

ADDITION AND RENOVATION OF 752 VERNON AVE.

BEXLEY, OHIO 43209-2465

SCOPE OF WORK

EXISTING REAR PORCH TO BE REMOVED AND THE CONSTRUCTION OF A TWO STORY ADDITION TO THE REAR OF THE HOUSE. THE COMPLETE REMODEL OF THE EXISTING STRUCTURE.

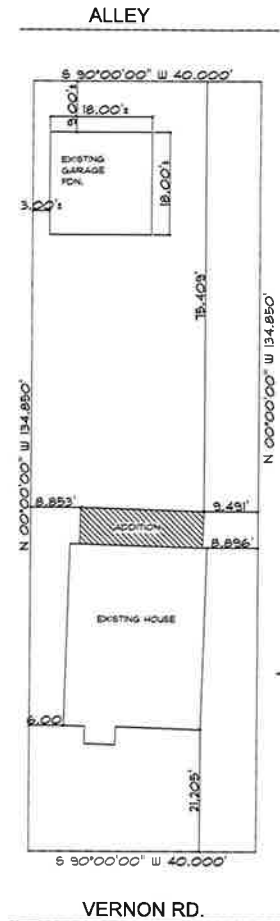
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

ROOF SNOW LOAD LB PER SQ FT.	WIND DESIGN	SEISMIC CONDITIONS BY ZONE	SUBJECT TO DAMAGE FROM		SUBJECT TO DAMAGE FROM		WINTER DESIGN (TEMP AND HEATING FACILITIES)
			WEATHERING	FROST DEPTH	TURBULENCE	DECAY	
20	30 MPH	I	SEVERE	3"	YES	YES	1 DEG F

ADDITION TO BE DESIGNED AND BUILT TO THE FOLLOWING CODES
2019 RCO, 2018 IECC, 2017 Ohio Plumbing Codes and 2017 NEC

AREA SCHEDULE	
NAME	AREA
REAR PORCH	233.0 sq. ft.
1st FLOOR ADDITION	117.2 sq. ft.
2nd FLOOR ADDITION	117.2 sq. ft.
TOTAL ADDITION	467.4 sq. ft.

INDEX	
COVER PAGE	1
DEMOLITION PLANS	2
FOUNDATION AND FLOOR PLANS	3
EXTERIOR ELEVATIONS	4
STRUCTURAL PLANS	5



SITE PLAN

SCALE: 1/8" = 1'

GENERAL NOTES:

- LOAD DESIGN PARAMETERS:**
 - ROOFS: 1ST FLOOR 40 PSF L.L., 10 PSF D.L.
 - 2ND FLOOR 30 PSF L.L., 10 PSF D.L.
 - ROOF: 25 PSF L.L., 10 PSF D.L.
 - ATTIC: 30 PSF L.L., 10 PSF D.L.
 - WIND: 13 PSF
 - ANTICIPATED SOIL BEARING CAPACITY: 1500PSF
- DIMENSIONAL LUMBER SHALL HAVE THE FOLLOWING PROPERTIES:**
 - ALL STUDS TO BE STUD GRADE OR BETTER.
 - ALL LUMBER SHALL BE #2 OR BETTER OR HAVE THE SAME DESIGN VALUES OR BETTER.
 - ALL DIMENSIONAL LUMBER SHALL HAVE A MAX. MOISTURE CONTENT OF 15%.
- THE FOLLOWING FASTENING SCHEDULE OUTLINES THE MIN. REQUIREMENTS, (ENSURING SHANK NAILS: CROWNPOINT WIRE NAILS)**
 - A. SUBFLOOR TO JOIST: GLUE AND 1-8D RSN # 6"
 - O.C. ON THE EDGES 4 12" O.C. IN THE FIELD
 - B. SOLE PLATES TO SUBFLOOR: GLUE AND 1-6D CUN # 6" O.C.
 - C. STUDS TO SOLE PLATE: 2-6D CUN
 - D. STUDS TO TOP PLATES: 2-6D CUN
 - E. STUD TO STUD 4 PLATE TO PLATE: 2-6D CUN
 - F. ROOF SHEATHING TO TRUSSES: 8D CUN # 4" O.C.
 - G. ROOF TRUSSES TO WALL: 1" SIMPSON STRONG TIE ANCHOR H2.5"
 - H. WOOD NAILER TO TOP OF STEEL BEAM: BOLT OR RAM SET
- ALL L.V.L. BEAMS SHALL BE FASTENED PER MANUFACTURERS SPECS.
- TRUSSES SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF OHIO. ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
 - TOP CHORD D.L. 10 PSF
 - BOTTOM CHORD D.L. 20 PSF 4 L.L. 20 PSF IN 42" PANELS.
- FIRESTOPPING SHALL BE PROVIDED WITH NONCOMBUSTIBLE MATERIAL IN THE FOLLOWING LOCATIONS:
 - A. CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT THE CEILING LINE AND AT THE FLOOR LEVEL.
 - B. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT BOFFITS OVER WALL CABINETS, DROP CEILING.
 - C. OPENINGS AROUND PIPES, DUCTS, FIREPLACE CHIMNEYS AT CEILING AND FLOOR INTERSECTIONS.
- ALL INTERIOR WALLS ARE 3/2" UNLESS NOTED OTHERWISE.
 - HANDRAIL TO BE CIRCULAR, 1 1/4"-2" IN DIAMETER OR HAVE A NON-CIRCULAR CROSS-SECTION WITH A PERIMETER DIMENSION OF AT LEAST 4", BUT NOT MORE THAN 6 1/4" AND A LARGEST CROSS SECTION DIMENSION NOT TO EXCEEDING 3 1/4" 4 EDGES FLARED TO MIN. 1/8" RADIUS. HANDRAILS TO HAVE A MIN. AND MAX. HEIGHT OF 34" AND 38" RESPECTIVELY MEASURED VERTICALLY FROM THE nosing of the TREADS AND BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRS. GUARD RAILS SHALL NOT BE LESS THAN 36" IN HEIGHT.
- THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1 1/2" INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.
- INSTALL DBL. RIM JOIST WHERE FLOOR JOIST RUN PARALLEL TO FOUNDATION.
- JOIST SHALL BE SUPPORTED LATERALLY BY SOLID BLOCKING, DIAGONAL BRACING (WOOD OR METAL) AT INTERVALS NOT TO EXCEED 10'.
- NOTCHES IN LUMBER ARE NOT TO EXCEED 1/3 THE DEPTH OF THE FLOOR JOIST, RAFTER, OR BEAM AND SHALL NOT BE LONGER THAN 1/3 THE DEPTH OF THE FRAMING MEMBER. NO NOTCHING SHALL BE PERMITTED IN THE MIDDLE 1/3 OF THE SPAN. NOTCHES AT THE END OF FRAMING MEMBERS SHALL NOT EXCEED 1/4 THE DEPTH OF THE FRAMING MEMBER.
- THE DIAMETER OF HOLES IN FRAMING MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE FRAMING MEMBER. HOLES SHALL NOT BE ANY CLOSER THAN 3" TO ANY OTHER HOLES OR NOTCHES. HOLES SHALL NOT BE CLOSER THAN 2" FROM THE TOP OR BOTTOM OF THE FRAMING MEMBER.
- SMOKE DETECTORS ARE TO HARDWIRED TOGETHER SO THAT WHEN ONE SMOKE DETECTOR SOUNDS AN ALARM ALL SMOKE DETECTORS WILL SOUND. ALL SMOKE DETECTORS TO BATTERY BACKUP AND WIRING TO THE LOCAL ELECTRICAL CIRCUIT AHEAD OF ANY SWITCHES.
- BLOCK ALL POINT LOADS SOLID TO FOUNDATION.
- ANY FOAM PLASTIC INSULATION EXPOSED IN THE ATTIC, DWELLING UNIT OR CRAWL SPACE SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPED FACTOR OF NOT TO EXCEED 450.



