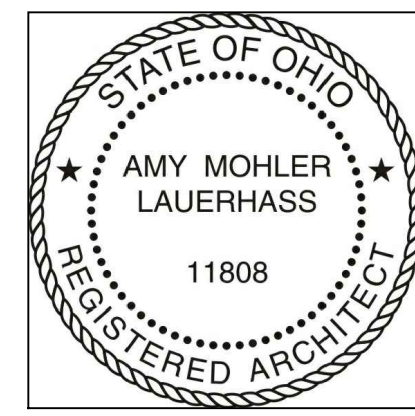




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RENOVATION FOR:
THE AUCH RESIDENCE
 31 BULLITT PARK PLACE
 BEXLEY, OHIO 43209

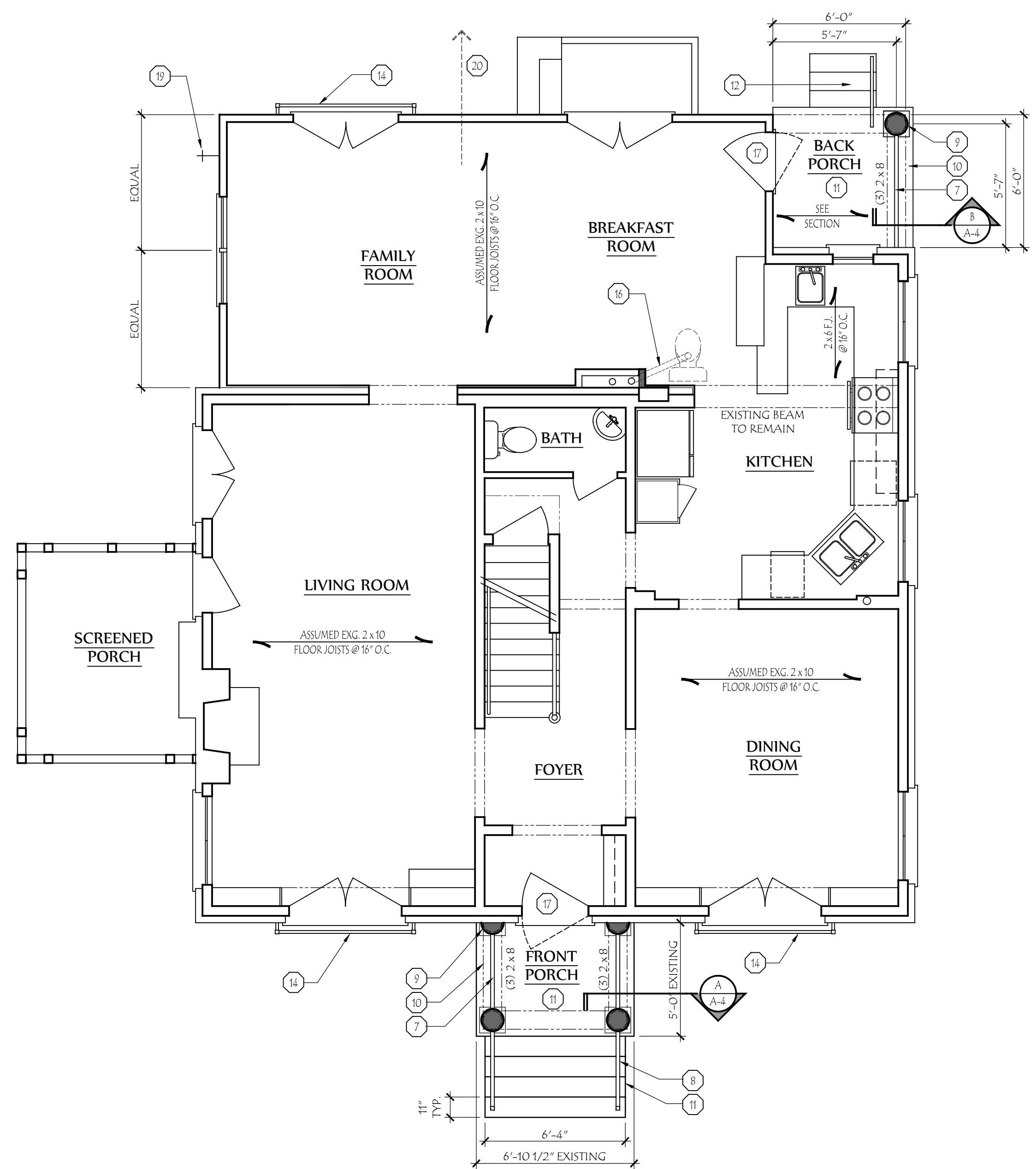
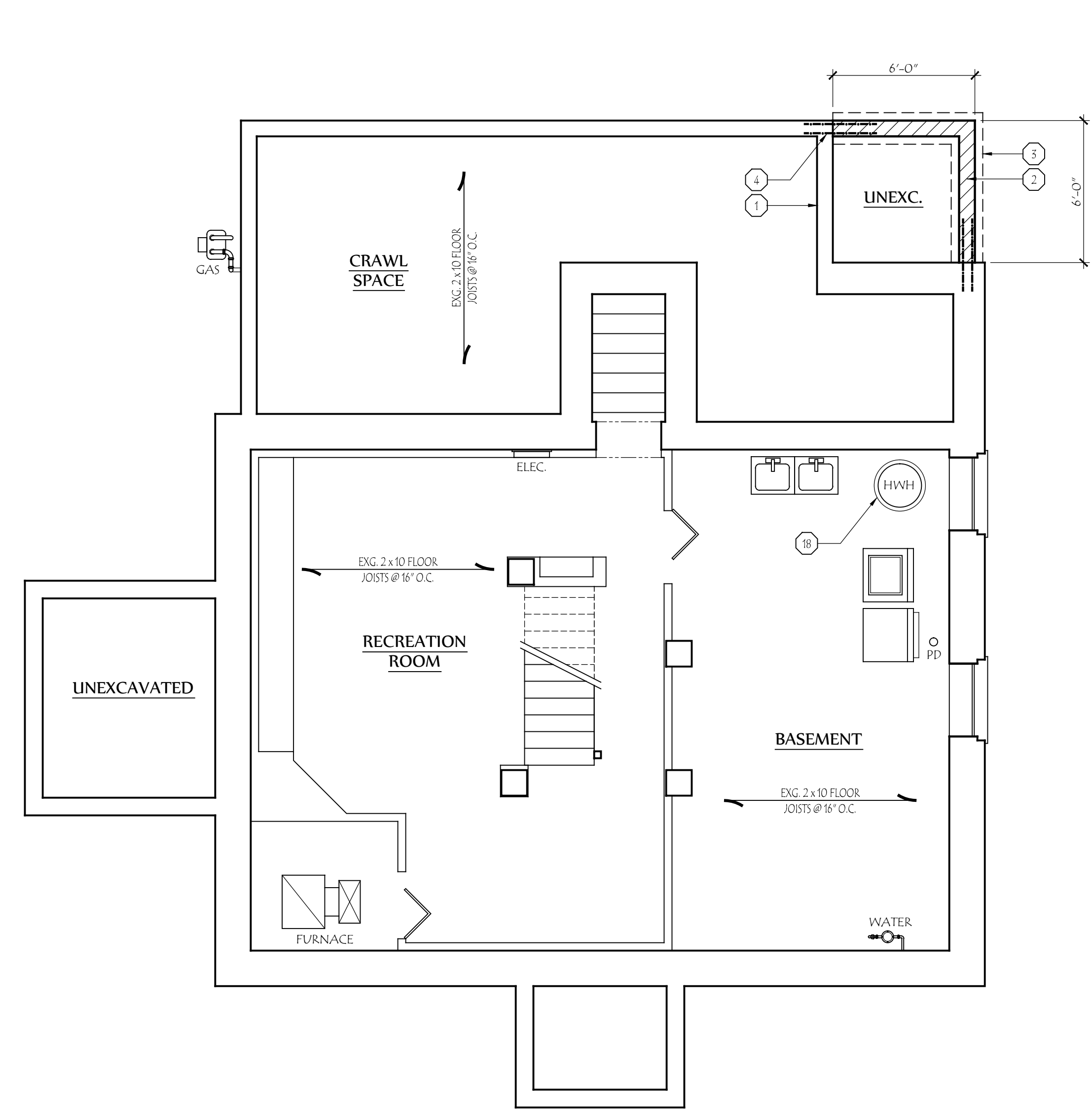
Project Number:
 17-005

