

DEMOLITION NOTES

1. CONTRACTOR SHALL INVESTIGATE EXISTING STRUCTURE SO AS TO RECOMMEND ANY APPROPRIATE ACTION NEEDED TO ENSURE THE INTEGRITY OF THE EXISTING STRUCTURE
2. ELECTRICAL CONTRACTOR SHALL INSPECT EXISTING ELECTRICAL SYSTEMS AND RECOMMEND IMPROVEMENTS.
3. CONTRACTOR TO VERIFY EXISTING STRUCTURE IS ADEQUATE AND IS IN THESE DRAWINGS. NOTIFY SBA STUDIOS, LLC IMMEDIATELY IN WRITING IF EXISTING STRUCTURE VARIES FROM WHAT IS SHOWN IN PLANS
4. CONTRACTOR TO VERIFY ALL WALLS WITH PROPOSED FLOOR PLAN LAYOUT. ADDITIONAL DEMOLITION, NOT SHOWN ON PLANS, MAY BE REQUIRED TO PERFORM WORK
5. USE ADEQUATE NUMBERS OF SKILLED WORKERS WHO ARE THOROUGHLY TRAINED AND EXPERIENCED IN THE CRAFTS AND WHO ARE COMPLETELY FAMILIAR WITH THE SPECIFIED REQUIREMENTS AND THE METHODS NEEDED FOR PROPER PERFORMANCE OF WORK AND DEMOLITION
6. PRIOR TO DEMOLITION, CONTRACTOR, AND OWNER SHALL WALK THROUGH THE PROJECT SITE AND CREATE A WRITTEN LIST OF MATERIALS AND LANDSCAPING THAT ARE TO BE SAVED, OR REMOVED AND SAVED FOR USE BY OWNER, REMOVED AND SAVED FOR REINSTALLATION BY THE CONTRACTOR, AND/OR REMOVED AND SAVED FOR FILL. ALL OTHER MATERIALS NOT SO LISTED SHALL BE REMOVED FROM THE SITE IN AN APPROPRIATE AND SAFE MANNER IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REQUIREMENTS.

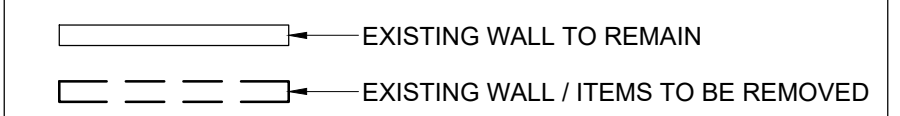
INSPECTION NOTES

1. INSPECT EXISTING CONDITIONS, INCLUDING ELEMENTS SUBJECT TO MOVEMENT OR DAMAGE DURING CUTTING, EXCAVATING, BACK FILLING, PATCHING, AND OTHER RELATED DEMOLITION WORK.
2. AFTER UNCOVERING THE WORK, INSPECT EXISTING CONDITIONS AFFECTING INSTALLATION OF NEW WORK.
3. IF UNCOVERED CONDITIONS ARE NOT ANTICIPATED, IMMEDIATELY NOTIFY SBA STUDIOS, LLC IN WRITING AND SECURE NEEDED DIRECTIONS. DO NOT PROCEED IN AREAS OF DISCREPANCY UNTIL ALL SUCH DISCREPANCIES HAVE BEEN FULLY RESOLVED.
4. PROVIDE ALL REQUIRED PROTECTION INCLUDING, BUT NOT LIMITED TO, SHORING, BRACING, AND SUPPORT TO MAINTAIN STRUCTURAL INTEGRITY OF THE WORK AND ANY ADJOINING STRUCTURES, PUBLIC WALKWAYS AND STREETS.
5. PERFORM ALL REQUIRED EXCAVATING AND BACK FILLING AS REQUIRED. PERFORM CUTTING, REMOVAL AND DEMOLITION WORK BY METHODS WHICH WILL PREVENT DAMAGE TO OTHER PORTIONS OF THE WORK AND SURROUNDING PUBLIC, PERSONAL AND REAL PROPERTY.

NOTE TO CONTRACTORS

1. IT IS VERY DIFFICULT TO CONFIRM EXACT EXISTING, PRE-BUILT ARCHITECTURAL CONDITIONS SUCH AS ROOF PITCHES, TOPOGRAPHIES, ENCLOSED STRUCTURAL MATERIALS, AND EXISTING MECHANICAL AND PLUMBING CONDITIONS. IF DISCREPANCIES OR CONFLICTS BETWEEN NEWLY DESIGNED SPACES AND EXISTING PORTIONS APPEAR, NOTIFY SBA STUDIOS, LLC IN WRITING IMMEDIATELY AND BEFORE CONTINUING CONSTRUCTION. CONTINUING CONSTRUCTION COULD LEAD TO ADDITIONAL AND POTENTIALLY EXPENSIVE ACCUMULATIVE CIRCUMSTANCES OCCURRING.

