

PUBLIC NOTICE CITY OF BEXLEY ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-19-23

Applicant: Michael Price

Owner: City of Bexley

Location: 165 N. Parkview (At the City Pool site)

ARB Request: The applicant is seeking architectural review and approval to allow for the addition of 4 pickleball courts to the west of the existing tennis courts and east of the city pool at Jeffrey Park, which will include 5' and 6' high black, chain-link fencing.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240. Mailed by: 12-26-2019 *(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory structures and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

ARB-19-23

Submitted On: Dec 06, 2019

A.1: Project Information

Applicant

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 <u>
 </u>
 Michael Price
 </u>
- **%** 6145594300
- @ mprice@bexley.org

Location

165 N PARKVIEW AV Bexley, OH 43209

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Development of 4 pickleball courts to the west of the existing tennis courts at Jeffrey Park. The courts would have a surface of roughly 60' x 120'. Would include a 6' perimeter black chain-link fence, and 5' interior chain-link fence that separates the 4 courts. There would also be 4 - 36' high pickleball nets. The plan is to have a green and blue colored surface for the courts.

Architecture Review	Demolition
true	
Planned Unit Dev	Rezoning

A.1: Attorney / Agent Information

Agent Address
165 N. Parkview Avenue
Agent Phone
614.559.4300
Property Owner phone
614.559.4200

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

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A.2: Fee Worksheet

Estimated Valuation of Project	Minor Architectural Review
110000	
Major Architectural Review	Variance Review - Fill out a BZAP Application instead.
true	
Zoning	Zoning Review Type

/2/2020	
Sign Review and Architectural Review for Commercial Projects	Review Type
Appeal of ARB decision to BZAP	Appeal of BZAP decision to City Council
B: Project Worksheet: Property Information	
Оссирапсу Туре	Zoning District
Residential	
Use Classification	Other Classification
Other	Park
B: Project Worksheet: Lot Info	
Width (ft)	Depth (ft)
60	120
Total Area (SF)	
7200	
B: Project Worksheet: Primary Structure Info	
Existing Footprint (SF)	Proposed Addition (SF)
0	7200
Removing (SF)	Type of Structure
0	Pickleball Courts including fencing
Proposed New Primary Structure or Residence (SF)	Total Square Footage
7200	7200
B: Project Worksheet: Garage and/or Accessory Stru	ucture Info (Incl. Decks, Pergolas, Etc)
Existing Footprint (SF)	Proposed Addition (SF)
New Structure Type	Ridge Height
Proposed New Structure (SF)	Is there a 2nd Floor
	Total building lateratives (OD)
Total of all garage and accessory structures (SF)	Total building lot coverage (SF)
Total building lot coverage (% of lot)	Is this replacing an existing garage and/or accessory structure

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B: Project Worksheet: Hardscape	
Existing Driveway (SF)	Existing Patio (SF)
Existing Private Sidewalk (SF)	Proposed Additional Hardscape (SF) 7200
	7200
Total Hardscape (SF) 7200	
7200	
B: Project Worksheet: Total Coverage	
Total overall lot coverage (SF)	Total overall lot coverage (% of lot)
7200	.5
C.1 Architectural Review Worksheet: Roofing	
Roofing	Structure
Existing Roof Type	New Roof Type
-	
New Single Manufacturer	New Roof Style and Color
C.1 Architectural Review Worksheet: Windows	
Windows	Structure
Existing Window Type	Existing Window Materials
New Window Manufacturer	New Window Style/Mat./Color
-	-
C.1 Architectural Review Worksheet: Doors	

Doors	Structure
Existing Entrance Door Type	Existing Garage Door Type
Door Finish	Proposed Door Type

Proposed Door Style

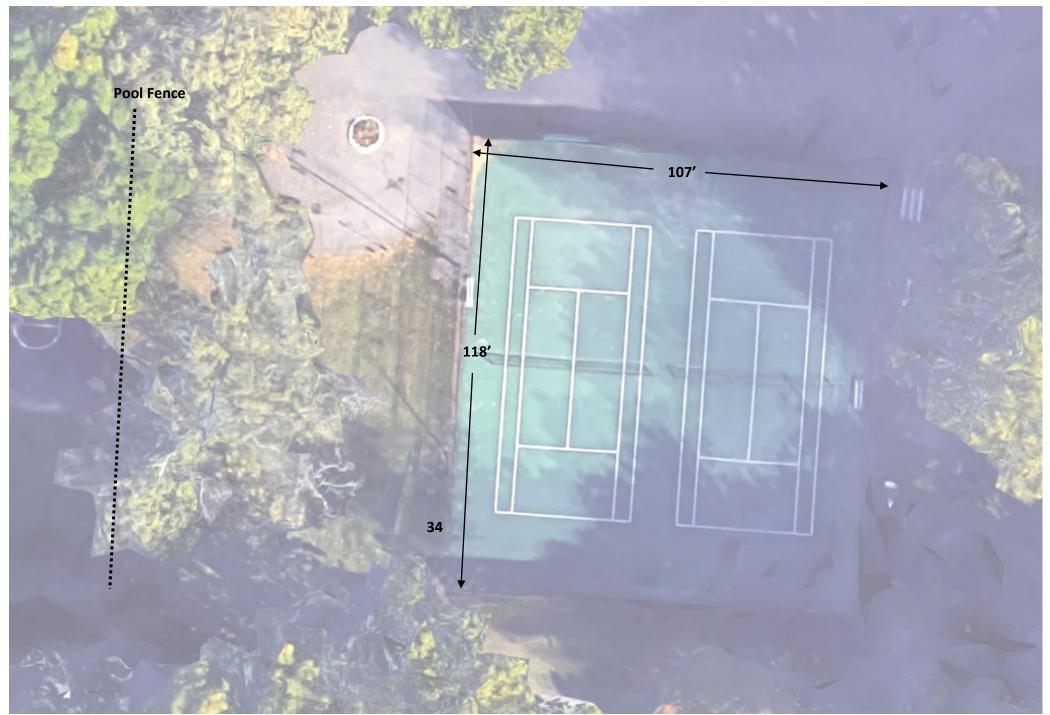
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C.1 Architectural Review Worksheet: Exterior Trim

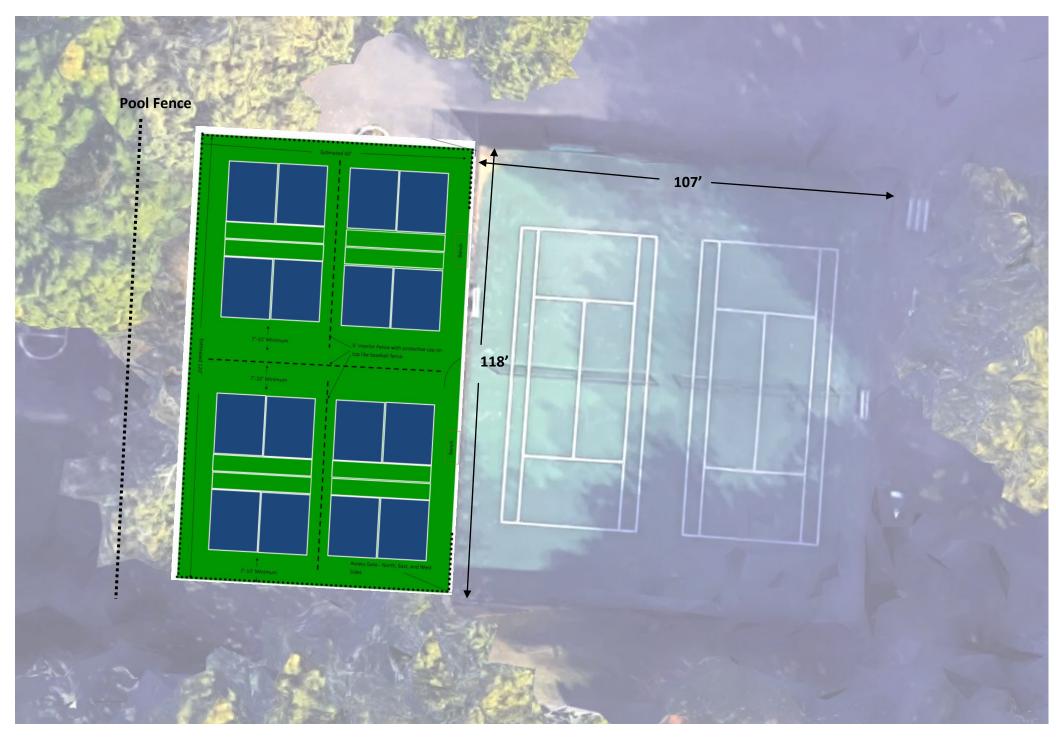
Exterior Trim	Existing Door Trim
Proposed New Door Trim	Existing Window Trim
Proposed New Window Trim	Trim Color(s)
Do the proposed changes affect the overhangs?	

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes	Existing Finishes
-	
Existing Finishes Manufacturer, Style, Color	Proposed Finishes
Proposed Finishes Manufacturer, Style, Color	



Jeffrey Park - Proposed Pickleball Court Site. Located along Clifton Avenue to the west of the existing Tennis Courts (between the tennis courts and pool fence)



Jeffrey Park - Proposed Pickleball Court Site. Located along Clifton Avenue to the west of the existing Tennis Courts (between the tennis courts and pool fence)





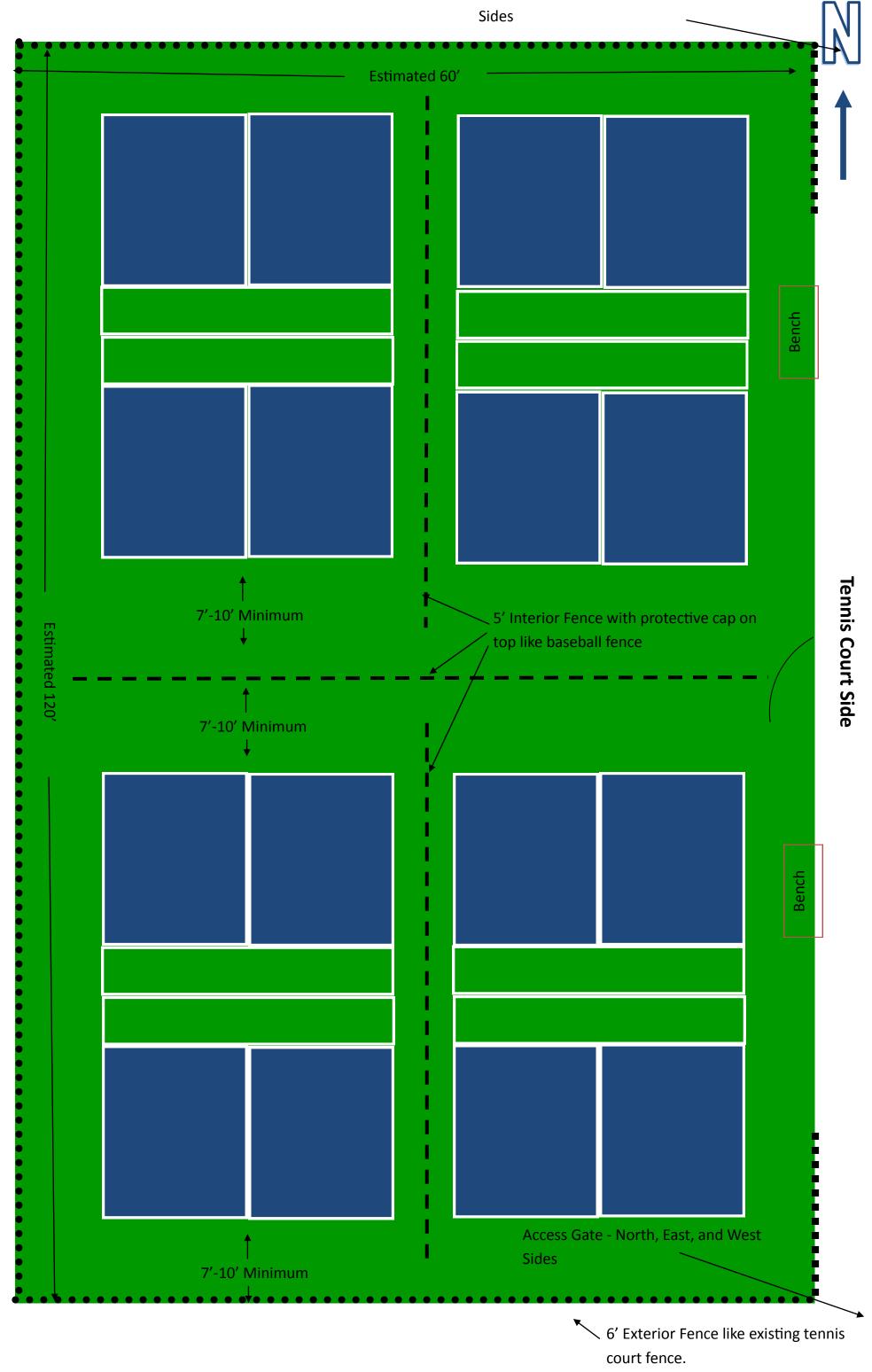








Access Gate - North, East, and West







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The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. If the applicant or his representative in not in attendance at such meeting, the Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a.	Application No.:	ARB-19-24
	Applicant:	William T. Gruber & Dean Wenz
	Owner:	William T. Gruber
	Location:	745 Francis Avenue

ARB Request: The applicant is seeking architectural review and approval to demolish the existing single-family dwelling, and allow a new single-family dwelling and detached garage to be constructed on the lot. Please Note: This application was tabled at the June 13, 2019 meeting of the Architectural Review Board.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

*(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory structures and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

ARB-19-24

Status: Active

Submitted: Dec 09, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

This project is for the construction of a new single family residence, and detached garage. All existing structured are to be demolished.

Architecture Review	Demolition
true	true
Planned Unit Dev	Rezoning

A.1: Attorney / Agent Information

Agent Name	Agent Address
Dean A Wenz	2463 E Main Street
Agent Email	Agent Phone
dwenz@wenz-architects.com	614-239-6868
Property Owner Name	Property Owner phone
Will & Mary Gruber	614-876-6132

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

A.2: Fee Worksheet

Estimated Valuation of Project 325000	Minor Architectural Review
Major Architectural Review true	Variance Review - Fill out a BZAP Application instead.
Zoning	Zoning Review Type
-	-

Applicant

0		
56		

Dean Wenz

6142396868dwenz@wenz-architects.com

Location

745 FRANCIS AV Bexley, OH 43209

1/6

1/2/2020	
Sign Review and Architectural Review for Commercial Projects	Review Type
Appeal of ARB decision to BZAP	Appeal of BZAP decision to City Council
B: Project Worksheet: Property Information	
Occupancy Type	Zoning District
Residential	R6
Use Classification	
R-6 (35% Building and 60% Overall)	
B: Project Worksheet: Lot Info	
Width (ft)	Depth (ft)
82.84	150
Total Area (SF)	
12426	

B: Project Worksheet: Primary Structure Info

Existing Footprint (SF)	Proposed Addition (SF)
1558	0
Removing (SF) 1558	Type of Structure Single Family Home
Proposed New Primary Structure or Residence (SF)	Total Square Footage
2573	2573

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)

Existing Footprint (SF)	Proposed Addition (SF)
0	0
New Structure Type	Ridge Height
Detached Garage	25'-4"
Proposed New Structure (SF)	Is there a 2nd Floor
664	
Total of all garage and accessory structures (SF)	Total building lot coverage (SF)
664	3273
Total building lot coverage (% of lot)	Is this replacing an existing garage and/or accessory structure?
26.3	No

1/2/2020

B: Project Worksheet: Hardscape	
Existing Driveway (SF)	Existing Patio (SF)
0	0
Existing Private Sidewalk (SF)	Proposed Additional Hardscape (SF)
0	2400
Total Hardscape (SF)	
2400	
B: Project Worksheet: Total Coverage	
Total overall lot coverage (SF)	Total overall lot coverage (% of lot)
5673	45.6
C.1 Architectural Review Worksheet: Roof	fing
Roofing	Structure
true	House & Garage
Existing Roof Type	New Roof Type
	Arch. Dimensional Shingles
New Single Manufacturer	New Roof Style and Color
TBD	Dark Gray
C.1 Architectural Review Worksheet: Wind	lows
Windows	Structure
true	House & Garage
Existing Window Type	Existing Window Materials
	Other
Other existing window materials	New Window Manufacturer
	TBD
New Window Style/Mat./Color	
Vinyl Double Hung - White	

Doors	Structure
true	House & Garage
Existing Entrance Door Type	Existing Garage Door Type
-	
Door Finish	Proposed Door Type

1/2/2020	
Painted	Fiberglass Entry Door System
Proposed Door Style	Proposed Door Color
As indicated on the drawings	Dark Gray

C.1 Architectural Review Worksheet: Exterior Trim	
Exterior Trim	Existing Door Trim
true	
Proposed New Door Trim	Existing Window Trim
Fiber-Cement	
Proposed New Window Trim	Trim Color(s)
Fiber Cement	White
Do the proposed changes affect the overhangs?	

