



CITY OF BEXLEY

ARCHITECTURAL REVIEW BOARD

AGENDA

DATE: March 12, 2020
TIME: 6:00 P.M.
PLACE: City Council Chambers, Bexley Municipal Building

1. Call to Order
2. Roll Call
3. Approval of Minutes from the February 13th, 2020, ARB meeting.
4. Public Comment:

5. **NEW BUSINESS:**

A. Application No.: ARB 20-06
Applicant: Amy Lauerhass
Owner: Brian & Richard Ey
Location: 2468 Elm

ARB Request: The applicant is seeking architectural review and approval to allow an addition and a covered porch at the rear of the existing principal structure.

B. Application No.: ARB 20-08
Applicant: Amy Lauerhass
Owner: Mary & Andrew Auch
Location: 31 Bullitt Park Pl

ARB Request: The applicant is seeking architectural review and approval to allow a 2nd floor addition at the rear of the principal structure, and new covered porch additions at the front and rear of the principal structure.

C. Application No.: ARB-20-07
Applicant: David Pryor
Owner: Pryor Development LLC
Location: 752 Vernon Rd.

ARB Request: The applicant is seeking architectural review and approval to allow an addition to the rear of the existing principal structure.

D. Application No.: BZAP-20-3

Applicant: Genevieve Brune

Owner: Genevieve Brune

Location: 2700 Sherwood

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a 676square foot detached garage that is 22'9" in height, to be constructed in the rear yard.

E. Application No.: BZAP-20-04 Applicant: Pete Foster

Owner: 75Shuffle LLC

Location: 633 Euclaire Ave.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow an addition to the rear of the principal structure, which includes an attached garage.

F. Application No.: BZAP-20-5

Applicant: Brian Jones

Owner: Jeffrey & Jennifer McCloskey

Location: 209 S. Columbia Ave.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow an addition to the rear of the principal structure, which would attach and enclose the existing detached garage and add a detached garage.

G. Application No.: BZAP-20-6

Applicant: Brian Marzich

Owner: Laura Maddox & Kevin Keenan

Location: 796 S. Remington

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a 2-story addition to the rear of the 2-story principal structure.



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, March 12, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-20-6

Applicant: Amy Lauerhass

Owner: Briana & Richard Ey

Location: 2468 Elm Ave.




ARB Request: The applicant is seeking architectural review and approval to allow an addition and covered porch addition to the rear of the existing principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 02-27-2020

*(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory structures and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

Applicant

 Amy Lauerhass
 614-371-3523
 amy@lauerhassarchitecture.com

Location

2468 ELM AV
Bexley, OH 43209

ARB-20-6

Status: Active

Submitted: Feb 12, 2020

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

One story addition and covered porch addition to the rear of the home.

Architecture Review	Demolition
true	--
Planned Unit Dev	Rezoning
--	--

A.1: Attorney / Agent Information

Agent Name	Agent Address
--	--
Agent Email	Agent Phone
--	--
Property Owner Name	Property Owner phone
--	--

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project	Minor Architectural Review
140000	--
Major Architectural Review	Variance Review - Fill out a BZAP Application instead.
true	--
Zoning	Zoning Review Type
--	--

Sign Review and Architectural Review for Commercial Projects

--

Review Type

--

Appeal of ARB decision to BZAP

--

Appeal of BZAP decision to City Council

--

B: Project Worksheet: Property Information**Occupancy Type**

Residential

Zoning District

R-6

Use Classification

R-6 (35% Building and 60% Overall)

B: Project Worksheet: Lot Info**Width (ft)**

50

Depth (ft)

121.7

Total Area (SF)

6085

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)**

1114

Proposed Addition (SF)

243

Removing (SF)

--

Type of Structure

One Story Addition

Proposed New Primary Structure or Residence (SF)

--

Total Square Footage

1357

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)**

380

Proposed Addition (SF)

--

New Structure Type

--

Ridge Height

--

Proposed New Structure (SF)

--

Is there a 2nd Floor

--

Total of all garage and accessory structures (SF)

380

Total building lot coverage (SF)

1737

Total building lot coverage (% of lot)

28.5

Is this replacing an existing garage and/or accessory structure?

--

B: Project Worksheet: Hardscape**Existing Driveway (SF)**

1200

Existing Patio (SF)

--

Existing Private Sidewalk (SF)

91

Proposed Additional Hardscape (SF)

145

Total Hardscape (SF)

1436

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)**

3173

Total overall lot coverage (% of lot)

52

C.1 Architectural Review Worksheet: Roofing**Roofing**

true

Structure

House or Principal Structure

Existing Roof Type

Arch. Dimensional Shingles

New Roof Type

Metal

New Single Manufacturer

TBD

New Roof Style and Color

Standing Seam Metal; Color TBD

C.1 Architectural Review Worksheet: Windows**Windows**

true

Structure

House or Principal Structure

Existing Window Type

Double Hung

Existing Window Materials

Other

Other existing window materials

Vinyl

New Window Manufacturer

To Match Existing

New Window Style/Mat./Color

Double hung + casement/vinyl/white

C.1 Architectural Review Worksheet: Doors**Doors**

true

Structure

House or Principal Structure

Existing Entrance Door Type

Wood

Existing Garage Door Type

--

Door Finish**Proposed Door Type**

Painted

Fiberglass

Proposed Door Style

Proposed Door Color

French

White

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Existing Door Trim

Vinyl

Proposed New Door Trim

Vinyl

Existing Window Trim

Vinyl

Proposed New Window Trim

Vinyl

Trim Color(s)

White to Match Existing

Do the proposed changes affect the overhangs?

No

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

true

Existing Finishes

Wood Siding

Existing Finishes Manufacturer, Style, Color

Wood Shake Siding; Random Width; Staggered Bottom Edge

Proposed Finishes

Wood Siding

Proposed Finishes Manufacturer, Style, Color

Wood Shake Siding; Random Width; Staggered Bottom Edge to Match Existing

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

--

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

Attachments (8)



Photographs (required)
Feb 12, 2020



IMG_5851.JPG
Feb 12, 2020



IMG_5852.JPG
Feb 12, 2020



IMG_5858.JPG
Feb 12, 2020

pdf **Architectural Plans which include Exterior Elevations and floor plans of existing and proposed**
Feb 12, 2020

pdf **Site Plan**
Feb 12, 2020

pdf **Permission for Agent to represent owner.**
Feb 12, 2020

pdf **2020 03 12 - 2468 Elm ARB addition.pdf**
Mar 04, 2020

Timeline

Payment

Status: Paid February 12th 2020, 11:03 am

Zoning Officer

Status: Completed March 5th 2020, 12:32 pm

Assignee: Kathy Rose

Kathy Rose March 5th 2020, 12:32:14 pm

Design Planning Consultant

Status: In Progress

Assignee: Karen Bokor

Architectural Review Board

Status: In Progress

Board of Zoning and Planning

Status: In Progress

City Council

Status: In Progress

Tree Commission

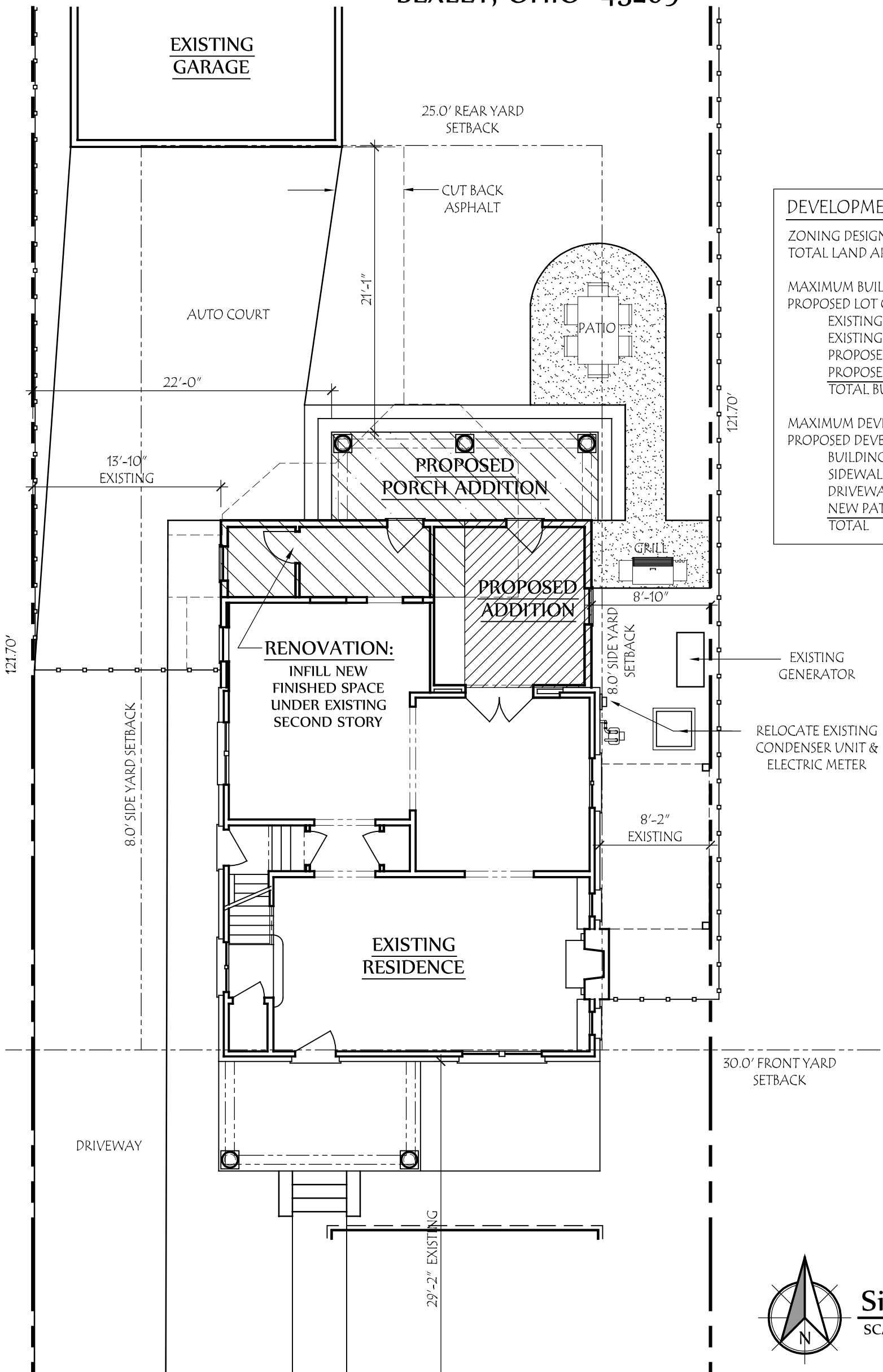
Status: In Progress

Arborist

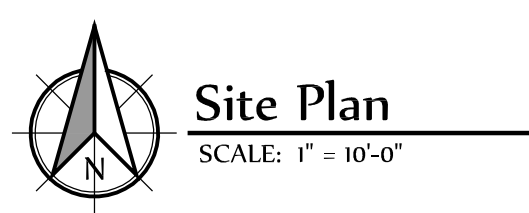
Status: In Progress

ADDITION & RENOVATION FOR: THE EY RESIDENCE

2468 ELM AVENUE
BEXLEY, OHIO 43209

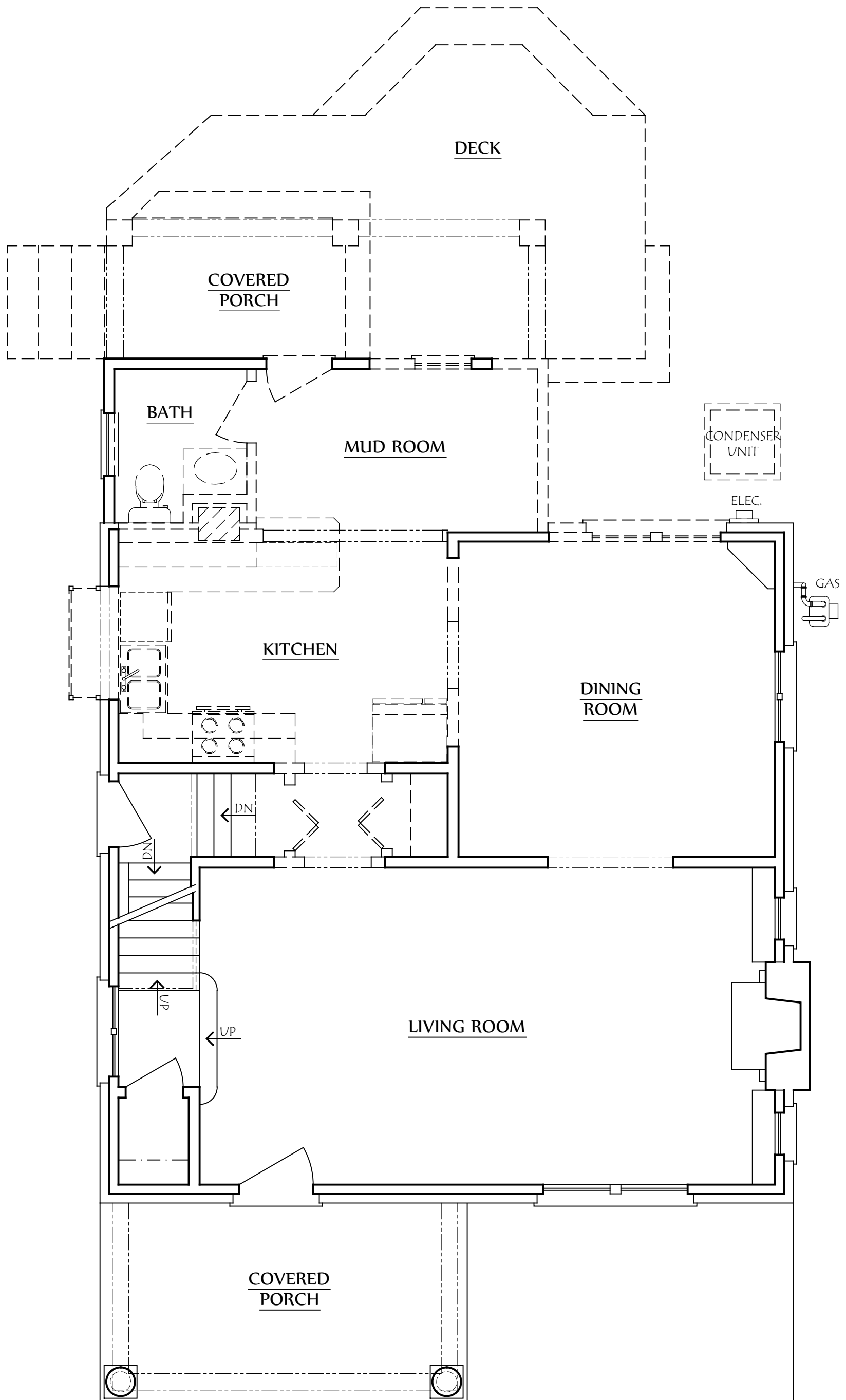


DEVELOPMENT INFORMATION	
ZONING DESIGNATION	= R-6
TOTAL LAND AREA	= 6085 SF
MAXIMUM BUILDING COVER	35 % = 2130 SF
PROPOSED LOT COVER:	
EXISTING HOUSE + PORCHES	= 1114 SF
EXISTING GARAGE	= 380 SF
PROPOSED OFFICE ADDITION	= 115 SF
PROPOSED COVERED PORCH	= 128 SF
TOTAL BUILDING COVER	28.5 % = 1737 SF
MAXIMUM DEVELOP. COVER	60 % = 3651 SF
PROPOSED DEVELOP. COVER:	
BUILDING COVER	= 1737 SF
SIDEWALK	= 91 SF
DRIVEWAY	= 1200 SF
NEW PATIO	= 145 SF
TOTAL	52% = 3173 SF



Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME
753 Francis Ave. Bexley, OH 43209 614-371-3523

SQUARE FOOTAGE	
EXISTING FIRST FLOOR	= 860 SF
EXISTING SECOND FLOOR	= 1000 SF
TOTAL: MAIN RESIDENCE	= 1860 SF
PROPOSED FIRST FLOOR	= 215 SF
TOTAL FINISHED RESIDENCE	= 2075 SF



COPYRIGHT ©

LAUERHASS ARCHITECTURE, LLC
ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:
12 Feb 2020

Project Number:
19-093

Drawing Title:
First Floor Demo

Project Name:
The Ey Residence

Scale:
1/4" = 1'-0"

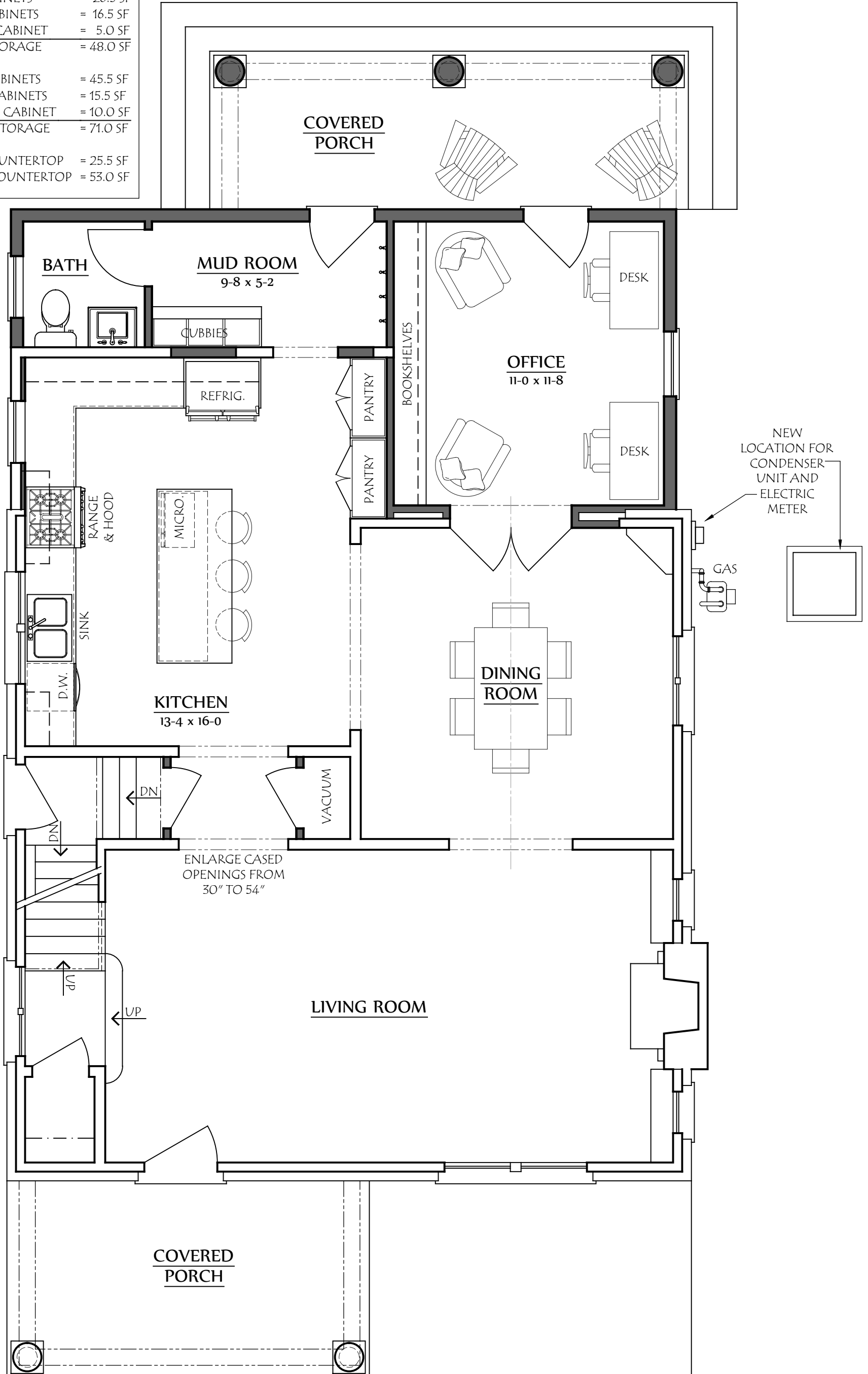
Sheet Number:
D-1



Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME

KITCHEN COMPARISON

EXISTING BASE CABINETS	= 26.5 SF
EXISTING WALL CABINETS	= 16.5 SF
EXISTING PANTRY CABINET	= 5.0 SF
TOTAL EXISTING STORAGE	= 48.0 SF
PROPOSED BASE CABINETS	= 45.5 SF
PROPOSED WALL CABINETS	= 15.5 SF
PROPOSED PANTRY CABINET	= 10.0 SF
TOTAL PROPOSED STORAGE	= 71.0 SF
EXISTING OPEN COUNTERTOP	= 25.5 SF
PROPOSED OPEN COUNTERTOP	= 53.0 SF



COPYRIGHT ©
 LAUERHASS ARCHITECTURE, LLC
 ALL RIGHTS RESERVED.
 THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date: 27 Jan 2020	Drawing Title: First Floor Plan	Scale: 1/4" = 1'-0"
Project Number: 19-093	Project Name: The Ey Residence	Sheet Number: A-1





COPYRIGHT©

LAUERHASS ARCHITECTURE, LLC
ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK
ARE FOR USE SOLELY ON THIS PROJECT.
THE ARCHITECT IS THE AUTHOR, AND RESERVES
ALL RIGHTS. INFORMATION CONTAINED HEREIN
SHALL NOT BE USED WITHOUT THE EXPRESS
WRITTEN AUTHORIZATION OF THE ARCHITECT.