DEMOLITION WALL LEGEND



#	DATE	ISSUED WITH: CHANGE DESCRIPTION

ODONNELL ADDITION
2754 SHERWOOD RD, BEXLEY, OHIO 43209

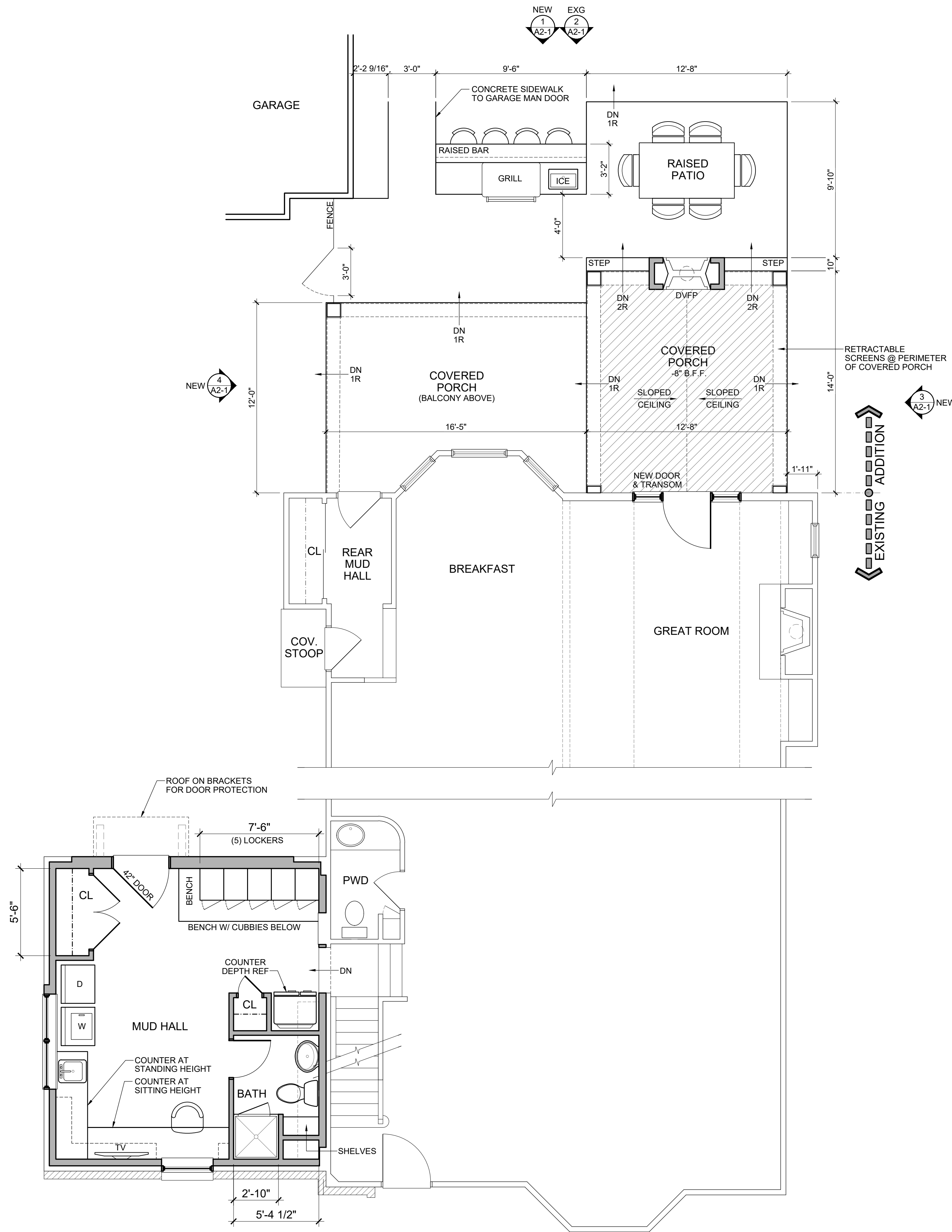


SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
DEMOLITION PLANS
D1-1
DATE: 10.14.2020
BZAP SUBMISSION
SBA STUDIOS PROJECT # 2020-391