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes	Existing Finishes
true	
Existing Finishes Manufacturer, Style, Color	Proposed Finishes
-	Other
Other Proposed Finishes	Proposed Finishes Manufacturer, Style, Color
Fiber-Cement	Lap Siding with 6" exposure - Painted Light Gray

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)	Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

Applicant has been advised that Landscape Designer/Architect must be present at meeting

Attachments (4)

- pdf Architectural Plans which include Exterior Elevations and floor plans of existing and proposed Nov 27, 2019
- pdf Landscape Plan for New Principal Structures Nov 27, 2019
- pdf Photographs (required) Nov 27, 2019
- pdf Site Plan Nov 27, 2019

Timeline

Payment Status: Paid December 9th 2019, 1:32 pm

Zoning Officer

Status: Completed December 13th 2019, 4:34 pm Assignee: Kathy Rose

Kathy Rose December 9th 2019, 3:44:10 pm Dean - What is the height of the garage and house? thanks! Dean Wenz December 9th 2019, 5:05:32 pm Kathy, The House is 25'-6" to the ridge. The Garage is 20'-2" to the ridge. Dean Wenz December 10th 2019, 9:26:30 am I forgot to ask. Do you see an issue with the building heights? Or anything else for that matter? Kathy Rose December 10th 2019, 4:04:27 pm Garage height is limited to 20' - so there's one variance. Kathy Rose December 10th 2019, 4:25:33 pm Also, is there a 2nd floor in the garage? If so it is limited to 2/3 or less volume of the first floor. Dean Wenz December 10th 2019, 4:32:15 pm Kathy, I'll just lower it 4" so we stay under the 20' height. Thank you! Dean Wenz December 10th 2019, 4:32:51 pm No second floor in the garage. Kathy Rose December 13th 2019, 4:33:43 pm Got it! Kathy Rose December 13th 2019, 4:34:05 pm Jan ARB Kathy Rose December 18th 2019, 10:05:24 am Dean - You really should show how this home looks in context with the neighboring homes - what the Board would expect to see, and shows how it fits into the size and scale of the block. Kathy Rose December 18th 2019, 10:14:33 am You also need to note which trees are existing and what trees will remain, and also a landscape plan for the new home, which can also be a condition of the approval, if it is not ready by the 9th of January. Dean Wenz December 18th 2019, 11:37:33 am Kathy, There is a landscape plan included with the submittal. I think it has all of the information you mentioned, but please let me know ASAP if it is insufficient. I am still planning on providing the context drawing you mentioned, but I haven't been able to get to it yet. Would you please call me when you get a minute to discuss the demolition? Dean Wenz December 22nd 2019, 11:58:12 am Please confirm that you have received other documents though regular email. Kathy Rose December 24th 2019, 10:21:31 am Yes I did.

Design Planning Consultant

Status: In Progress Assignee: Karen Bokor

Architectural Review Board

Status: In Progress

Karen Bokor January 2nd 2020, 12:44:14 pm

Hi Dean - I think it would be very helpful if you could bring a drawing or photo of the streetscape with the new home inserted into the drawing so that the Board can see its height/proportions/details, etc.... Its been something they ask for at just about every new build hearing.

1/2/2020



Status: In Progress

City Council

Status: In Progress

Tree Commission

Status: In Progress

Arborist

Status: In Progress







Existing Home Photos (All Structures to be removed)



ARCHITECTS

Bexley, Ohio 43209

Phone (614) 239-6868







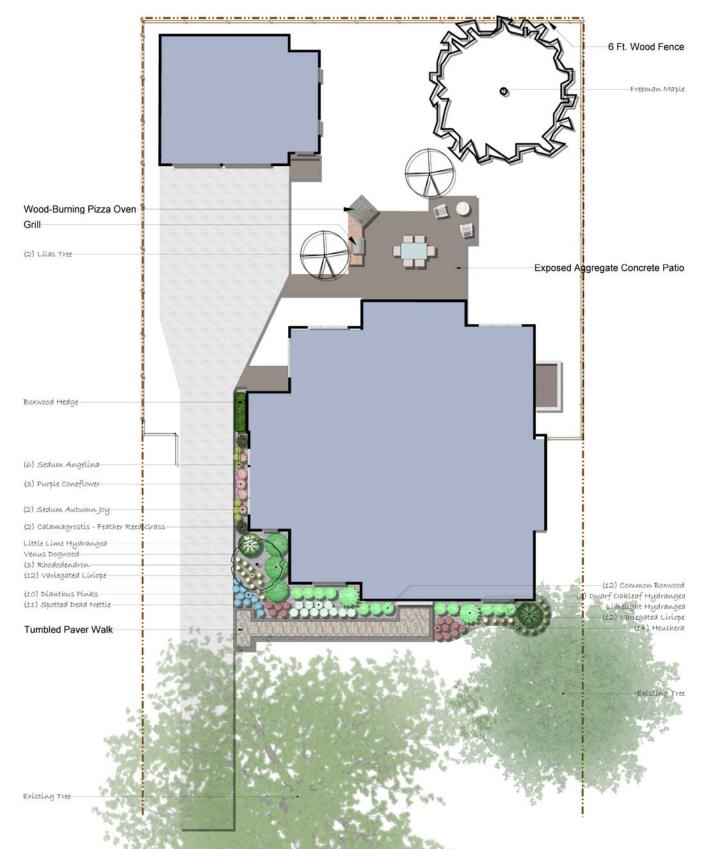
Existing Home Photos (All Structures to be removed)



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Ryan Brothers' Landscaping

2463 East Main Street

The Gruber Residence 745 Francis Avenue Bexley, Ohio

Architectural Review Set 11.27.2019

Dean A. Wenz

ARCHITECTS

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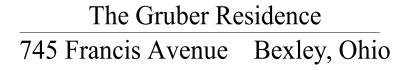


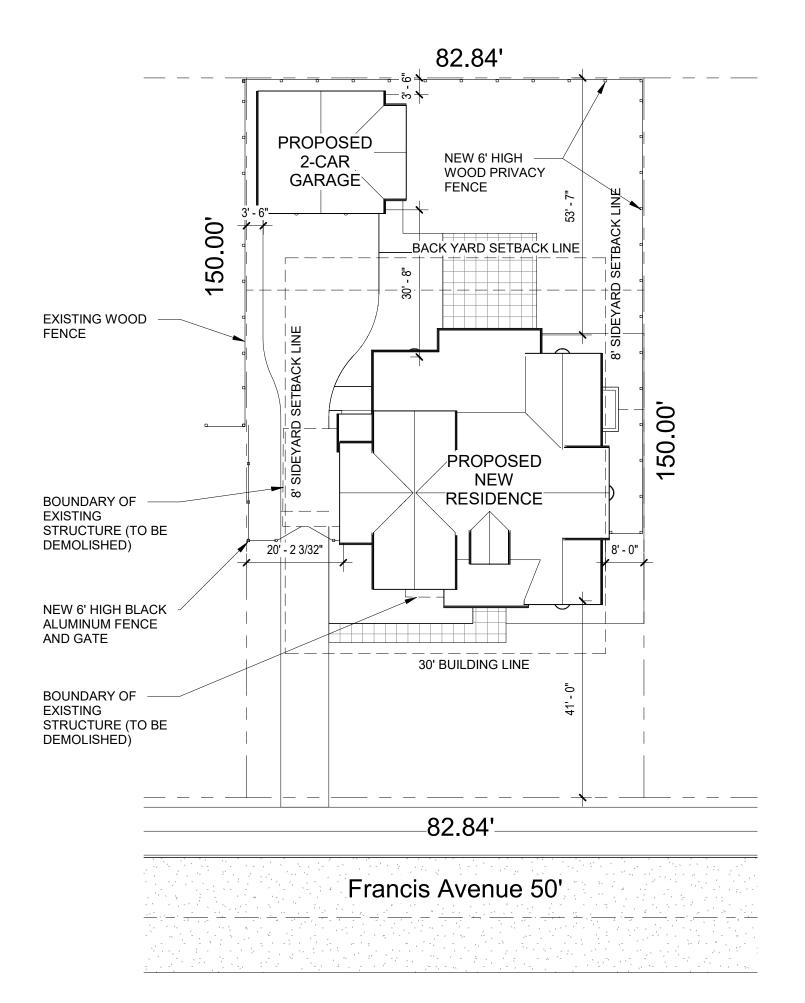
Dean A. Wenz

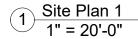
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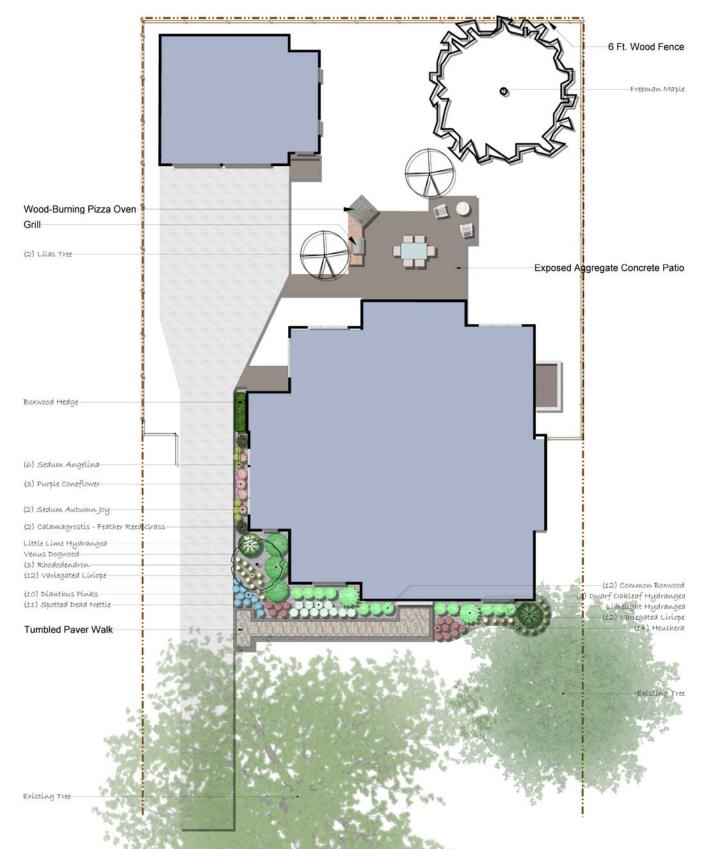




DEAN A. WENZ

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Ryan Brothers' Landscaping

EXISTING WOOD -FENCE

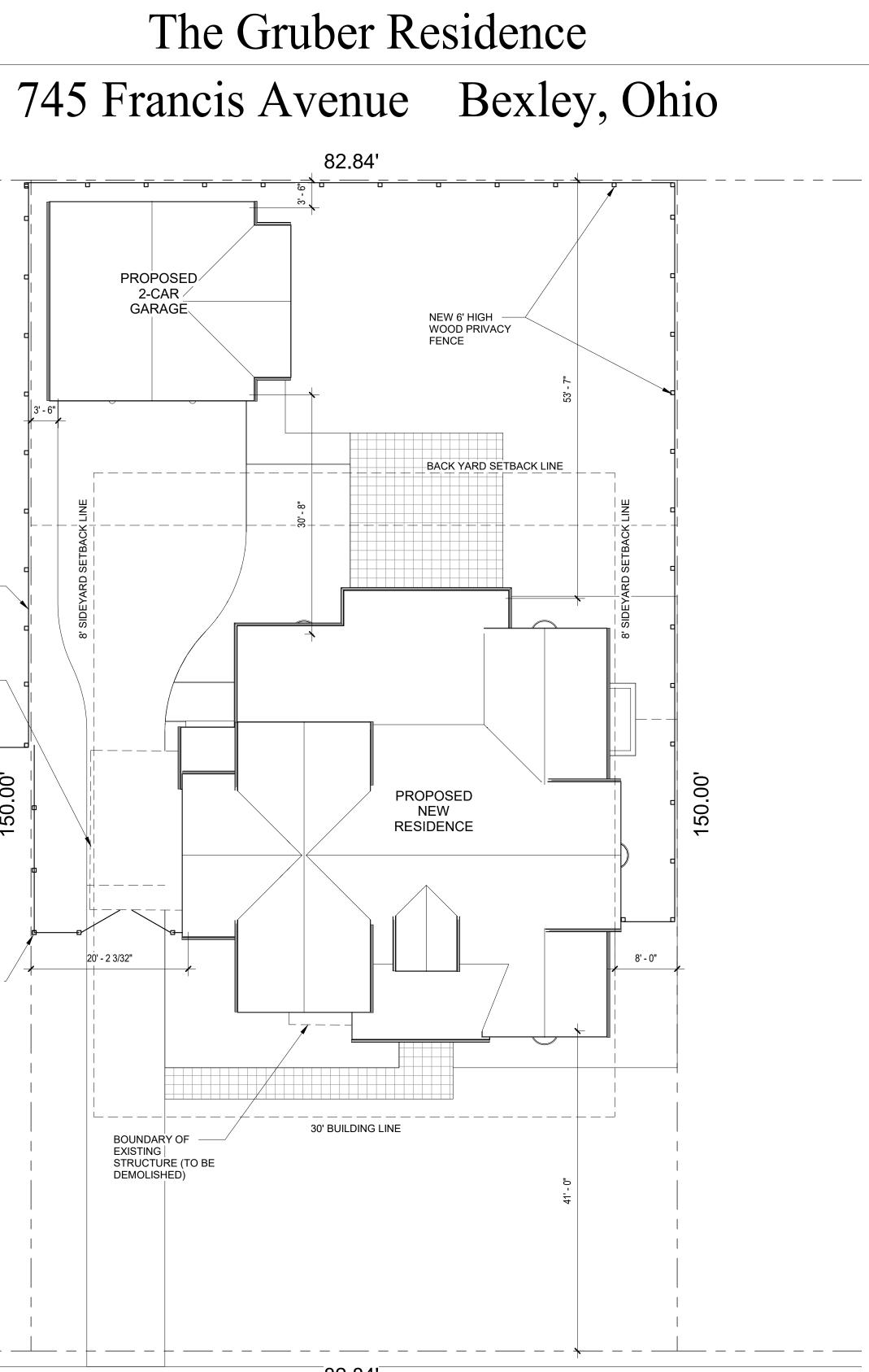
BOUNDARY OF STRUCTURE (TO BE DEMOLISHED)

150.00'

NEW 6' HIGH BLACK ALUMINUM FENCE AND GATE

1 Site Plan 1" = 10'-0"

2463 East Main Street



82.84'