Revisions:

Date:
 12 February 2018

Drawing Title:
 Foundation Plan
 First Floor Plan

Sheet Number:
 A-1



FLOOR PLAN CODED NOTES
 (DRAWING SHEET A-1 ONLY)

- UNSHADED WALLS INDICATE EXISTING CONSTRUCTION TO REMAIN.
- HATCHED WALLS INDICATE NEW 8" THICK CONCRETE BLOCK FOUNDATION WALL.
- 8" DEEP x 16" WIDE CONCRETE FOOTING WITH (2) #5 REBAR CONTINUOUS.
- PIN NEW FOOTING INTO EXISTING FOUNDATION WITH (2) NO. 5 REBAR - MINIMUM 36" LONG.
- NOT USED.
- NOT USED.
- WROUGHT IRON GUARDRAIL: 36" ABOVE FINISHED FLOOR, WITH BALUSTERS SPACED AT 5" O.C. MAXIMUM. RAIL & BALUSTER STYLE TO BE AS SELECTED BY THE OWNER.
- WROUGHT IRON HANDRAIL: 34" ABOVE LEADING EDGE OF TREADS, WITH BALUSTERS SPACED AT 5" O.C. MAXIMUM. RAIL & BALUSTER STYLE TO BE AS SELECTED BY THE OWNER.
- 12" DIAMETER DORIC COLUMN / HALF COLUMN.
- 10" WIDE BEAM ABOVE. SEE TYPICAL WALL SECTIONS SHEET A-5.
- POURED CONCRETE LANDING AND STEPS. MAXIMUM RISER HEIGHT TO BE 8".
- TEMPORARY WOOD STEPS & HANDRAIL. FINAL STEP DESIGN BY OTHERS.
- NOT USED.
- NEW WROUGHT IRON GUARDRAIL.
- NOT USED.
- NEW TOILET LOCATION ABOVE. RUN DRAIN INTO EXISTING CHASE, AS FAR SOUTH AS POSSIBLE. (FOR FUTURE KITCHEN RENOVATION)
- NEW ENTRY DOOR & STORM DOOR.
- NEW HOT WATER HEATER TO VENT THROUGH SIDE WALL, DUE TO REMOVAL OF EXISTING CHIMNEY.
- NEW HOSE BIB LOCATION.
- NEW GAS LINE TO BE RUN TO NEW GRILL LOCATION. CONSULT OWNER FOR FINAL LOCATION.



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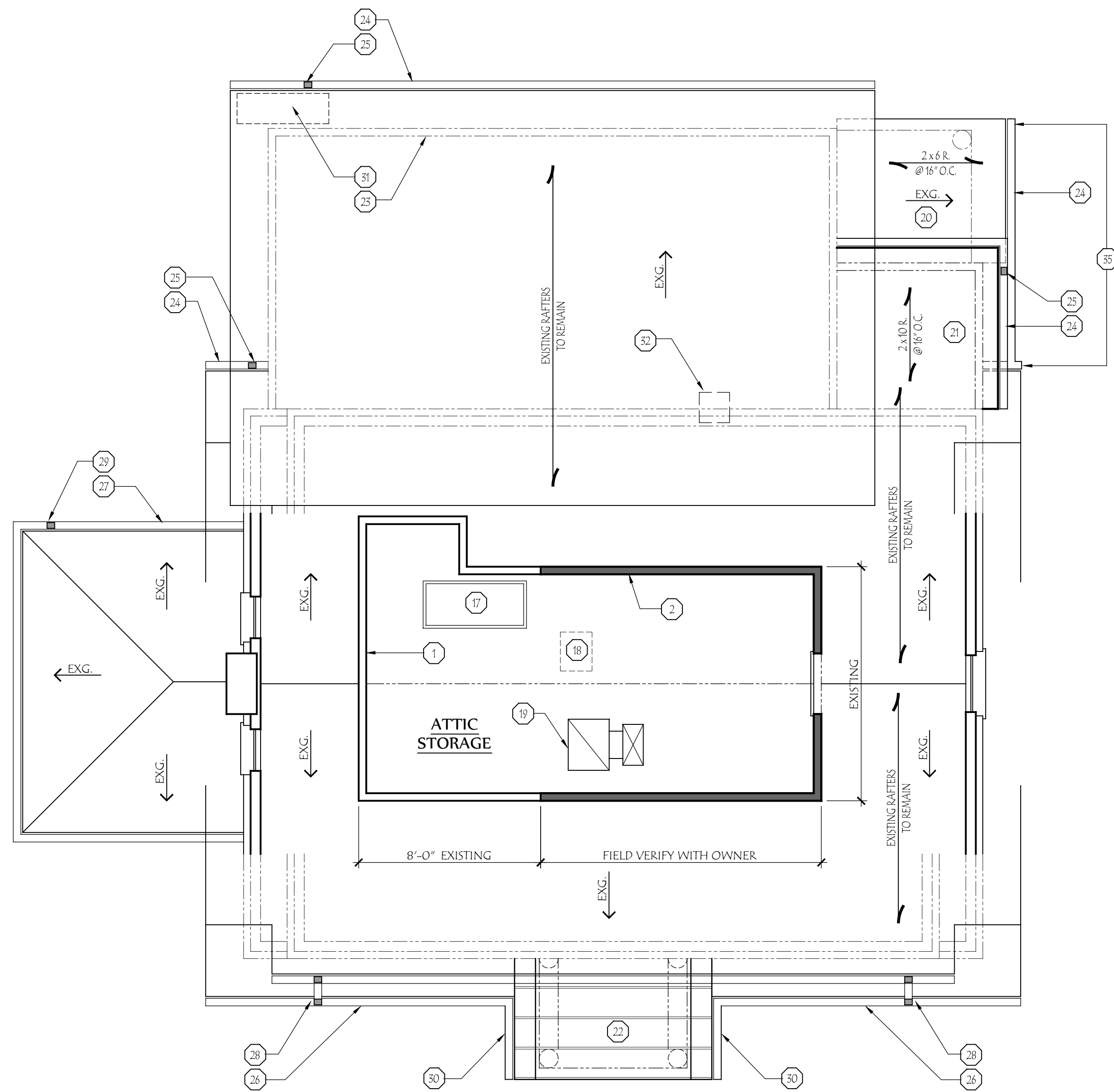
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Revisions:

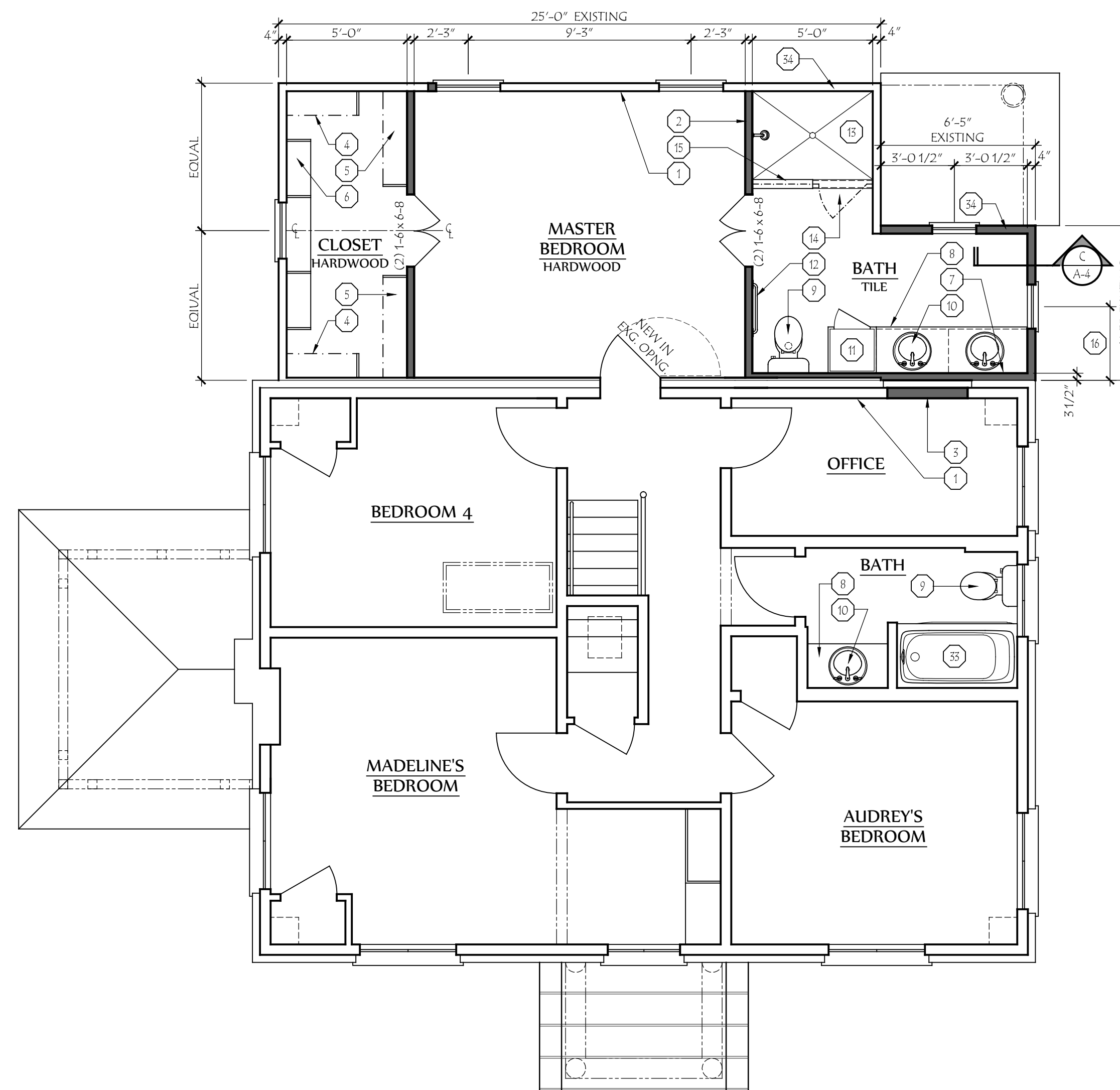
Date:
 12 February 2018

Drawing Title:
Second Floor Plan
Roof Plan

Sheet Number:
A-2



Attic / Roof Plan
 SCALE: 1/4" = 1'-0"

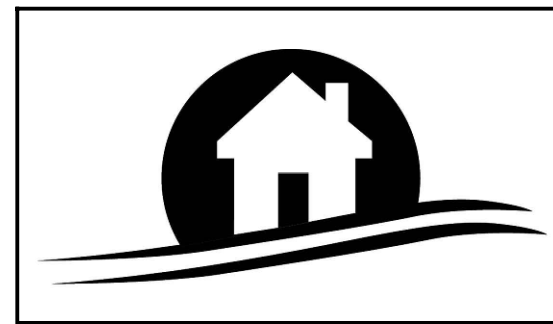


Second Floor Plan
 SCALE: 1/4" = 1'-0"