STATE OF OHIO
SCOTT BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2021
PRELIMINARY - NO CONSTRUCTION

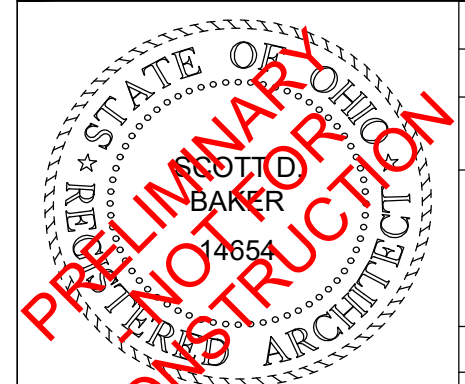
2 ROOF DEMOLITION PLAN

1 FIRST FLOOR DEMOLITION PLAN

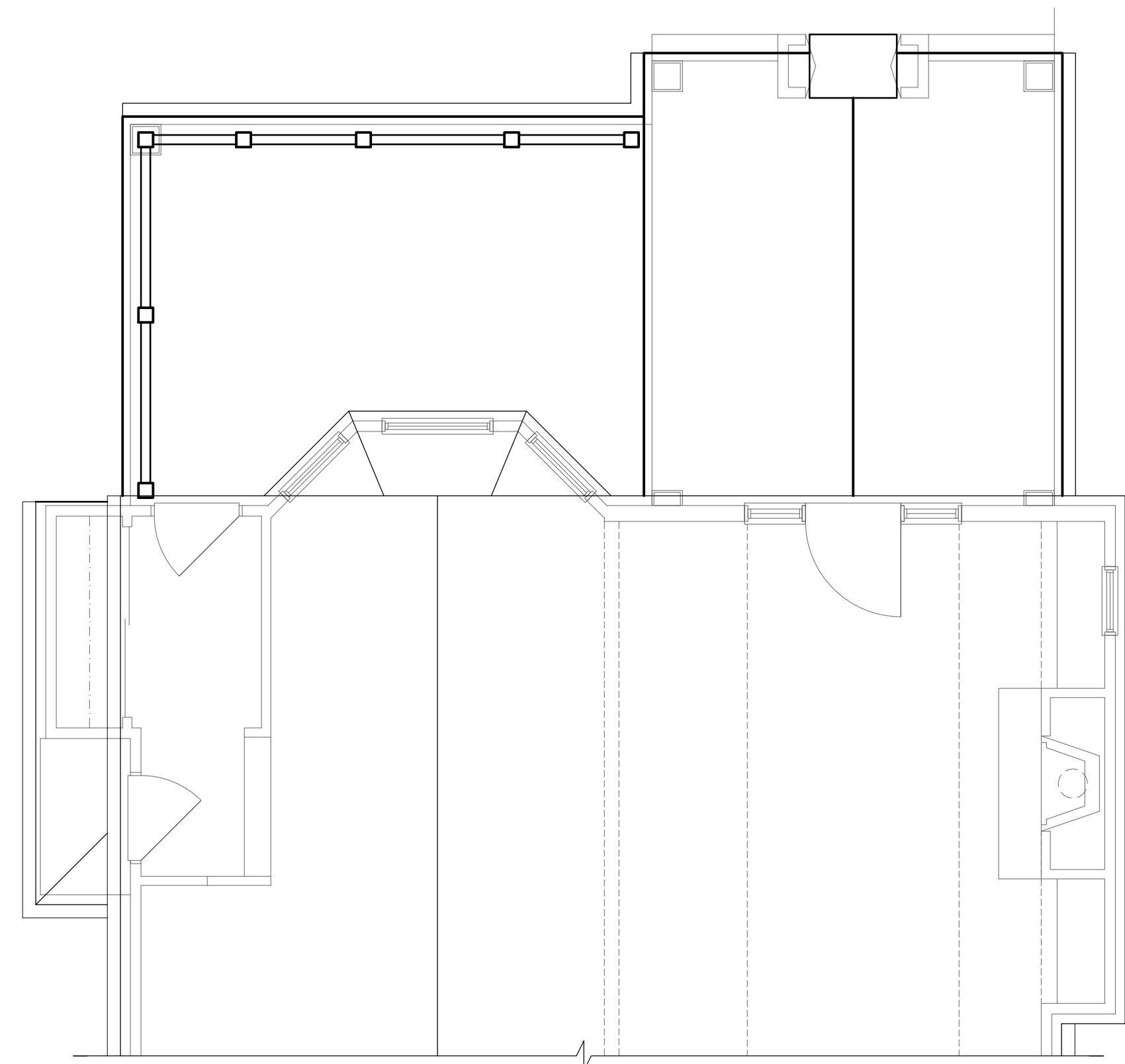


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ODONNELL ADDITION
2754 SHERWOOD RD, BEXLEY, OHIO 43209

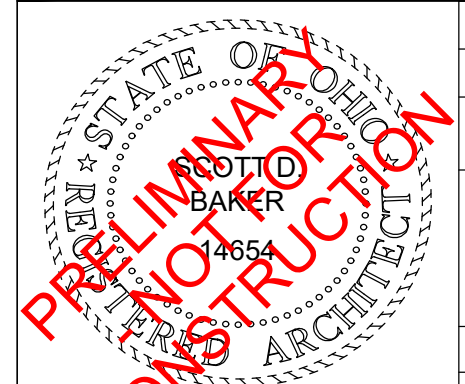


SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
FIRST FLOOR PLAN
A1-1
DATE: 10.14.2020
BZAP SUBMISSION
SCOTT S. BAKER, LICENSE #14654 EXPIRATION DATE 12/31/2021
SBA STUDIOS PROJECT # 2020-391