Bexley, Ohio 43209

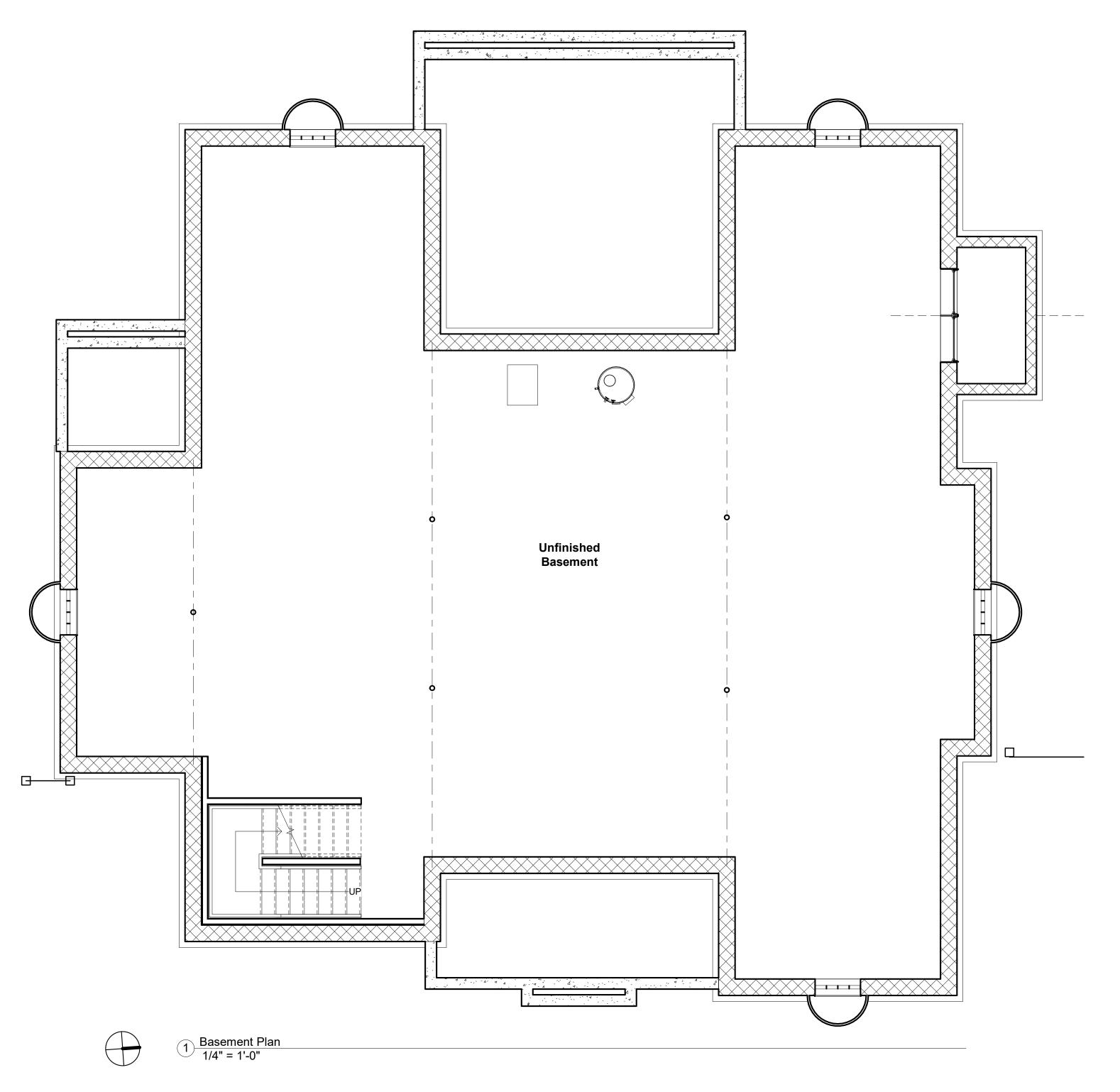
Phone (614) 239-6868

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DEVELOPMENT INFORMATION	
ZONING DESIGNATION	= R6
TOTAL LAND AREA	= 12,426 SF
MAXIMUM BUILDING COVERAGE	E 35 % = 4,349 SF
BUILDING COVERAGE: PROPOSED NEW HOME COVERED PORCHES <u>PROPOSED GARAGE</u> TOTAL COVERAGE	= 2,115 SF = 458 SF = 664 SF 26.3%= 3,273 SF
MAXIMUM LOT COVERAGE	50 % = 6,213 SF
LOT COVERAGE: STRUCTURES DRIVEWAY <u>PATIO AND WALKS</u> TOTAL COVERAGE	= 3,273 SF = 1,690 SF = 710 SF 45.6%= 5,673 SF

FINISED SPACE AREA CALCULATIONS

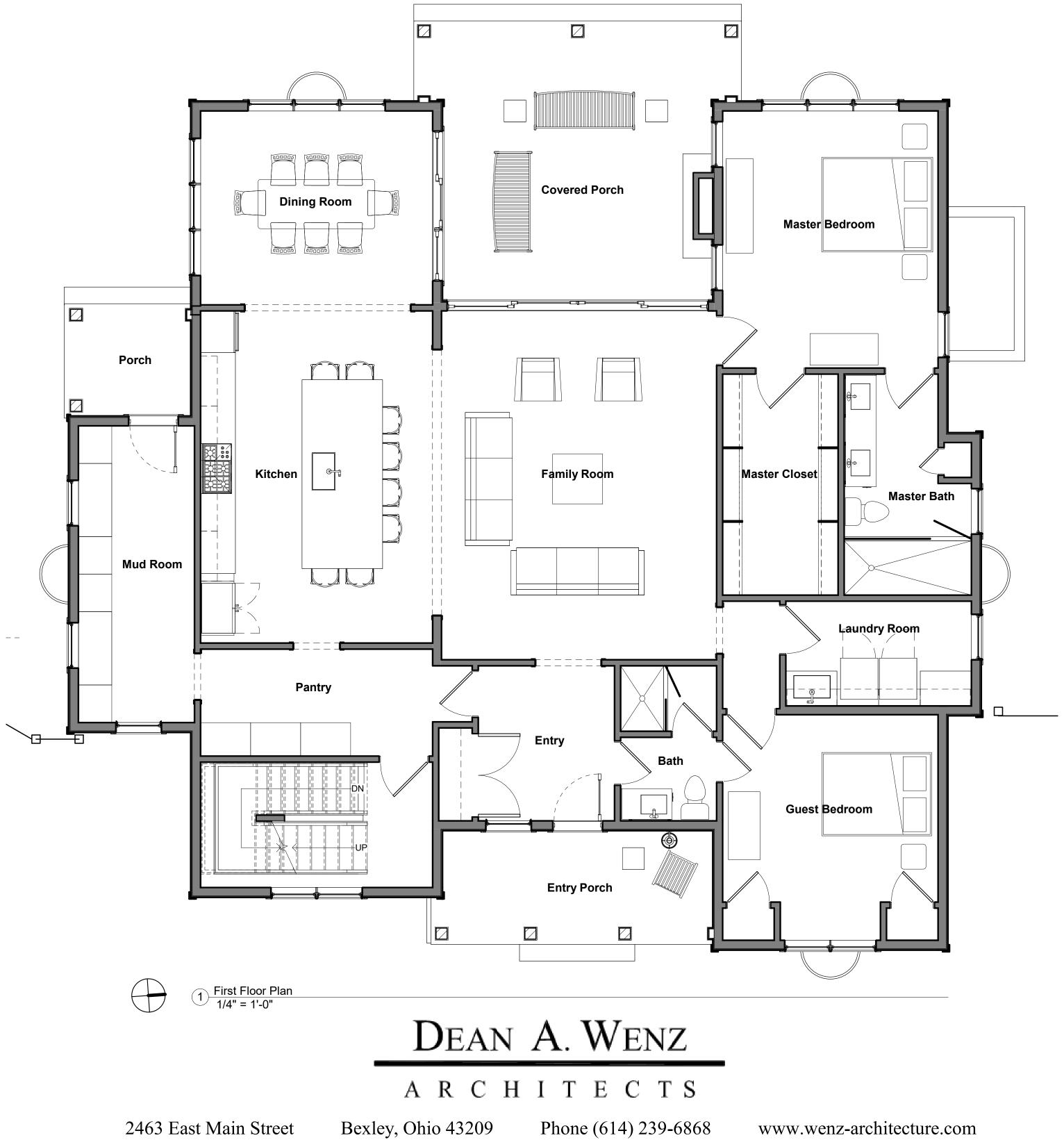
PROPOSED FIRST FLOOR	= 2,115 SF
PROPOSED SECOND FLOOR	= 966 SF
TOTAL FINISHED RESIDENCE	= 3,081 SF

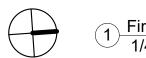


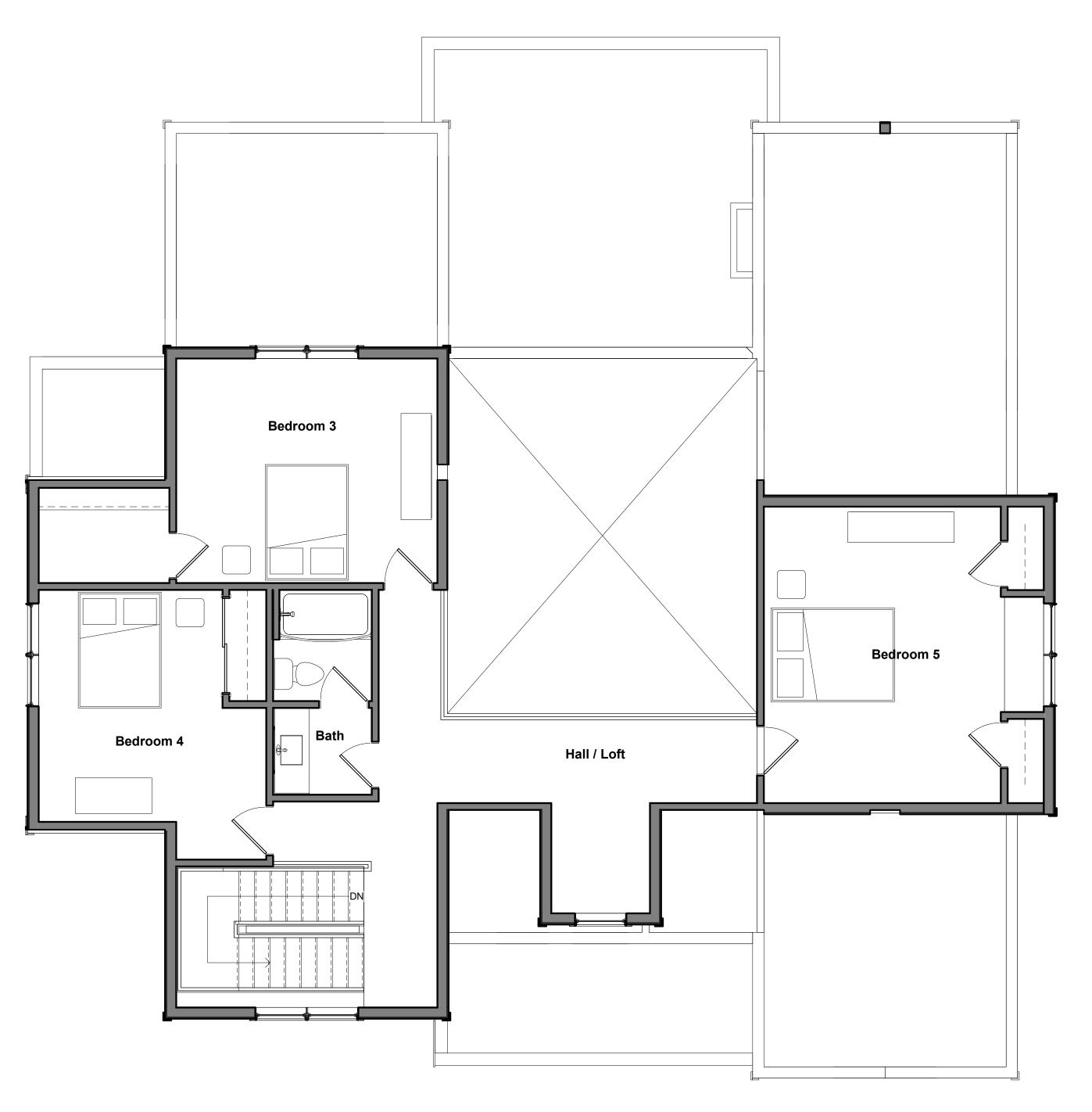


ARCHITECTS

Phone (614) 239-6868









 $1 \frac{\text{Second Floor Plan}}{1/4" = 1'-0"}$

The Gruber Residence 745 Francis Avenue Bexley, Ohio



Phone (614) 239-6868





2 Right Side Elevation 3/16" = 1'-0"

The Gruber Residence 745 Francis Avenue Bexley, Ohio

Dean A. Wenz

ARCHITECTS Bexley, Ohio 43209

Phone (614) 239-6868





2 Right Side Elevation 3/16" = 1'-0"

The Gruber Residence 745 Francis Avenue Bexley, Ohio

Dean A. Wenz

ARCHITECTS

Bexley, Ohio 43209

Phone (614) 239-6868



 $2 \frac{\text{Left Side Elevation}}{3/16" = 1'-0"}$



Dean A. Wenz

ARCHITECTS

Bexley, Ohio 43209

Phone (614) 239-6868





 $2 \frac{\text{Left Side Elevation}}{3/16" = 1'-0"}$

1 Back Elevation 3/16" = 1'-0"

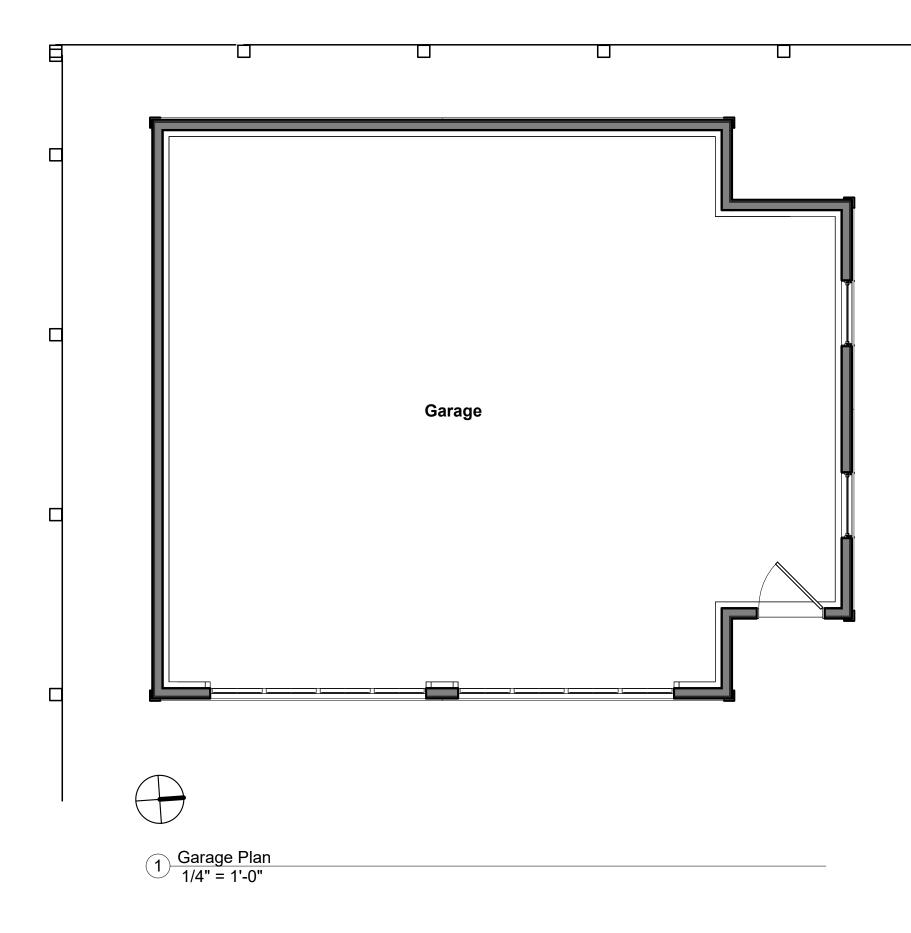


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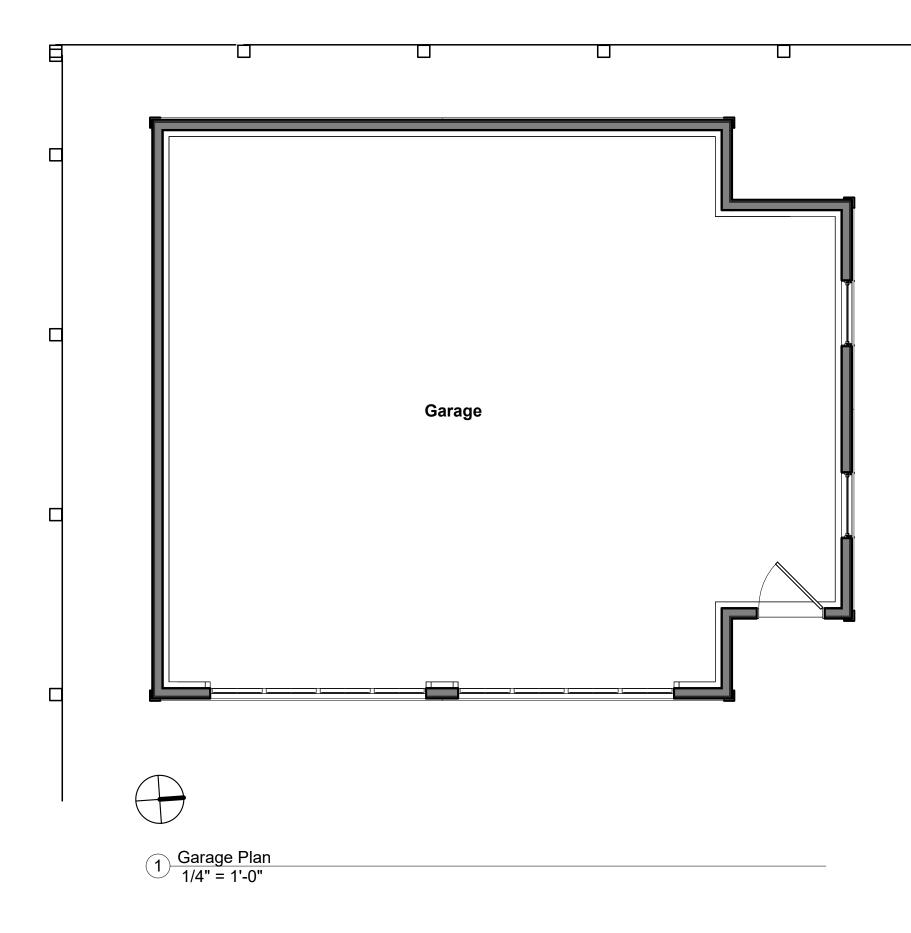
4 Garage Back Elevation 1/4" = 1'-0"

