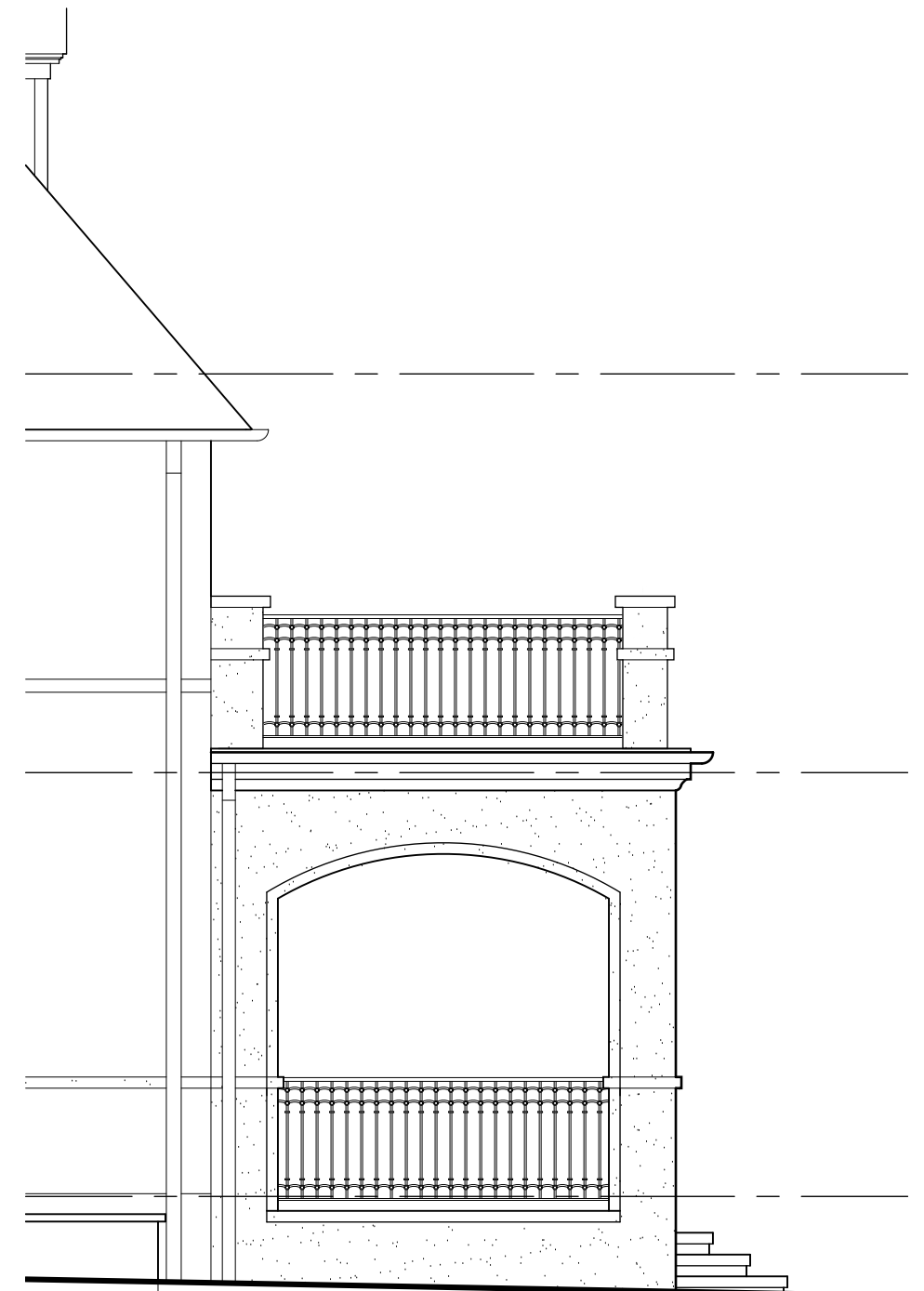
**A3.6**

RKA Project # 18006.00



New Three Car Garage and Connector

**1** Proposed Partial North Elevation - New Three Car Garage  
1/4" = 1'-0"



New Covered Front Porch

**2** Proposed Partial North Elevation - New Front Porch  
1/4" = 1'-0"

**The Kandawalla / Bachmann Residence**

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**09.06.18**  
Final Schematic Design