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REVISION SCHEDULE	
DATE	REVISION NOTE
2-11-2021	DRYING

DATE: 2/1/20

DRAWN BY: JP

SHEET

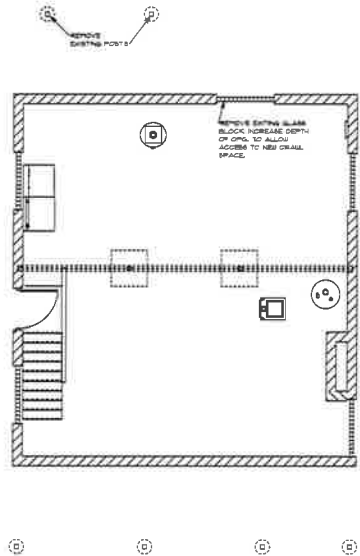
1 OF 5

**ADDITION AND RENOVATION
 OF
 752 VERNON AVE.**
 BEXLEY, OHIO 43209-2485

REVISION SCHEDULE	
DATE	REVISION NOTE
2/11/00	CON'T. DOC.'S

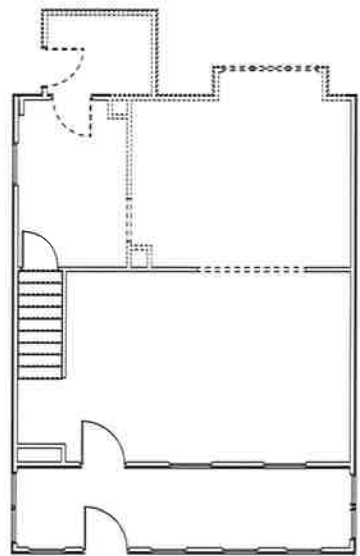
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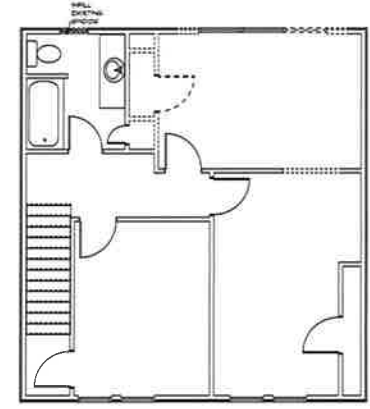
FOUNDATION DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



1ST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



2ND FLOOR DEMOLITION PLAN

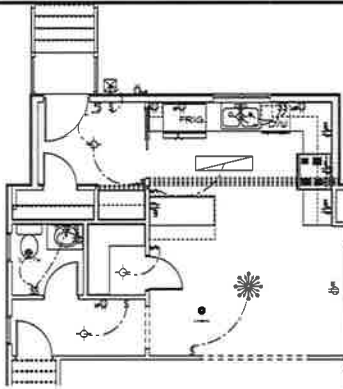
SCALE: 1/4" = 1'-0"

WALL LEGEND

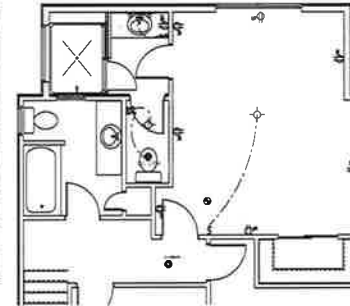
-  EXISTING EXTERIOR WALL
-  EXISTING INTERIOR PARTITION
-  EXISTING INTERIOR PARTITION TO BE REMOVED
-  EXISTING EXTERIOR WALL TO BE REMOVED