Dean A. Wenz

ARCHITECTS Bexley, Ohio 43209 Phone (614) 239-6868

www.wenz-architecture.com

5 Garage Left Side Elevation 1/4" = 1'-0"



The Gruber Residence 745 Francis Avenue Bexley, Ohio



4 Garage Back Elevation 1/4" = 1'-0"

Dean A. Wenz

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5 Garage Left Side Elevation 1/4" = 1'-0"



The Gruber Residence 745 Francis Avenue Bexley, Ohio





Existing Home Photos (All Structures to be removed)

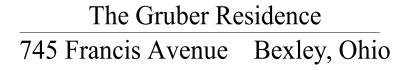


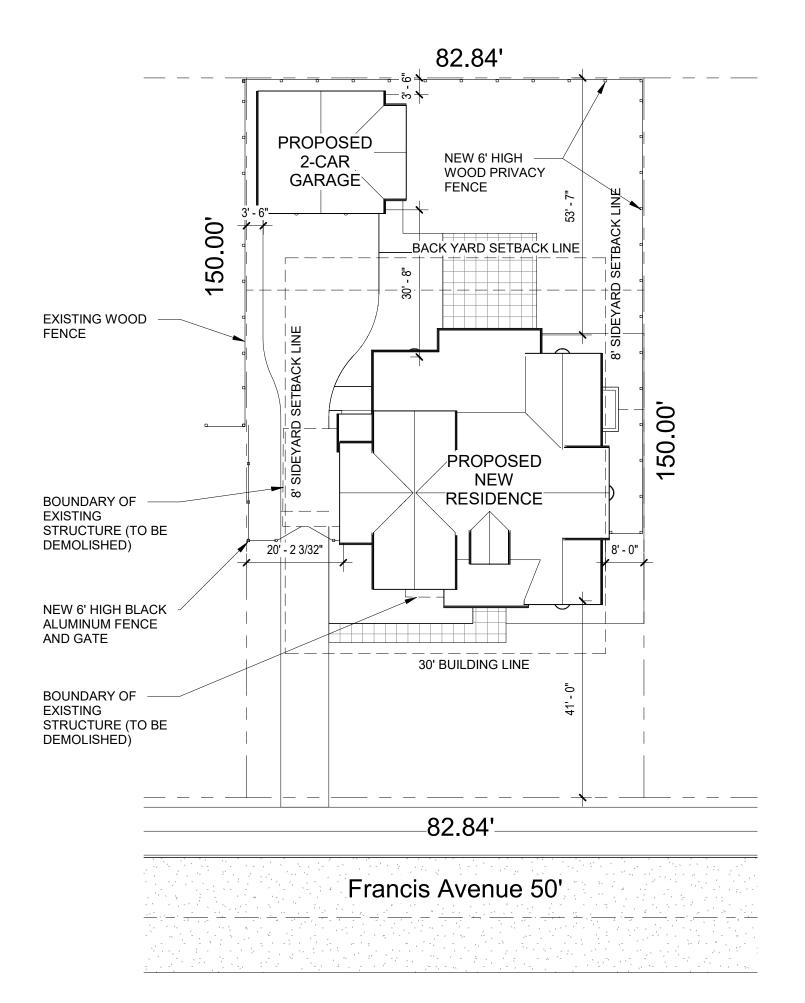
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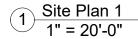
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The Gruber Residence 745 Francis Avenue

Street Elevation - Adjacent Structures Not to Scale



Street Elevation - Adjacent Structures Not to Scale

Dean A. Wenz

A R C H I T E C T S

2463 East Main Street

Bexley, Ohio 43209 Phone (614) 239-6868

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Minutes of the Jun 13, 2019 ARB meeting. - 745 Francis

Bokor reviewed staff comments with the Board for this application. For the benefit of all in attendance, Bokor explained that there is a demolition ordinance that has strict criteria to work through before a demolition would be approved. The applicant would like to demolish the existing home and build a new single family dwelling. The original application lacked sufficient scale and detail and the architecture did not fit with the fabric of the street. The homeowner and designer revised the proposal and came back with a new proposal. The scale is smaller, more detailed and more modern in design. The garage was removed from the front of the home in this rendering. In terms of the merit of demolishing an existing home, the replacement must be equal to or better than what is currently there. The structural engineer included a letter stating there were foundation problems, which the applicants will discuss with the Board. Staff believes more work could be done to break down the symmetry in the proposal's design. Bokor also noted that demolitions and new builds rarely get approved on the first time. Other features, such as landscape plans and adequate time for neighbors feedback, are included in the process. Bardwell restated Bokor's explanation of demolition, and added that Bexley has a rigorous demolition ordinance which sets rigorous standards for what must be done for an existing residence to be demolished, one of which is a demonstration of a fully explored proposed replacement. Criteria exists for the new structure, which should be over and above what is existing. Included in a proposed new build is a view of the streetscape of building frontage and height. One other item helpful to the Board in this, and any application, is including a 3-dimensional view to see how the building fits into the streetscape.

William Gruber and Shawn McAllister were sworn in. The applicants provided background information to the Board for this application. They provided an independent structural engineer report, which shows structural damage to the integrity of the house in the basement as well as water damage. The walls are cracked and the engineer was not confident the home is structurally sound. An independent architect reviewed the detailing of the demolition code and his opinion of the home, as well as researched whether the home had any architectural or historical significance. The applicants worked with Bokor on the plan revisions and knew some things would change after coming before the Board for review.

Comments from the Board included that the conditions listed by the structural engineer are not uncommon in South Bexley homes, are normal for this location, are not found to be compelling, all of the reasons are applicable to everyone living in South Bexley, that the design is of mediocre quality and out of scale, there are concerns with elevations, materials, massing and that the home is drawn facing forward in elevation only but will not always be seen from that vantage point, and that the design does not need to be symmetrical. The members are not convinced of the assessment, think the home has character as is, and see it as an opportunity to embellish and enhance the home.

Amy Lauerhass was sworn in. Mrs. Lauerhass is a neighbor to this residence and wanted to voice her concerns. She thanked the applicants for being open to changes based on Bokor's feedback and feels strongly that this home should not be demolished. There is nothing about the home that can not be repaired or remedied, and that the home has not been maintained properly, but is not uncommon. She did not see the structural engineer's report, but noted a lot of homes have similar problems. She disagrees that this home is unremarkable and thinks that it is desirable. She referenced that even though this home backs up to Capital University, homes to the sides will be impacted by this proposal. A solution she offered is to keep the main house open, and that it sits on a large lot that could support a detached garage in the back as well as include an addition for more interior space. The home in this proposal is not appropriate in scale height or massing to the other homes in the neighborhood. The homes in the area are asymmetrical, while this home is one large mass. She is concerned this would set a precedent in South Bexley, and look misplaced in the neighborhood. She asked the applicants to explore options of the stock of homes that already are there.

Susan Plaisted was sworn in. She is also a neighbor to this home, read the application, and wanted to remind the Board of a few things about demolition. Prior demolition requests came before the Board for historically significant homes and were approved. She stated that this house does not have the same type of significance as the other homes, one of which had a letter written on its behalf to not demolish the building, but was approved by the Board to demolish. This home is typical of the time it was built, but in her opinion is not that significant. The street is changing and evolving. Multi-family

homes have been converted into single family homes because people living in South Bexley want bigger homes.

Members of the Board stated that they do not necessarily object to demolishing a home that will be replaced with something better, but feel that the design in this proposal is not better than what is already there. The applicants said they will work with the Design Consultant to revise the proposal and asked the members of other changes to consider. Bardwell stated that the Board is not in the position to imply recommendations in order to meet Board approval. Bokor offered that the applicants have 3-dimensional representation of the proposal. Members commented that the proposed building lacks charm, and suggested the applicants take a look at cues in the surrounding homes, and that this was an opportunity to create something with character. Bardwell commented that the applicants should show the renderings in context, especially in regards to the broader perspective to the context of the street. The current grouping of residences are unique and frontages on this street are greater than on other streets in South Bexley. The lots are wider, have a spacious streetscape, and that the applicants should take advantage of that. Diverse styles of homes align the street, and Bardwell suggested the applicants walk along the street, and take a cue from what exists street on the now.

The members continued to discuss the details and design for this application. They commented that they can not dictate a specific style, but are asking for greater compatibility with the immediate and overall streetscape, as well as seeing the applicant use quality materials in the project. The Board and the applicants discuss Tabling the application. The applicants agree to Table. Bill Heyer made a motion to Table the application. Suzanne Toney seconded the motion.



PUBLIC NOTICE CITY OF BEXLEY ARCHITECTURAL REVIEW BOARD BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Bexley Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, January 6, 2020 at 6:00 PM.,** in City Council Chambers, Bexley City Hall, 2242 East main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-19-25 (BZAP)

Applicant:Brian MarzichOwner:Ryan BrownLocation:2618 Brentwood

ARB Request: The applicant is seeking architectural review and approval to allow a covered side porches on the west side of the principal structure, one of which will be screened. The applicant is also seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow an open front entry porch.

BZAP: The applicant is seeking architectural review and approval to allow an open front entry porch on the south side of the principal structure.

The applicant is also seeking a variance from Bexley Code Section 1252.10(a)(1), which requires structures on lots 100' - 150' in width to be located 25' from the street side property line of a corner lot, to allow an open front porch addition to be constructed 19' from the east side property line. If approved, the porch will be constructed 1' further from the side property line than the existing structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240. Mailed by: 12-26-2019 *(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory structures and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

ARB-19-25

Status: Active

Submitted: Dec 12, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Add new entry porch and new/enlarged side porch which is partially screened.

Architecture Review	Demolition
Planned Unit Dev	Rezoning
-	

A.1: Attorney / Agent Information

Agent Name Brian Marzich	Agent Address
Agent Email	Agent Phone
	Property Owner phone

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

A.2: Fee Worksheet

Estimated Valuation of Project	Minor Architectural Review
40000	-
Major Architectural Review	Variance Review - Fill out a BZAP Application instead.
true	
Zoning	Zoning Review Type

Applicant

<u>९</u> Brian Marzich

614-314-0260

@ brian@marzich.com

Location

2618 BRENTWOOD RD Bexley, OH 43209

/2/2020	
Sign Review and Architectural Review for Commercial Projects	Review Type
Appeal of ARB decision to BZAP	Appeal of BZAP decision to City Council
B: Project Worksheet: Property Information	
Оссиралсу Туре	Zoning District
Residential	
Use Classification	
R-6 (35% Building and 60% Overall)	
B: Project Worksheet: Lot Info	
Width (ft)	Depth (ft)
120	134
Total Area (SF)	
16115	
B: Project Worksheet: Primary Structure Info	
Existing Footprint (SF)	Proposed Addition (SF)
2788	794
Removing (SF)	Type of Structure
Proposed New Primary Structure or Residence (SF)	Total Square Footage
	3582
B: Project Worksheet: Garage and/or Accessory Str	ucture Info (Incl. Decks, Pergolas, Etc)
Existing Footprint (SF)	Proposed Addition (SF)
-	
New Structure Type	Ridge Height
Proposed New Structure (SF)	Is there a 2nd Floor
-	-
Total of all garage and accessory structures (SF)	Total building lot coverage (SF)

--

- --
- Total building lot coverage (% of lot)
- --

Is this replacing an existing garage and/or accessory structure? No

1/2/2020

B: Project Worksheet: Hardscape	
Existing Driveway (SF)	Existing Patio (SF)
1145	1084
Existing Private Sidewalk (SF)	Proposed Additional Hardscape (SF)
174	0
Total Hardscape (SF)	
2403	
B: Project Worksheet: Total Coverage	
Total overall lot coverage (SF)	Total overall lot coverage (% of lot)
5416	34
C.1 Architectural Review Worksheet: Roofing	
Roofing	Structure
true	House or Principal Structure
Existing Roof Type	New Roof Type
Arch. Dimensional Shingles	Arch. Dimensional Shingles
New Single Manufacturer	New Roof Style and Color
match existing	match existing
C.1 Architectural Review Worksheet: Windows	
Windows	Structure
true	House or Principal Structure
Existing Window Type	Existing Window Materials
Double Hung	Other
Other existing window materials	New Window Manufacturer
vinyl	vinyl to match existing
New Window Style/Mat./Color	
vinyl to match existing	
C.1 Architectural Review Worksheet: Doors	
Doors	Structure
-	-

Existing Entrance Door Type

- --
- **Door Finish**

Proposed Door Type

Existing Garage Door Type

1/2/2020

	Proposed	Door	Style
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Proposed Door Color

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C 1	Architectural	Review	Worksheet [.]	Exterior	Trim
0.1	Alcintectulai	ICCVICVV	WUINSHEEL.	LAGIN	

Exterior Trim	Existing Door Trim
true	Std. Lumber Profile
Proposed New Door Trim 	Existing Window Trim Vinyl
Proposed New Window Trim match exist.	Trim Color(s) white
Do the proposed changes affect the overhangs?	
Yes	

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes	Existing Finishes
-	Wood Shingle
Existing Finishes Manufacturer, Style, Color	Proposed Finishes
Existing Finishes Manufacturer, Style, Color	Proposed Finishes Wood Shingle

Proposed Finishes Manufacturer, Style, Color

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with	elevations (electronic copy as specified in
instructions plus	1 hard copy)

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

Applicant has been advised that Landscape Designer/Architect must be present at meeting

Attachments (3)



Photographs (required) Dec 12, 2019

pdf Architectural Plans which include Exterior Elevations and floor plans of existing and proposed

Dec 12, 2019

pdf Site Plan

Dec 12, 2019

Timeline

Payment

Status: Paid December 13th 2019, 11:39 am

Robin Shetler December 12th 2019, 1:59:11 pm Spoke to Brian, will be dropping off a hard copy of plans and a check for ARB

Zoning Officer

Status: Completed December 17th 2019, 10:39 am Assignee: Kathy Rose

Robin Shetler December 12th 2019, 1:59:45 pm
@Kathy Rose , submitted for ARB, dropping off plans and a check
Kathy Rose December 13th 2019, 4:20:11 pm
Brian - what is the average existing front yard setback? Also, what is the distance from the additions to the side property lines?
Brian Marzich December 20th 2019, 8:57:10 am
Kathy, I re-uploaded sheet A1.1 to the site plan submission area with this additional information. Please let me know if you need anything else. Thanks, Brian Marzich 614-314-0260
Brian Marzich December 23rd 2019, 9:31:41 am
Kathy, I re-uploaded drawings showing the average front setback information. Please let me know if you need anything else. Thanks, Brian Marzich 614-314-0260
Kathy Rose December 24th 2019, 10:19:52 am
I could not see the addresses for the neighboring properties??? You can e-mail that directly to me if you'd like.
Brian Marzich December 26th 2019, 4:59:28 am
Kathy, The addresses are (from west to east): 2590, 2596, 2602, 2618, 2650, 2650, and 2650. They are called out on the areal diagram 3/A1.01 and in the Building Information box. Thanks