FLOOR PLAN CODED NOTES
 (DRAWING SHEET A-2 ONLY)

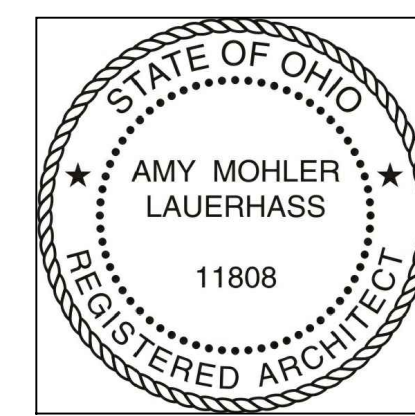
- UNSHADED WALLS INDICATE EXISTING CONSTRUCTION TO REMAIN.
- SHADED WALL INDICATES NEW STUD WALL: 2 x 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL INTERIOR SURFACES AND 1/2" PLYWOOD SHEATHING ON ALL EXTERIOR SURFACES. TYPICAL UNLESS NOTED OTHERWISE.
- WOOD STUD INFILL OF EXISTING WALL OPENING: PATCH SURFACES TO MATCH EXISTING.
- SINGLE CLOSET ROD & SHELF.
- DOUBLE CLOSET RODS AND SHELVES.
- 12" DEEP ADJUSTABLE CLOSET SHELVING.
- MIRROR LOCATION, STYLE AND SIZE AS SPECIFIED BY THE OWNER.
- VANITY BASE AND COUNTERTOP.
- TOILET & SEAT.
- COUNTER LAVATORY AND FAUCET.
- FULL HEIGHT LINEN CABINET.
- SUGGESTED TOWEL BAR LOCATION.
- 44" x 60" CUSTOM SHOWER BASE.
- FRAMELESS GLASS SHOWER ENCLOSURE AND DOOR.
- HALF WALL BEHIND BATHROOM DOOR, WITH SOLID SURFACE CAP.
- FIELD VERIFY: CENTER WITH KITCHEN WINDOW BELOW.
- EXISTING ATTIC PULL-DOWN STAIR TO REMAIN.
- EXISTING CLOSET ATTIC-ACCESS PANEL TO BE REMOVED. PATCH SURFACES TO MATCH EXISTING.
- SUGGESTED LOCATION FOR NEW FURNACE TO CONDITION SECOND FLOOR. FINAL LOCATION TO BE DETERMINED BY HVAC CONTRACTOR.
- NEW DIMENSIONAL ASPHALT SHINGLE ROOFING ON NEW ROOF AREA BELOW. MATCH EXISTING.
- FULLY ADHERED 60 MIL. SINGLE PLY EPDM ROOF MEMBRANE ON 2 X SLEEPERS ON ROOF AREA BELOW. CREATE SLOPE FOR PROPER DRAINAGE.
- NEW STANDING-SEAM METAL ROOF ON NEW PORCH ROOF STRUCTURE.
- DASHED LINE INDICATES EXTERIOR WALL BELOW.
- NEW METAL HALF-ROUND GUTTER - TYPICAL. COLOR TO MATCH EXISTING.
- NEW RECTANGULAR ALUMINUM DOWNSPOUT LOCATION. MATCH EXISTING. SEE NOTE BELOW.
- REINSTALL EXISTING GUTTER AFTER PORCH CONSTRUCTION.
- EXISTING GUTTER TO REMAIN.
- EXISTING DOWNSPOUT TO REMAIN.
- EXISTING DOWNSPOUT TO REMAIN. SEE NOTE BELOW.
- CONNECT NEW PORCH GUTTER INTO EXISTING.
- EXISTING SECTION OF DAMAGED SOFFIT TO BE REPAIRED. (OWNER HAS EXTRA SOFFIT MATERIAL.)
- EXISTING SECTION OF ROOF TO BE REPAIRED WHERE CHIMNEY WAS REMOVED.
- 32" x 60" STANDARD TUB/SHOWER & FAUCET WITH CERAMIC TILE SURROUND.
- INSULATE AROUND ENTIRE NEW BATHROOM WITH 3-1/2" R-15 FIBERGLASS BATT INSULATION.
- NEW PORCH GUTTER TO CONTINUE ACROSS ADDITION TRIM BOARD, AND CONNECT INTO NEW GUTTER.

GENERAL NOTE:
 CONTRACTOR TO ASSESS CONDITION & LOCATION OF EXISTING UNDERGROUND STORM DRAINS, AND PROVIDE BIDS TO:
 1. REPAIR/REPLACE EXISTING LINES, AND CONNECT ALL NEW AND EXISTING DOWNSPOUTS.
 2. PROVIDE DRY WELL IN REAR YARD TO COLLECT RAIN FROM BACK HALF OF HOUSE.