Date:
23 Jan 2020

Drawing Title:
Rear Elevation

Scale:
3/16" = 1'-0"

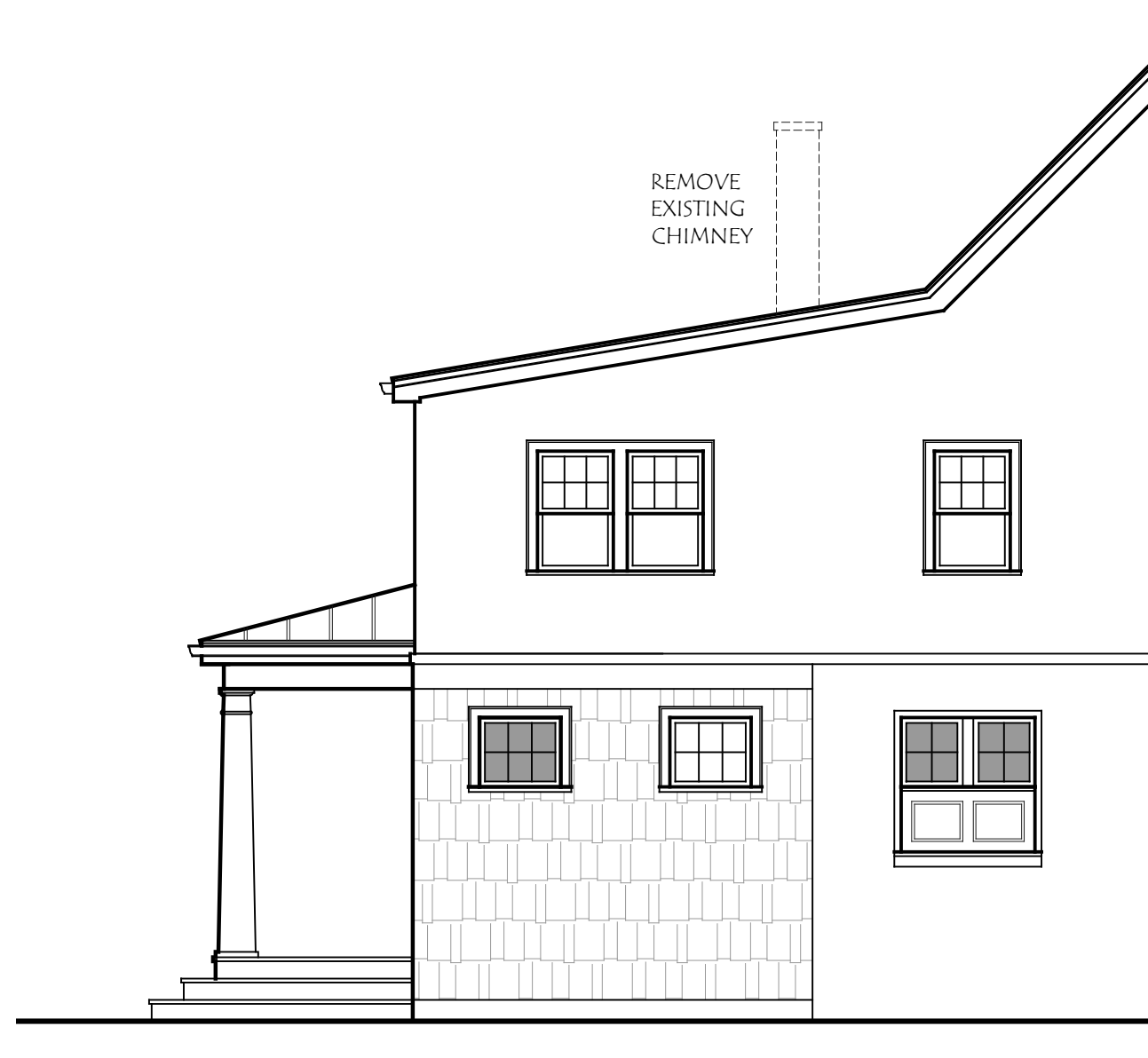
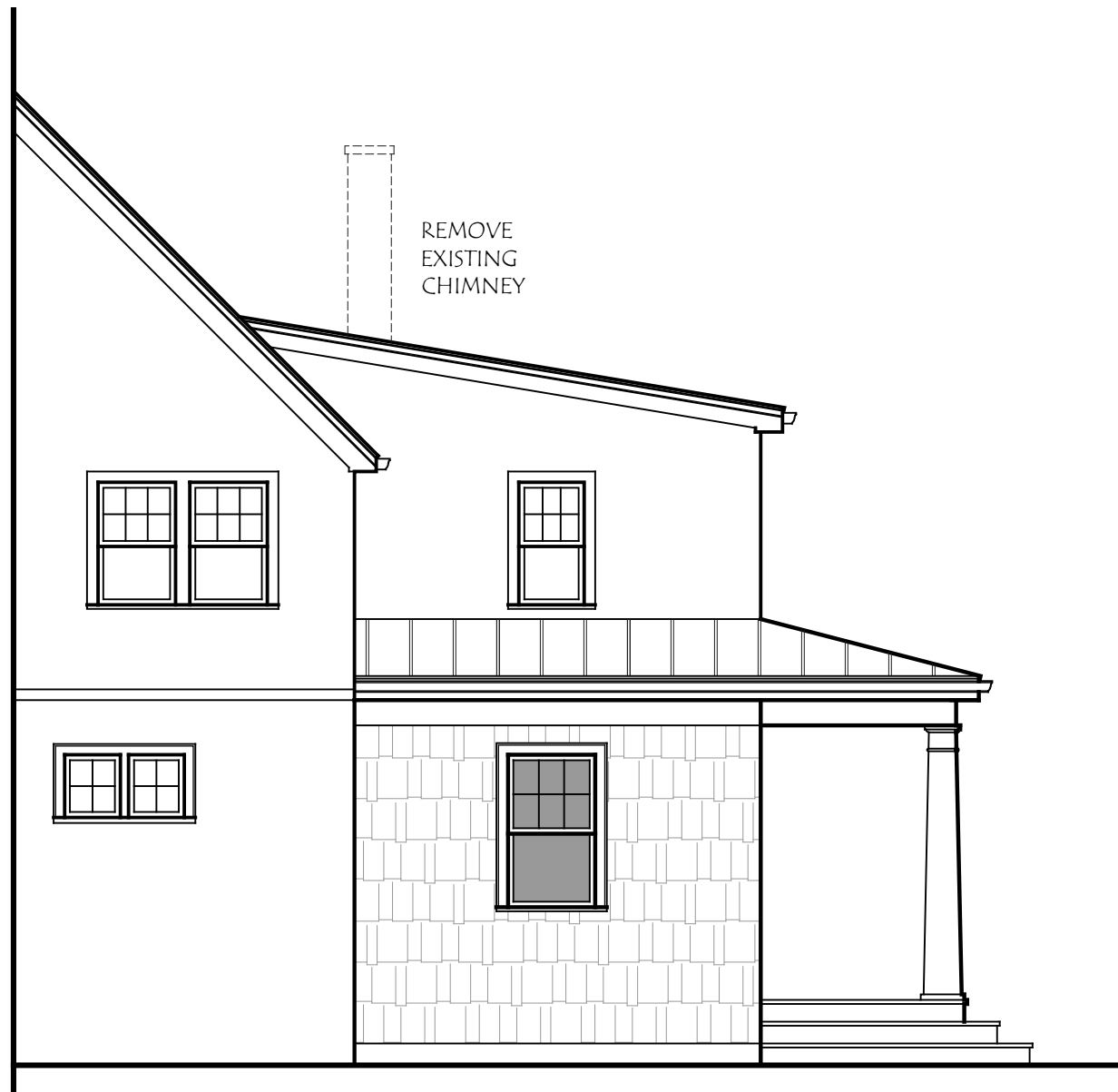
Project Number:
19-093

Project Name:
The Ey Residence

Sheet Number:
A-2



Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME



COPYRIGHT©
 LAUERHASS ARCHITECTURE, LLC
 ALL RIGHTS RESERVED.

THE ARCHITECT'S DRAWINGS AND OTHER WORK ARE FOR USE SOLELY ON THIS PROJECT. THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.

<u>Date:</u> 23 Jan 2020	<u>Drawing Title:</u> Side Elevations	<u>Scale:</u> 3/16" = 1'-0"
<u>Project Number:</u> 19-093	<u>Project Name:</u> The Ey Residence	<u>Sheet Number:</u> A-3













PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, March 12, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-20-8

Applicant: Amy Lauerhass

Owner: Mary & Andrew Auch

Location: 31 Bullitt Park Pl.

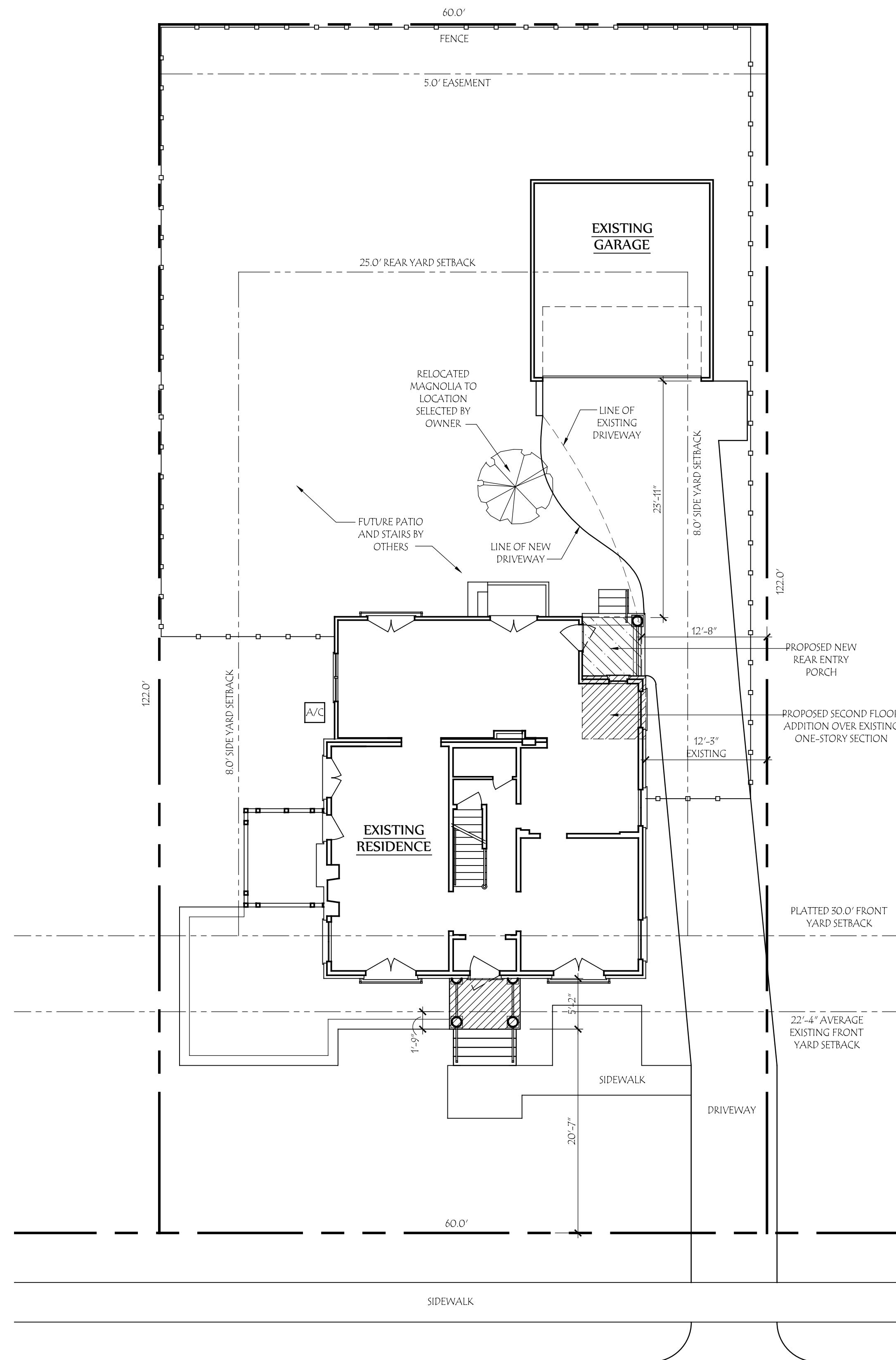
ARB Request: The applicant is seeking architectural review and approval to allow a 2nd floor addition at the rear of the principal structure, and new covered porch additions at the front and rear of the principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 02-27-2020

ADDITION & RENOVATION FOR: ANDY & MARY AUCH

31 BULLITT PARK PLACE BEXLEY, OHIO 43209



BULLITT PARK PLACE
(50' R.O.W.)



INDEX TO DRAWINGS	
COVER SHEET	SITE PLAN
	GENERAL SPECIFICATIONS
D-1	FIRST FLOOR DEMOLITION PLAN SECOND FLOOR DEMOLITION PLAN
A-1	FOUNDATION PLAN FIRST FLOOR PLAN
A-2	SECOND FLOOR PLAN THIRD FLOOR/ROOF PLAN
A-3	EXTERIOR ELEVATIONS
A-4	TYPICAL WALL SECTIONS
E-1	FIRST FLOOR ELECTRICAL PLAN SECOND FLOOR ELECTRICAL PLAN

DEVELOPMENT INFORMATION	
ZONING DESIGNATION	= R-6
TOTAL LAND AREA	= 7520 SF
MAXIMUM BUILDING COVER	35% = 2562 SF
PROPOSED LOT COVER:	
EXISTING HOUSE	= 1215 SF
EXISTING GARAGE	= 375 SF
PROPOSED PORCHES	= 71 SF
TOTAL BLDG. COVER	22.7% = 1661 SF
MAXIMUM DEVELOP. COVER	60% = 4392 SF
PROPOSED DEVELOP. COVER:	
BUILDING COVER	= 1661 SF
DRIVEWAY	= 890 SF
PATIO + WALK	= 486 SF
TOTAL	41.5% = 3037 SF
BEXLEY ARB APPLICATION #17-045 A APPROVAL GRANTED: SEPTEMBER 14, 2017	

GENERAL SPECIFICATIONS: 2013 RESIDENTIAL CODE OF OHIO

GENERAL DATA
ALL WORK, INCLUDING PLUMBING, HVAC AND ELECTRICAL WORK NOT DETAILED HEREIN, SHALL COMPLY WITH APPLICABLE STATE AND LOCAL BUILDING CODES AND THE BUILDING STANDARDS REFERENCED THEREIN.

ALL WORK SHALL CONFORM TO THE HIGHEST LEVELS OF THE APPROPRIATE INDUSTRY STANDARDS FOR CUSTOM WORK.

ALL WORK TO BE COORDINATED AND SCHEDULED BY THE GENERAL CONTRACTOR.

ALL ITEMS SPECIFIED HEREIN ARE ASSUMED TO BE "OR EQUAL". SUBMIT PRODUCT LITERATURE OR MATERIAL SAMPLES OF ALL PROPOSED SUBSTITUTIONS TO OWNER AND ARCHITECT FOR APPROVAL PRIOR TO ORDERING MATERIAL.

PLAN DIMENSIONS ARE TO THE FACE OF ROUGH FRAMING OR MASONRY UNLESS NOTED OTHERWISE. DIMENSIONS OF EXTERIOR FRAME WALLS INCLUDE 1/2" SHEATHING.

THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETE. IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THE SAFETY OF THE BUILDING AND ITS COMPONENT PARTS DURING ERECTION. THIS INCLUDES THE ADDITION OF TEMPORARY BRACING THAT MIGHT BE NECESSARY.

IT IS SOLELY THE CONTRACTOR'S RESPONSIBILITY TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING ALL PHASES OF CONSTRUCTION.

SITE CONSTRUCTION

BY LAW, CONTRACTOR OR EXCAVATOR, MUST CONTACT THE OHIO UTILITIES PROTECTION SERVICE, 1-800-362-2764 OR 811, AT LEAST 48 HOURS BUT NO MORE THAN 10 WORKING DAYS BEFORE BEGINNING ANY DIGGING PROJECT.

FOR ROOF SLOPES OVER 4:12, OVERHEAD POWER LINES MUST BE 3'-0" ABOVE ROOF AT ANY POINT WHERE LINES CROSS ROOF PLANE. FOR ROOF SLOPES LESS THAN OR EQUAL TO 4:12, OVERHEAD POWER LINES MUST BE 8'-0" ABOVE ROOF AT ANY POINT WHERE LINES CROSS ROOF PLANE.

PRIOR TO CONSTRUCTION, CONTRACTOR TO DETERMINE LOCATION OF UNDERGROUND GAS LINE. IF GAS LINE RUNS UNDER PROPOSED LOCATION OF ADDITION, CONTACT COLUMBIA GAS TO HAVE LINE MOVED (AT OWNER'S EXPENSE).

CONCRETE

SOIL BEARING PRESSURE IS ASSUMED TO BE A MINIMUM OF 2,000 PSF. CONSULT ARCHITECT FOR FOOTING DESIGN WHERE SUB-STANDARD SOIL CONDITIONS EXIST. CONCRETE TO BE MIXED AND PLACED PER ACI SPECIFICATIONS.

STRUCTURAL CONCRETE:		
FOOTINGS, INTERIOR SLABS		FC = 3000 PSI
EXPOSED WALLS, GARAGE SLABS		FC = 4000 PSI (5%-7% ENTRAINED AIR)
AND EXTERIOR SLABS ON GRADE		FY = 60,000 PSI
ALL DEFORMED REINFORCING BARS		

METALS

ANCHOR BOLTS SHALL BE ASTM A307.

STRUCTURAL STEEL TO BE ASTM A588 WITH A SHOP COAT OF RUST-INHIBITIVE PAINT, EXCEPT FOR CORROSION-RESISTANT STEEL, AND STEEL TREATED WITH COATINGS TO PROVIDE CORROSION RESISTANCE.

STEEL BELOW GRADE TO BE PROTECTED BY A MINIMUM OF 3" OF CONCRETE OR 4" OF MASONRY.

JOISTS TO BEAMS OR JOISTS TO TRUSSES: 16 GAUGE STANDARD JOIST HANGERS, UNLESS SHOWN OTHERWISE - AS MANUFACTURED BY SIMPSON STRONG TIE.

ROOF TRUSSES TO SUPPORTING TOP PLATES OR BEAMS - USE HURRICANE TIES, EQUAL TO SIMPSON HS, WITH ALL NAIL HOLES FILLED, ONE PER TRUSS END.

ROOF SHEATHING TO JOISTS/TRUSSES - USE 8D NAILS AT 6" O/C AT PANEL EDGES AND 12" O/C AT INTERMEDIATE SUPPORTS.