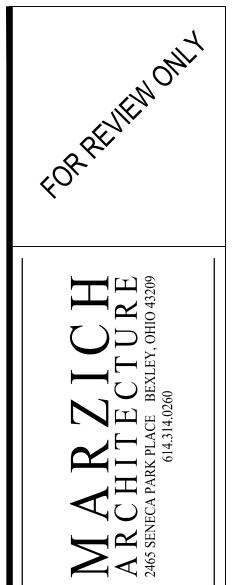
Design Planning Consultant

Status: In Progress Assignee: Karen Bokor 1/2/2020





BUILDING INFORMATION				
GOVERNING CODE: 2019 RESIDENTIAL CODE OF OHIO				
ZONING: R-6 (HIGH	DENSITY)			
SITE AREA: 16,115 S.F. (3	7 ACRES)			
HOUSE COVERAGE: (HOUSE, GARAGE, PORCHES)	<u>EXISTING</u> <u>PROPOSED</u> 2,788 S.F. 794 S.F.	<u>TOTAL</u> 3,582 SF.		
BUILDING COVERAGE (35% MAX.):	2,788 S.F. (17.3%)	3,582 S.F. (22,2%)		
HARDSCAPE:	2,403 S.F569	1,834 S.F		
TOTAL COVERAGE (60% MAX.):	5,191 S.F. (32.2%)	5,416 S.F. (33,6%)		
SQUARE FOOTAG FIRST FLOOR: 2,266 SF. SECOND FLOOR: 1,995 SF THIRD FLOOR: 401 SF. TOTAL: 4662 SHEET INDEX ALL SITE PLAN AND FLOOR PLAN A2.1 ELEVATIONS AND PHOTOS A2.2 ELEVATIONS AND PHOTOS		<u>SE FRONT</u> <u>SETBACK</u> 44.5' 46.67' 49.5' 46.0' 42.5' 43.0' 42.5' 43.95		



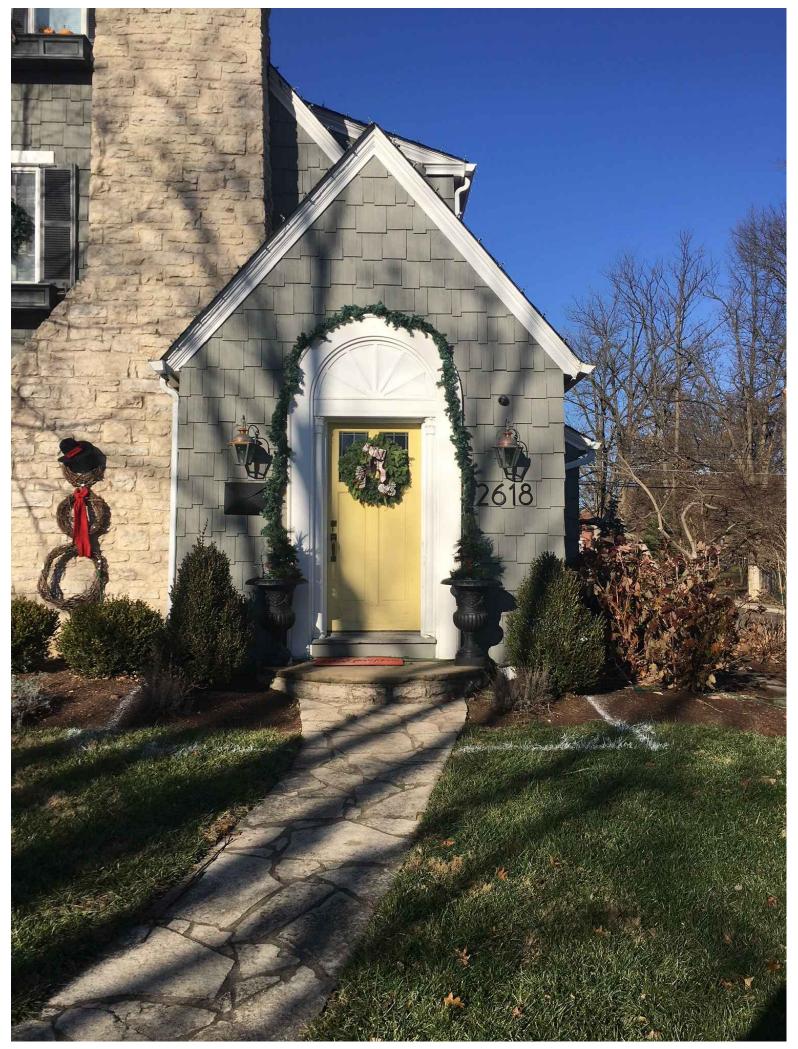
BROWN RESIDENCE ENTRY AND SIDE PORCH ADDITION 2618 BRENTWOOD ROAD, BEXLEY, OHIO 43209

Scale: VARIES Sheet: A1.1

Date: December 20, 2019



VIEW FROM SOUTH EAST





EXISTING ENTRY



EXISTING SOUTH FACADE

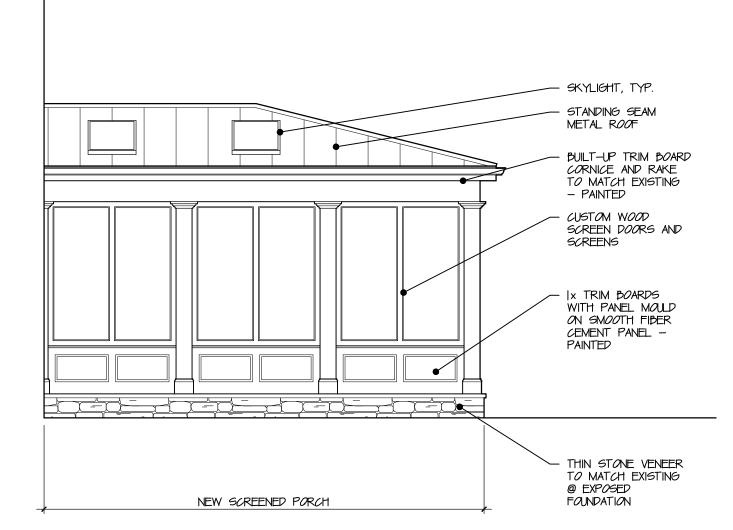


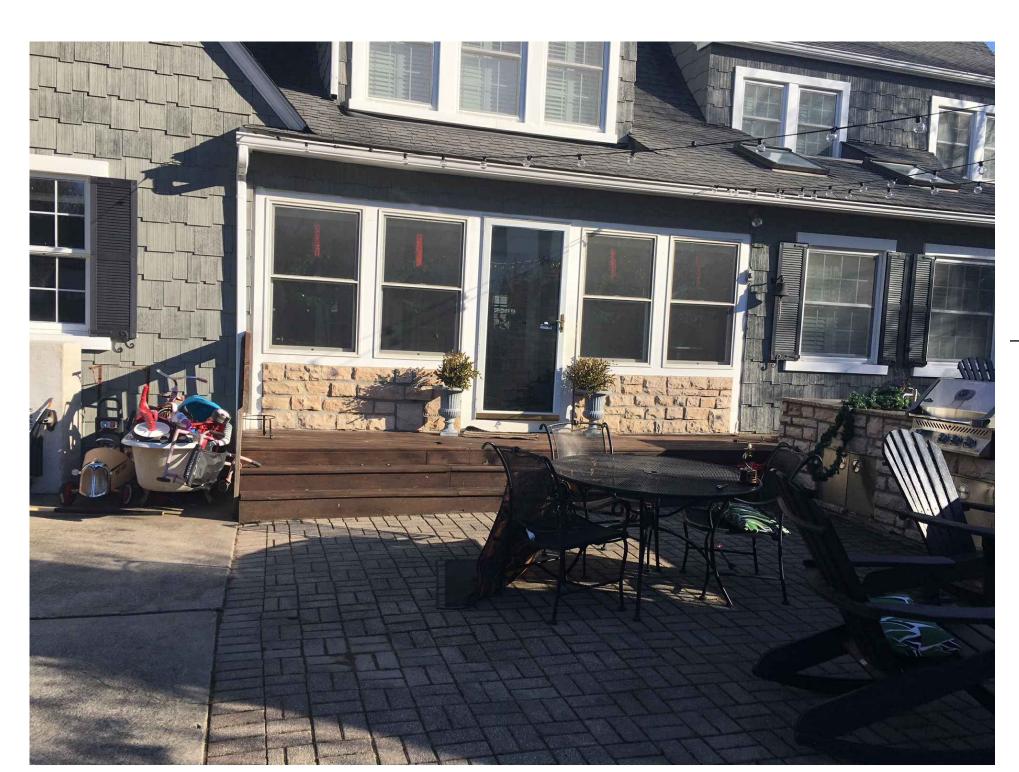


EXISTING SOUTH ELEVATION 1/4"=1'-0"

Scale: VARIES Sheet: A2.1

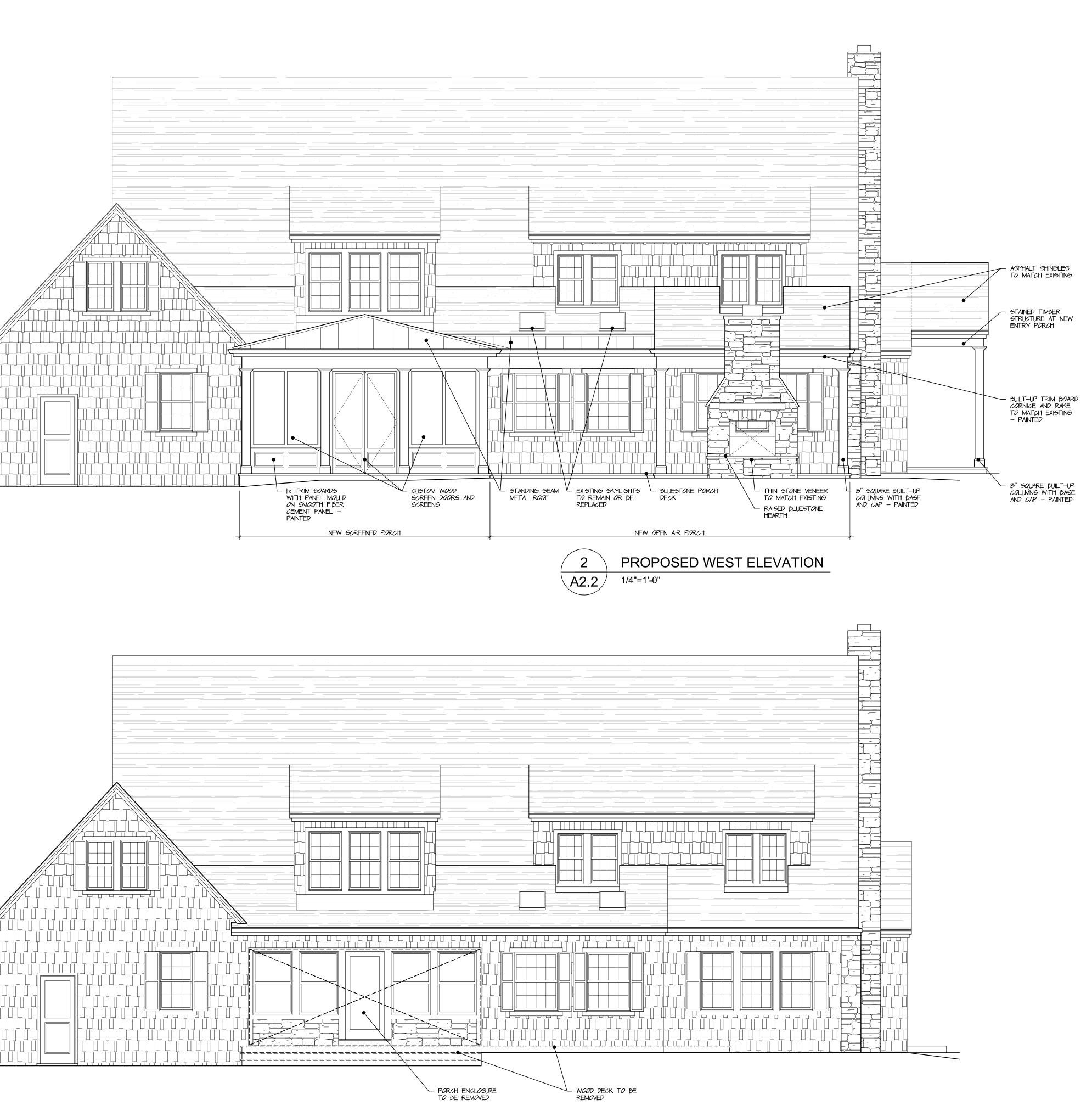
I ADDITION), BEXLEY, OHIO 43209



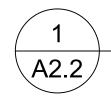


PORCH ENCLOSURE AND PATIO TO BE REMOVED

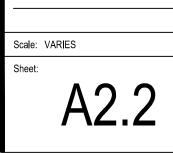








EXISTING WEST ELEVATION 1/4"=1'-0"



Date: December 20, 2019

RESIDENCE

BROWN RESIDENC ENTRY AND SIDE PORCH ADDITION 2618 BRENTWOOD ROAD, BEXLEY, OHIO 43209

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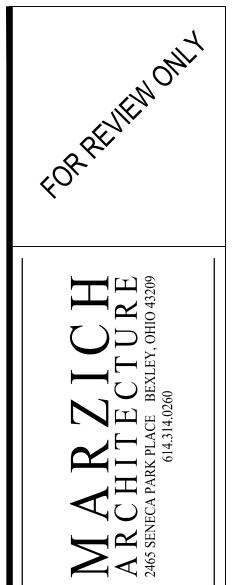
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BUILDING INFORMATION				
GOVERNING CODE: 2019 RESIDENTIAL CODE OF OHIO				
ZONING: R-6 (HIGH	DENSITY)			
SITE AREA: 16,115 S.F. (3	7 ACRES)			
HOUSE COVERAGE: (HOUSE, GARAGE, PORCHES)	<u>EXISTING</u> <u>PROPOSED</u> 2,788 S.F. 794 S.F.	<u>TOTAL</u> 3,582 SF.		
BUILDING COVERAGE (35% MAX.):	2,788 S.F. (17.3%)	3,582 S.F. (22,2%)		
HARDSCAPE:	2,403 S.F569	1,834 S.F		
TOTAL COVERAGE (60% MAX.):	5,191 S.F. (32.2%)	5,416 S.F. (33,6%)		
SQUARE FOOTAG FIRST FLOOR: 2,266 SF. SECOND FLOOR: 1,995 SF THIRD FLOOR: 401 SF. TOTAL: 4662 SHEET INDEX ALL SITE PLAN AND FLOOR PLAN A2.1 ELEVATIONS AND PHOTOS A2.2 ELEVATIONS AND PHOTOS		<u>SE FRONT</u> <u>SETBACK</u> 44.5' 46.67' 49.5' 46.0' 42.5' 43.0' 42.5' 43.95		



BROWN RESIDENCE ENTRY AND SIDE PORCH ADDITION 2618 BRENTWOOD ROAD, BEXLEY, OHIO 43209

Scale: VARIES Sheet: A1.1

Date: December 20, 2019



PUBLIC NOTICE CITY OF BEXLEY ARCHITECTURAL REVIEW BOARD BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Bexley Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, January 23, 2020 at 6:00 PM.,** in City Council Chambers, Bexley City Hall, 2242 East main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: BZAP-19-17

Applicant:	Ashley Coey
Owner:	Nathan & Ashley Coey
Location:	2395 Charles St.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a two-story addition to the rear of the principal structure, raise the 3rd floor roof and add 2 dormers, and to also modify the front porch roof.

BZAP: The applicant is seeking architectural review and approval, to allow a twostory addition to the rear of the principal structure, raise the 3rd floor roof and add 2 dormers, and to also modify the front porch roof. The applicant is also seeking a 2' 7"variance from Bexley Code Section 1252.09(R-6) Zoning District. Which requires an 8' setback from side yard property line, to allow the addition to be constructed 5'5" from the west side property line and in-line with the existing principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240. Mailed by: 12-26-2019 *(BZAP)Board of Zoning & Planning Application - Review of Variance requests for Residential and Commercial Development

BZAP-19-17

Status: Active

Submitted: Dec 05, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT.

Rear second floor addition. Raise 3rd floor roof and add 2 dormers. Change front porch roof line.