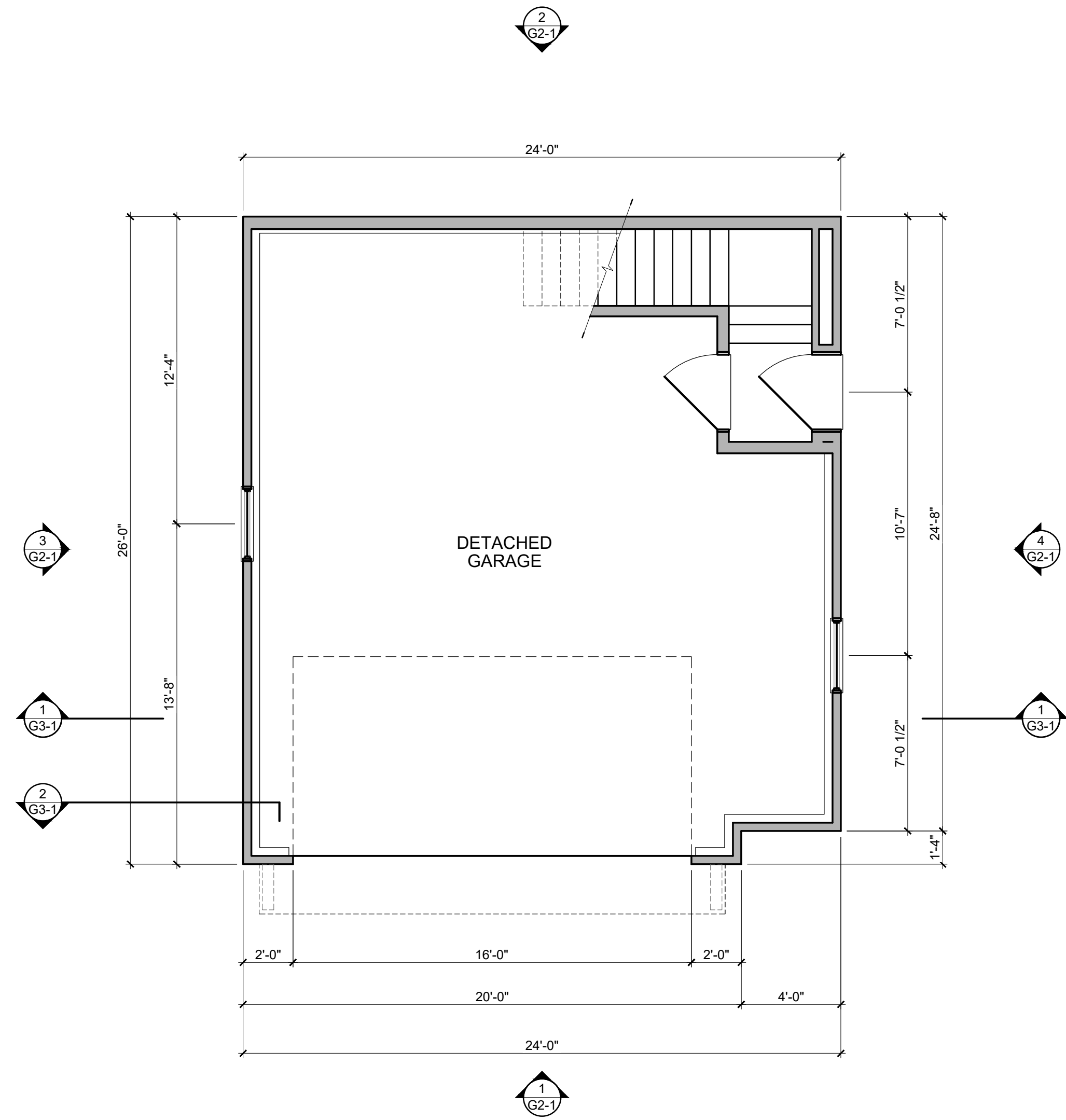


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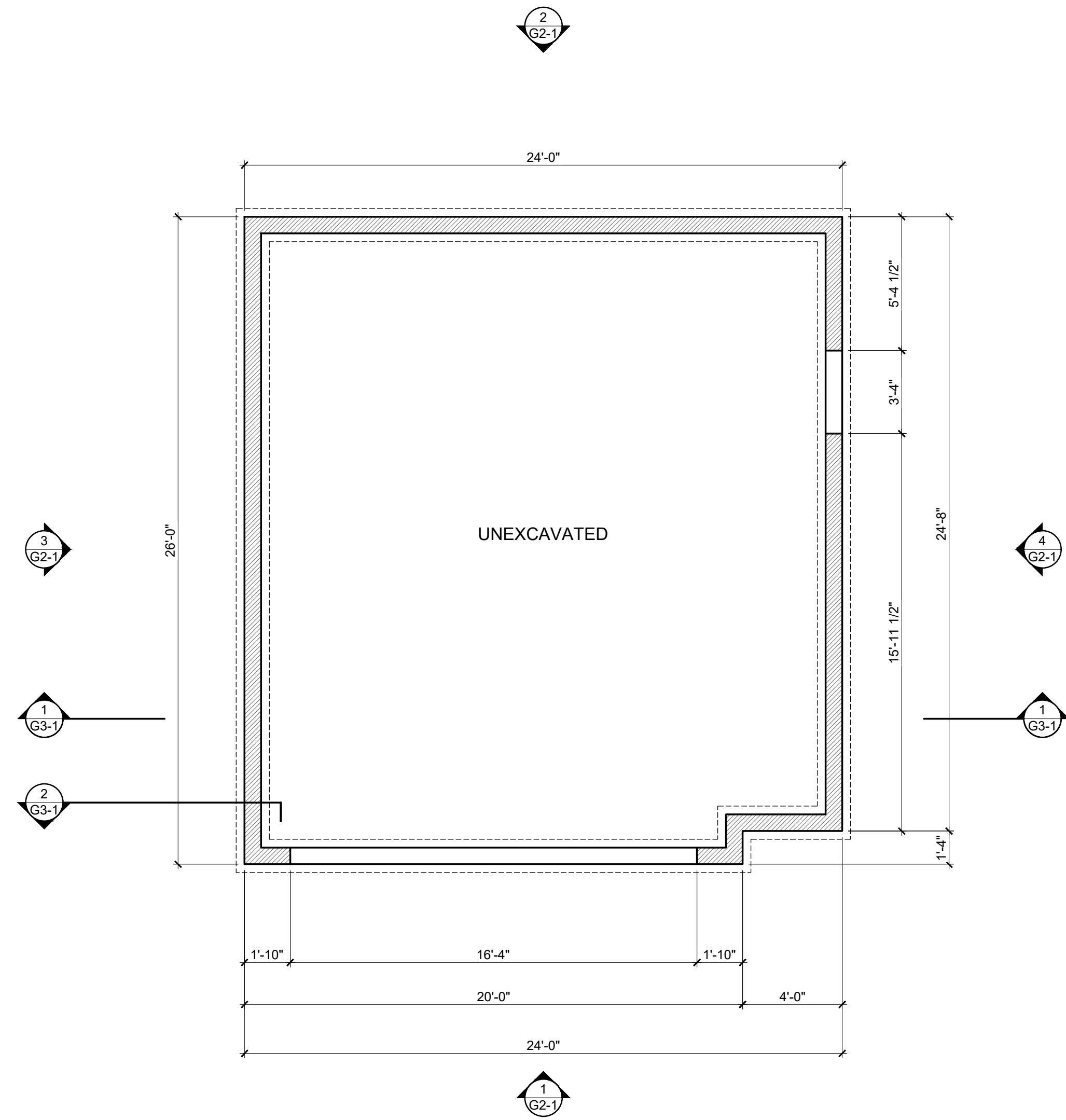
ODONNELL ADDITION
 2754 SHERWOOD RD, BEXLEY, OHIO 43209



SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
ROOF PLAN
A1-2
DATE: 10.14.2020
BZAP SUBMISSION
SBA STUDIOS PROJECT # 2020-391



2 DETACHED GARAGE PLAN

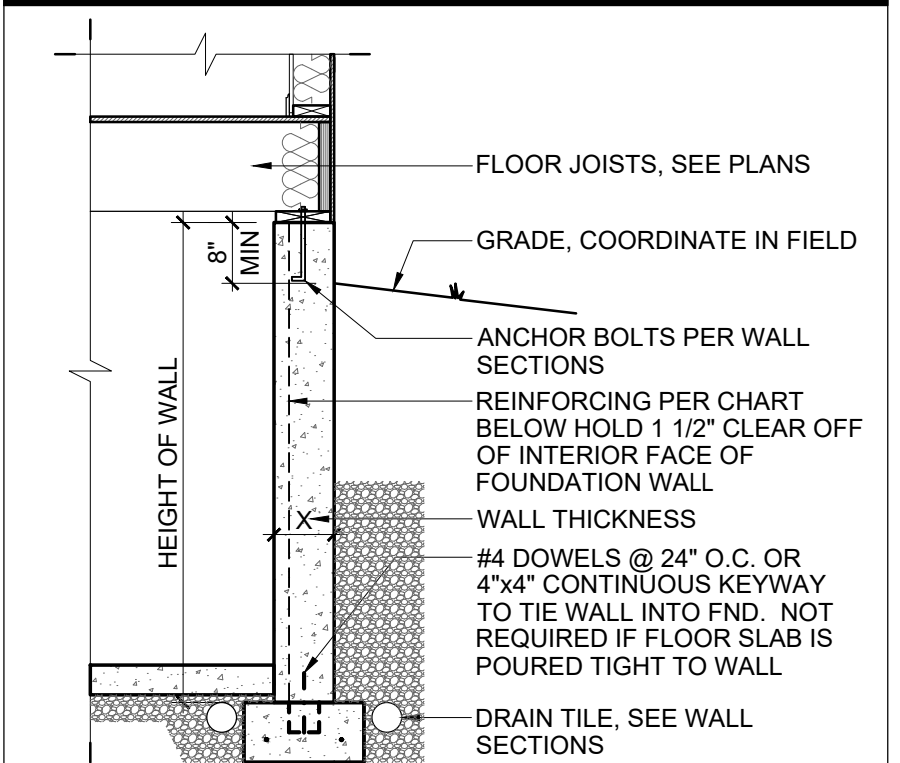


1 DETACHED GARAGE FOUNDATION

FOUNDATION NOTES

- ALL 8" FOUNDATION WALLS SHALL HAVE A MINIMUM 16" x 8" CONTINUOUS POURED CONCRETE FOOTING. SEE WALL SECTIONS.
- CONTRACTOR TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION.
- CEILING HEIGHTS IN BASEMENTS WITH HABITABLE SPACES OR HALLWAYS SHALL NOT BE LESS THAN 7'-0" CLEAR, EXCEPT UNDER BEAMS, DUCTS OR OTHER OBSTRUCTIONS WHERE THE CLEAR HEIGHT SHALL BE 6'-4" MINIMUM.
- ALL PREFABRICATED CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE 8" MINIMUM BEARING AT EACH END. REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION.