FRAMING LUMBER IN CONTACT WITH MASONRY OR CONCRETE, OR EXPOSED TO WEATHER SHALL BE PRESERVATIVE PRESSURE TREATED. WHEN USING ANY PRESERVATIVE PRESSURE TREATED PRODUCT, FASTENERS (INCLUDING NAILS), ANCHORS, AND CONNECTORS SHALL HAVE ONE OF THE FOLLOWING FINISHES: HOT DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE, OR COPPER.

WOOD & PLASTICS

THIS STRUCTURE IS DESIGNED TO RESIST THE FOLLOWING MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS:

ATTICS WITH LIMITED STORAGE	20 PSF
ATTICS WITH FIXED STAIRS	30 PSF
BALCONIES & DECKS	40 PSF
ROOMS OTHER THAN SLEEPING ROOMS	40 PSF
SLEEPING ROOMS	40 PSF
STAIRS	40 PSF
ROOF	25 PSF (GROUND SNOW LOAD)
CEILING JOISTS (HIGH SLOPE RAFTERS)	20 PSF
CEILING JOISTS (LOW SLOPE/NO STORAGE)	10 PSF
WIND	90 MPH (5 SECOND GUST), EXP. B

UNLESS SPECIFICALLY STATED ON THE DRAWINGS, DIMENSIONAL LUMBER USED FOR ROOF RAFTERS, CEILING JOISTS, FLOOR JOISTS, SOLE PLATES AND WALL CAP PLATES SHALL BE SPRUCE PINE FIR NO. 2 (CANADIAN) OR BETTER, WITH A MAXIMUM MOISTURE CONTENT OF 19% AND HAVE THE FOLLOWING MINIMUM BASE DESIGN PROPERTIES:

FB	875 PSI (SINGLE MEMBER)
FT	450 PSI
FV	155 PSI
FC	425 PSI (PERPENDICULAR)
FE	1150 PSI (PARALLEL)
E	1,400,000 PSI

FRAMING LUMBER USED FOR 2 x 4 OR 2 x 6 STUDS SHALL BE SPRUCE-PINE-FIR "NO. 2" OR BETTER, AND HAVE A MAXIMUM MOISTURE CONTENT OF 19% AND THE FOLLOWING MINIMUM BASE DESIGN PROPERTIES:

FB	875 PSI (SINGLE MEMBER)
FT	450 PSI
FV	75 PSI
FC	425 PSI (PERPENDICULAR)
FE	1150 PSI (PARALLEL)
E	1,400,000 PSI

LAMINATED VENEER LUMBER (LVL) SHALL BE "1.9 E MICROLAM LVL" AS MANUFACTURED BY TRUS JOIST MACMILLAN WITH THE FOLLOWING DESIGN PROPERTIES:

FB	2,650 PSI (SINGLE 12" MEMBER)
FT	285 PSI
FV	750 PSI (PERPENDICULAR)
FC	2550 PSI (PARALLEL TO GRAIN)
E	1,900,000 PSI

UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST REVISIONS OF: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION PRODUCT STANDARD PS-1485 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD APA PRP-108 FOR STRUCTURAL USE PANELS, OR PS 2-92 FOR WOOD-BASED STRUCTURAL USE PANELS APA RESIDENTIAL CONSTRUCTION GUIDE.

STRUCTURAL COMPOSITE LUMBER, AND STRUCTURAL GLUE-LAMINATED MEMBERS SHALL BE SUPPORTED LATERALLY AS REQUIRED BY THE MANUFACTURER.

ANY DRILLING OR NOTCHING OF THE WALL STUDS, DOUBLE TOP PLATES, JOISTS, OR OTHER STRUCTURAL MEMBERS SHALL BE IN COMPLIANCE WITH THE BUILDING CODE.

USE ONE LINE OF SOLID BLOCKING OR CROSS BRIDGING AT 8'-0" O/C FOR CEILING/FLOOR JOISTS. USE SOLID BLOCKING AT BEARINGS.

USE ONE TRIMMER STUD AND ONE KING STUD AT BEAM AND HEADER BEARING LESS THAN 6'-0", AND ONE TRIMMER STUD AND TWO KING STUDS AT BEAM AND HEADER BEARING 6'-0" OR GREATER, UNLESS SHOWN OTHERWISE.

WOOD PANELS FOR USE AS WALL SHEATHING AND ROOF SHEATHING SHALL BE A P.A. RATED OF THE THICKNESS INDICATED ON THE DRAWINGS, OR AS REQUIRED FOR THE SPECIFIC APPLICATION. PROVIDE PLYWOOD CLIPS AT UNSUPPORTED EDGES, AND AT MID-SPAN OF ROOF PANELS BETWEEN FRAMING MEMBERS SPACED GREATER THAN 16' O.C.

WOOD PANELS FOR USE AS SUB-FLOORING SHALL BE A P.A. RATED STURD-I-FLOOR WITH TONGUE & GROOVE EDGES, OF THE THICKNESS INDICATED ON THE DRAWINGS. ALL SUB-FLOORING SHALL BE GLUED AND NAILED TO THE FLOOR STRUCTURE.

ALL INTERIOR PARTITIONS SHALL BE 2 x 4 STUDS @ 16" O.C. WITH 1/2" DRYWALL EACH SIDE, UNLESS NOTED OTHERWISE. PLAN DIMENSION IS ASSUMED TO BE 3-1/2" UNLESS NOTED OTHERWISE.

PROVIDE SOLID BLOCKING FOR ALL WALL MOUNTED ITEMS.

FRAMING LUMBER IN CONTACT WITH CONCRETE OR MASONRY, OR EXPOSED TO THE EXTERIOR SHALL BE PRESERVATIVE PRESSURE TREATED. ANY WOOD, INCLUDING EXTERIOR SHEATHING, WITHIN 6" OF FINISHED GRADE SHALL BE PRESERVATIVE-PRESSURE TREATED.

ALL EXTERIOR TRIM SHALL BE: REDWOOD, CEDAR, OR "MIRATEC" TREATED EXTERIOR COMPOSITE TRIM, WITH WHITE PINE FOR MOULDINGS, AS INDICATED ON THE DRAWINGS.

THERMAL & MOISTURE PROTECTION

STANDING SEAM METAL ROOFING TO BE 24 GAUGE GALVANIZED STEEL. PAN WIDTH TO BE 16" AND SEAM HEIGHT TO BE 1". ALL METAL CONNECTORS TO BE FULLY COMPATIBLE WITH ROOF MATERIAL, TO PREVENT GALVANIC CORROSION.

ASPHALT SHINGLE ROOFING BLEND, COLOR AND WEIGHT SHALL MATCH EXISTING. ASPHALT SHINGLE ROOFING SHALL BE INSTALLED OVER ONE LAYER OF 15# ROOFING FELT AND AS RECOMMENDED BY THE MANUFACTURER. PROVIDE ICE AND WATER SHIELD "SELF-SEALING" MEMBRANE AT ALL EAVES AND VALLEYS. MEMBRANE TO BE 36" WIDE AT ALL VALLEYS, AND 15' TO EXTEND FROM THE EAVE'S EDGE TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE OF THE BUILDING.

ROOFING FOR FLAT ROOF AREAS SHALL BE FULLY ADHERED 60 MIL EPDM SINGLE PLY MEMBRANE. PROVIDE TAPERED SLEEPERS WITH A MINIMUM SLOPE OF 1/2" PER FOOT BELOW ALL MEMBRANE.

PROVIDE CONTINUOUS HALF-ROUND GUTTERS TO MATCH EXISTING AT ALL ROOF EAVES. PROVIDE CORRUGATED RECTANGULAR ALUMINUM DOWNSPOUTS AT LOCATIONS AS INDICATED ON THE DRAWINGS. DOWNSPOUTS SHALL RUN TO A LOCATION APPROVED BY THE CITY.

ASPHALT SHINGLES SHALL BE TESTED IN ACCORDANCE WITH ASTM D 7758. SHINGLES SHALL MEET THE CLASSIFICATION REQUIREMENTS FOR THE APPROPRIATE MAXIMUM BASIC WIND SPEED.

EXTERIOR SIDING TO BE FIBER CEMENT. SEE ELEVATIONS FOR EXPOSURE HEIGHT. COLOR TO BE SELECTED BY OWNER.

ALL NEW EXTERIOR WOOD TRIM & SIDING TO BE PAINTED. PAINT WITH ONE COAT OF MANUFACTURER'S BEST EXTERIOR WOOD PRIMER AND TWO COATS MANUFACTURER'S BEST EXTERIOR LATEX SEMI-GLOSS (TRIM) AND LATEX SATIN (SIDING) PAINT. COLOR AS SELECTED BY THE OWNER.

AN APPROVED WATER-RESISTIVE BARRIER (SUCH AS TYVEK HOUSE WRAP) SHALL BE APPLIED OVER SHEATHING OF ALL EXTERIOR WALLS. SUCH MATERIAL SHALL BE APPLIED HORIZONTALLY, WITH THE UPPER LAYER LAPPED OVER THE LOWER LAYER NOT LESS THAN 2". WHERE JOINTS OCCUR, BARRIERS SHALL BE LAPPED NOT LESS THAN 6". THE BARRIER SHALL BE CONTINUOUS TO THE TOP OF THE WALL AND TERMINATED AT PENETRATIONS AND BUILDING APPENDAGES. MINIMUM PERM RATING SHALL BE 25.

DOORS & WINDOWS

WINDOWS SHALL BE AS MANUFACTURED BY MARVIN WINDOWS & DOORS. PROVIDE WINDOW UNITS OF SIZES INDICATED ON THE DRAWINGS IN THE "ARCHITECT SERIES," WITH INSULATING LOW-E II GLASS, SIMULATED DIVIDED LITES WITH SPACER BARS, TRIM TO MATCH EXISTING, FULL SCREENS, BARE WOOD INTERIOR AND PRIMED EXTERIOR. HARDWARE COLOR AS SELECTED BY THE OWNER. WINDOW MANUFACTURER SHALL PROVIDE TEMPERED GLASS AS REQUIRED BY CODE AT ALL HAZARDOUS LOCATIONS.

EXTERIOR FRENCH DOORS TO BE AS MANUFACTURED BY MARVIN WINDOWS & DOORS. PROVIDE DOOR UNITS OF SIZES INDICATED ON THE DRAWINGS IN THE "ARCHITECT SERIES," WITH INSULATING LOW-E II GLASS, SIMULATED DIVIDED LITES, TRIM TO MATCH EXISTING, BARE WOOD INTERIOR AND PRIMED WOOD EXTERIOR. WEATHERSTRIPPING, THRESHOLD, AND HARDWARE COLOR AS SELECTED BY THE OWNER. INCLUDE FULL SCREEN DOORS AT ALL OPERABLE LOCATIONS. WINDOW MANUFACTURER SHALL PROVIDE TEMPERED GLASS AS REQUIRED BY CODE AT ALL HAZARDOUS LOCATIONS.

INTERIOR DOORS TO BE SOLID WOOD, WITH TWO-PANEL DESIGN. WOOD SPECIES, FINISH AND HARDWARE TO MATCH EXISTING. DOOR SIZES AS INDICATED ON THE DRAWINGS.

FINISHES

ALL BATHROOMS TO HAVE MOISTURE-RESISTANT OR PAPERLESS DRYWALL. PROVIDE "DUROCK" TILE BACKER BOARD IN LIEU OF DRYWALL AT ALL WALL LOCATIONS REQUIRING A TILE FINISH.

ALL INTERIOR COLORS AND FINISHES, NOT SPECIFIED HEREIN, TO BE SELECTED BY THE OWNER.

WOOD MOULDING PROFILES ARE SPECIFIED AS MANUFACTURED BY CAPITAL CITY MILLWORK, WESTERVILLE, OHIO. WOOD SPECIES TO BE POPLAR FOR INTERIOR APPLICATIONS AND WHITE PINE FOR EXTERIOR APPLICATIONS UNLESS NOTED OTHERWISE. EQUAL PRODUCTS BY OTHER MANUFACTURERS ARE ALSO ACCEPTABLE.

MECHANICAL

GAS PIPING SHALL NOT PENETRATE BUILDING FOUNDATION WALLS AT ANY POINT BELOW GRADE. GAS PIPING SHALL ENTER AND EXIT A BUILDING AT A POINT ABOVE GRADE, AND THE ANNULAR SPACE BETWEEN THE PIPE AND THE WALL SHALL BE SEALED.

PLUMBING ENGINEERING TO BE PROVIDED BY PLUMBING SUB-CONTRACTOR, COORDINATION BY THE GENERAL CONTRACTOR. PROVIDE PLUMBING FIXTURES AT LOCATIONS INDICATED ON THE DRAWINGS, AS SELECTED BY THE OWNER, AND AS NECESSARY TO COMPLETE INSTALLATION.

HVAC LAYOUT AND ENGINEERING TO BE PROVIDED BY HVAC SUB-CONTRACTOR. COORDINATION BY THE GENERAL CONTRACTOR.

SUPPLY DUCTS IN ATTICS SHALL BE INSULATED TO A MINIMUM OF R-8. ALL OTHER DUCTS SHALL BE INSULATED TO A MINIMUM OF R-6.

AIR DUCTS SHALL BE SEALED AND DUCT TIGHTNESS SHALL BE VERIFIED BY EITHER OF THE FOLLOWING TESTING OPTIONS: 1) POST CONSTRUCTION TEST, OR 2) ROUGH-IN TEST.

HVAC SUB-CONTRACTOR TO EVALUATE CONDITION & ADEQUACY OF THE EXISTING SYSTEM, AND PROVIDE RECOMMENDATIONS FOR NECESSARY CHANGES TO OWNER WITH BID.

NEW EQUIPMENT TO HAVE THE FOLLOWING MINIMUM REQUIREMENTS: FURNACE = 90% EFFICIENT, A/C CONDENSER UNIT = 15 SEER.

CATEGORY IV CONDENSING APPLIANCES SHALL BE PROVIDED WITH AN AUXILIARY DRAIN PAN.

PROVIDE PRICING FOR OPTIONS SUCH AS ELECTRONIC AIR CLEANER & HUMIDIFIER.



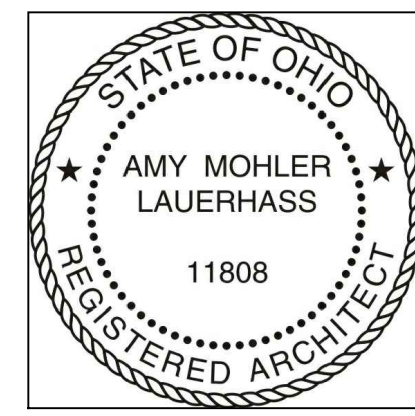
Lauerhass Architecture
RENOVATION - ADDITION - NEW HOME

753 Francis Ave. Bexley, OH 43209 614-371-3523



LAUERHASS ARCHITECTURE
 753 Francis Avenue Bexley, Ohio 43209 614-371-3523
 www.LauerhassArchitecture.com
 Amy@LauerhassArchitecture.com

COPYRIGHT
 LAUERHASS ARCHITECTURE, LLC. ALL RIGHTS RESERVED.
 THE ARCHITECTS DRAWINGS AND OTHER WORK ARE FOR USE ONLY ON THIS PROJECT.
 THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN
 SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.



RENOVATION FOR:
THE AUCH RESIDENCE
 31 BULLITT PARK PLACE
 BEXLEY, OHIO 43209

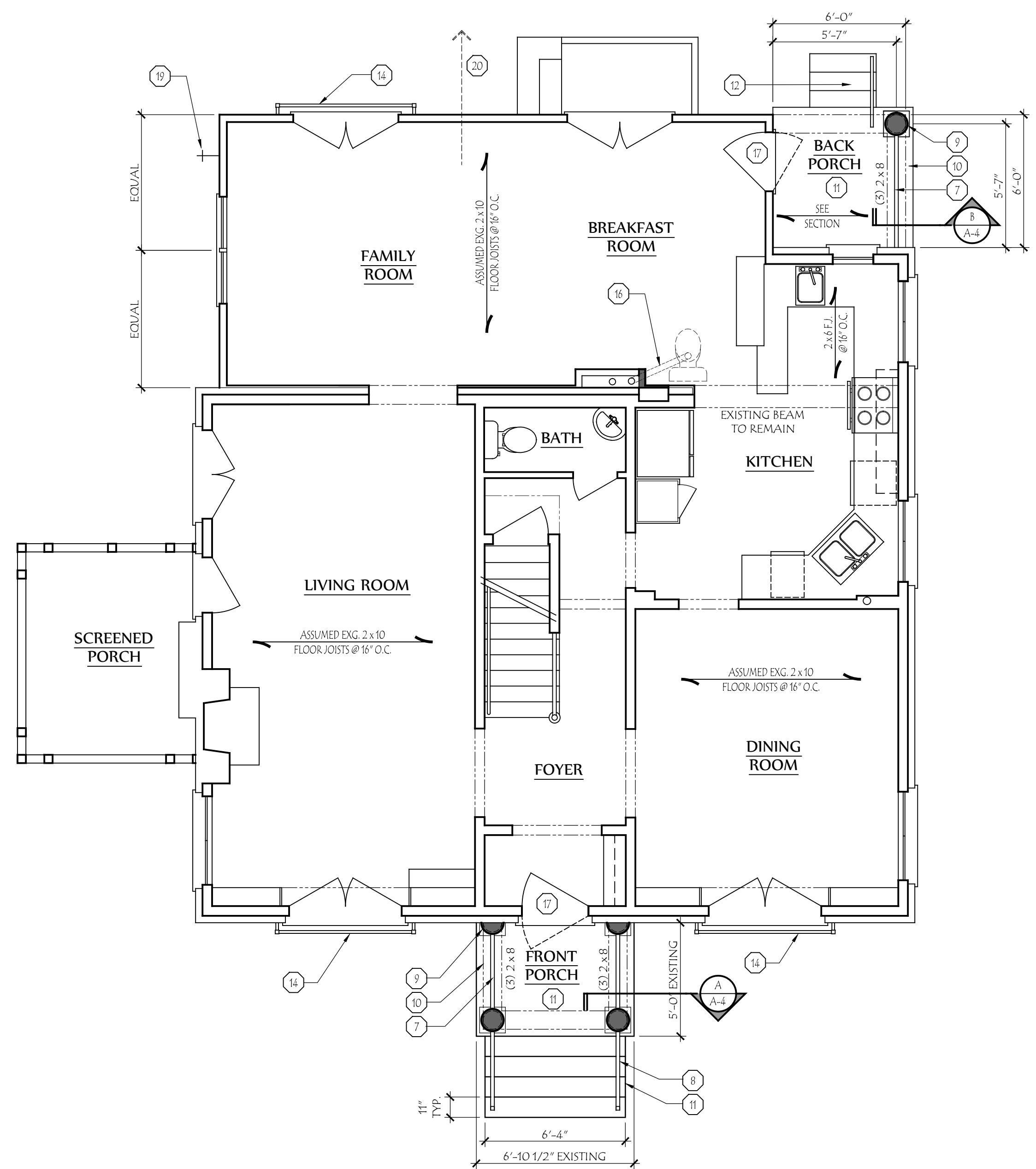
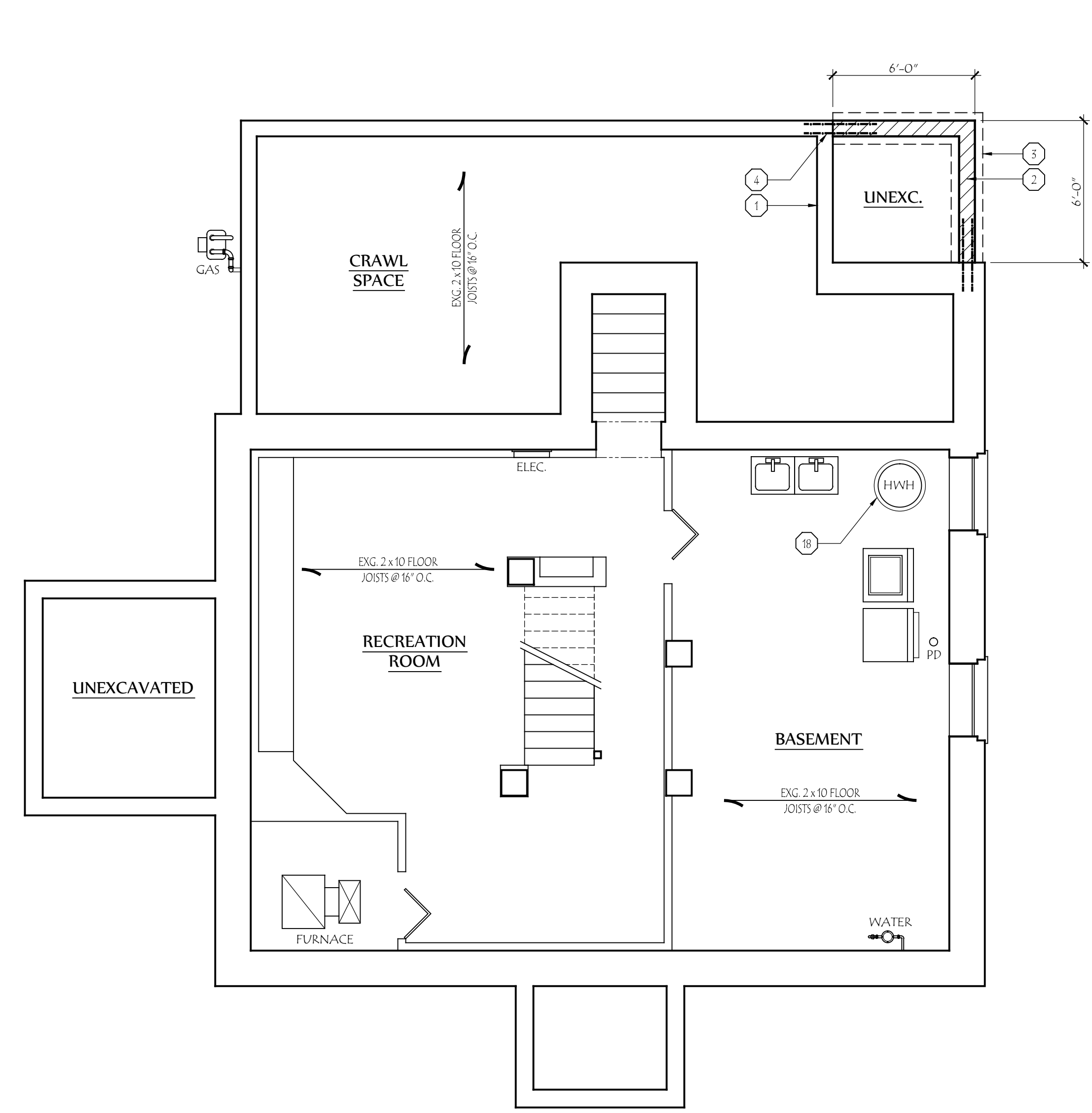
Project Number:
 17-005