**A3.7**

RKA Project # 18006.00



New Covered Front Porch

**1** Proposed Partial South Elevation - New Porch  
1/4" = 1'-0"



New Trellis with Arched Support Wall

**2** Proposed Partial South Elevation  
1/4" = 1'-0"

**The Kandawalla / Bachmann Residence**

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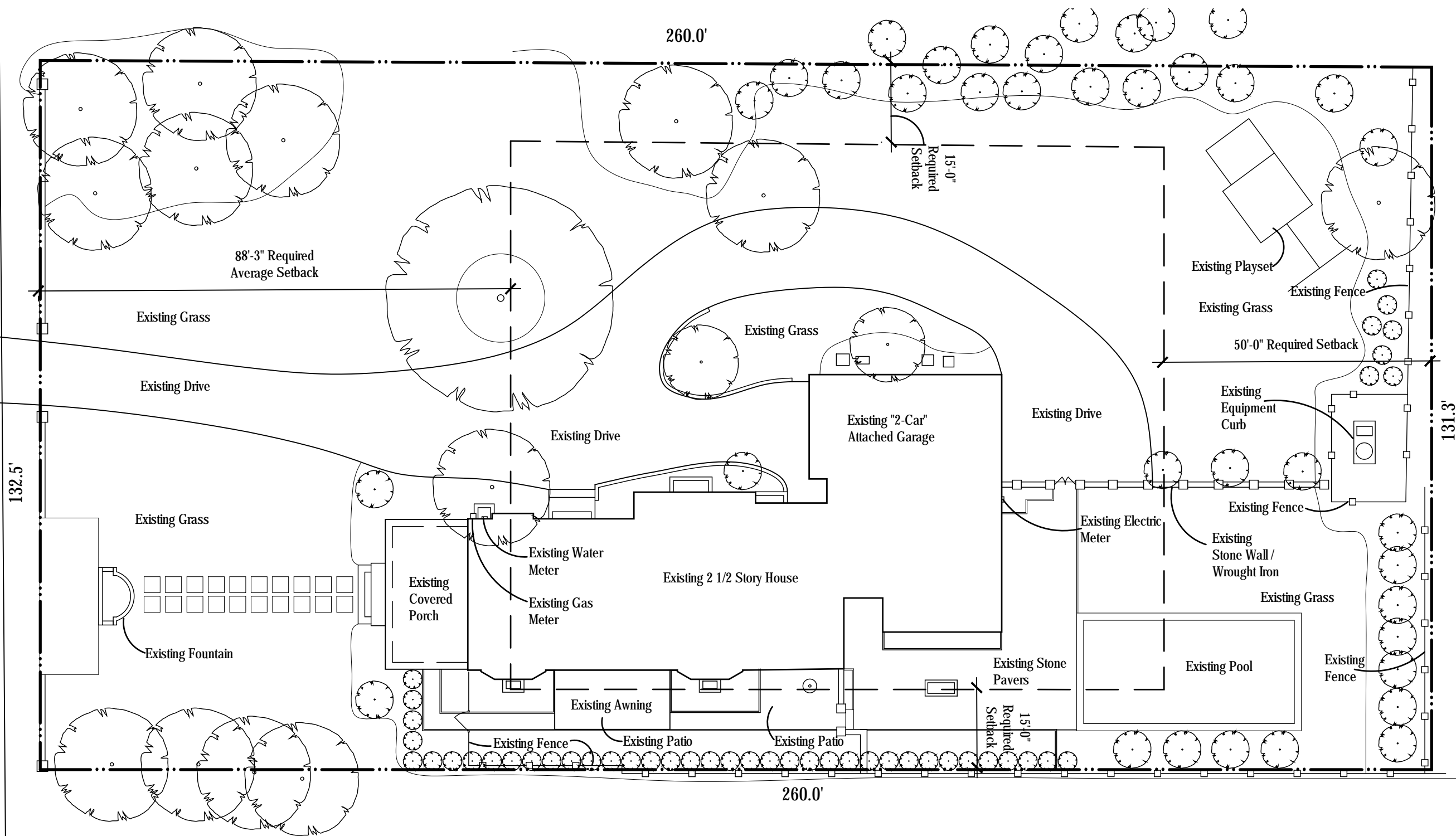
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**09.06.18**  
Final Schematic Design