FOUNDATION WALL REINFORCING



MINIMUM HORIZONTAL REINFORCING: 8'-0" OR LESS IN HEIGHT: (1) #4 BAR WITHIN 12" OF TOP OF WALL AND AT MID HEIGHT. GREATER THAN 8'-0" IN HEIGHT: PROVIDE (1) #4 BAR WITHIN 12" OF TOP OF WALL AND AT THIRD POINTS OF THE WALL.

FOUNDATION WALL DESIGN - POURED WALLS			
CONCRETE = f _c MIN = 3,000 PSI		REINFORCING f _y MIN = 60,000 PSI, MAXIMUM EQUIVALENT SOIL PRESSURE = 55 PSF	
WALL MAX HEIGHT	WALL THICKNESS	8" THICK WALL	10" THICK WALL
8'-0"	REF: 8"	#5 @ 24" O.C.	NONE
9'-0"	REF: 10"	#6 @ 32" O.C.	#6 @ 40" O.C.
10'-0"	REF: 12"	#6 @ 16" O.C.	#6 @ 24" O.C.

STRUCTURAL LEGEND

- TRUSS / JOIST / RAFTER INDICATOR
- DIRECTION OF SPAN
- EXTENTS OF STRUCTURE
- SOLID BLOCKING
- STEEL BEAM (SEE PLAN FOR SIZE)
- HEADER / BEAM (SEE PLAN FOR SIZE)
- GIRDER TRUSS (SEE TRUSS MANF DWGS)
- STEEL COLUMN (SEE PLAN FOR SIZE)
- POINT LOAD LOCATION
- POINT LOAD FROM ABOVE

SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES
 ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED, (F) = FLUSH
 ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

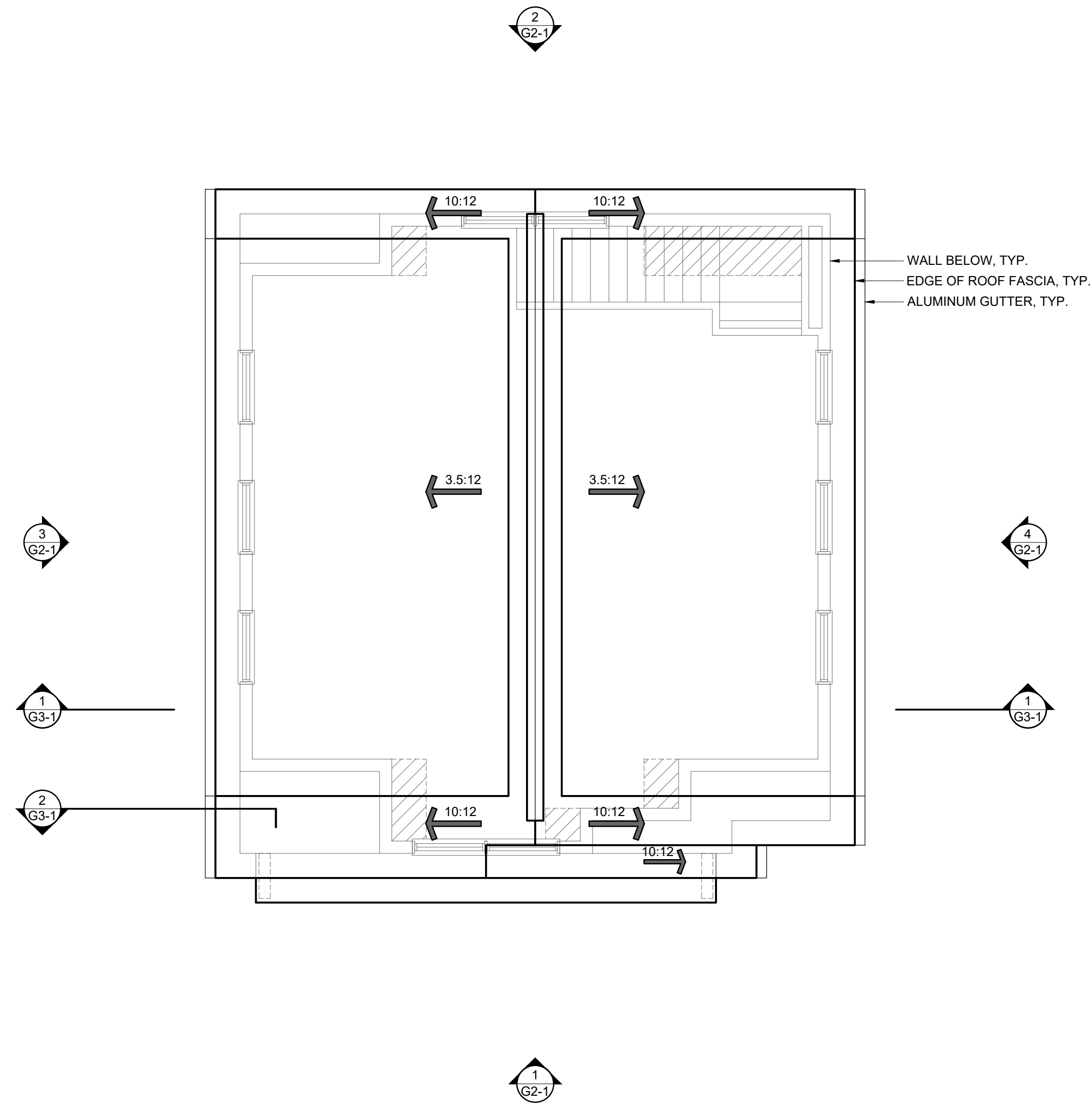
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ODONNELL ADDITION
 2754 SHERWOOD RD, BEXLEY, OHIO 43209