Revisions:

Date:
 12 February 2018

Drawing Title:
 Foundation Plan
 First Floor Plan

Sheet Number:
 A-1



FLOOR PLAN CODED NOTES
 (DRAWING SHEET A-1 ONLY)

- UNSHADED WALLS INDICATE EXISTING CONSTRUCTION TO REMAIN.
- HATCHED WALLS INDICATE NEW 8" THICK CONCRETE BLOCK FOUNDATION WALL.
- 8" DEEP x 16" WIDE CONCRETE FOOTING WITH (2) #5 REBAR CONTINUOUS.
- PIN NEW FOOTING INTO EXISTING FOUNDATION WITH (2) NO. 5 REBAR - MINIMUM 36" LONG.
- NOT USED.
- NOT USED.
- WROUGHT IRON GUARDRAIL: 36" ABOVE FINISHED FLOOR, WITH BALUSTERS SPACED AT 5" O.C. MAXIMUM. RAIL & BALUSTER STYLE TO BE AS SELECTED BY THE OWNER.
- WROUGHT IRON HANDRAIL: 34" ABOVE LEADING EDGE OF TREADS, WITH BALUSTERS SPACED AT 5" O.C. MAXIMUM. RAIL & BALUSTER STYLE TO BE AS SELECTED BY THE OWNER.
- 12" DIAMETER DORIC COLUMN / HALF COLUMN.
- 10" WIDE BEAM ABOVE. SEE TYPICAL WALL SECTIONS SHEET A-5.
- POURED CONCRETE LANDING AND STEPS. MAXIMUM RISER HEIGHT TO BE 8".
- TEMPORARY WOOD STEPS & HANDRAIL. FINAL STEP DESIGN BY OTHERS.
- NOT USED.
- NEW WROUGHT IRON GUARDRAIL.
- NOT USED.
- NEW TOILET LOCATION ABOVE. RUN DRAIN INTO EXISTING CHASE, AS FAR SOUTH AS POSSIBLE. (FOR FUTURE KITCHEN RENOVATION)
- NEW ENTRY DOOR & STORM DOOR.
- NEW HOT WATER HEATER TO VENT THROUGH SIDE WALL, DUE TO REMOVAL OF EXISTING CHIMNEY.
- NEW HOSE BIB LOCATION.
- NEW GAS LINE TO BE RUN TO NEW GRILL LOCATION. CONSULT OWNER FOR FINAL LOCATION.



LAUERHASS ARCHITECTURE
 753 Francis Avenue Bexley, Ohio 43209 614-371-3523
 www.LauerhassArchitecture.com
 Amy@LauerhassArchitecture.com

COPYRIGHT ©
 LAUERHASS ARCHITECTURE, LLC. ALL RIGHTS RESERVED.
 THE ARCHITECTS DRAWINGS AND OTHER WORK ARE FOR USE ONLY ON THIS PROJECT.
 THE ARCHITECT IS THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN
 SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.



RENOVATION FOR:
THE AUCH RESIDENCE
 31 BULLITT PARK PLACE
 BEXLEY, OHIO 43209

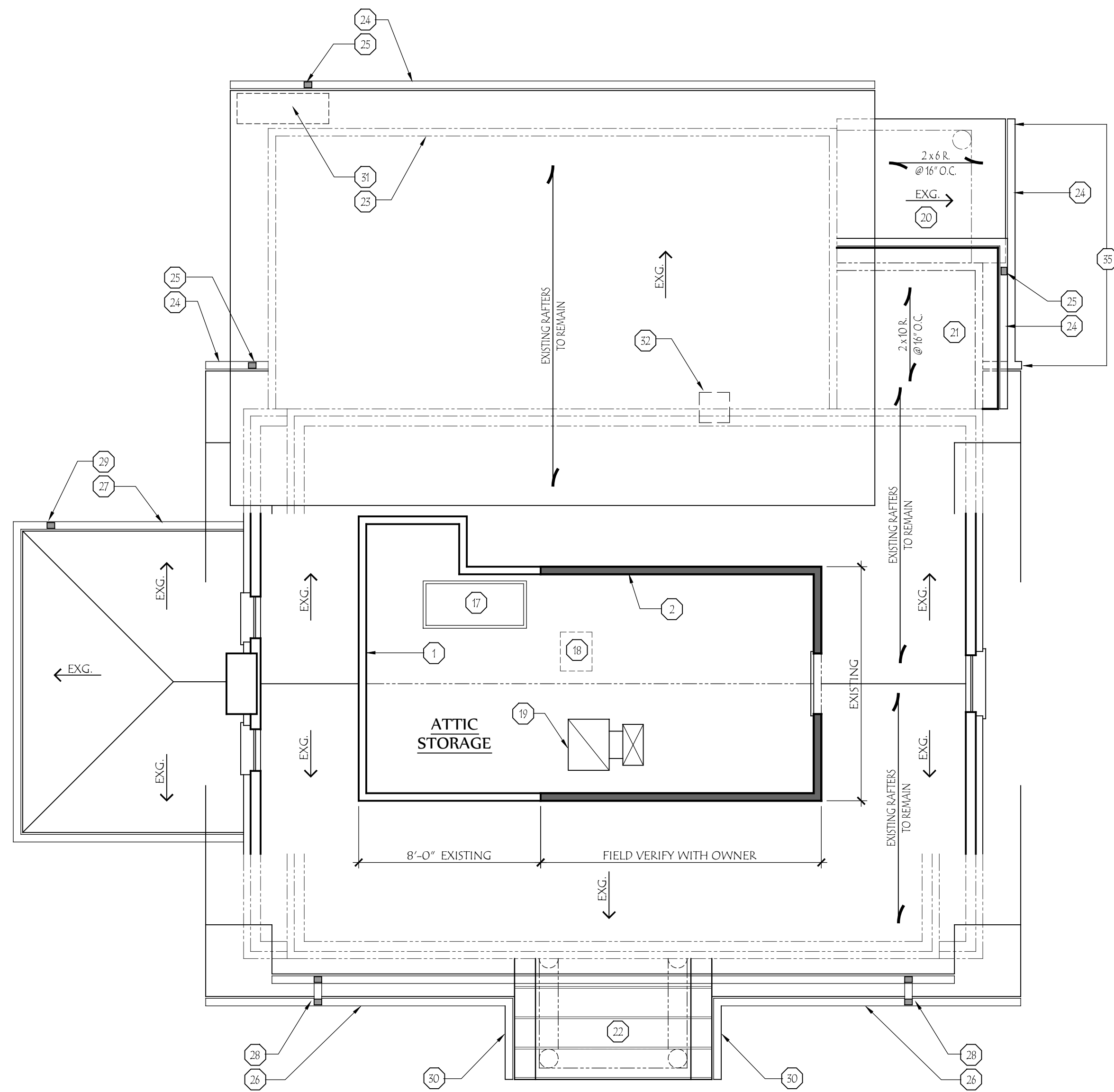
Project Number:
 17-005

Revisions:

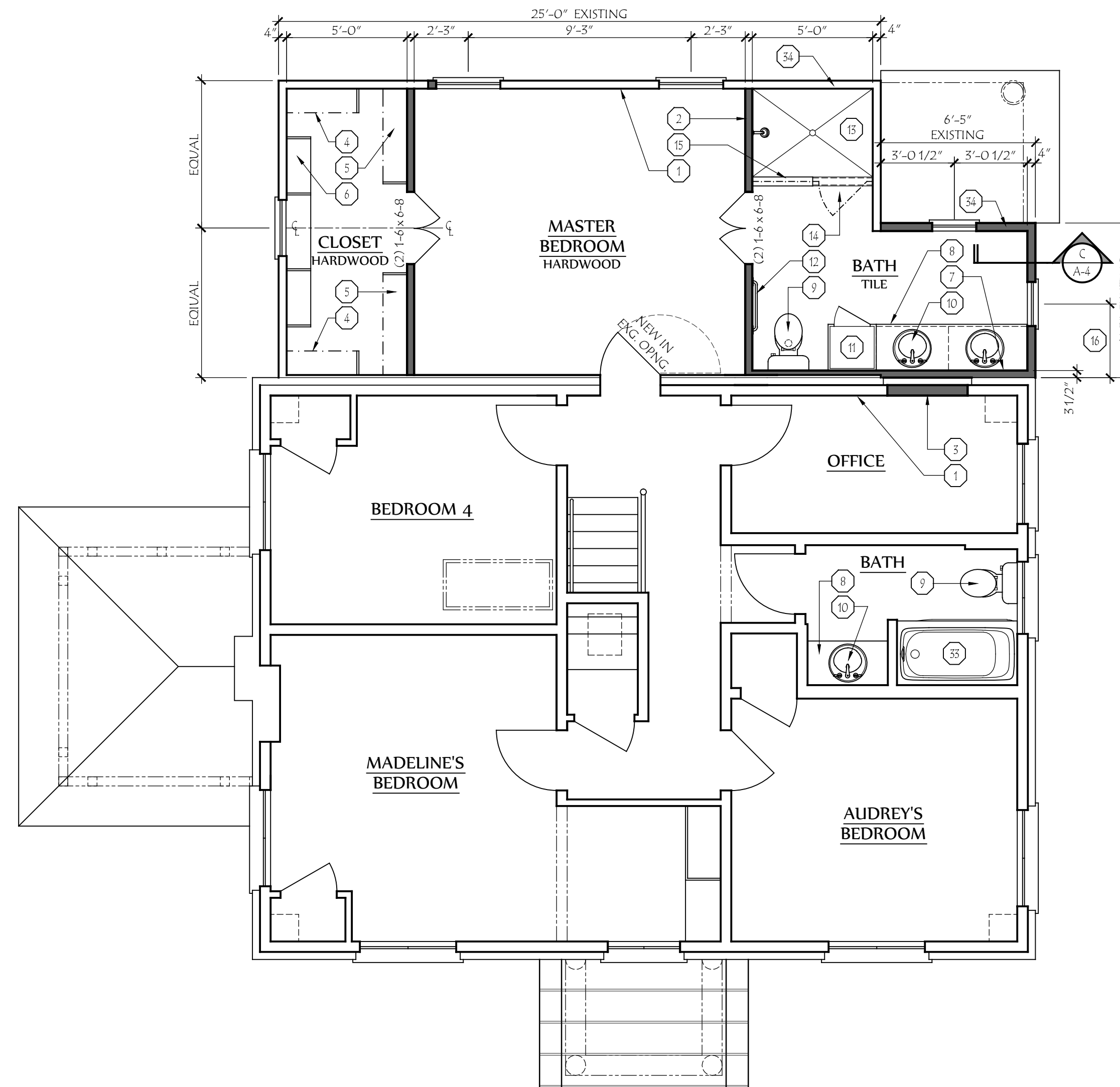
Date:
 12 February 2018

Drawing Title:
**Second Floor Plan
 Roof Plan**

Sheet Number:
A-2



Attic / Roof Plan
 SCALE: 1/4" = 1'-0"



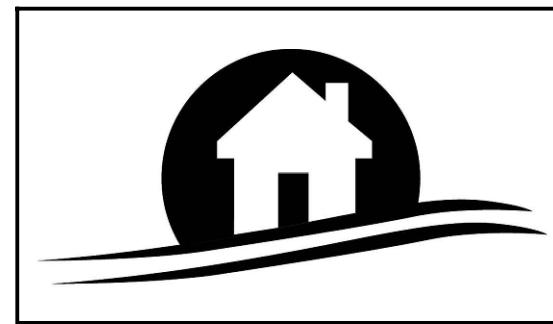
Second Floor Plan
 SCALE: 1/4" = 1'-0"

FLOOR PLAN CODED NOTES
 (DRAWING SHEET A-2 ONLY)

- UNSHADED WALLS INDICATE EXISTING CONSTRUCTION TO REMAIN.
- SHADED WALL INDICATES NEW STUD WALL: 2 x 4 WOOD STUDS AT 16" O.C. WITH 1/2" DRYWALL ON ALL INTERIOR SURFACES AND 1/2" PLYWOOD SHEATHING ON ALL EXTERIOR SURFACES. TYPICAL UNLESS NOTED OTHERWISE.
- WOOD STUD INFILL OF EXISTING WALL OPENING: PATCH SURFACES TO MATCH EXISTING.
- SINGLE CLOSET ROD & SHELF.
- DOUBLE CLOSET RODS AND SHELVES.
- 12" DEEP ADJUSTABLE CLOSET SHELVING.
- MIRROR LOCATION, STYLE AND SIZE AS SPECIFIED BY THE OWNER.
- VANITY BASE AND COUNTERTOP.
- TOILET & SEAT.
- COUNTER LAVATORY AND FAUCET.
- FULL HEIGHT LINEN CABINET.
- SUGGESTED TOWEL BAR LOCATION.
- 44" x 60" CUSTOM SHOWER BASE.
- FRAMELESS GLASS SHOWER ENCLOSURE AND DOOR.
- HALF WALL BEHIND BATHROOM DOOR, WITH SOLID SURFACE CAP.
- FIELD VERIFY: CENTER WITH KITCHEN WINDOW BELOW.
- EXISTING ATTIC PULL-DOWN STAIR TO REMAIN.
- EXISTING CLOSET ATTIC-ACCESS PANEL TO BE REMOVED. PATCH SURFACES TO MATCH EXISTING.
- SUGGESTED LOCATION FOR NEW FURNACE TO CONDITION SECOND FLOOR. FINAL LOCATION TO BE DETERMINED BY HVAC CONTRACTOR.
- NEW DIMENSIONAL ASPHALT SHINGLE ROOFING ON NEW ROOF AREA BELOW. MATCH EXISTING.
- FULLY ADHERED 60 MIL. SINGLE PLY EPDM ROOF MEMBRANE ON 2 X SLEEPERS ON ROOF AREA BELOW. CREATE SLOPE FOR PROPER DRAINAGE.
- NEW STANDING-SEAM METAL ROOF ON NEW PORCH ROOF STRUCTURE.
- DASHED LINE INDICATES EXTERIOR WALL BELOW.
- NEW METAL HALF-ROUND GUTTER - TYPICAL. COLOR TO MATCH EXISTING.
- NEW RECTANGULAR ALUMINUM DOWNSPOUT LOCATION. MATCH EXISTING. SEE NOTE BELOW.
- REINSTALL EXISTING GUTTER AFTER PORCH CONSTRUCTION.
- EXISTING GUTTER TO REMAIN.
- EXISTING DOWNSPOUT TO REMAIN.
- EXISTING DOWNSPOUT TO REMAIN. SEE NOTE BELOW.
- CONNECT NEW PORCH GUTTER INTO EXISTING.
- EXISTING SECTION OF DAMAGED SOFFIT TO BE REPAIRED. (OWNER HAS EXTRA SOFFIT MATERIAL.)
- EXISTING SECTION OF ROOF TO BE REPAIRED WHERE CHIMNEY WAS REMOVED.
- 32" x 60" STANDARD TUB/SHOWER & FAUCET WITH CERAMIC TILE SURROUND.
- INSULATE AROUND ENTIRE NEW BATHROOM WITH 3-1/2" R-15 FIBERGLASS BATT INSULATION.
- NEW PORCH GUTTER TO CONTINUE ACROSS ADDITION TRIM BOARD, AND CONNECT INTO NEW GUTTER.

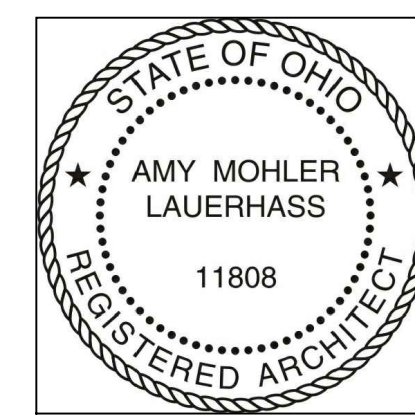
GENERAL NOTE:
 CONTRACTOR TO ASSESS CONDITION & LOCATION OF EXISTING UNDERGROUND STORM DRAINS, AND PROVIDE BIDS TO:

- REPAIR/REPLACE EXISTING LINES, AND CONNECT ALL NEW AND EXISTING DOWNSPOUTS.
- PROVIDE DRY WELL IN REAR YARD TO COLLECT RAIN FROM BACK HALF OF HOUSE.



LAUERHASS ARCHITECTURE
 753 Francis Avenue Bexley, Ohio 43209 614-371-3523
 www.LauerhassArchitecture.com
 Amy@LauerhassArchitecture.com

COPYRIGHT ©
 LAUERHASS ARCHITECTURE, LLC. ALL RIGHTS RESERVED.
 THE ARCHITECT'S DRAWINGS AND OTHER WORKS ARE FOR USE ONLY ON THIS PROJECT.
 THE ARCHITECT, THE AUTHOR, AND RESERVES ALL RIGHTS. INFORMATION CONTAINED HEREIN
 SHALL NOT BE USED WITHOUT THE EXPRESS WRITTEN AUTHORIZATION OF THE ARCHITECT.