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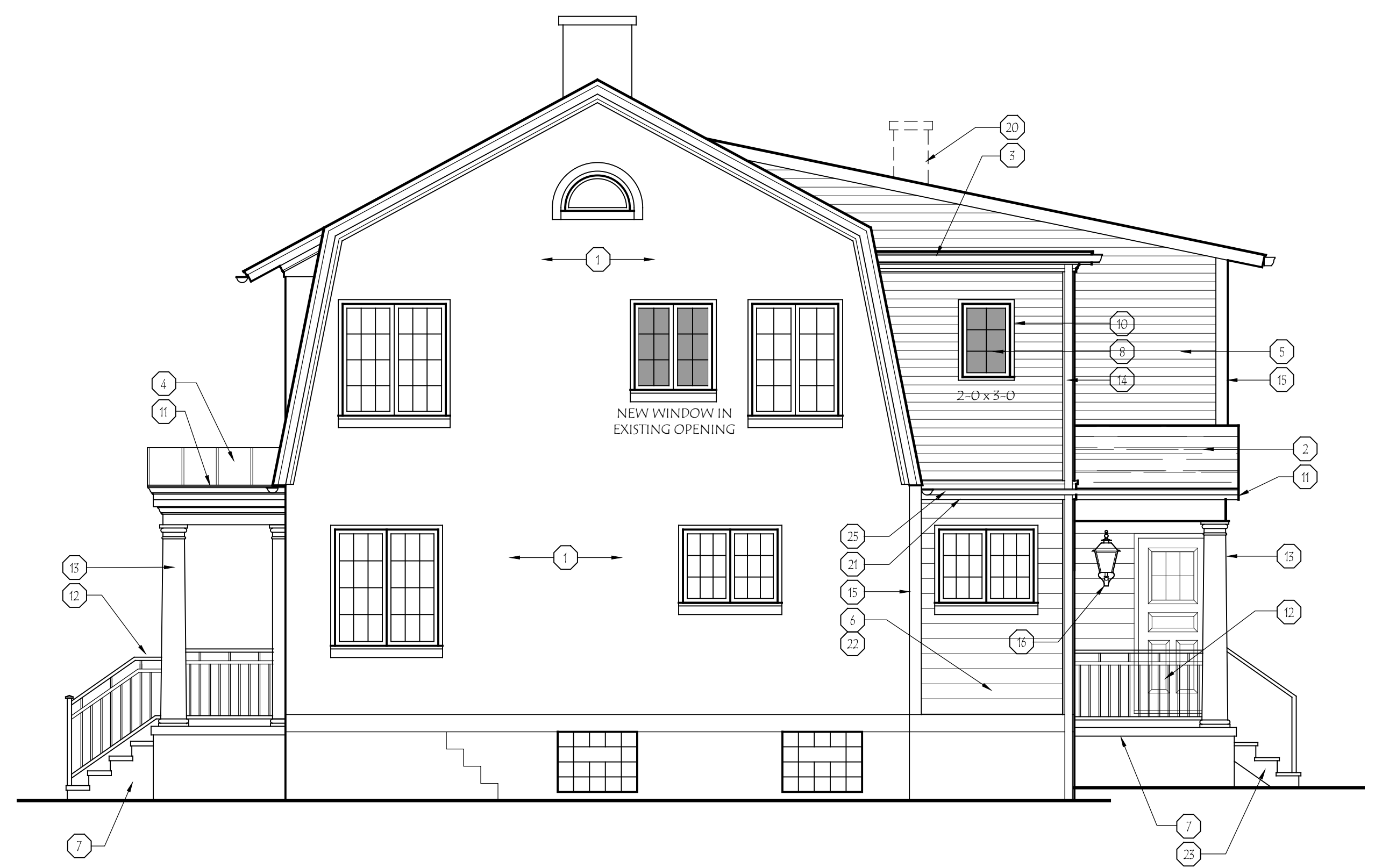
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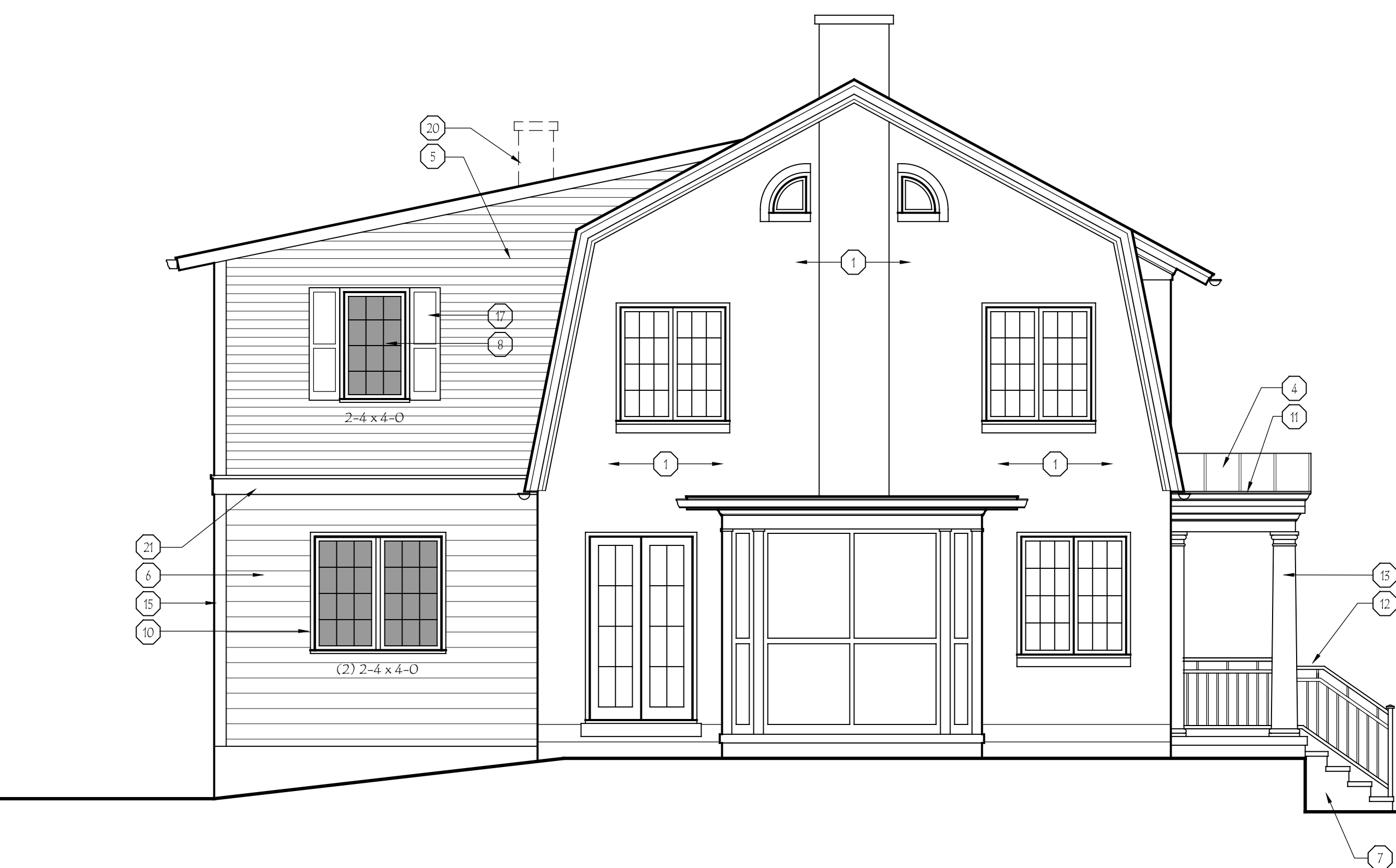
Date:
 12 February 2018