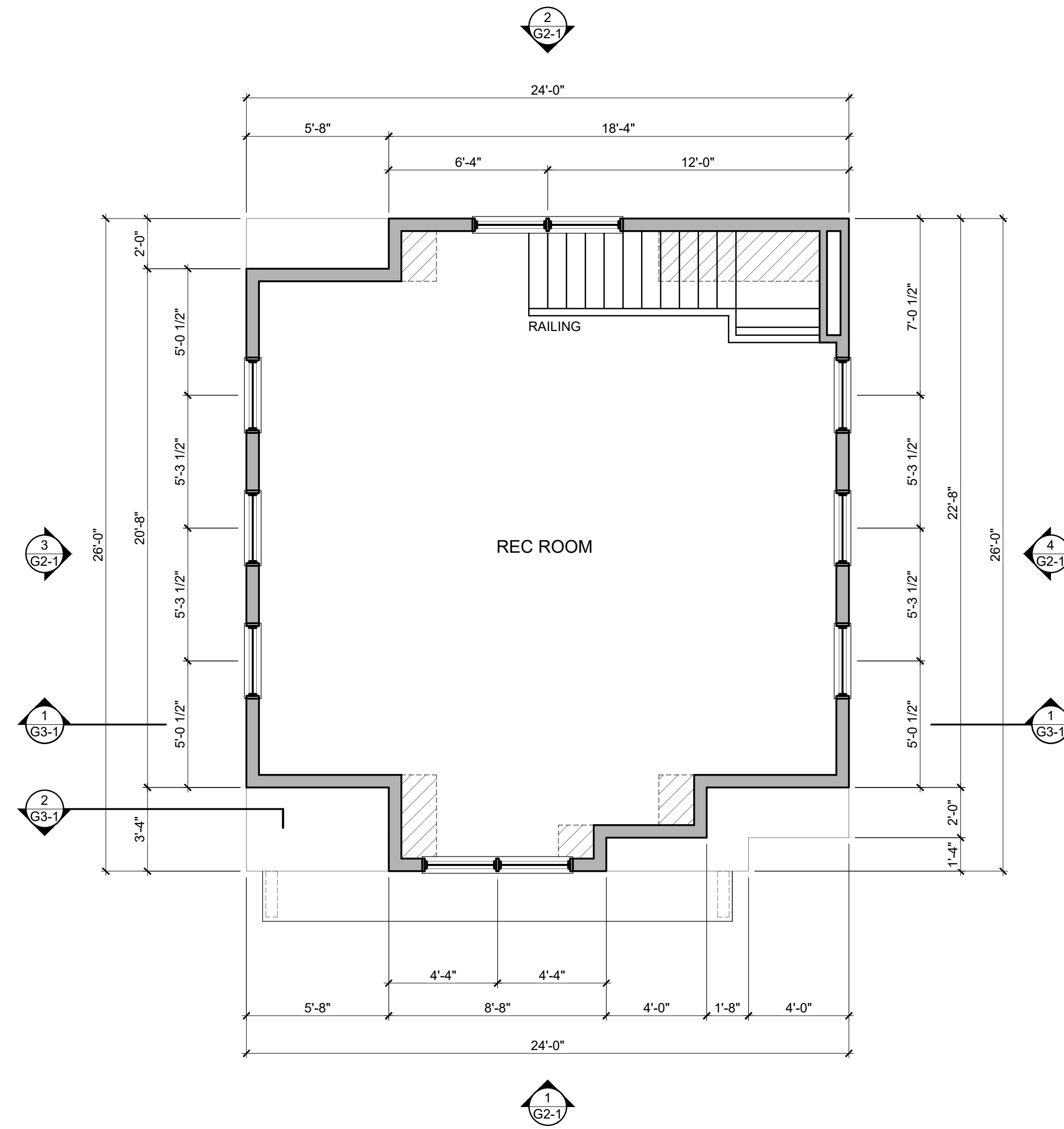


SCALE: 1/4" = 1'-0"
 SHEET # / DESCRIPTION
 FDN / 1ST FLR GARAGE
G1-1
 DATE: 10.14.2020
 BZAP SUBMISSION
 SBA STUDIOS PROJECT # 2020-391