1ST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

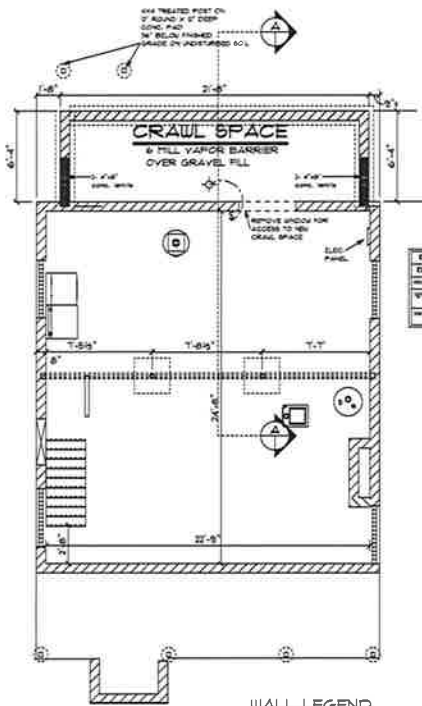


ELECTRICAL	SYMBOL
WIRE, CIRCULAR	
RECESSED 1" (S) 1 x 4	
1/2" x 1/2" x 1/2" RECESSED LIGHT	
CORNER, SQUARE, SQUARE DETECTOR	
1/2" x 1/2" x 1/2"	
1/2"	
SWITCH 10	
SWITCH 8"	
SWITCH 6"	
SWITCH 3 way	
SWITCH 2 way	
SWITCH 1 way	
SWITCH 1 way	



1ST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



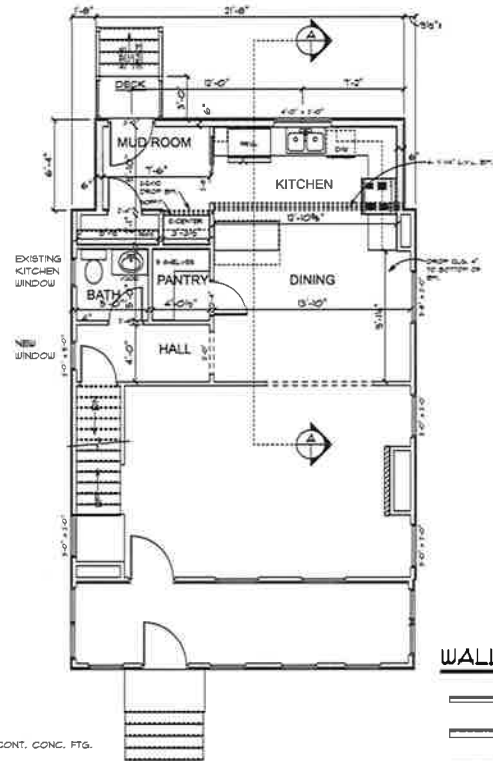
ELECTRICAL	SYMBOL
SWITCH	
SWITCH	

WALL LEGEND

- NEW CONC. BLK. WALL ON 16"x8" CONT. CONC. FTG.
- EXISTING CONC. BLK. WALL

FOUNDATION PLAN

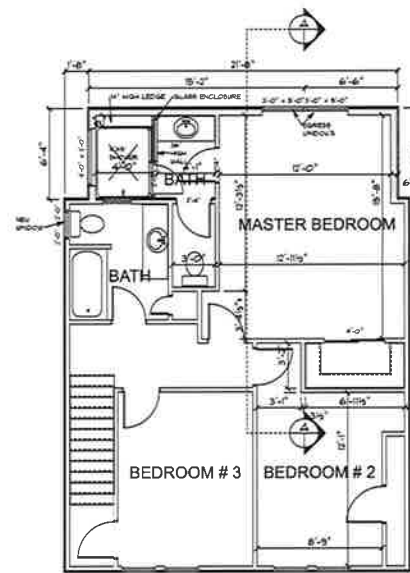
SCALE: 1/4" = 1'-0"