Drawing Title:
 Exterior Elevations

Sheet Number:
A-3



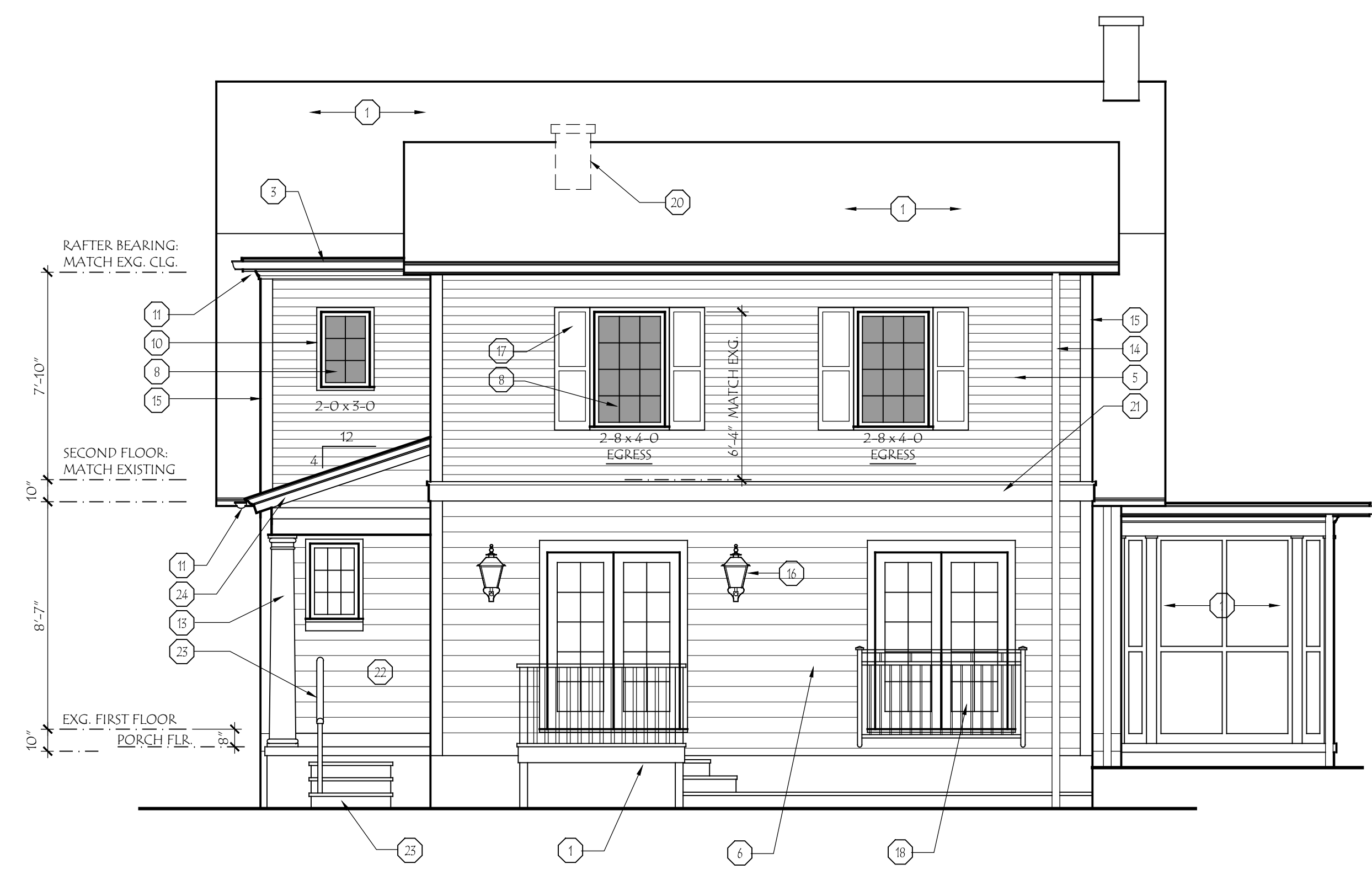
North Elevation
 SCALE: 1/4" = 1'-0"