RENOVATION FOR:
THE AUCH RESIDENCE
 31 BULLITT PARK PLACE
 BEXLEY, OHIO 43209

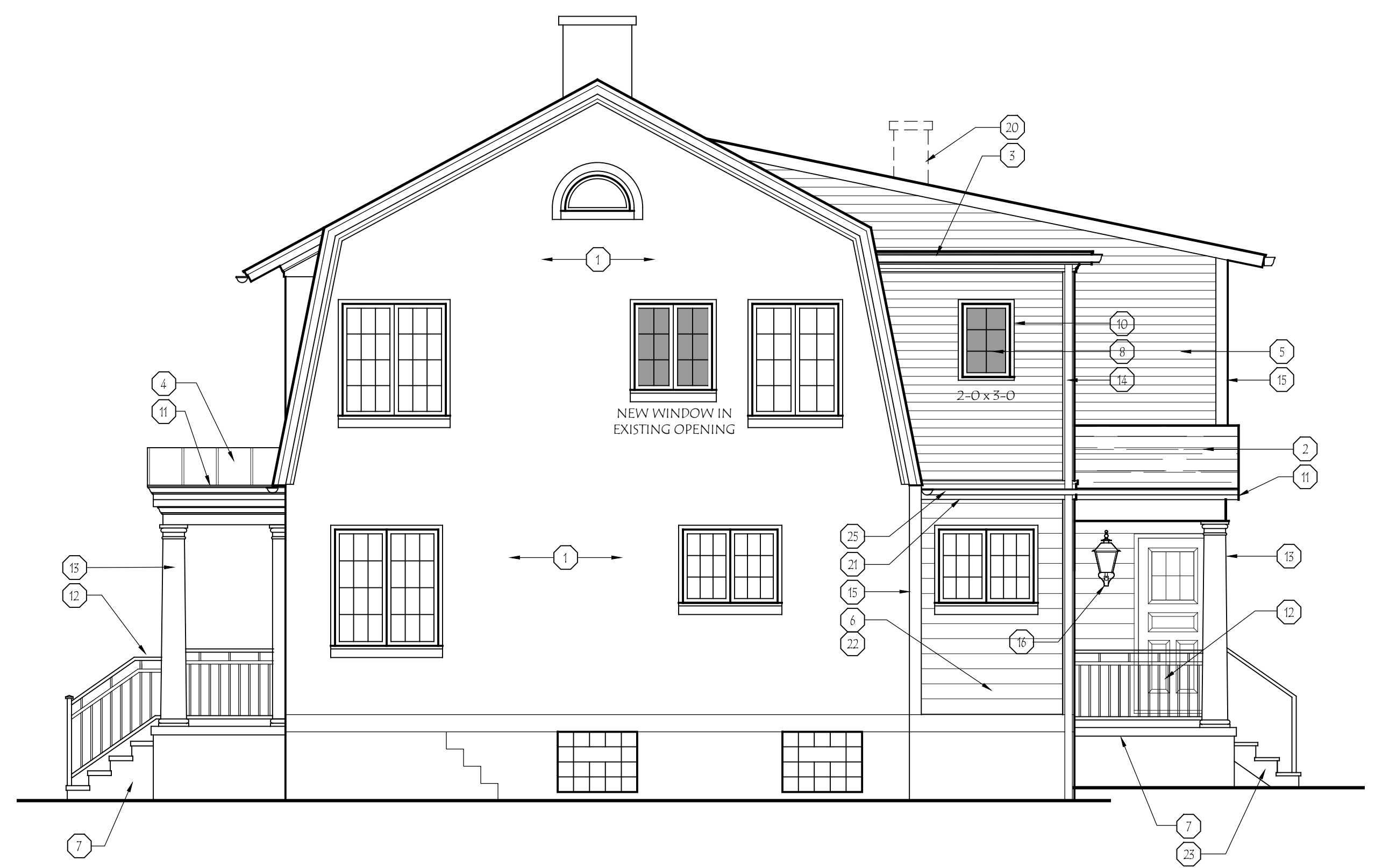
Project Number:
17-005

Revisions:

Date:
12 February 2018

Drawing Title:
Exterior Elevations

Sheet Number:
A-3



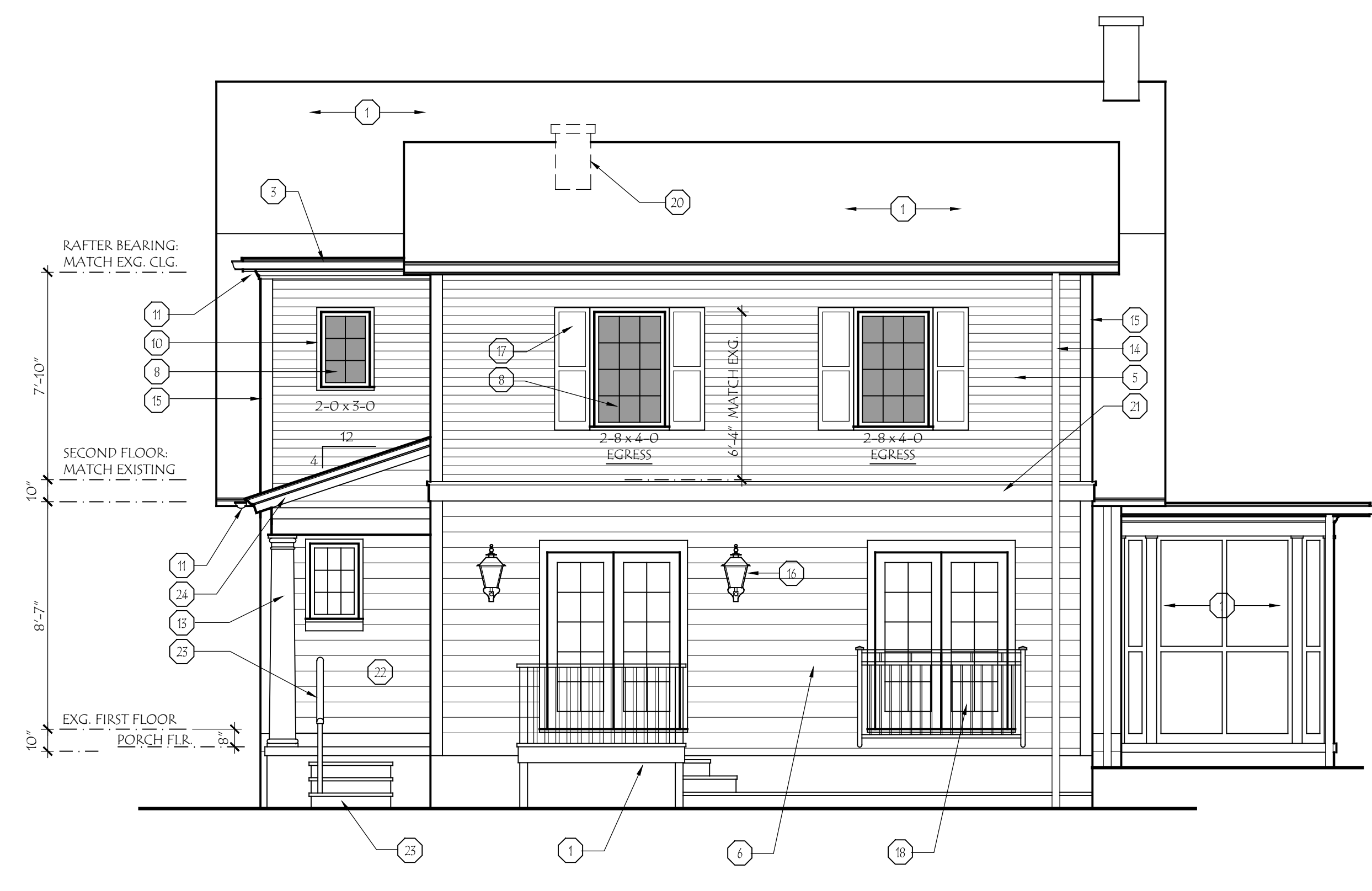
North Elevation
 SCALE: 1/4" = 1'-0"



South Elevation
 SCALE: 1/4" = 1'-0"

EXTERIOR ELEVATION CODED NOTES
 (DRAWING SHEET A-2 ONLY)

1. EXISTING CONSTRUCTION TO REMAIN.
2. NEW DIMENSIONAL ASPHALT SHINGLE ROOFING TO MATCH EXISTING.
3. 60 MIL FULLY ADHERED, SINGLE PLY MEMBRANE ROOFING ON TAPERED SLEEPERS.
4. STANDING SEAM METAL ROOF WITH 16" PAN WIDTH.
5. NEW PAINTED FIBER CEMENT SIDING WITH 4" EXPOSURE - SECOND FLOOR.
6. NEW PAINTED FIBER CEMENT SIDING WITH 7" EXPOSURE - SECOND FLOOR.
7. POURED CONCRETE PORCH SLAB & STEPS.
8. NEW CLAD WOOD WINDOW UNIT.
9. NEW ENTRY DOOR.
10. FLAT CASING TO MATCH EXISTING WINDOW TRIM.
11. HALF ROUND GUTTER ON 1 x 6 FASCIA BOARD. COLOR TO MATCH EXISTING. SEE TYPICAL WALL SECTIONS FOR DETAILS.
12. WROUGHT IRON RAILING. HANDRAIL AT 34" ABOVE LEADING EDGE OF TREADS, AND GUARDRAIL AT 36" ABOVE FINISHED FLOOR.
13. 12" DIAMETER COLUMN/PILASTER. SEE TYPICAL WALL SECTIONS FOR DETAILS.
14. DOWNSPOUT LOCATION - SEE ROOF PLAN FOR DETAILS.
15. 5/4" x 6 CORNER TRIM.
16. NEW EXTERIOR LIGHT FIXTURE, TO BE SELECTED BY OWNER.
17. NEW paneled shutters TO REPLACE EXISTING. COLOR TO BE SELECTED BY OWNER.
18. NEW FIXED WROUGHT IRON GUARDRAIL. TOP OF RAIL TO BE 36" ABOVE FIRST FLOOR LEVEL.
19. NEW ROUND PORCH ROOF - SEE TYPICAL WALL SECTION FOR DETAILS.
20. EXISTING CHIMNEY TO BE REMOVED THROUGH ROOF. PATCH SURFACES TO MATCH EXISTING.
21. PAINTED FIBER CEMENT BAND BOARD AT THE SECOND FLOOR LEVEL. AT CHANGE IN SIDING.
22. FIBER CEMENT SIDING OVER EXISTING BRICK VENEER - THIS SECTION ONLY.
23. TEMPORARY WOOD STEPS & HANDRAIL. FINAL STEP & PATIO DESIGN BY OTHERS.
24. RAKE TRIM TO MATCH EXISTING ORIGINAL HOUSE.
25. NEW PORCH GUTTER TO CONTINUE ACROSS ADDITION TRIM BOARD, AND CONNECT INTO NEW GUTTER ON EXISTING SECTION OF HOUSE.



West (Rear) Elevation
 SCALE: 1/4" = 1'-0"



East (Front) Elevation
 SCALE: 1/4" = 1'-0"











PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, March 12, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-20-7

Applicant: David Pryor

Owner: Pryor Development LLC

Location: 752 Vernon Rd.

ARB Request: The applicant is seeking architectural review and approval to allow an addition to the rear of the existing principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240. Mailed by: 02-27-2020

*(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory structures and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

Applicant

 david pryor
 614-560-6627
 dpryor@davidpryorlaw.com

Location

752 VERNON RD
Bexley, OH 43209

ARB-20-7

Status: Active

Submitted: Feb 12, 2020

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

275 sq' addition on rear of house

Architecture Review

true

Demolition

false

Planned Unit Dev

false

Rezoning

false

A.1: Attorney / Agent Information

Agent Name

--

Agent Address

--

Agent Email

--

Agent Phone

--

Property Owner Name

--

Property Owner phone

--

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project

90000

Minor Architectural Review

false

Major Architectural Review

true

Variance Review - Fill out a BZAP Application instead.

false

Zoning

false

Zoning Review Type

--

Sign Review and Architectural Review for Commercial Projects

false

Review Type

--

Appeal of ARB decision to BZAP

false

Appeal of BZAP decision to City Council

false

B: Project Worksheet: Property Information**Occupancy Type**

Residential

Zoning District

bexley

Use Classification

R-1 (25% Building and 40% Overall)

B: Project Worksheet: Lot Info**Width (ft)**

21

Depth (ft)

6

Total Area (SF)

275

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)**

1268

Proposed Addition (SF)

138

Removing (SF)

40

Type of Structure

wood frame addition

Proposed New Primary Structure or Residence (SF)

276

Total Square Footage

1544

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)**

280

Proposed Addition (SF)

--

New Structure Type

--

Ridge Height

--

Proposed New Structure (SF)

--

Is there a 2nd Floor

No

Total of all garage and accessory structures (SF)

280

Total building lot coverage (SF)

280

Total building lot coverage (% of lot)

1824

Is this replacing an existing garage and/or accessory structure?

--

B: Project Worksheet: Hardscape**Existing Driveway (SF)**

360

Existing Patio (SF)

--

Existing Private Sidewalk (SF)

180

Proposed Additional Hardscape (SF)

--

Total Hardscape (SF)

540

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)**

2364

Total overall lot coverage (% of lot)

44

C.1 Architectural Review Worksheet: Roofing**Roofing**

true

Structure

House or Principal Structure

Existing Roof Type

Std. 3-tab Asphalt Shingle

New Roof Type

Arch. Dimensional Shingles

New Single Manufacturer

Certainteed

New Roof Style and Color

match existing grey

C.1 Architectural Review Worksheet: Windows**Windows**

true

Structure

House or Principal Structure

Existing Window Type

Double Hung

Existing Window Materials

Vinyl Clad Wood

New Window Manufacturer

Marvin

New Window Style/Mat./Color

match existing white

C.1 Architectural Review Worksheet: Doors**Doors**

true

Structure

House or Principal Structure

Existing Entrance Door Type

Insulated Metal

Existing Garage Door Type

--

Door Finish

--

Proposed Door Type

6 panel

Proposed Door Style**Proposed Door Color**

match existing

white

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Existing Door Trim

Vinyl

Proposed New Door Trim

match existing

Existing Window Trim

Vinyl

Proposed New Window Trim

match existing

Trim Color(s)

white

Do the proposed changes affect the overhangs?

No

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

true

Existing Finishes

Vinyl Siding

Existing Finishes Manufacturer, Style, Color

beige vinyl

Proposed Finishes

Vinyl Siding

Proposed Finishes Manufacturer, Style, Color

match existing

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

false

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

false

Applicant has been advised that Landscape Designer/Architect must be present at meeting

false

Attachments (5)

pdf **Architectural Plans which include Exterior Elevations and floor plans of existing and proposed**

Feb 12, 2020

pdf **Landscape Plan for New Principal Structures**

Feb 12, 2020

pdf **Photographs (required)**

Feb 12, 2020

pdf **Site Plan**

Feb 12, 2020

pdf **Permission for Agent to represent owner.**

Feb 12, 2020

Timeline

- Payment**
Status: Paid February 12th 2020, 1:12 pm

- Zoning Officer**
Status: Completed March 4th 2020, 2:44 pm
Assignee: Kathy Rose

- Design Planning Consultant**
Status: In Progress
Assignee: Karen Bokor

- Architectural Review Board**
Status: In Progress

- Board of Zoning and Planning**
Status: In Progress

- City Council**
Status: In Progress

- Tree Commission**
Status: In Progress

- Arborist**
Status: In Progress



ADDITION AND RENOVATION OF 752 VERNON AVE.

BEXLEY, OHIO 43209-2465

SCOPE OF WORK

EXISTING REAR PORCH TO BE REMOVED AND THE CONSTRUCTION OF A TWO STORY ADDITION TO THE REAR OF THE HOUSE. THE COMPLETE REMODEL OF THE EXISTING STRUCTURE.

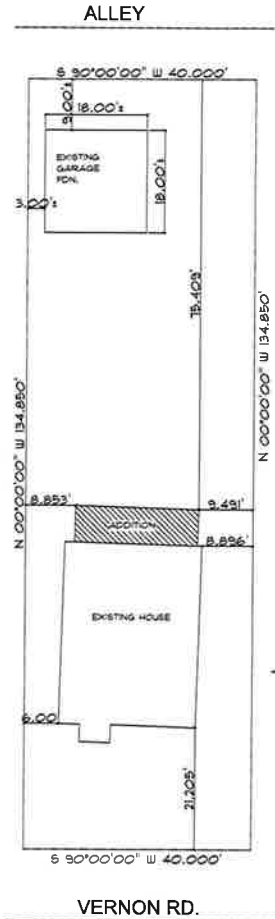
CLIMATIC AND GEOGRAPHIC DESIGN CRITERIA

ROOF SNOW LOAD LB PER SQ FT.	WIND DESIGN	SEISMIC CONDITIONS BY ZONE	SUBJECT TO DAMAGE FROM		SUBJECT TO DAMAGE FROM		WINTER DESIGN (TEMP AND HEATING FACILITIES)
			WEATHERING	FROST DEPTH	TURBULENCE	DECAY	
20	30 MPH	I	SEVERE	3"	YES	YES	1 DEG F

ADDITION TO BE DESIGNED AND BUILT TO THE FOLLOWING CODES
2019 RCO, 2018 IECC, 2017 Ohio Plumbing Codes and 2017 NEC

AREA SCHEDULE	
NAME	AREA
REAR PORCH	233.0 sq. ft.
1st FLOOR ADDITION	117.2 sq. ft.
2nd FLOOR ADDITION	117.2 sq. ft.
TOTAL ADDITION	467.4 sq. ft.

INDEX	
COVER PAGE	1
DEMOLITION PLANS	2
FOUNDATION AND FLOOR PLANS	3
EXTERIOR ELEVATIONS	4
STRUCTURAL PLANS	5



SITE PLAN

SCALE: 1/8" = 1'

GENERAL NOTES:

1. LOAD DESIGN PARAMETERS
 - ROOFS: 1ST FLOOR 40 PSF L.L., 10 PSF D.L.
 - 2ND FLOOR 30 PSF L.L., 10 PSF D.L.
 - ROOF: 25 PSF L.L., 10 PSF D.L.
 - ATTIC: 30 PSF L.L., 10 PSF D.L.
 - WIND: 13 PSF
 - ANTICIPATED SOIL BEARING CAPACITY 1500PSF
2. DIMENSIONAL LUMBER SHALL HAVE THE FOLLOWING PROPERTIES:
 - ALL STUDS TO BE STUD GRADE OR BETTER.
 - ALL LUMBER SHALL BE #2 OR BETTER OR HAVE THE SAME DESIGN VALUES OR BETTER.
 - ALL DIMENSIONAL LUMBER SHALL HAVE A MAX. MOISTURE CONTENT OF 15%.
3. THE FOLLOWING FASTING SCHEDULE OUTLINES THE MIN. REQUIREMENTS. (ENSURING SHANK NAILS: CROWN-CORNER WIRE NAILS.)
 - A. SUBFLOOR TO JOIST: GLUE AND 1-8D RSN # 6"
 - O.C. ON THE EDGES 4 12" O.C. IN THE FIELD
 - B. SOLE PLATES TO SUBFLOOR: GLUE AND 1-6D CUN # 6" O.C.
 - C. STUDS TO SOLE PLATE: 2-6D CUN
 - D. STUDS TO TOP PLATES: 2-6D CUN
 - E. STUD TO STUD 4 PLATE TO PLATE: 2-6D CUN
 - F. ROOF SHEATHING TO TRUSSES: 8D CUN # 4" O.C.
 - G. ROOF TRUSSES TO WALL: 1" SIMPSON STRONG TIE ANCHOR H2.5"
 - H. WOOD NAILER TO TOP OF STEEL BEAM: BOLT OR RAM SET
4. ALL L.V.L. BEAMS SHALL BE FASTEN PER MANUFACTURERS SPECS.
5. TRUSSES SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF OHIO. ROOF TRUSSES SHALL BE DESIGNED FOR THE FOLLOWING LOADS:
 - TOP CHORD D.L. 10 PSF
 - BOTTOM CHORD D.L. 20 PSF 4 L.L. 20 PSF IN 42" PANELS.
6. FIRESTOPPING SHALL BE PROVIDED WITH NONCOMBUSTIBLE MATERIAL IN THE FOLLOWING LOCATIONS:
 - A. CONCEALED SPACES OF STUD WALLS AND PARTITIONS AT THE CEILING LINE AND AT THE FLOOR LEVEL.
 - B. AT ALL INTERSECTIONS BETWEEN VERTICAL AND HORIZONTAL SPACES SUCH AS OCCURS AT BOFFITS OVER WALL CABINETS, DROP CEILING.
 - C. OPENINGS AROUND PIPES, DUCTS, FIREPLACE CHIMNEYS AT CEILING AND FLOOR INTERSECTIONS.
7. ALL INTERIOR WALLS ARE 3/2" UNLESS NOTED OTHERWISE.
 - HANDRAIL TO BE CIRCULAR, 1 1/4"-2" IN DIAMETER OR HAVE A NON-CIRCULAR CROSS-SECTION WITH A PERIMETER DIMENSION OF AT LEAST 4", BUT NOT MORE THAN 6 1/4" AND A LARGEST CROSS SECTION DIMENSION NOT TO EXCEEDING 3 1/4" 4 EDGES FLARED TO MIN. 1/8" RADIUS. HANDRAILS TO HAVE A MIN. AND MAX. HEIGHT OF 34" AND 38" RESPECTIVELY MEASURED VERTICALLY FROM THE nosing of the TREADS AND BE PROVIDED ON AT LEAST ONE SIDE OF THE STAIRS. GUARD RAILS SHALL NOT BE LESS THAN 36" IN HEIGHT.
8. THE ENDS OF EACH JOIST, BEAM OR GIRDER SHALL HAVE NOT LESS THAN 1 1/2" INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3" ON MASONRY OR CONCRETE.
10. INSTALL DBL. RIM JOIST WHERE FLOOR JOIST RUN PARALLEL TO FOUNDATION.
11. JOIST SHALL BE SUPPORTED Laterally BY SOLID BLOCKING, DIAGONAL BRACING (WOOD OR METAL) AT INTERVALS NOT TO EXCEED 10'.
12. NOTCHES IN LUMBER ARE NOT TO EXCEED 1/3 THE DEPTH OF THE FLOOR JOIST, RAFTER, OR BEAM AND SHALL NOT BE LONGER THAN 1/3 THE DEPTH OF THE FRAMING MEMBER. NO NOTCHING SHALL BE PERMITTED IN THE MIDDLE 1/3 OF THE SPAN. NOTCHES AT THE END OF FRAMING MEMBERS SHALL NOT EXCEED 1/4 THE DEPTH OF THE FRAMING MEMBER.
13. THE DIAMETER OF HOLES IN FRAMING MEMBERS SHALL NOT EXCEED 1/3 THE DEPTH OF THE FRAMING MEMBER. HOLES SHALL NOT BE ANY CLOSER THAN 3" TO ANY OTHER HOLES OR NOTCHES. HOLES SHALL NOT BE CLOSER THAN 2" FROM THE TOP OR BOTTOM OF THE FRAMING MEMBER.
14. SMOKE DETECTORS ARE TO HARDWIRED TOGETHER SO THAT WHEN ONE SMOKE DETECTOR SOUNDS AN ALARM ALL SMOKE DETECTORS WILL SOUND. ALL SMOKE DETECTORS TO BATTERY BACKUP AND WIRED TO THE LOCAL ELECTRICAL CIRCUIT AHEAD OF ANY SWITCHES.
15. BLOCK ALL POINT LOADS SOLID TO FOUNDATION.
16. ANY FOAM PLASTIC INSULATION EXPOSED IN THE ATTIC, DWELLING UNIT OR CRAWL SPACE SHALL HAVE A FLAME SPREAD RATING NOT TO EXCEED 25 AND A SMOKE DEVELOPED FACTOR OF NOT TO EXCEED 450.