1ST FLOOR PLAN

WALL LEGEND

- EXISTING 2x4 EXTERIOR WALL
- NEW 2x6 EXTERIOR WALL
- EXISTING 2x4 INTERIOR PARTITION
- NEW 2x4 INTERIOR PARTITION



2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

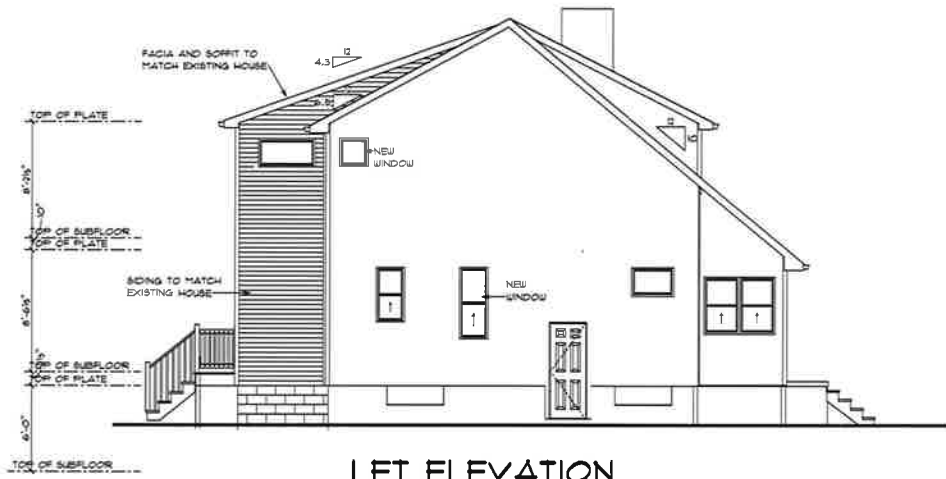


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OF
752 VERNON AVE.
BEAVER, OHIO 43209-2485

REVISION	DATE	REVISION NOTE
1	2/1/20	ISSUE FOR PERMITS

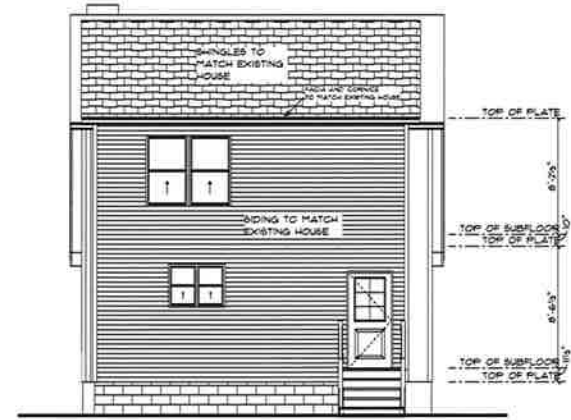
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DRAWN BY: J.P.

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3 OF 5



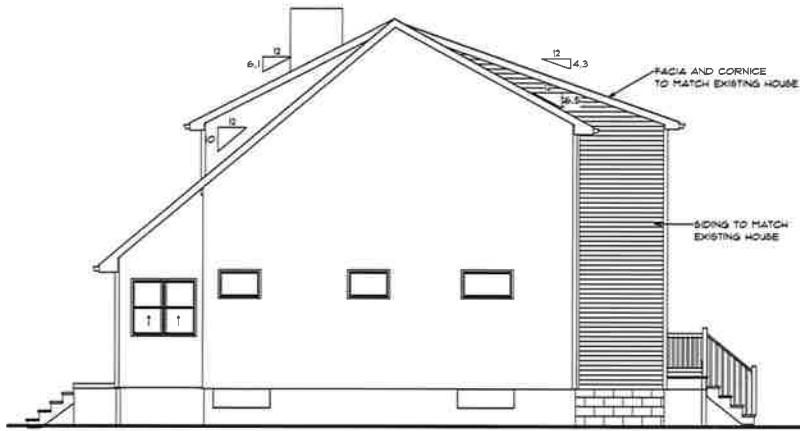
LET ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

Project: 142-037004-0001 - HOUSE CO. AND RENOVATION

Client: L.V.L. BUILDING SERVICES INC.