Applicant

Ashley Coey

614-329-4050

ashleycoey@innovativedesignforyou.com

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Architecture Review	Conditional Use		
-			
Demolition	Planned Unit Dev		
-			
Rezoning	Variance or Special Permit		
-	true		
What requires Major Architectural Review			
-			
What requires Minor Architectural Review			
-			
Major Architectural Review	Minor Architectural Review		
-	-		

Location

2395 CHARLES ST

Bexley, OH 43209

A.1: Attorney / Agent Information

Agent Name	Agent Address
-	-
Agent Email	Agent Phone
-	

A.2: Fee Worksheet

Estimated Valuation of Project	Minor Architectural Review
0	-
Major Architectural Review	Variance Review
true	true
Variance Review Type	Zoning
Single Family	

2/2020			
Zoning Review Type	Sign Review and Architectural Review for Commercial Projects		
encroaching into required setback			
Review Type	Appeal of ARB decision to BZAP		
Special Permit, Conditional Uses and All Others			
Appeal of BZAP decision to City Council			
-			
Conditional Use - Explain type of Use if being requested and fill out Conditional Use Criteria			
_			
B: Project Worksheet: Property Information			
Occupancy Type	Zoning District		
Residential			
Use Classification			
-			
B: Project Worksheet: Lot Info			
Width (ft)	Depth (ft)		
64	160		
Total Area (SF)			
10240			
B: Project Worksheet: Primary Structure Info			
Existing Footprint (SF)	Proposed Addition (SF)		
1482	170		
Removing (SF)	Type of Structure		
0	2nd Floor Room Addition		
Proposed New Primary Structure or Residence (SF)	Total Square Footage		
2204	2374		
B: Project Worksheet: Garage and/or Accessory	y Structure Info (Incl. Decks, Pergolas, Etc)		
Existing Footprint (SF)	Proposed Addition (SF)		

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0	
New Structure Type	Ridge Height
Proposed New Structure (SF)	Is there a 2nd Floor
Total of all garage and accessory structures (SF)	Total building lot coverage (SF)

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Total building lot coverage (% of lot)	

Is this replacing an existing garage and/or accessory structure?

-

B: Project Worksheet: Hardscape

Existing Driveway (SF)	Existing Patio (SF)
-	
Existing Private Sidewalk (SF)	Proposed Additional Hardscape (SF)
Total Hardscape (SF)	

B: Project Worksheet: Total Coverage

Total overall	lot cov	verage	(SF)
---------------	---------	--------	------

Total overall lot coverage (% of lot)

C.1 Architectural Review Worksheet: Roofing

Roofing	Structure
true	House or Principal Structure
Existing Roof Type	New Roof Type
Arch. Dimensional Shingles	Arch. Dimensional Shingles
New Single Manufacturer	New Roof Style and Color
	Charcoal Gray

C.1 Architectural Review Worksheet: Windows

Windows	Structure
true	House or Principal Structure
Existing Window Type	Existing Window Materials
Double Hung	Wood
New Window Manufacturer	New Window Style/Mat./Color Double hung/Wood -Aluminum Clad/Black

C.1 Architectural Review Worksheet: Doors

Doors	Structure
true	House or Principal Structure
Existing Entrance Door Type	Existing Garage Door Type

1/2/2020	
Fiberglass	Insulated Metal
Door Finish	Proposed Door Type
Painted	Wood
Proposed Door Style	Proposed Door Color
Single Panel 6 lite door	Stained

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim	Existing Door Trim
true	Aluminum Clad
Proposed New Door Trim	Existing Window Trim
Wood	Other
Other Existing Window Trim	Proposed New Window Trim
Other Existing Window Trim	Proposed New Window Trim
Trim Color(s)	Do the proposed changes affect the overhangs?

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes	Existing Finishes
true	Aluminum Siding
Existing Finishes Manufacturer, Style, Color	Proposed Finishes
Aluminum, White	Vinyl Siding
Proposed Finishes Manufacturer, Style, Color	

Shaker and Clapboard Insulated Vinyl siding, White,

D: Tree & Public Gardens Commission Worksheet

Type of Landscape Project	Landscape Architect/Designer
Architect/Designer Phone	Architect/Designer E-mail
Project Description	
I have read and understand the above criteria	

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

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Applicant has been advised that Landscape Designer/Architect must be present at meeting

E.1 Variance Worksheet

Description of the Proposed Variance. Please provide a thorough description of the variance being sought and the reason why.

We would like to expand the house 10' with a 2nd floor addition to the rear of the house. We would like to request a variance so that the structure can be aligned with the existing side of house.

1. Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

Aligning the addition to the existing side of the house will provide a smooth consistency on the exterior and interior walls.

2. Is the variance substantial? Please describe.

No, we are requesting 8". This will not extend past the existing bay on the same side.

3. Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

No, the character of the neighborhood would not be altered and the neighbors would not suffer any as this is a 2nd floor addition and fist floor will be patio and remain open and airy as is now. This addition will not come any closer to their property than what is existing now.

E.2 Variance Worksheet

4. Would the variance adversely affect the delivery of governmental services (e.g. water, sewer, garbage)? Please describe.

No, it would remain as is.

5. Did the property owner purchase the property with the knowledge of zoning restriction? Please describe.

No

6. Can the property owner's predicament feasibly obviated through some method other than a variance? Please describe.

The addition cannot be completed as planned without a variance.

7. Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

We will not be extending any further than the existing structure is currently.

F.1 Fence Variance Worksheet

Lot Type

Narrative description of how you plan to meet the pertinent outlined variance criteria

--

F.1-F.2 Fence Variance Worksheet: Side and R	Rear Yard Restrictions for Corner Lots
--	--

1/2/2020

1. Compatibility: Describe how the proposed side yard fence or wall exceeding forty-eight inches in height and on the street side of a corner lot compatible with other properties in the neighborhood?

2. Height: Please verify that the maximum height of such fence or wall shall not exceed seventy-two inches as measured from the average grade, as defined in Section 1230.06. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included within the seventy-two inch maximum height.

--

3. Transparency: Fences exceeding forty-eight inches in height should include transparency in the upper 12" to 18" of the fence through the use of latticework, pickets, or other appropriate design elements. Describe how you have satisfied this requirement.

4. Screening: A landscaping plan must be filed with the application for a special permit, indicating how such fencing or wall is to be screened from the street side elevation. The landscape plan should be designed in such a way as to mitigate the impact of a solid fence or wall as it relates to the street and other properties. Describe how the landscape plan addresses these items.

--

5. Visibility and Safety: The installation of such fence or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement. Please describe any visibility/safety concerns with your design.

--

6. Material Compatibility: No chain link, wire mesh or other similar material shall be installed on lot lines adjacent to public rightsof-way. Please verify that your design complies with this requirement.

7. Finished Side: Any fence or wall erected on a lot located at the intersection of two or more streets must have the finished and not the structural side facing the adjacent property, alley or street. Please verify that your design complies with this requirement.

--

F.3 Fence Variance Worksheet

Front Yard Restrictions

Fences Adjacent to Commercial Districts

Require Commercial Fences Adjacent to Residential Districts

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F.3 Fence Variance Worksheet: Front Yard Restrictions

The proposed decorative landscape wall or fence is compatible The height of the fence or wall does not exceed the size with other properties in the neighborhood. permitted as above when measured from the average grade of the yard where the fence or wall is to be installed. Artificially ___ raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included in the maximum height. ___ Posts, columns and finials may extend up to 6" above the A landscaping plan shall be filed with the application indicating maximum allowed height of the fence panels. CHAPTER 1264. how such fencing and/ or wall is to be integrated with existing FENCES AND WALLS City of Bexley Zoning Ordinance front yard landscaping.

.

/2/2020	
The installation of such fence and/or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement.	No chain link, wire mesh, concrete block or other similar type material shall be installed as a decorative landscape wall or fence.
The fence and/or wall shall have a minimum of 50% transparency.	That the lot exhibits unique characteristics that support the increase in fence height.
G. Demolition Worksheet	
Is your property historically significant? Please attached supporting documentation. Recomended sources include ownership records, a letter from the Bexley Historical Society, etc.	Is your property architecturally significant? Please attached supporting documentation. Recomended sources include a letter of opinion from an architect or expert with historical preservation expertise.
If you answered "yes" to either of the above two questions, pleas to demolish the primary residence, and attach any supporting ev	se describe any economic hardship that results from being unable vidence.
If you answered "yes" to either of the above two questions, pleas require the demolition of the primary residence, and attach any s	se describe any other unusual or compelling circumstances that supporting evidence.
-	
I will provide a definite plan for reuse of the site, including proposed replacement structures, by completing Worksheets B & C and any other pertinent worksheets, along with required exhibits.	

Provide a narrative time schedule for the replacement project

Please provide a narrative of what impact the proposed replacement project will have on the subject property and the neighborhood.

--

Attachments (3)



Photographs Dec 05, 2019

pdf Architectural Plan Dec 05, 2019

pdf Site Plan

Dec 05, 2019

Timeline

Zoning Officer

Status: Completed December 6th 2019, 3:19 pm Assignee: Kathy Rose

Kathy Rose December 6th 2019, 3:18:42 pm

I would like a site plan to provide specific side yard setback of the existing structure uploaded - concern that adding on in-line with the existing structure is not the best option, especially due to the fact that you are increasing the height as well. What is the new ridge height?

Kathy Rose December 6th 2019, 3:57:44 pm Jordan - Jan. ARB & BZAP meeting envelopes Ashley Coey December 6th 2019, 4:49:00 pm Existing roof = 29'-6" proposed roof = 34'-10".

Payment

Status: Paid December 9th 2019, 8:19 am

Ashley Coey December 5th 2019, 11:49:12 pm

Will this full amount need paid or will the previous payment of \$90 for the architectural review application be applied? Leaving the balance of \$100? Please advise.

Kathy Rose December 6th 2019, 3:22:54 pm I have waived the 90.00 fee paid with the ARB application. K. Rose Ashley Coey December 9th 2019, 8:20:35 am Thank you. Balance paid.

Design Planning Consultant

Status: In Progress Assignee: Karen Bokor

Kathy Rose December 6th 2019, 3:24:48 pm

Karen - this looks long and narrow and tall. There is a variance to extend to house at the same setback and they are raising the roof. You may want to take a look and critique what's proposed, in case there are any suggested modifications. **Kathy Rose** December 23rd 2019, 11:49:29 am owner and applicant are the same (innovative design for you) **Karen Bokor** January 2nd 2020, 1:02:40 pm

It looks like Dan Keiser did the plans ??? Let me know what I'm missing..... Also I think it looks good! The additional height is good.