2 DETACHED GARAGE ROOF PLAN



1 DETACHED GARAGE SECOND FLOOR

ROOF PLAN NOTES

1. CONTRACTOR TO DETERMINE NUMBER, SIZE AND LOCATION OF DOWNSPOUTS PER CODE FOR PROPER ROOF DRAINAGE.
2. FALSE CHIMNEYS, DORMERS, CUPOLAS AND OTHER SIMILAR FEATURES SHOULD NOT BE FRAMED AS A BOX ON THE ROOF. THE BOX SHOULD BE FRAMED DOWN INTO THE ROOF TO THE CEILING LEVEL AND STRUCTURALLY TIED INTO THE ADJACENT RAFTERS AND CEILING JOISTS, OR TRUSSES. THE EXTERIOR SHEATHING SHALL EXTEND DOWN TO THIS LEVEL OTHER THAN WHERE A METAL FLU NEEDS TO GO THROUGH FROM A FIREBOX.
3. PROVIDE MINIMUM 22"x30" ATTIC ACCESS OPENING INTO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET. THE VERTICAL HEIGHT SHALL BE MEASURED FROM THE TOP OF THE CEILING FRAMING MEMBERS TO THE UNDERSIDE OF THE ROOF FRAMING MEMBERS. PROVIDE MINIMUM 22"x30" ATTIC OPENING INTO OVERLAY FRAMED ROOF AREAS. ATTIC ACCESS OPENINGS FROM CONDITIONED SPACES TO BE GASKETED.
4. ROOFS TO HAVE A 1'-0" OVERHANG FROM OUTSIDE FACE OF EXTERIOR SHEATHING TO OUTSIDE FACE OF FASCIA, U.N.O.

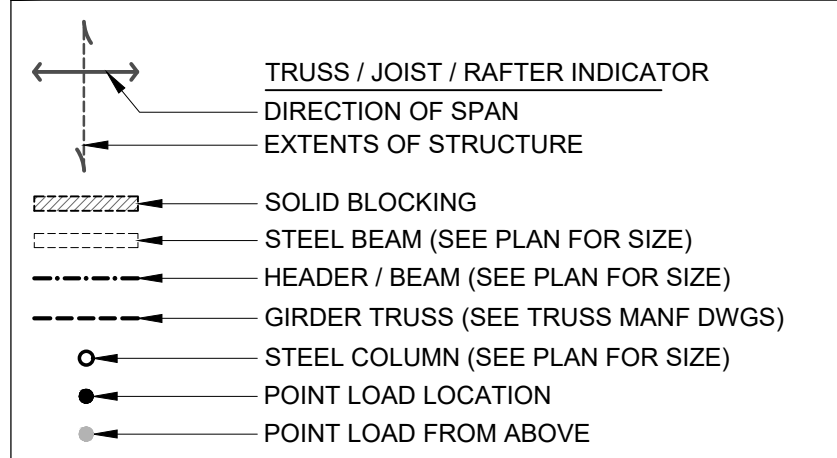
TRUSS NOTES

1. TRUSS PROFILES (SEE ELEVATIONS) ARE FOR TRUSS MANUFACTURER'S REFERENCE ONLY. TRUSS MANUFACTURER TO VERIFY ALL TRUSS SIZES AND DIMENSIONS ARE CORRECT PER THE CONSTRUCTION DOCUMENTS.
2. FINAL TRUSS LAYOUT AND DESIGN ARE THE RESPONSIBILITY OF THE TRUSS MANUFACTURER. VERIFY INTERIOR SLOPES OF SCISSOR TRUSSES AND HEIGHTS OF TRAY CEILINGS W/ BUILDER / OWNER PRIOR TO FABRICATION. IF TRUSS DESIGN DIFFERS FROM THESE DOCUMENTS IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE ARCHITECT.
3. TRUSS MANUFACTURER TO ENSURE TRUSSES ARE DESIGNED SUCH THAT ALL FASCIA ALIGN PER EXTERIOR ELEVATIONS.

RAFTER NOTES

1. ALL RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHERE JOISTS ARE PARALLEL TO THE RAFTERS. WHERE RAFTERS ARE NOT PARALLEL, RAFTERS SHALL BE TIED WITH A RAFTER TIE WHICH SHALL BE LOCATED AS NEAR TO THE PLATE AS PRACTICAL. RAFTER TIES SHALL NOT BE SPACED MORE THAN 48" O.C.
2. RAFTERS SHALL BE FRAMED TO RIDGE BOARD, OR TO EACH OTHER, WITH GUSSET PLATES AS A TIE.
3. RIDGE BOARDS SHALL BE AT LEAST 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. WHEN THE CUT END OF THE RAFTER EXCEEDS 1 1/4" THE RIDGE BOARD SHALL BE CONSTRUCTED OF A SOLID 2x12 WITH AN ADDITIONAL 2x FURRED TO THE BOTTOM EDGE OF THE 2x12.
4. VALLEY AND HIP RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.
5. HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A SUPPORTING PARTITION WALL, OR BE DESIGNED TO CARRY / DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.

STRUCTURAL LEGEND



SEE SHEET A4-1 FOR GENERAL STRUCTURAL NOTES
ALL LVL AND 2x WOOD BEAMS: (D) = DROPPED, (F) = FLUSH
ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

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ODONNELL ADDITION
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SCALE: 1/4" = 1'-0"
SHEET # / DESCRIPTION
2ND FLR/ROOF GARAGE
G1-2
DATE: 10.14.2020
BZAP SUBMISSION
SCOTT BAKER, LICENSE #14654
EXPIRATION DATE 12/31/2021
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