South Elevation
 SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION CODED NOTES
 (DRAWING SHEET A-2 ONLY)

1. EXISTING CONSTRUCTION TO REMAIN.
2. NEW DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING.
3. 60 MIL FULLY ADHERED, SINGLE PLY MEMBRANE ROOFING ON TAPERED SLEEPERS.
4. STANDING SEAM METAL ROOF WITH 16" PAN WIDTH.
5. NEW PAINTED FIBER CEMENT SIDING WITH 4" EXPOSURE - SECOND FLOOR.
6. NEW PAINTED FIBER CEMENT SIDING WITH 7" EXPOSURE - SECOND FLOOR.
7. POURED CONCRETE PORCH SLAB & STEPS.
8. NEW CLAD WOOD WINDOW UNIT.
9. NEW ENTRY DOOR.
10. FLAT CASING TO MATCH EXISTING WINDOW TRIM.
11. HALF ROUND GUTTER ON 1 x 6 FASCIA BOARD. COLOR TO MATCH EXISTING. SEE TYPICAL WALL SECTIONS FOR DETAILS.
12. WROUGHT IRON RAILING. HANDRAIL AT 34" ABOVE LEADING EDGE OF TREADS, AND GUARDRAIL AT 36" ABOVE FINISHED FLOOR.
13. 12" DIAMETER COLUMN/PILASTER. SEE TYPICAL WALL SECTIONS FOR DETAILS.
14. DOWNSPOUT LOCATION - SEE ROOF PLAN FOR DETAILS.
15. 5/4" x 6 CORNER TRIM.
16. NEW EXTERIOR LIGHT FIXTURE, TO BE SELECTED BY OWNER.
17. NEW paneled shutters TO REPLACE EXISTING. COLOR TO BE SELECTED BY OWNER.
18. NEW FIXED WROUGHT IRON GUARDRAIL. TOP OF RAIL TO BE 36" ABOVE FIRST FLOOR LEVEL.
19. NEW ROUND PORCH ROOF - SEE TYPICAL WALL SECTION FOR DETAILS.
20. EXISTING CHIMNEY TO BE REMOVED THROUGH ROOF. PATCH SURFACES TO MATCH EXISTING.
21. PAINTED FIBER CEMENT BAND BOARD AT THE SECOND FLOOR LEVEL. AT CHANGE IN SIDING.
22. FIBER CEMENT SIDING OVER EXISTING BRICK VENEER - THIS SECTION ONLY.
23. TEMPORARY WOOD STEPS & HANDRAIL. FINAL STEP & PATIO DESIGN BY OTHERS.
24. RAKE TRIM TO MATCH EXISTING ORIGINAL HOUSE.
25. NEW PORCH GUTTER TO CONTINUE ACROSS ADDITION TRIM BOARD, AND CONNECT INTO NEW GUTTER ON EXISTING SECTION OF HOUSE.



West (Rear) Elevation
 SCALE: 1/4" = 1'-0"



East (Front) Elevation
 SCALE: 1/4" = 1'-0"