Architectural Review Board

Status: In Progress

Board of Zoning and Planning

Status: In Progress

City Council

Status: In Progress

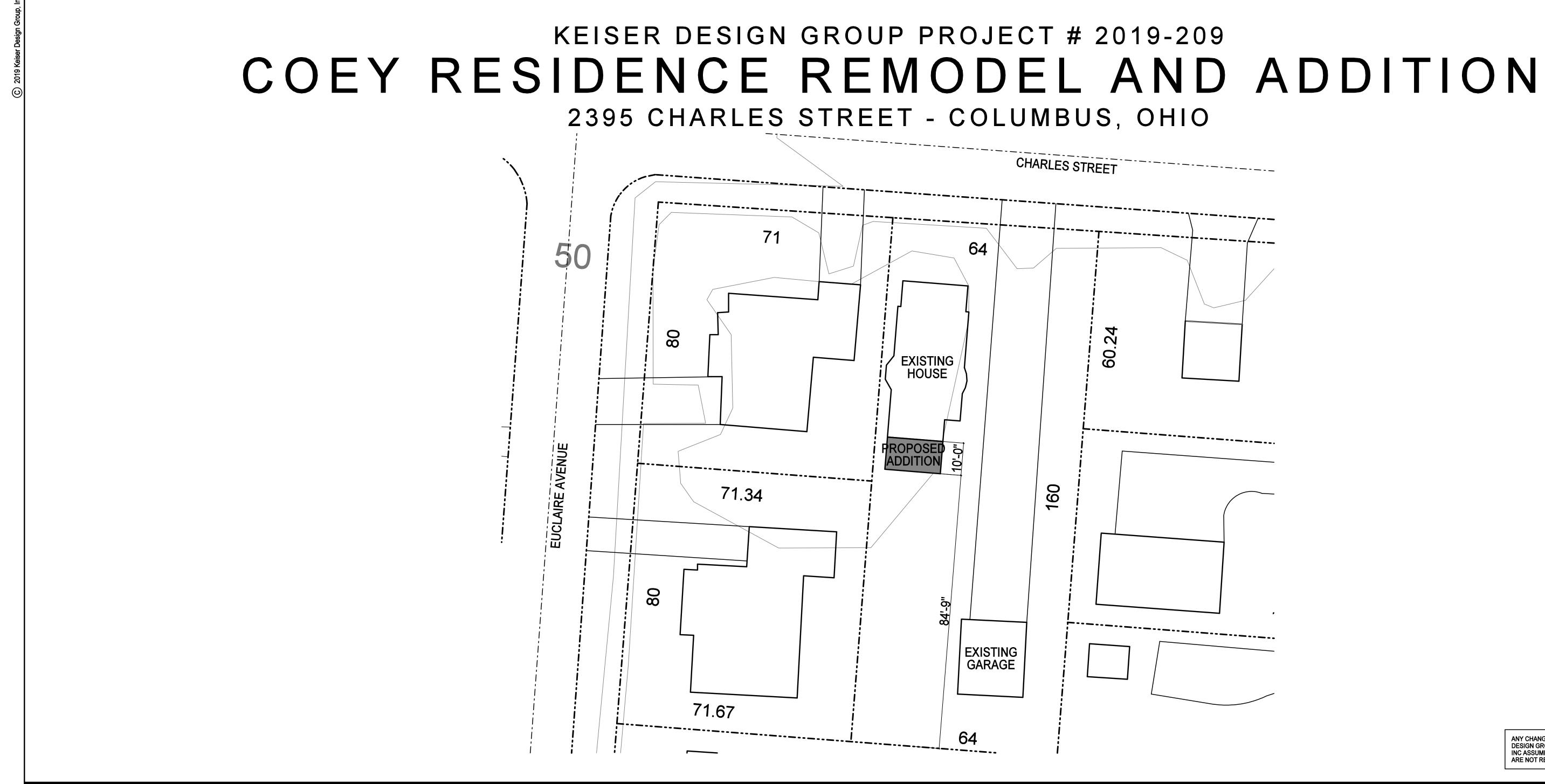
1/2/2020

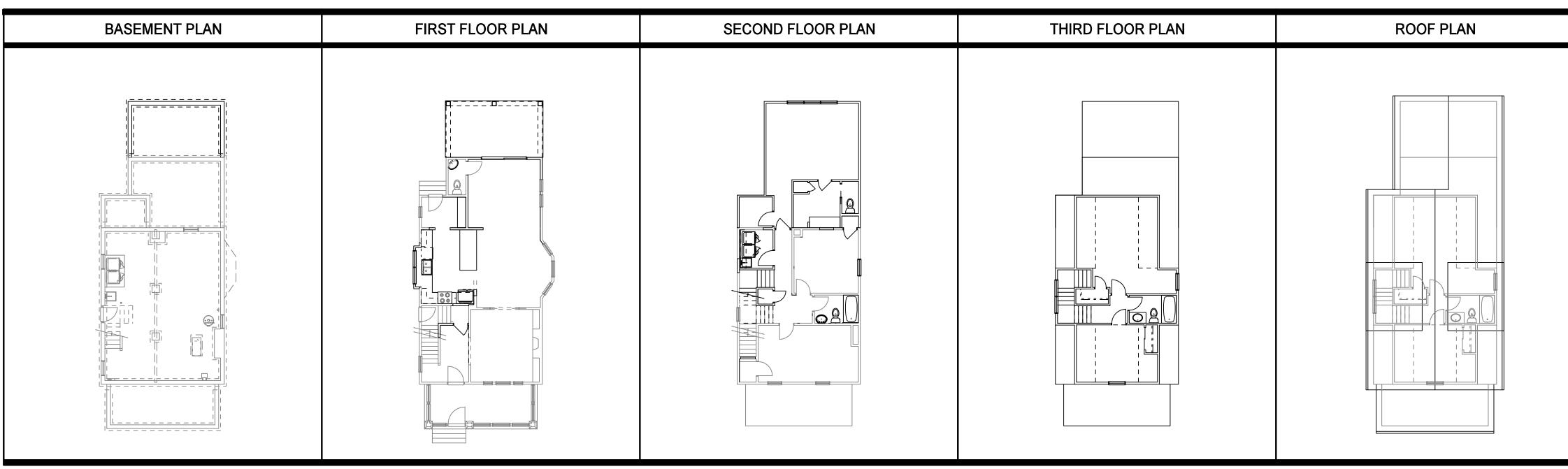
Tree Commission

Status: In Progress

Arborist

Status: In Progress

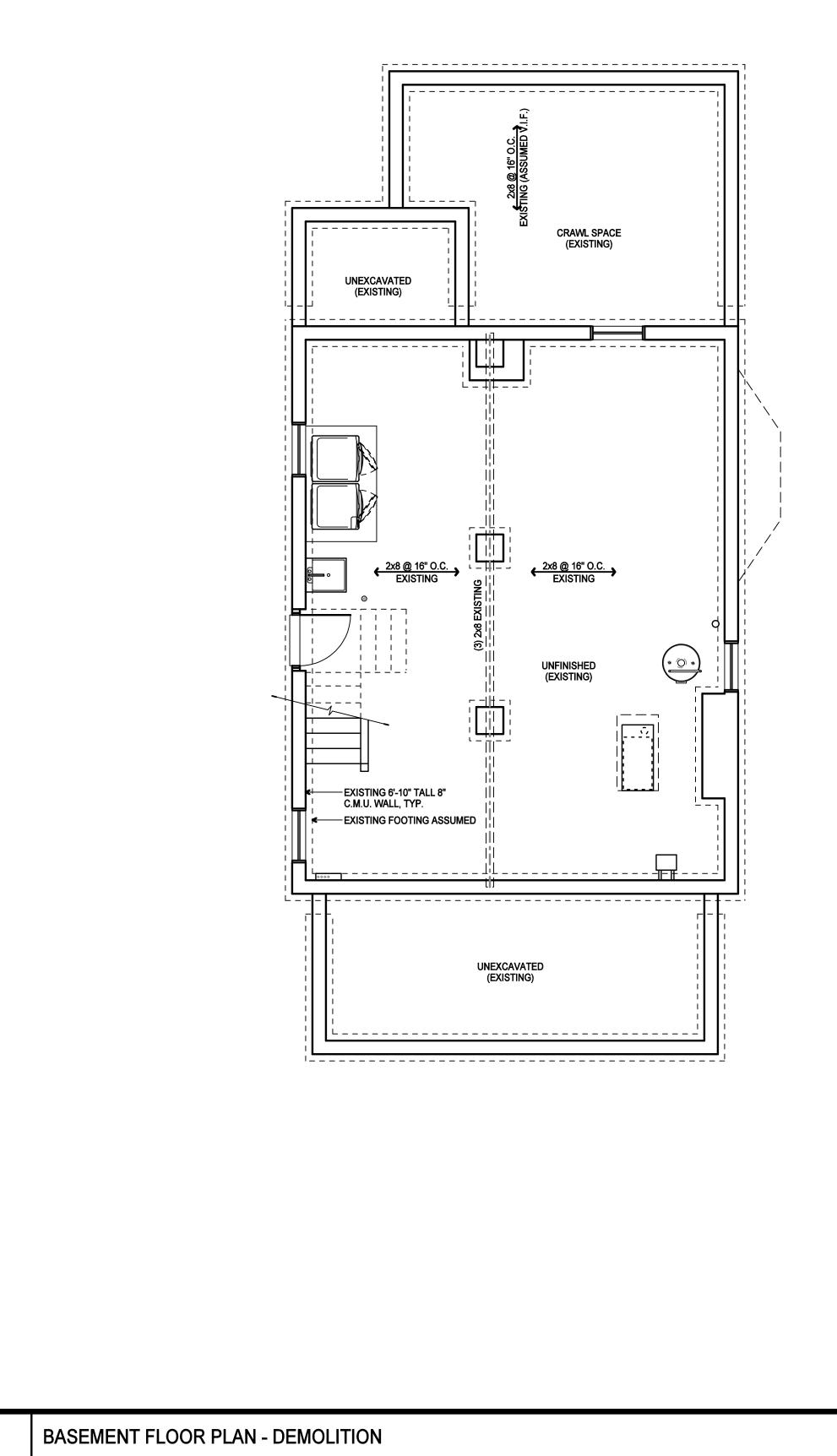




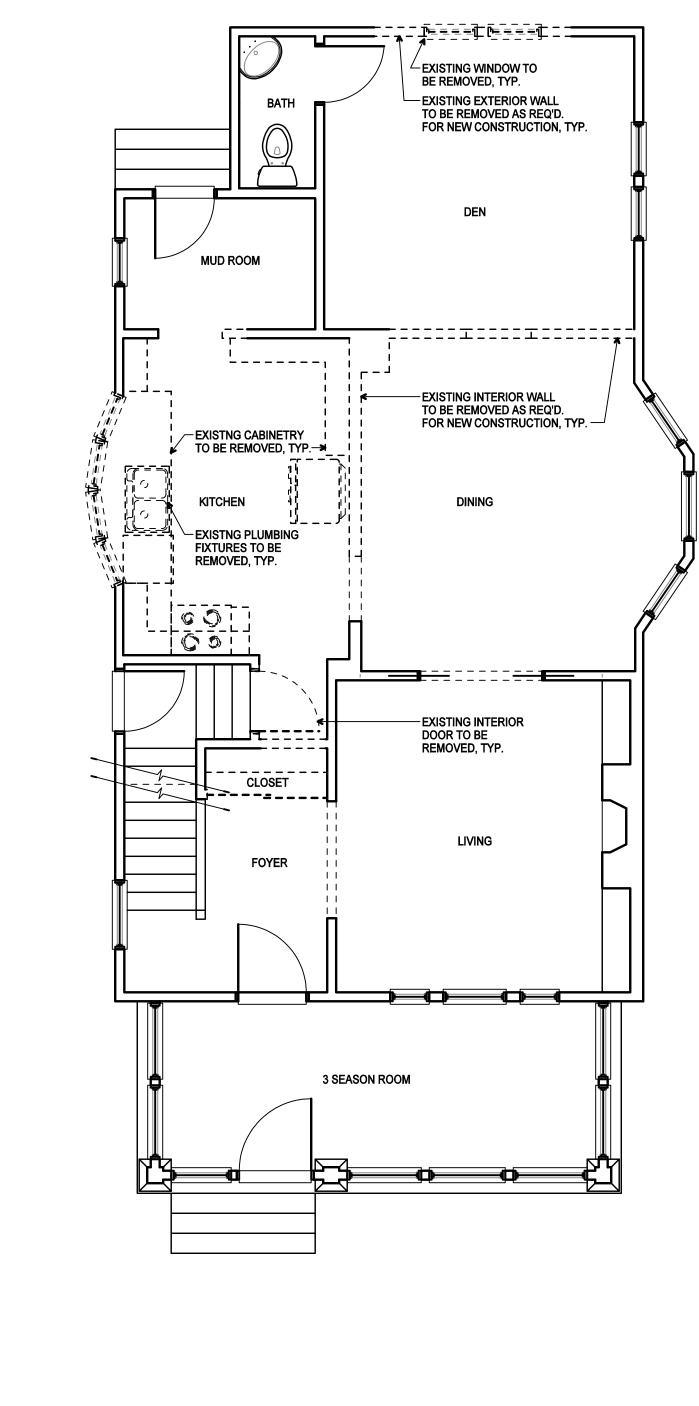
ANY CHANGES TO THESE DRAWINGS MUST BE REPORTED TO KEISER DESIGN GROUP, INC. IMMEDIATELY IN WRITING. KEISER DESIGN GROUP, INC ASSUMES NO RESPONSIBILITY FOR CHANGES TO THE DRAWINGS THAT ARE NOT REPORTED TO THE ARCHITECT.

DRAWING INDEX			TITLE
 A0-0 COVER SHEET D1-0 BASEMENT & 1ST FLOOR PLAN-DEMOLITION D1-1 SECOND & 3RD FLOOR PLAN - DEMOLITION D1-2 ROOF PLAN - DEMOLITION D2-1 EXTERIOR ELEVATIONS - DEMOLITION A1-0 BASMENT FLOOR PLAN - PROPOSED A1-1 FIRST & 2ND FLOOR PLAN - PROPOSED A1-2 THIRD FLOOR & ROOF PLAN - PROPOSED A2-1 PROPOSED EXTERIOR ELEVATIONS A3-1 WALL SECTIONS A3-2 STAIR SECTION / WALL BRACING METHOD CS-PF A4-1 GENERAL NOTES / STRUCTURAL NOTES / LIGHT AND VENT SCHEDULE A4-3 UL ASSEMBLY 305 DETAILS 	800 Cross Pointe Road, Suite M 1 G Busice Contraction Www.keiserdesigngroup		COEY RESIDENCE REMODEL AND ADDITION 2395 CHARLES STREET COLUMBUS, OH 43209
	KDG PROJECT # 2019-209	SHEET NUMBER	HA RE
	COVER SHEET SCALE: N.T.S.	A0-0	COEY RESIDEN 2395 CHARLES
	CONSTRUCTION DOCUMENTS	11.27.2019	

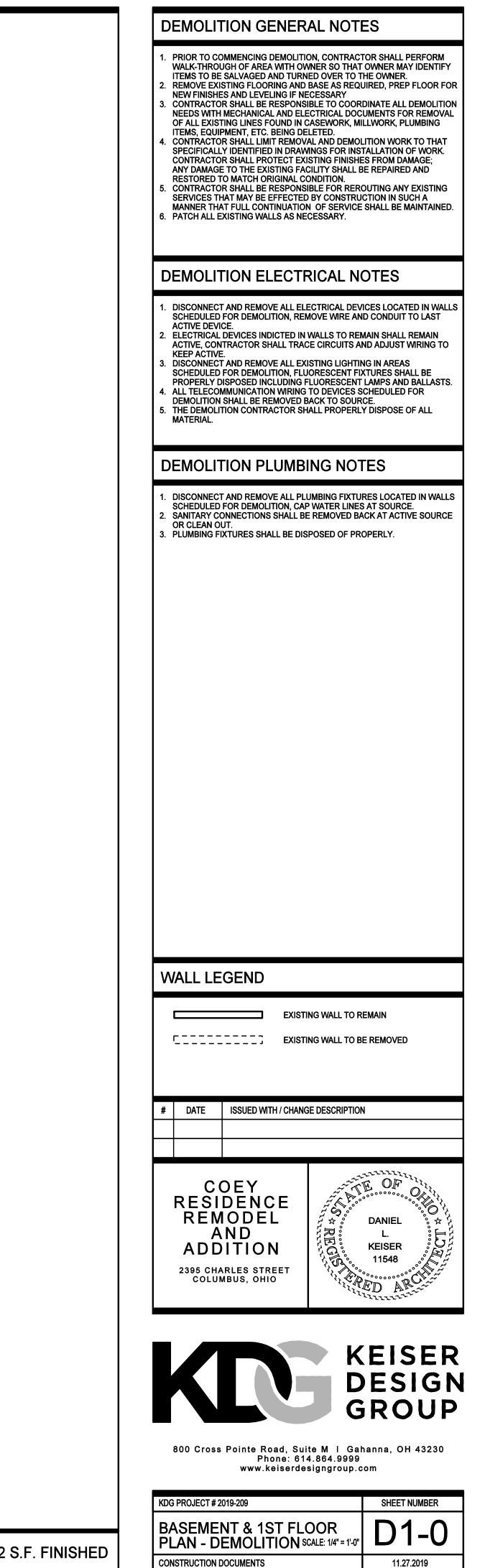
C) 2019 Keiser Design Group, Ir



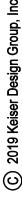
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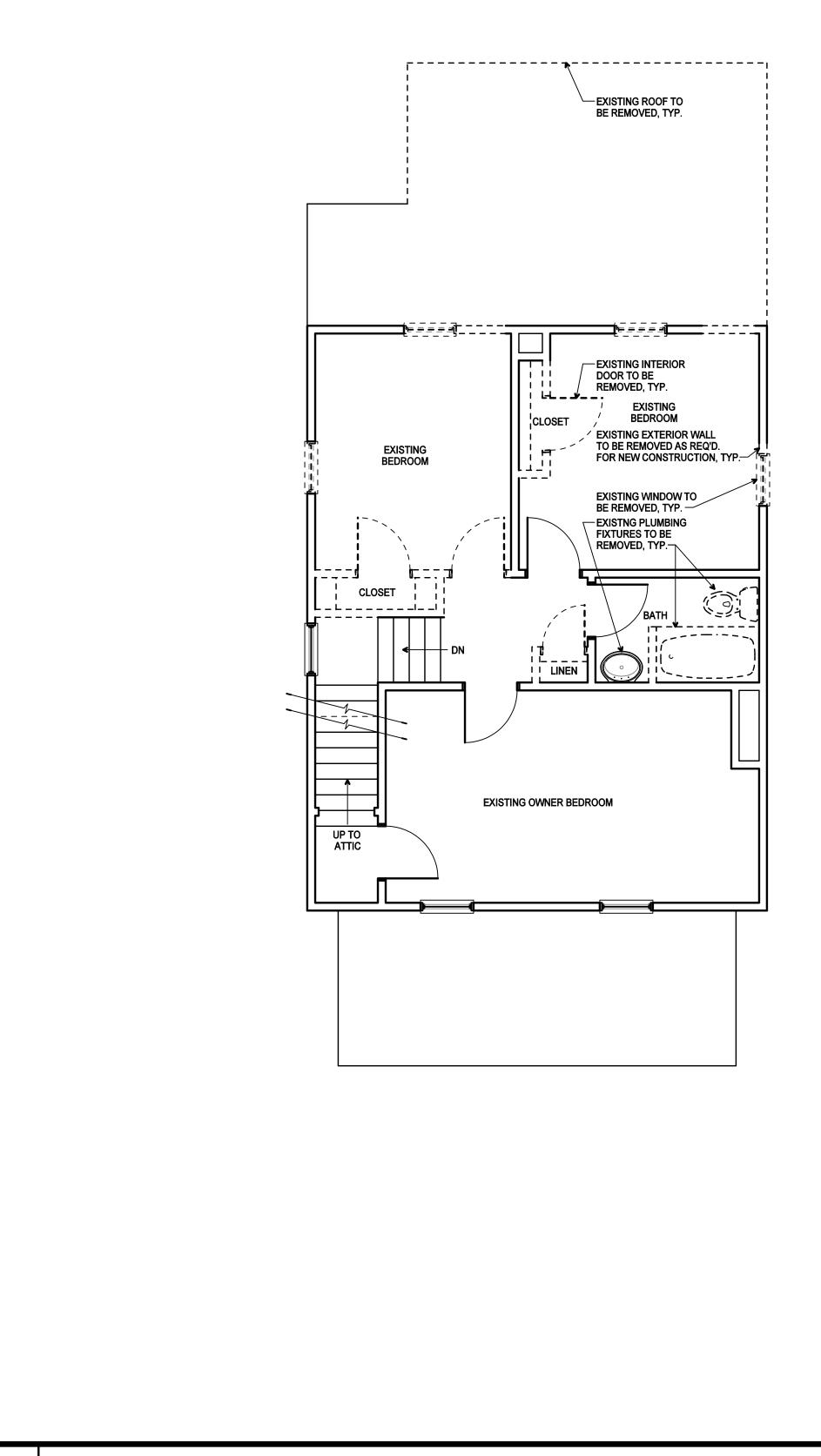