Address: 752 VERNON AVE. BEXLEY, OHIO 43006

City: BEXLEY, OHIO

State: OHIO

Country: USA

Date: 2/15/21

Scale: 1/4" = 1'-0"

Sheet: 1 OF 5

DESCRIPTION	QTY	UNIT	PRICE	TOTAL
CEILING				
Plaster	100	SQ. FT.	1.50	150.00
Paint	100	SQ. FT.	0.50	50.00
Subtotal				200.00
WALLS				
Plaster	100	SQ. FT.	1.50	150.00
Paint	100	SQ. FT.	0.50	50.00
Subtotal				200.00
FLOORING				
Plaster	100	SQ. FT.	1.50	150.00
Paint	100	SQ. FT.	0.50	50.00
Subtotal				200.00
ROOFING				
Plaster	100	SQ. FT.	1.50	150.00
Paint	100	SQ. FT.	0.50	50.00
Subtotal				200.00
PAINTS				
Plaster	100	SQ. FT.	1.50	150.00
Paint	100	SQ. FT.	0.50	50.00
Subtotal				200.00
TOTAL				800.00

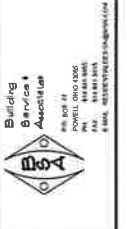
Prepared by: J.P.

Checked by: J.P.

Scale: 1/4" = 1'-0"

Sheet: 1 OF 5

**L.V.L. BM. OVER
KITCHEN DESIGN
CALCULATIONS**



**ADDITION AND RENOVATION
OF
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BEXLEY, OHIO 43006-2485

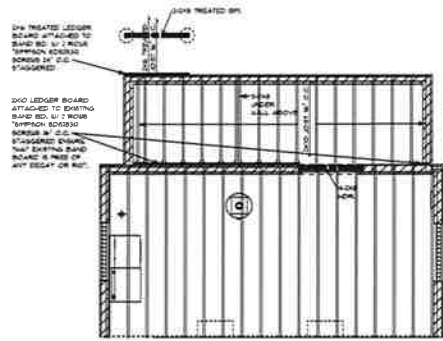
DATE	REVISION NOTE
2/15/21	CONCEPT PLAN

DATE: 2/1/20

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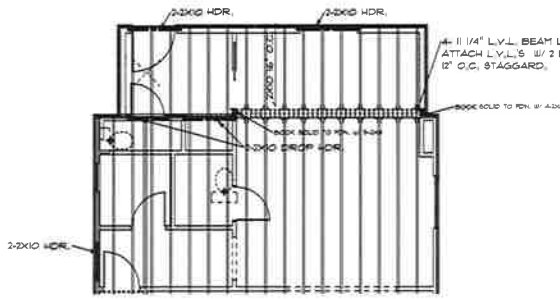
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4 OF 5



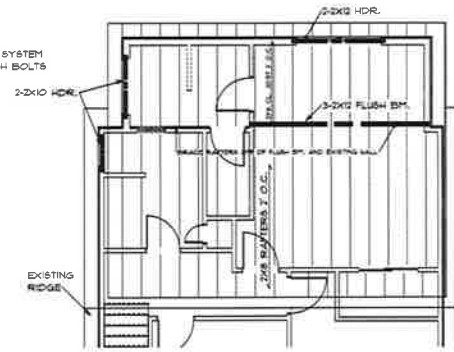
1st FLOOR JOIST PLAN

SCALE 1/4" = 1'-0"



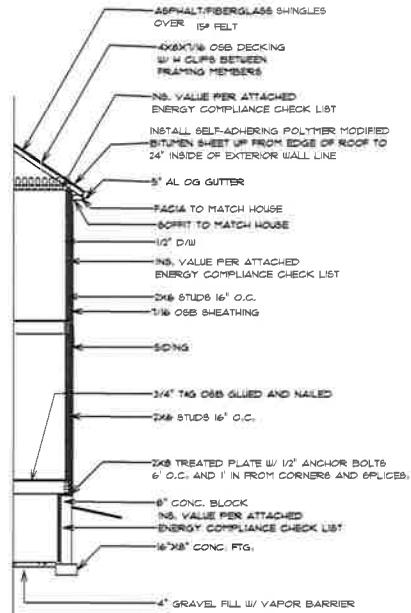
2nd FLOOR JOIST PLAN

SCALE 1/4" = 1'-0"