**A3.8**

RKA Project # 18006.00

Drexel Avenue



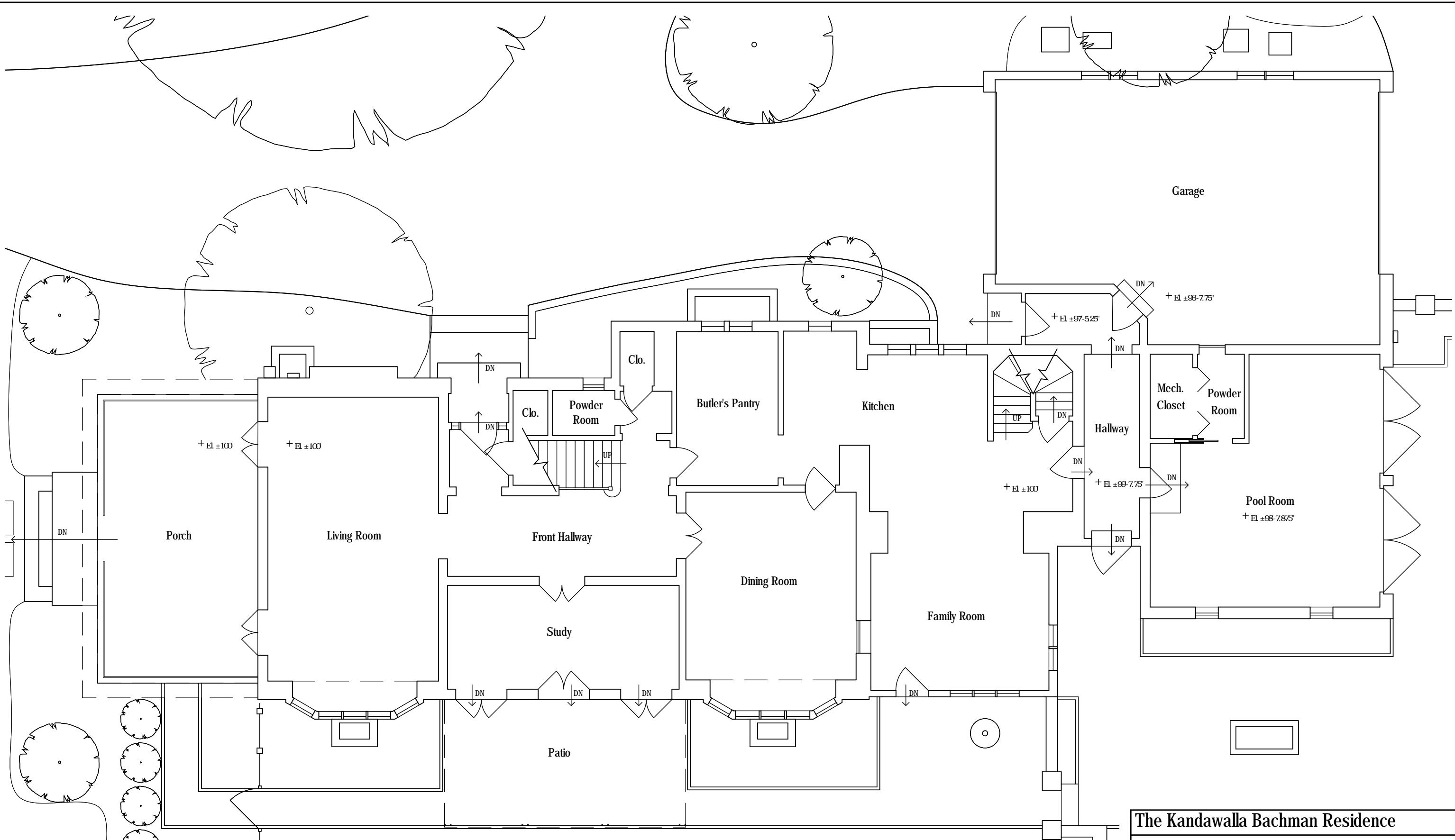
**Existing Site Plan**

1" = 20'-0"



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**Existing First Floor Plan**

1/8" = 1'-0"



**The Kandawalla Bachman Residence**

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07.09.18  
Existing Conditions

**A1.1**

RKA Project # 18006.00





1 Existing West Elevation  
1/8" = 1'-0"

The Kandawalla Bachman Residence

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Existing Conditions

**A3.0**

RKA Project # 18006.00



1 Existing North Elevation  
 1/8" = 1'-0"

The Kandawalla Bachman Residence

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**A3.1**

RKA Project # 18006.00



1 Existing East Elevation  
 1/8" = 1'-0"

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1 Existing South Elevation  
 1/8" = 1'-0"

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**A3.3**

RKA Project # 18006.00