ADDITION AND RENOVATION OF 752 VERNON AVE.

REVISION SCHEDULE	
DATE	REVISION NOTE
2-11-2021	DRY

DATE: 2/1/20

DRAWN BY: JP

SHEET

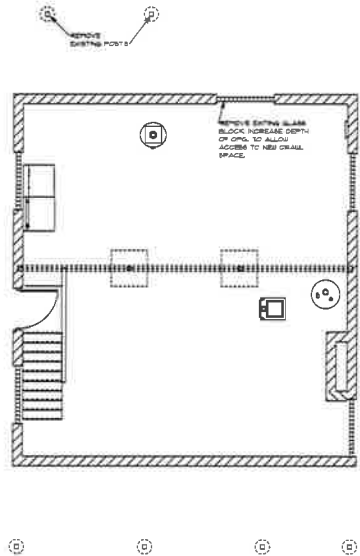
1 OF 5

**ADDITION AND RENOVATION
 OF
 752 VERNON AVE.**
 BEXLEY, OHIO 43209-2485

REVISION	DATE	REVISION NOTE
1	2/11/00	CON'T. DOC.'S

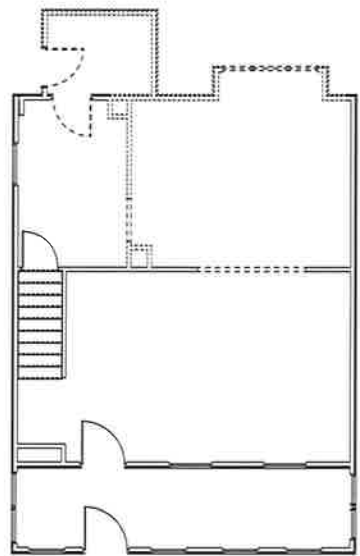
DATE: 2/1/00
 DRAWN BY: JP

SHEET



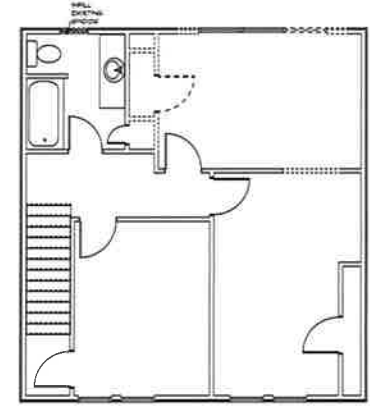
FOUNDATION DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



1ST FLOOR DEMOLITION PLAN

SCALE: 1/4" = 1'-0"



2ND FLOOR DEMOLITION PLAN

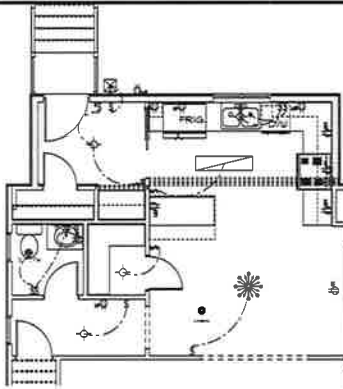
SCALE: 1/4" = 1'-0"

WALL LEGEND

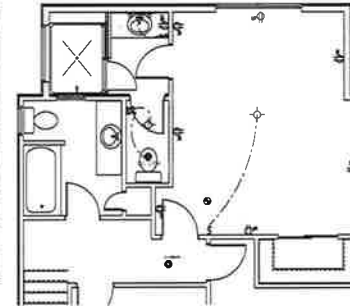
-  EXISTING EXTERIOR WALL
-  EXISTING INTERIOR PARTITION
-  EXISTING INTERIOR PARTITION TO BE REMOVED
-  EXISTING EXTERIOR WALL TO BE REMOVED

1ST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"

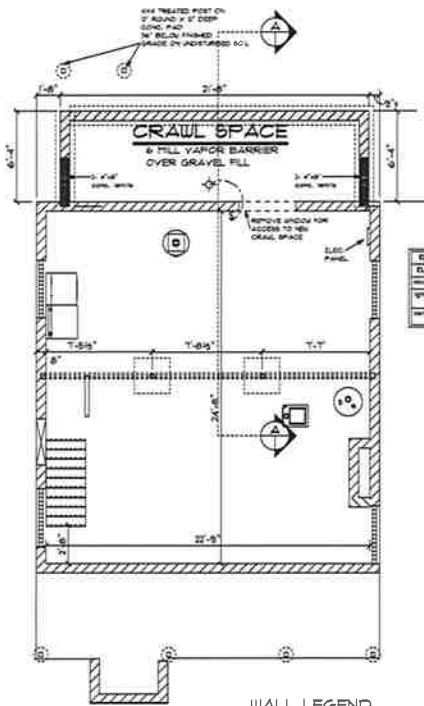


ELECTRICAL	SYMBOL
WIRE, CIRCULAR	
RECESSED 1" (S) 1 x 4	
1/2" x 1/2" x 1/2" x 1/2" x 1/2"	
CONC. SINKING SCHEDULE DETECTOR	
NEW 1/2" x 1/2"	
W/1	
W/200 10	
W/200 8"	
W/200 4"	
SWITCH	
SWITCH 3-WAY	
SWITCH DIMMER	
W/200 1/2" (S) 1 x 4	



1ST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



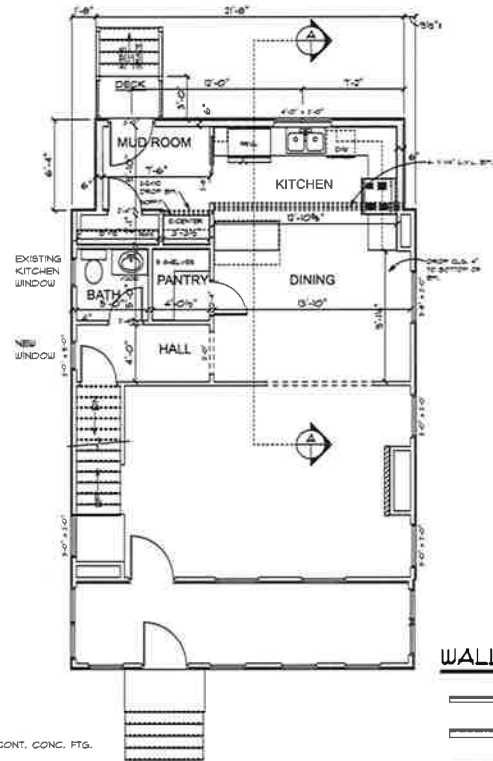
ELECTRICAL	SYMBOL
W/1	
W/200 10	
W/200 8"	
W/200 4"	
SWITCH	

WALL LEGEND

- NEW CONC. BLK. WALL ON 16"X8" CONT. CONC. FTG.
- EXISTING CONC. BLK. WALL

FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



WALL LEGEND

- EXISTING 2X4 EXTERIOR WALL
- NEW 2X6 EXTERIOR WALL
- EXISTING 2X4 INTERIOR PARTITION
- NEW 2X4 INTERIOR PARTITION

1ST FLOOR PLAN



2ND FLOOR PLAN

SCALE: 1/4" = 1'-0"

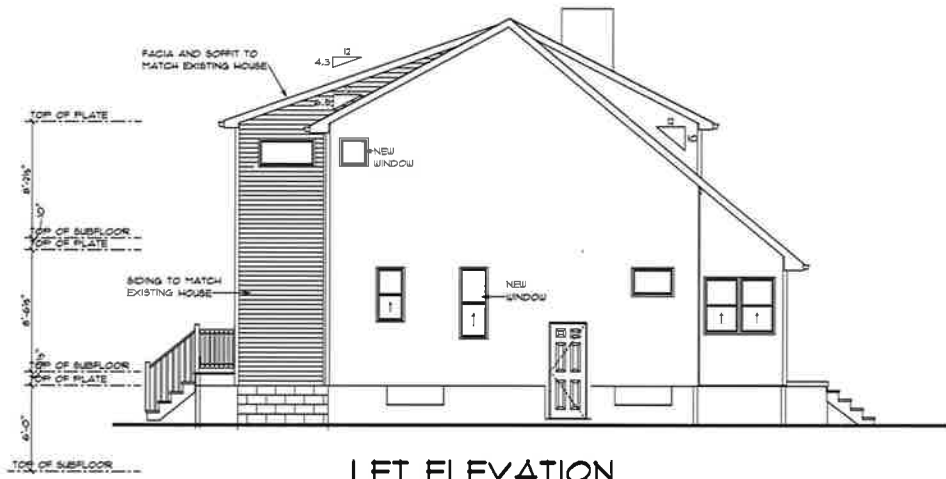


ADDITION AND RENOVATION
OF
752 VERNON AVE.
BEAULEY, OHIO 43209-2485

REVISION	DATE	REVISION NOTE
1	2/1/20	ISSUE FOR PERMITS

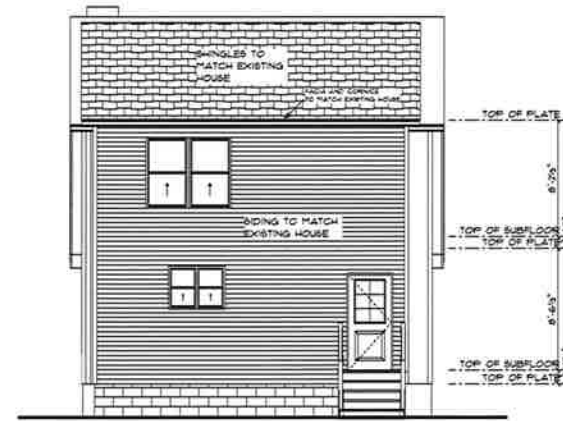
DATE: 2/1/20
DRAWN BY: J.P.

SHEET
3 OF 5



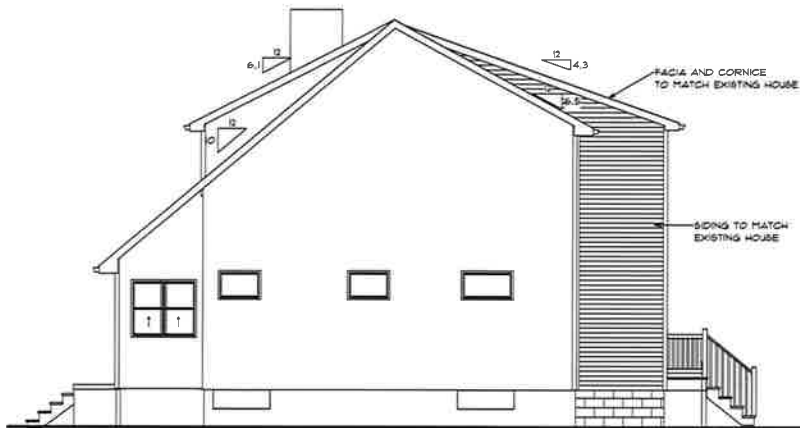
LET ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

Project: 142-037000-000 - HOUSE AND RENOVATION

Client: L.V.L. BUILDING SERVICES INC.

Address: 142-037000-000

City: BEXLEY, OHIO

State: OHIO

Country: USA

Scale: 1/4" = 1'-0"

Date: 2/15/20

Sheet: 1 OF 5

DESCRIPTION	QTY	UNIT	PRICE	TOTAL
CEILING				
Plaster	100	SQ. FT.	1.50	150.00
Paint	100	SQ. FT.	0.50	50.00
Subtotal				200.00
WALLS				
Plaster	100	SQ. FT.	1.50	150.00
Paint	100	SQ. FT.	0.50	50.00
Subtotal				200.00
ROOFING				
Shingles	100	SQ. FT.	2.00	200.00
Flashing	100	SQ. FT.	0.50	50.00
Subtotal				250.00
Windows				
Window Sill	100	SQ. FT.	1.00	100.00
Window Head	100	SQ. FT.	1.00	100.00
Window Side	100	SQ. FT.	1.00	100.00
Subtotal				300.00
Doors				
Door Sill	100	SQ. FT.	1.00	100.00
Door Head	100	SQ. FT.	1.00	100.00
Door Side	100	SQ. FT.	1.00	100.00
Subtotal				300.00
Stairs				
Stair Tread	100	SQ. FT.	1.00	100.00
Stair Riser	100	SQ. FT.	1.00	100.00
Stair Stringer	100	SQ. FT.	1.00	100.00
Stair Nosing	100	SQ. FT.	1.00	100.00
Subtotal				400.00
Other				
Other	100	SQ. FT.	1.00	100.00
Subtotal				100.00
TOTAL				1550.00

**L.V.L. BM. OVER
KITCHEN DESIGN
CALCULATIONS**

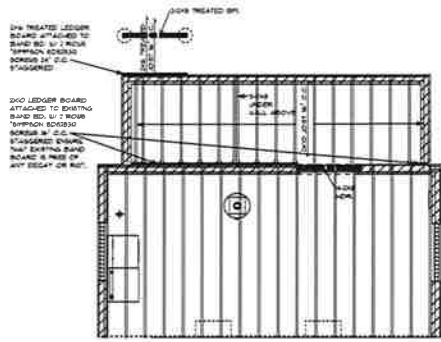
**ADDITION AND RENOVATION
OF
752 VERNON AVE.**

DATE	REVISION NOTE
2/15/20	CONCEPT PLAN

DATE: 2/1/20
DRAWN BY: JP

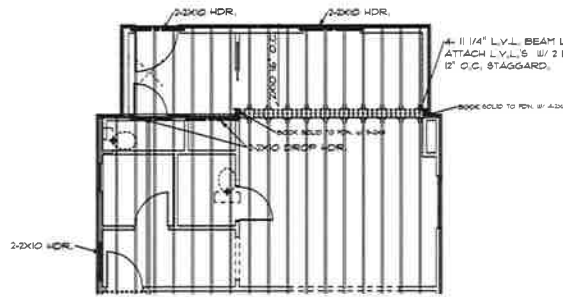
SHEET
4 OF 5





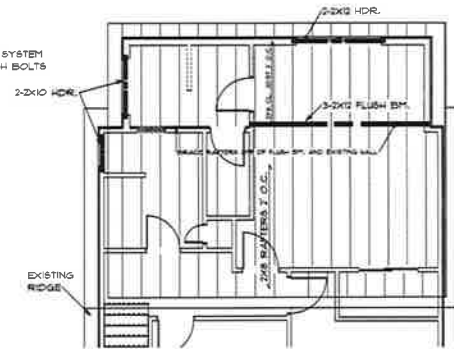
1st FLOOR JOIST PLAN

SCALE 1/4" = 1'-0"



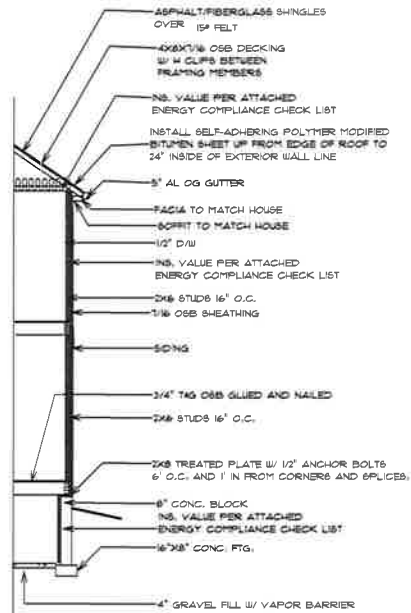
2nd FLOOR JOIST PLAN

SCALE 1/4" = 1'-0"



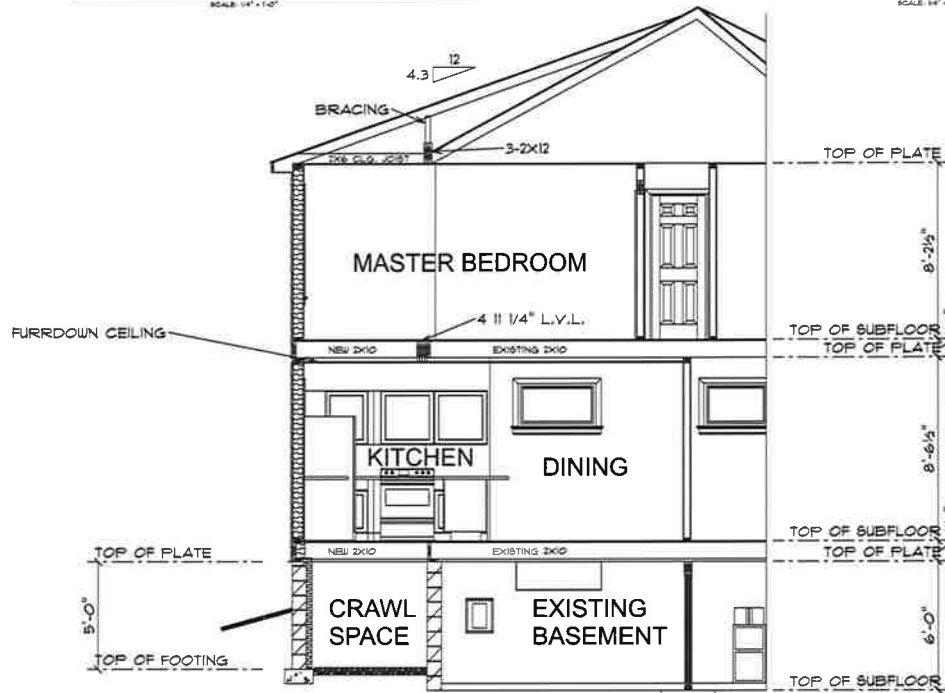
ROOF PLAN

SCALE 1/4" = 1'-0"