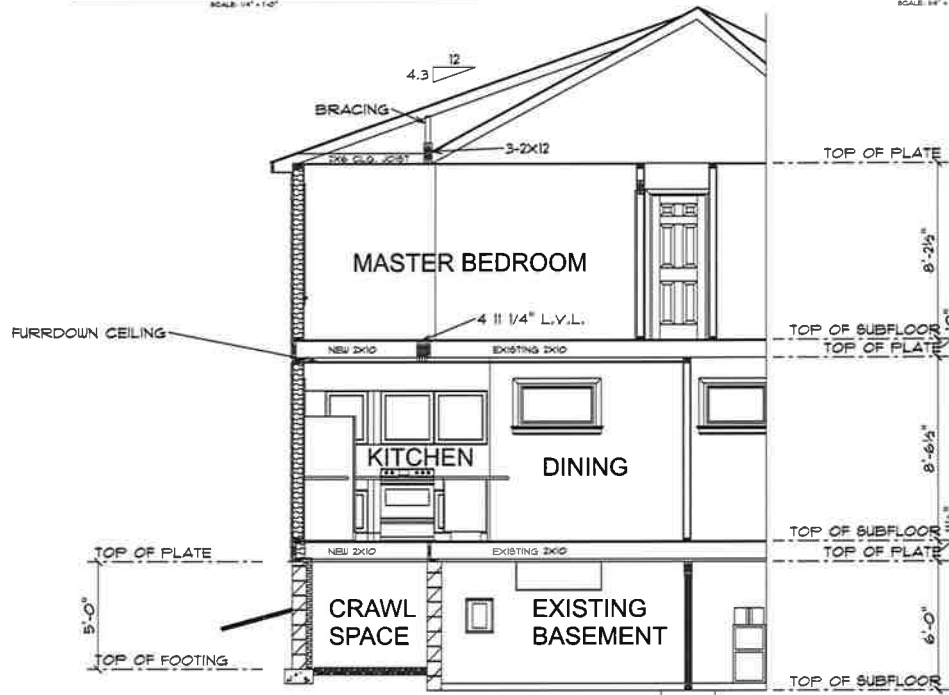


ROOF PLAN

SCALE 3/8" = 1'-0"



**TYP.
WALL SECTION**
NO SCALE



SECTION AA

SCALE 3/8" = 1'-0"



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REVISION NUMBER	DATE	REVISION NOTE
1	2/1/20	ISSUED FOR PERMITS

DATE: 2/1/20

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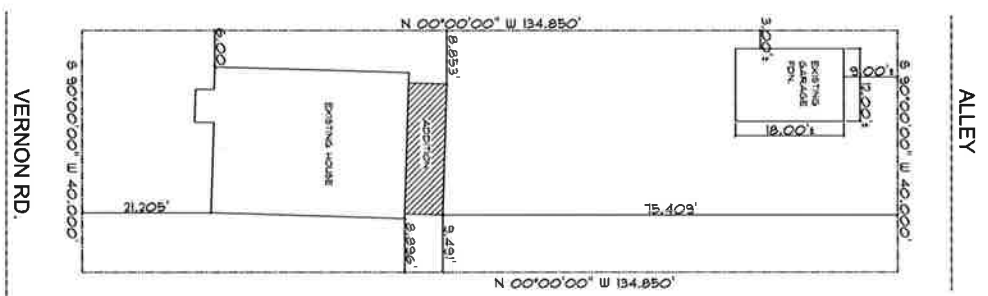
5 OF 5





SITE PLAN

SCALE: 1" = 20'



**Building
Service &
Associates**
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POWELL, OHIO 43065
PH. 614-841-9460
FAX 614-841-9415
E-MAIL RESIDENTIALDESIGN@MSN.COM

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OF
752 VERNON AVE.
BEXLEY, OHIO 43209-2465**

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SCALE: NOTED
DATE: 2/1/20