TYP. WALL SECTION

NO SCALE



SECTION AA

SCALE 3/8" = 1'-0"



**ADDITION AND RENOVATION
OF
752 VERNON AVE.**

BEXLEY, OHIO 43209-2485

REVISION NUMBER	DATE	REVISION NOTE
1	2/1/20	ISSUE FOR PERMITS

DATE: 2/1/20

DRAWN BY: JF

SHEET

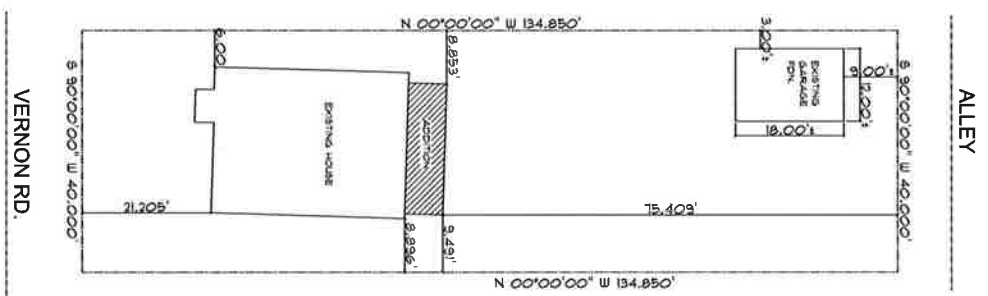
5 OF 5





SITE PLAN

SCALE: 1" = 20'

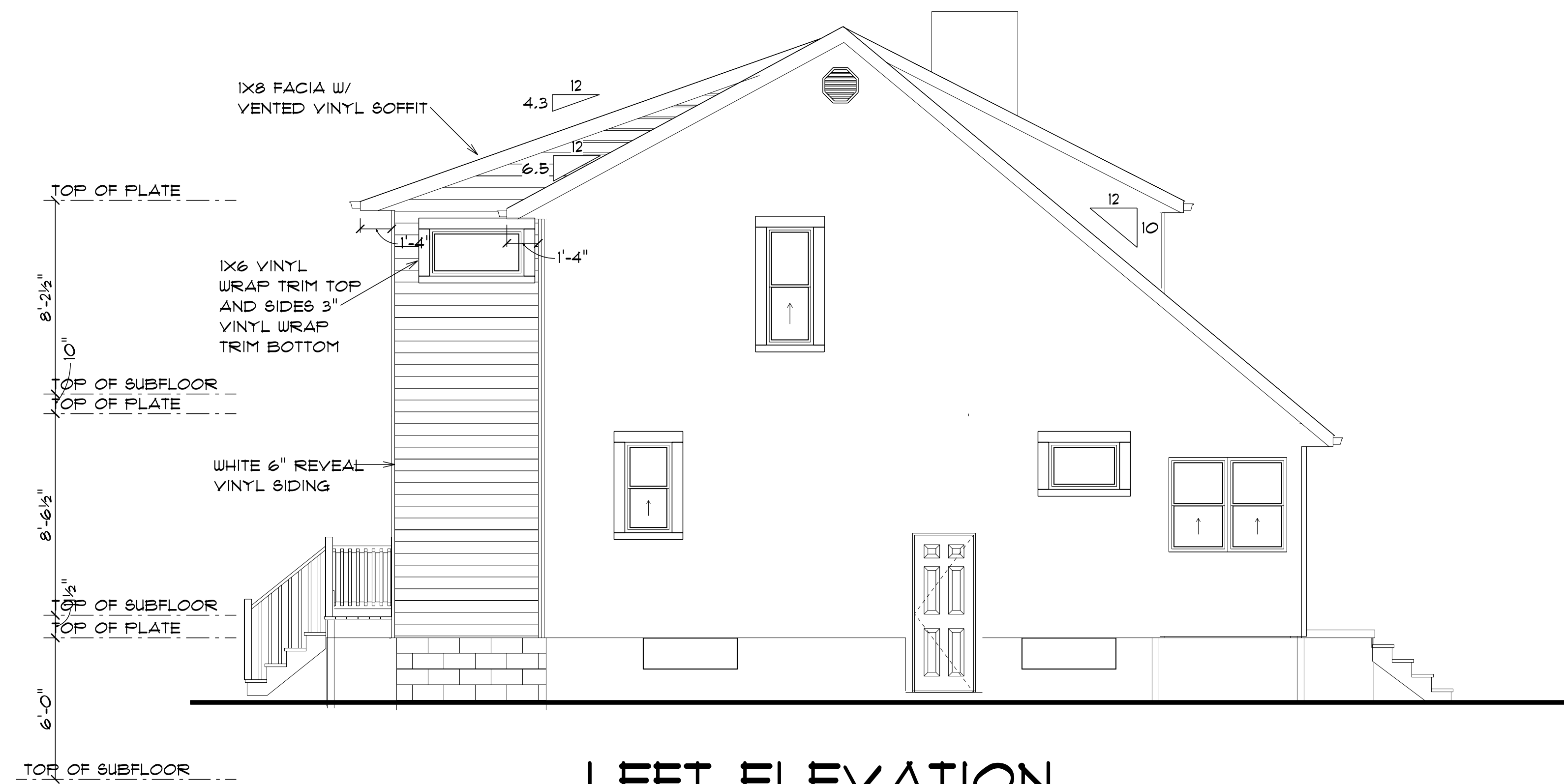


**Building
Service &
Associates**
P.O. BOX 77
POWELL, OHIO 43065
PH. 614-841-9460
FAX 614-841-9415
E-MAIL RESIDENTIALDESIGN@MSN.COM

**ADDITION AND RENOVATION
OF
752 VERNON AVE.
BEXLEY, OHIO 43209-2465**

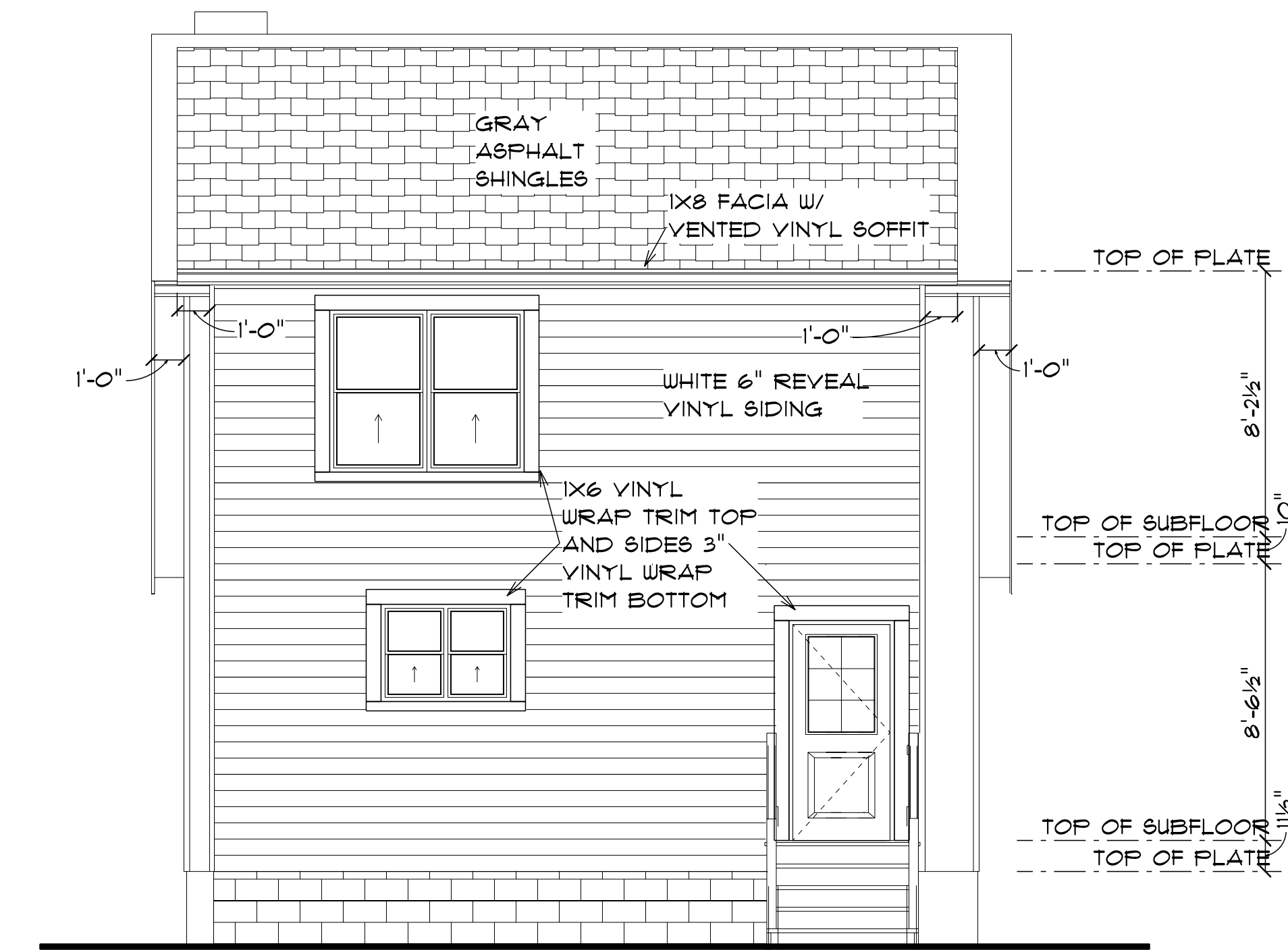
DRAWN BY: JP
SCALE: NOTED
DATE: 2/1/20

3 OF 3



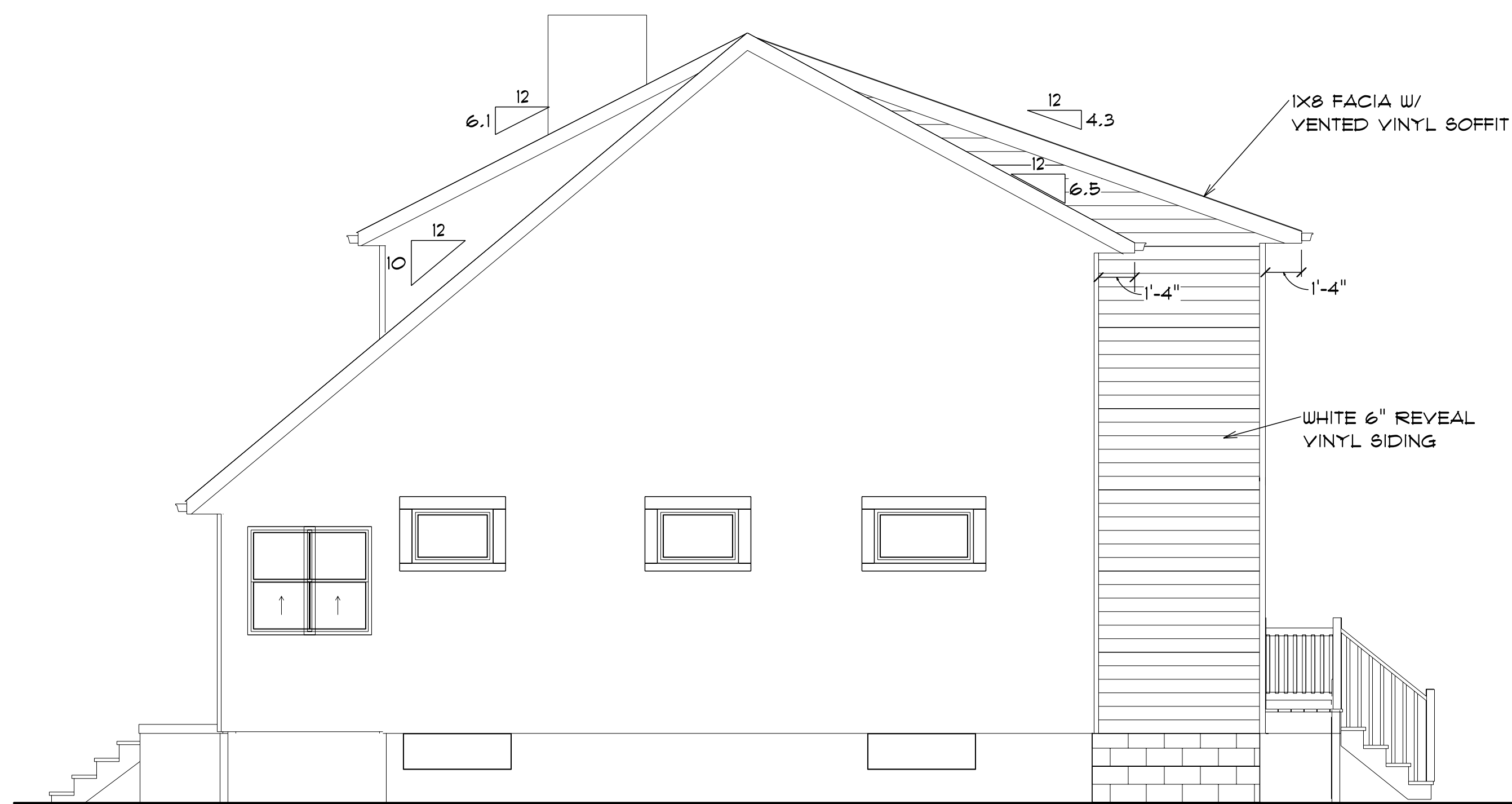
LEFT ELEVATION

SCALE: 1/4" = 1'-0"



REAR ELEVATION

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION

SCALE: 1/4" = 1'-0"

Project: 752 VERNON AVE. ADDITION AND REMODEL
 Location: L.V.L. OVER KITCHEN BM. #1
 Uniformly Loaded Floor Beam
 [2015 International Building Code(2015 IBC)]
 (4.1.1.5.1a x 11.2.5.1a x 13.0.1.1)
 Vena-Lam Col 2650 Fb - Boise Cascade
 Section Adequate by 157.4%
 Controlling Factor: Deflection

StruCalc 9.8
 StruCalc Version 10.0.1.6 2/12/2020 8:32:05 AM

CAUTIONS
 *Laminations are to be fully connected to provide uniform transfer of loads to all members.

DEFLECTIONS		Center
Live Load	0.17	IN L927
Dead Load	0.05	in
Total Load	0.22	IN L706
Live Load Deflection Criteria: L/240		Total Load Deflection Criteria: L/240

REACTIONS		A	B
Live Load	2405 lb	2405 lb	
Dead Load	751 lb	751 lb	
Total Load	3156 lb	3156 lb	
Bearing Length	1.00 in	1.00 in	

BEAM DATA		Center
Span Length	13	ft
Unbraced Length Top	0	ft
Floor Duration Factor	1.00	
Notch Depth	0.00	

MATERIAL PROPERTIES			
Vena-Lam Col 2650 Fb - Boise Cascade			
	Base Values	Adjusted	
Bending Stress:	Fb = 2650 psi	Fb' = 2669 psi	
Shear Stress:	Fv = 285 psi	Fv' = 285 psi	
Modulus of Elasticity:	E = 1700 ksi	E = 1700 ksi	
Comp. A-to Grain:	Fc-A = 450 psi	Fc-A' = 450 psi	

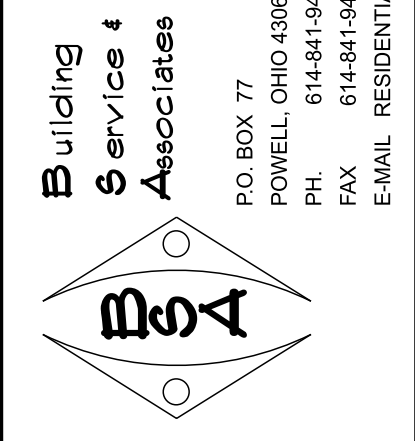
Controlling Moment: 10256 ft-lb
 2.5 ft from left support
 Created by combining all dead and live loads.
 Controlling Shear: 3156 lb
 At support.
 Created by combining all dead and live loads.

Comparisons with required sections:		Required	Provided
Section Modulus:		46.11 in ³	147.66 in ³
Area (Shear):		16.61 in ²	78.75 in ²
Moment of Inertia (deflection):		322.71 in ⁴	830.57 in ⁴
Moment:		10256 ft-lb	32842 ft-lb
Shear:		3156 lb	14963 lb

LOADING DIAGRAM		
Floor Live Load	FLL = 40 psf	Side 1 Side 2
Floor Dead Load	FDL = 10 psf	10 psf 10 psf
Floor Tributary Width	FTW = 3.3 ft	6 ft
Wall Load	WALL = 0 psf	

BEAM LOADINGS	
Beam Total Live Load:	wL = 370 psf
Beam Total Dead Load:	wD = 93 psf
Beam Self Weight:	BSW = 23 psf
Total Maximum Load:	wT = 485 psf

L.V.L. BM. OVER KITCHEN DESIGN CALCULATIONS



ADDITION AND RENOVATION OF
752 VERNON AVE.
 BEXLEY, OHIO 43209-2465

REVISION SCHEDULE	
DATE	REVISION NOTE
2/11/20	CONST. DOC.'S
3/10/20	REV. EXT. ELEV. DETAILS

DATE: 2/1/20
 DRAWN BY: JP

Building Service Associates
 P.O. BOX 77
 POWELL, OHIO 43065
 PH. 614-841-9460
 PH. 614-841-9415
 FAX 614-841-9415
 E-MAIL: RESIDENTIALDESIGN@NSI.COM



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, March 12, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Bexley Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, March 26, 2020 at 6:00 PM.**, in City Council Chambers, Bexley City Hall, 2242 East main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: BZAP-20-3

Applicant: Brenda Parker

Owner: 2700 Sherwood Rd. LLC

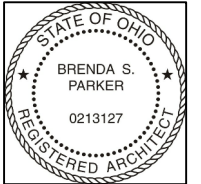
Location: 2700 Sherwood Rd.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a 676 square foot, detached garage that is 22'9" in height, to be constructed in the rear yard.

BZAP: The applicant is seeking architectural review and approval to allow a new detached garage. The applicant is also seeking a Special Permit f in accordance with Bexley Code Section 1252.15(e) which states an accessory structure shall not exceed one story in height, ridgeline not to exceed 20' in height without approval from the Board of Zoning and Planning, to allow the proposed detached garage, with 2nd floor space, to be 22'9" in height.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 02-27-2020



NEW DETACHED GARAGE
2700 SHERWOOD ROAD
BEXLEY, OHIO 43209

Permit Set

SCALE:

As Noted

PROJECT NO.:

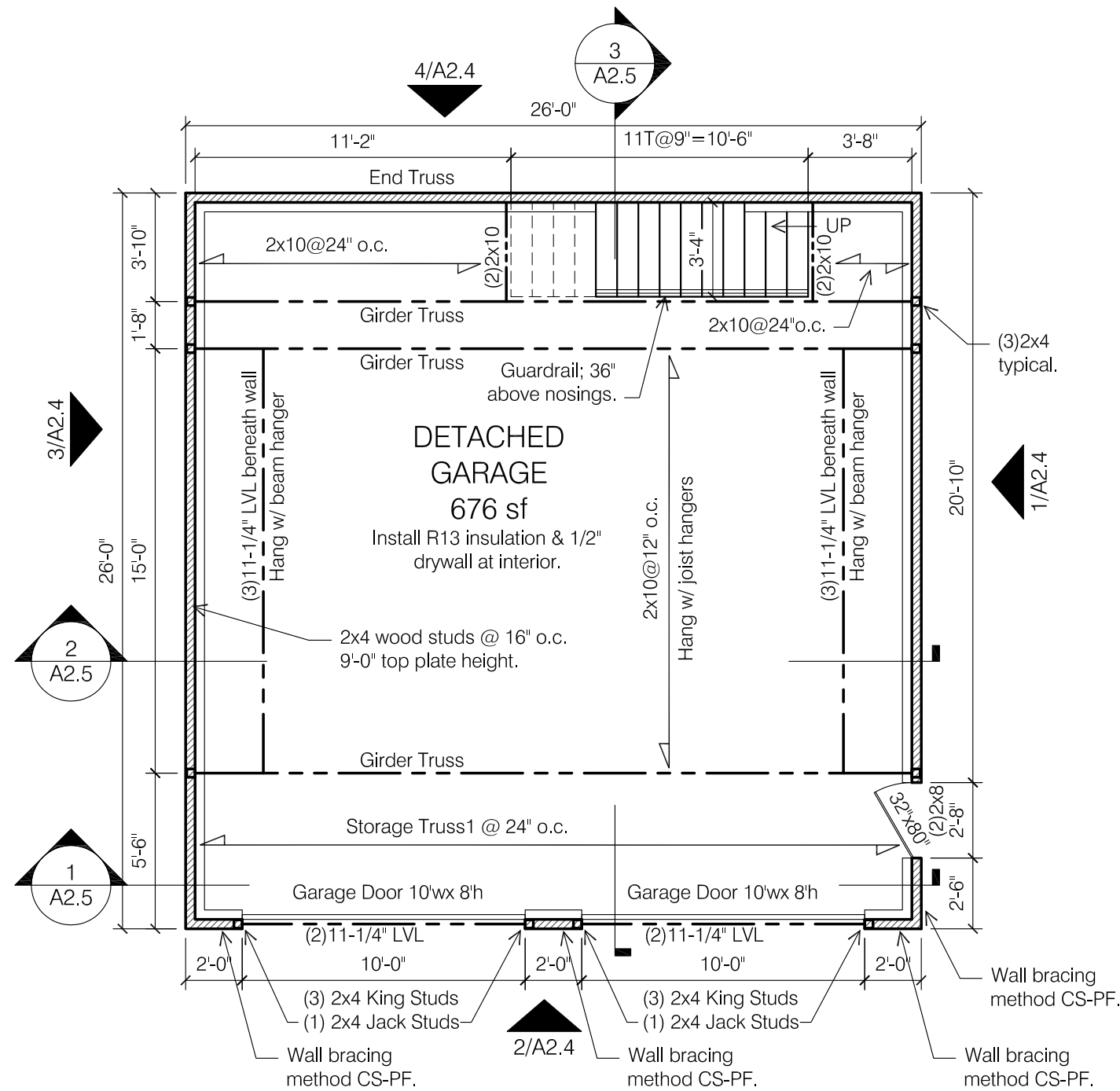
DATE:

Feb 10, 2020

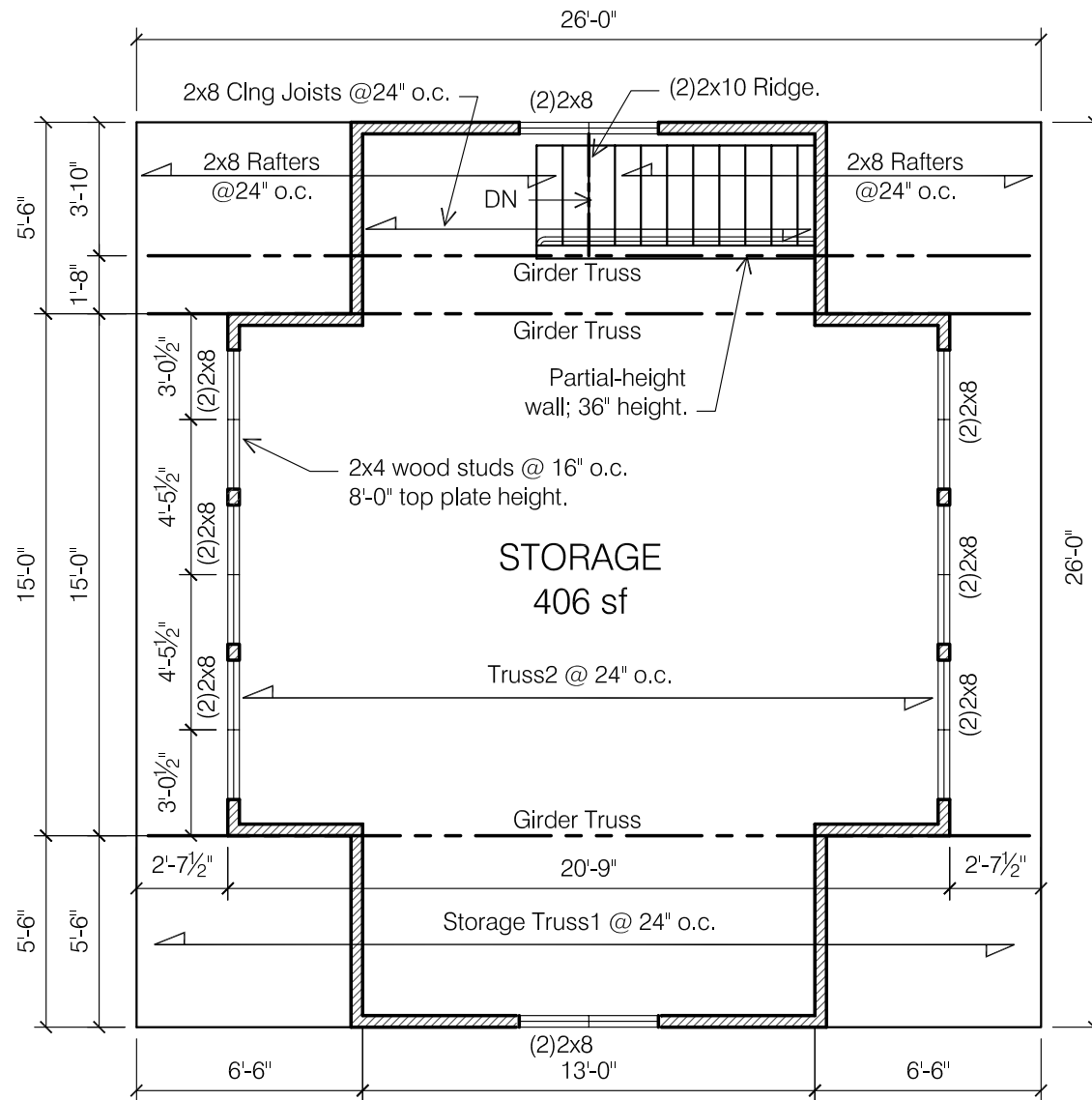
SHEET NO.

A2.1

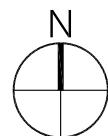
GARAGE PLANS



1 GARAGE FLOOR PLAN
SCALE: 3/16" = 1'-0"

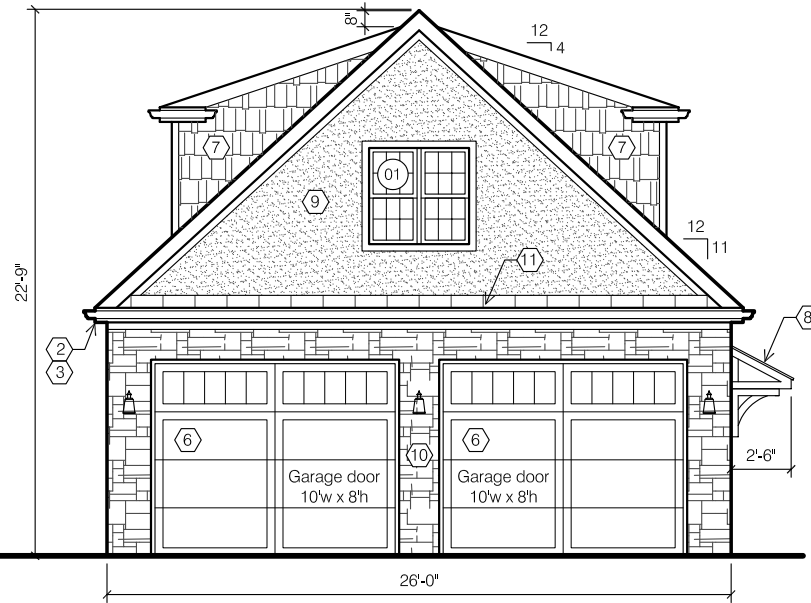


2 STORAGE LOFT PLAN
SCALE: 3/16" = 1'-0"

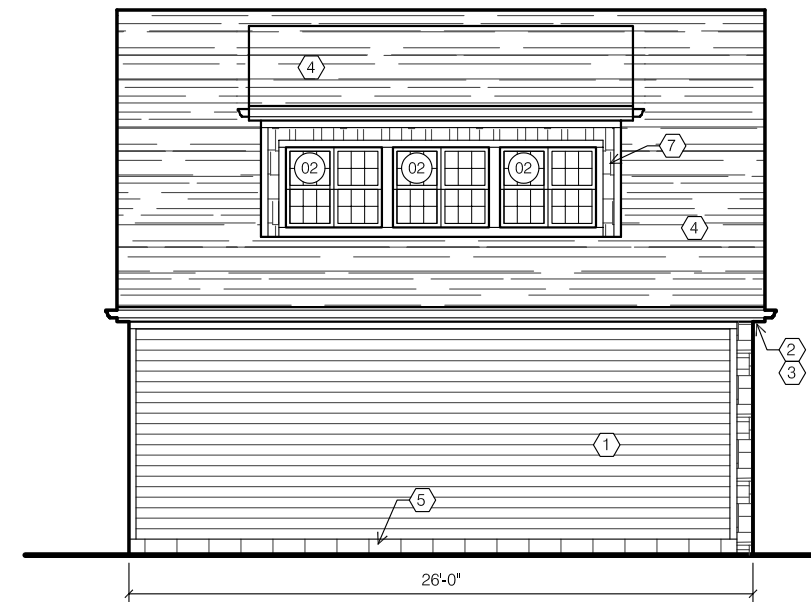




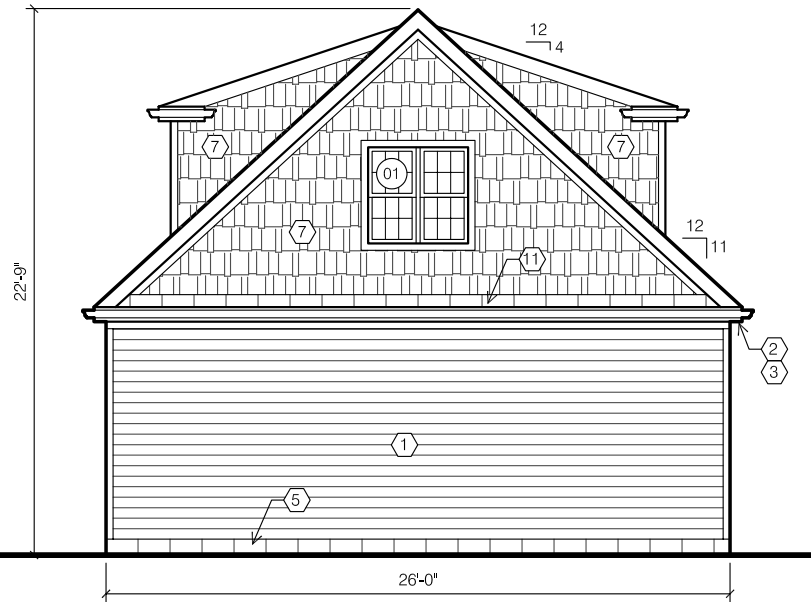
1 GARAGE EAST ELEVATION
SCALE: 1/8" = 1'-0"
0 2 4 8 16



2 GARAGE SOUTH ELEVATION
SCALE: 1/8" = 1'-0"
0 2 4 8 16



3 GARAGE WEST ELEVATION
SCALE: 1/8" = 1'-0"
0 2 4 8 16



4 GARAGE NORTH ELEVATION
SCALE: 1/8" = 1'-0"
0 2 4 8 16

WINDOW & DOOR SCHEDULE			
2700 Sherwood Road			
New Construction Windows to be Jeldwen V-4500 vinyl windows (with grilles). New Construction Door to be steel; paint in field. Glass: LoE-272 with Argon. Exterior Color: Almond (verify). Interior Color: White.			
#	NOMENCLATURE	OPERATION	NOTES
01	Double (Frame Size 2'-0" x 4'-0")	Double hung	North/South
02	Double (Frame Size 2'-0" x 3'-4")	Double hung	East/West
11	Swing Door (2'-8" x 6'-8")	Swing Door	6-panel steel Tempered, labeled glass
CODED NOTES			
1	HardiLap siding, smooth, 5" exposure. Paint in field with (1)coat primer + (2)coats high-quality acrylic. Trim to consist of: Corner Trim: Smart Trim 3-1/2". Casings: Smart Trim 3-1/2". Frieze Board Trim: 3-1/2".		
2	5" aluminum ogee gutter & 3" downspouts on 1x6 aluminum-wrapped wood fascia.		
3	Soffit to consist of Smart Trim soffit (vented at eaves; solid at gables).		
4	Roofing: Asphalt shingle, GAF Slateline, color "English Gray".		
5	Concrete masonry unit foundation wall (buff-colored split face above grade) or cast-in-place concrete foundation wall.		
6	New overhead sectional garage door 10' wide x 8' height. Clopay Coachman Series 1, Design 11, Windows REC14, Frosted Glass, Color Sandtone (verify), No Hardware. Provide optional price for Clopay Canyon Ridge (same design as above) in Cypress Walnut Finish.		
7	HardiShingle siding, smooth, staggered edge. Paint in field with (1)coat primer + (2)coats high-quality acrylic. Trim to consist of: Corner Trim: Smart Trim 3-1/2". Casings: Smart Trim 3-1/2". Frieze Board Trim: 3-1/2".		
8	Custom overhang with standing seam metal roofing; paint all. Smart Trim soffit at ceiling.		
9	3-Coat stucco system on water-resistant barrier on air barrier (Tyvek) with lathing per stucco manufacturer's installation recommendations.		
10	Cultured stone (Dutch Quality, Limestone, Ohio Tan); install per manufacturer's installation instructions.		
11	Standing seam metal roofing (dark bronze).		



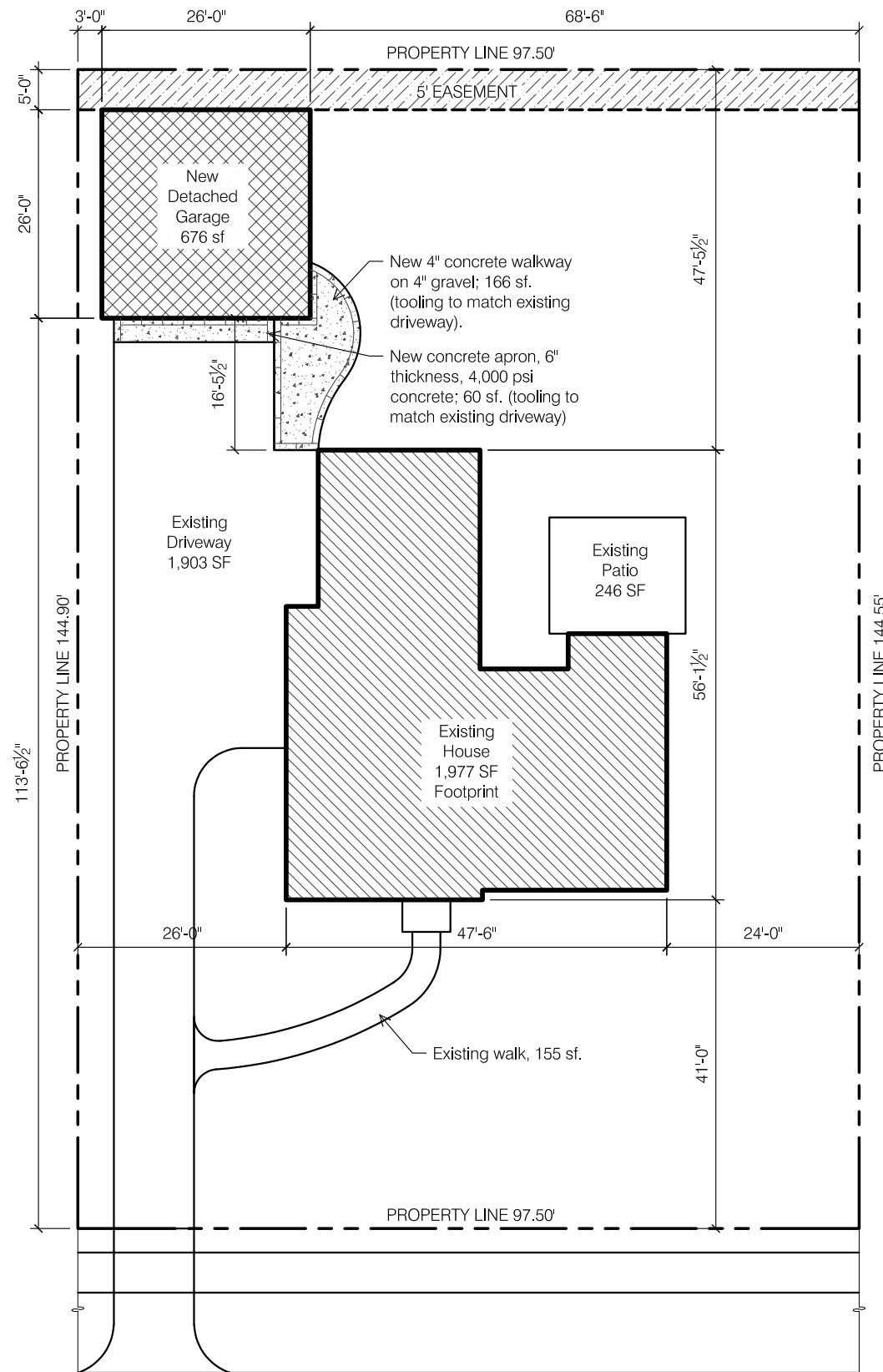
NEW DETACHED GARAGE
2700 SHERWOOD ROAD
BEXLEY, OHIO 43209

Permit Set

SCALE:
As Noted
PROJECT NO.:

DATE:
Feb 10, 2020
SHEET NO.

GARAGE ELEVATIONS



SHERWOOD ROAD



GENERAL INFORMATION

Address: 2700 Sherwood Road
Bexley, Ohio 43209
Parcel: 020-003119-00

Scope of Project: The project consists of the construction of a new 2-car detached garage with second floor storage space.

Footprint New Detached Garage: 676 sf
Second Floor Storage Area: 406 sf

Zoning: Bexley R-6

Lot Area & Lot Width	Actual	Zoning Req't
Lot Area:	14,093 sf	6,000 sf
Lot Width:	97.50'	50'
Lot Depth:	145.55'	120'

Building Lot Coverage		
Existing House	1,977 sf	4,932 sf (35%)
New Detached Garage	676 sf	
Total Building Coverage	2,653 sf (19%)	Meets Zoning

Total Lot Coverage		
Total Building Coverage	2,653 sf	8,455 sf (60%)
Driveway	1,903 sf	
Front walk	155 sf	
Existing patio	246 sf	
New apron	60 sf	
New walkway	166 sf	
Total Lot Coverage	5,183 sf (37%)	Meets Zoning

Detached Garage		
Garage SF:	676 sf	691 sf (35% of 1,977sf)
Garage Height:	22'-8"	20'-0" (Request Variance)
Garage Rear Setback:	5'-0"	3'-0"
Garage Side Setback:	3'-0"	3'-0"

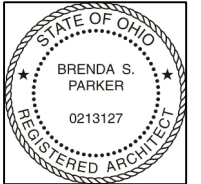
SHEET INDEX

A1.0 Site Plan & General Info	A2.4 Garage Elevations
A2.1 Garage Plans	A2.5 Garage Overall Sections
A2.2 Foundation & Roof Plan	
A2.3 Garage Electric Plans	

DESIGN CRITERIA

Design Criteria:
 Wind Speed = 115 mph
 Seismic Category = A
 Weathering = Severe
 Frost Line Depth = 36"
 Termite = Moderate to Heavy
 Ice Barrier Underlayment = Yes, Required.
 Floor Live Load = 40 psf
 Snow Load Roof = 20 psf
 Foundation Concrete Compressive Strength = 2,500
 Slab Concrete Compressive Strength = 3,000; air-entrained 5%-7%

Architect:
Brenda Parker
614-586-5514



NEW DETACHED GARAGE
2700 SHERWOOD ROAD
BEXLEY, OHIO 43209

Permit Set

SCALE:
As Noted

PROJECT NO.:

DATE:
Feb 10, 2020

SHEET NO.

A1.0

SITE PLAN & GENERAL INFO



2100

FOR SALE



020-003119 02/16/2017