U	NFINISHED	2	FIRST FLOOR PLAN - DEMOLITION

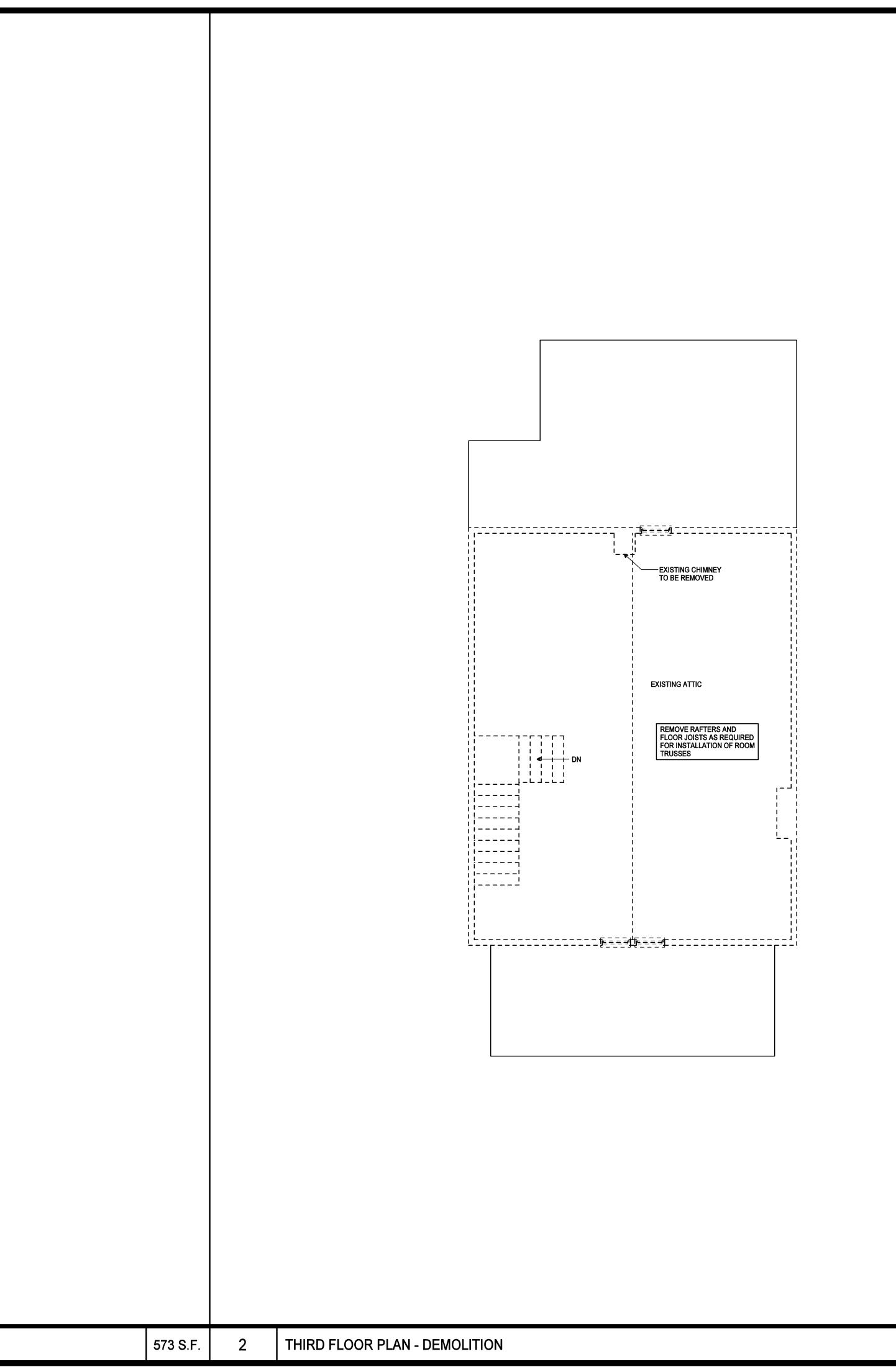


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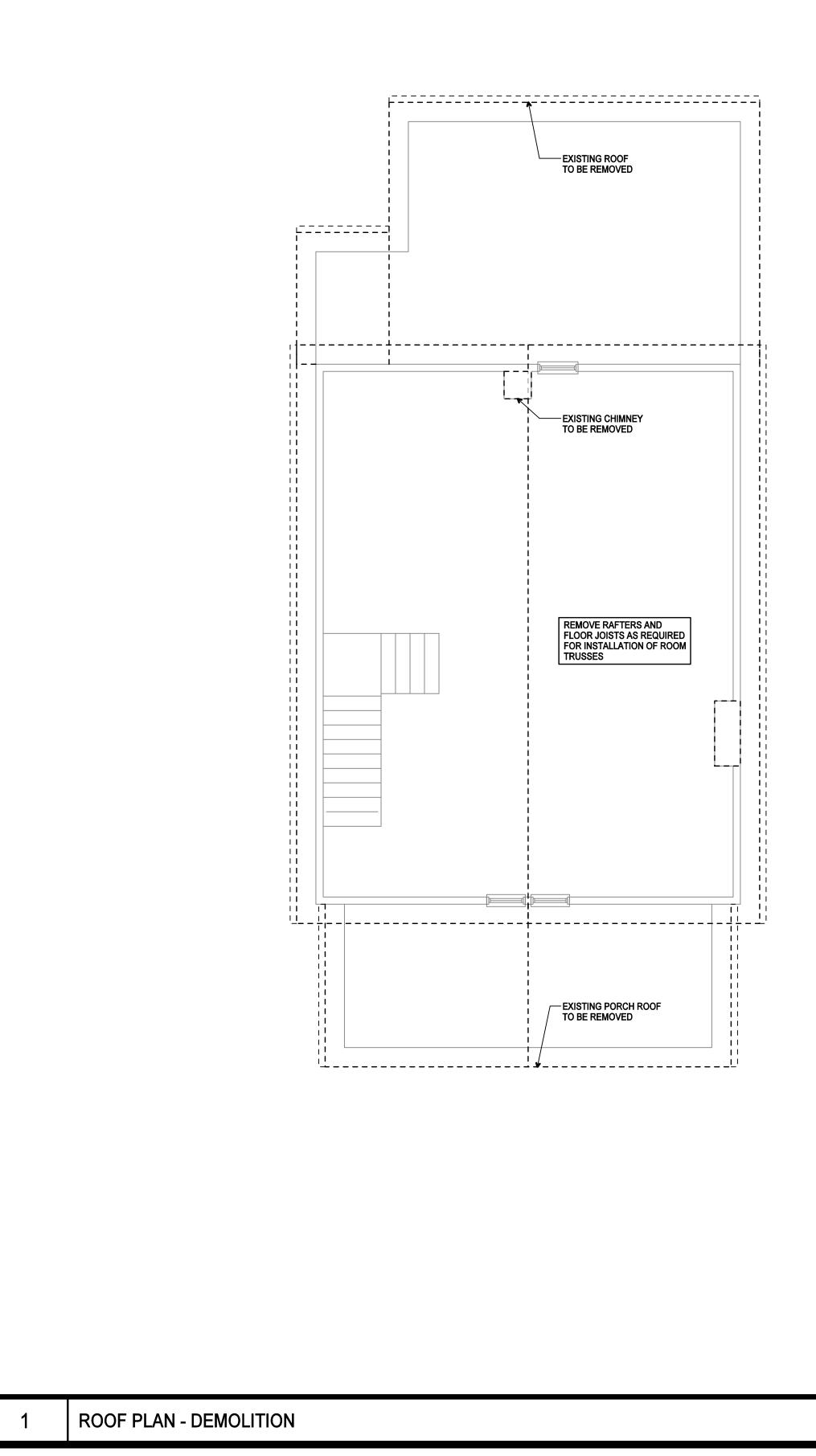






	DEMOLITION GENERAL NOTES
	1. PRIOR TO COMMENCING DEMOLITION, CONTRACTOR SHALL PERFORM WALK-THROUGH OF AREA WITH OWNER SO THAT OWNER MAY IDENTIFY ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER.
	 REMOVE EXISTING FLOORING AND BASE AS REQUIRED, PREP FLOOR FOR NEW FINISHES AND LEVELING IF NECESSARY CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL DEMOLITION NEEDS WITH MECHANICAL AND ELECTRICAL DOCUMENTS FOR REMOVAL
	OF ALL EXISTING LINES FOUND IN CASEWORK, MILLWORK, PLUMBING ITEMS, EQUIPMENT, ETC. BEING DELETED. 4. CONTRACTOR SHALL LIMIT REMOVAL AND DEMOLITION WORK TO THAT
	SPECIFICALLY IDENTIFIED IN DRAWINGS FOR INSTALLATION OF WORK. CONTRACTOR SHALL PROTECT EXISTING FINISHES FROM DAMAGE; ANY DAMAGE TO THE EXISTING FACILITY SHALL BE REPAIRED AND
	RESTORED TO MATCH ORIGINAL CONDITION. 5. CONTRACTOR SHALL BE RESPONSIBLE FOR REROUTING ANY EXISTING SERVICES THAT MAY BE EFFECTED BY CONSTRUCTION IN SUCH A
	MANNER THAT FULL CONTINUATION OF SERVICE SHALL BE MAINTAINED. 6. PATCH ALL EXISTING WALLS AS NECESSARY.
	DEMOLITION ELECTRICAL NOTES
	1. DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES LOCATED IN WALLS
	SCHEDULED FOR DEMOLITION, REMOVE WIRE AND CONDUIT TO LAST ACTIVE DEVICE. 2. ELECTRICAL DEVICES INDICTED IN WALLS TO REMAIN SHALL REMAIN
	ACTIVE, CONTRACTOR SHALL TRACE CIRCUITS AND ADJUST WIRING TO KEEP ACTIVE. 3. DISCONNECT AND REMOVE ALL EXISTING LIGHTING IN AREAS
	SCHEDULED FOR DEMOLITION, FLUORESCENT FIXTURES SHALL BE PROPERLY DISPOSED INCLUDING FLUORESCENT LAMPS AND BALLASTS. 4. ALL TELECOMMUNICATION WIRING TO DEVICES SCHEDULED FOR
	DEMOLITION SHALL BE REMOVED BACK TO SOURCE. 5. THE DEMOLITION CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIAL.
	DEMOLITION PLUMBING NOTES
	 DISCONNECT AND REMOVE ALL PLUMBING FIXTURES LOCATED IN WALLS SCHEDULED FOR DEMOLITION, CAP WATER LINES AT SOURCE. SANITARY CONNECTIONS SHALL BE REMOVED BACK AT ACTIVE SOURCE
	OR CLEAN OUT.3. PLUMBING FIXTURES SHALL BE DISPOSED OF PROPERLY.
	WALL LEGEND
	# DATE ISSUED WITH / CHANGE DESCRIPTION
	COEY RESIDENCE
	AND ADDITION
	2395 CHARLES STREET COLUMBUS, OHIO
	TITITIZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZZ
	KEISER
	DESIGN
	GROUP
	800 Cross Pointe Road, Suite M I Gahanna, OH 43230 Phone: 614.864.9999
_	www.keiserdesigngroup.com
	www.keiserdesigngroup.com
F	www.keiserdesigngroup.com KDG PROJECT # 2019-209 SHEET NUMBER
	www.keiserdesigngroup.com





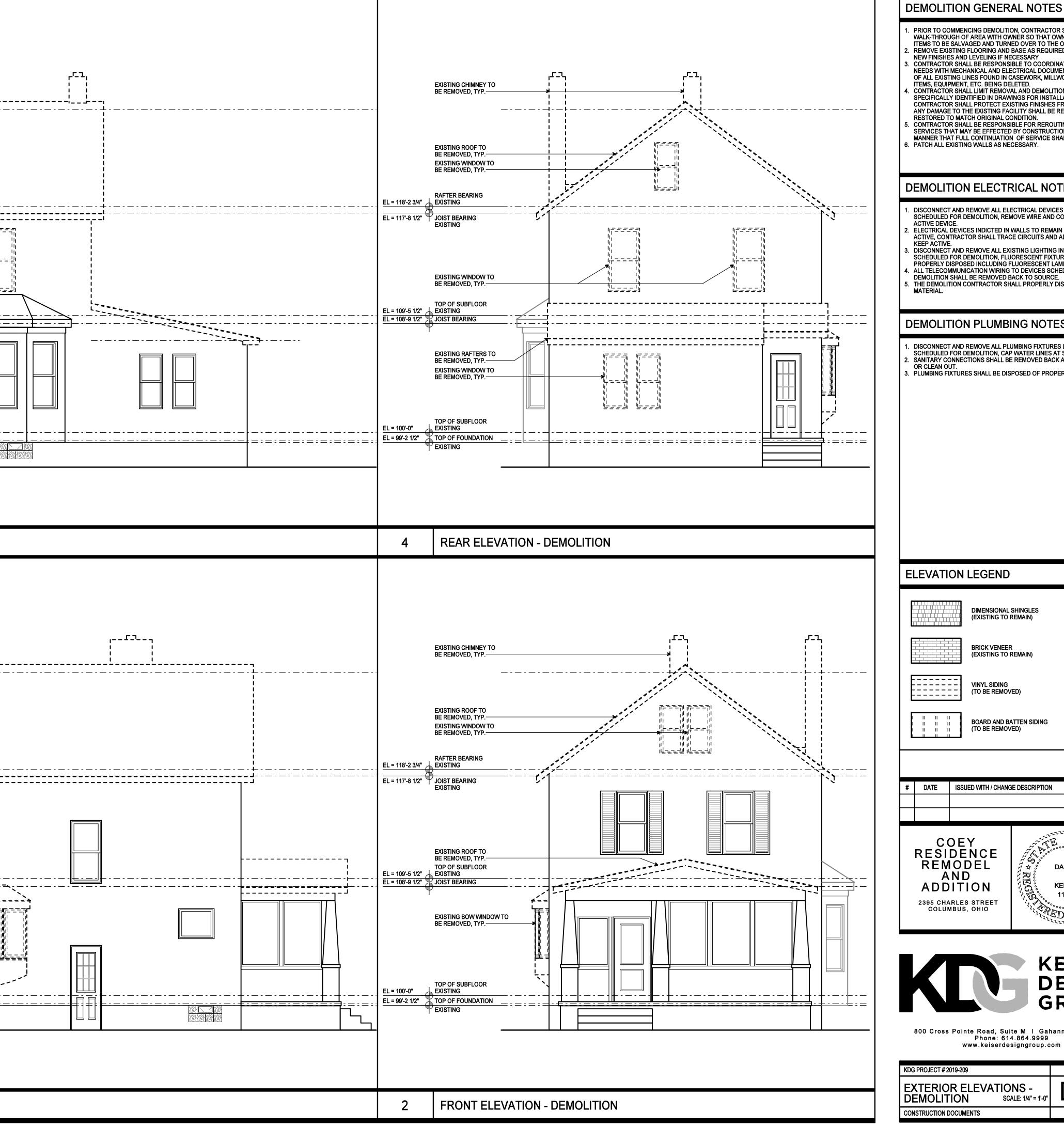
2	NOT USED

PRIOR TO COMMENCING DEMOLITION, CONTRACTOR SHALL PERFORMATION PRIOR TO COMMENCING DEMOLITION, CONTRACTOR SHALL PERFORM REMOVE EXISTING LOORING AND DESCEAFEOT TO THE OWNER SEALVAGE AND TUNNED OVER TO THE CONTRACTOR SHALL PERFORMED TO THE OWNER SEALVAGE AND TUNNED OVER TO THE OWNER AND COMMENTED IN SEASURE AND COMMENTED SHALL BERESPONSIBLE TO ORDINATE ALL DEMOLITION WORK TO TH SEALVING LINES FORDIN IN CASEWORK, MILLWORK, PLUMBIN THANS, EQUIPMENT, ETC. BEING DELETED. CONTRACTOR SHALL BERESPONSIBLE FOR REMOLITION WORK TO TH SECOLIFICALLY IDENTIFIED IN DRAWINGS FOR INSTALLATION OF WOR CONTRACTOR SHALL BERESPONSIBLE FOR REMOLITION WORK TO TH SECOLIFICALLY DENTIFIED IN DRAWINGS FOR INSTALLATION OF WOR SECONTRACTOR SHALL BERESPONSIBLE FOR REMOLITION WORK TO TH SECOLIFICALLY DENTIFIED IN DRAWINGS FOR INSTALLATION OF WOR SECONTRACTOR SHALL BERESPONSIBLE FOR REMOLITION WORK TO TH SECONTRACTOR SHALL BERESPONSIBLE FOR REMOLITION WORK TO TH SECONTRACTOR SHALL BE RESPONSIBLE FOR REMOLITION WORK TO TH SECONTRACTOR SHALL BE RESPONSIBLE FOR REMOLITION WORK TO TH SECONTRACTOR SHALL BE RESPONSIBLE FOR REMOLITION WORK TO TH SCHEDULED FOR DEMOLITION. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOLITION WORK TO TH SCHEDULED FOR DEMOLITION, REMOVE WIRE AND CONDITION LANGE TO DEMOLITION ENTRY EVENTS DESCONNECT AND REMOVE ALL ELECTRICAL DEVICES LOCATED IN M SCHEDULED FOR DEMOLITION, REMOVE WIRE AND CAULUS TWINING TO EVENTS DESCONNECT AND REMOVE ALL ELECTRICAL DEVICES SOLED FOR DEMOLITION, REMOVE WIRE AND ADJUST WIRING TO EVENTS DEMOLITION CONTRACTOR SHALL PROPERLY DAPOSE OF ALL MATERIAL DEMOLITION CONTRACTOR SHALL PROPERLY DAPOSE OF ALL MATERIAL DEMOLITION CONTRACTOR SHALL PROPERLY DIPOSE OF ALL MATERIAL DEM
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WALL LEGEND
EXISTING WALL TO BE REMOVED
DATE ISSUED WITH / CHANGE DESCRIPTION
COEY RESIDENCE REMODEL AND ADDITION 2395 CHARLES STREET COLUMBUS, OHIO
KEISE DESIG GROU
DESIG
800 Cross Pointe Road, Suite M Gahanna, OH 4323 Phone: 614.864.9999

CONSTRUCTION DOCUMENTS

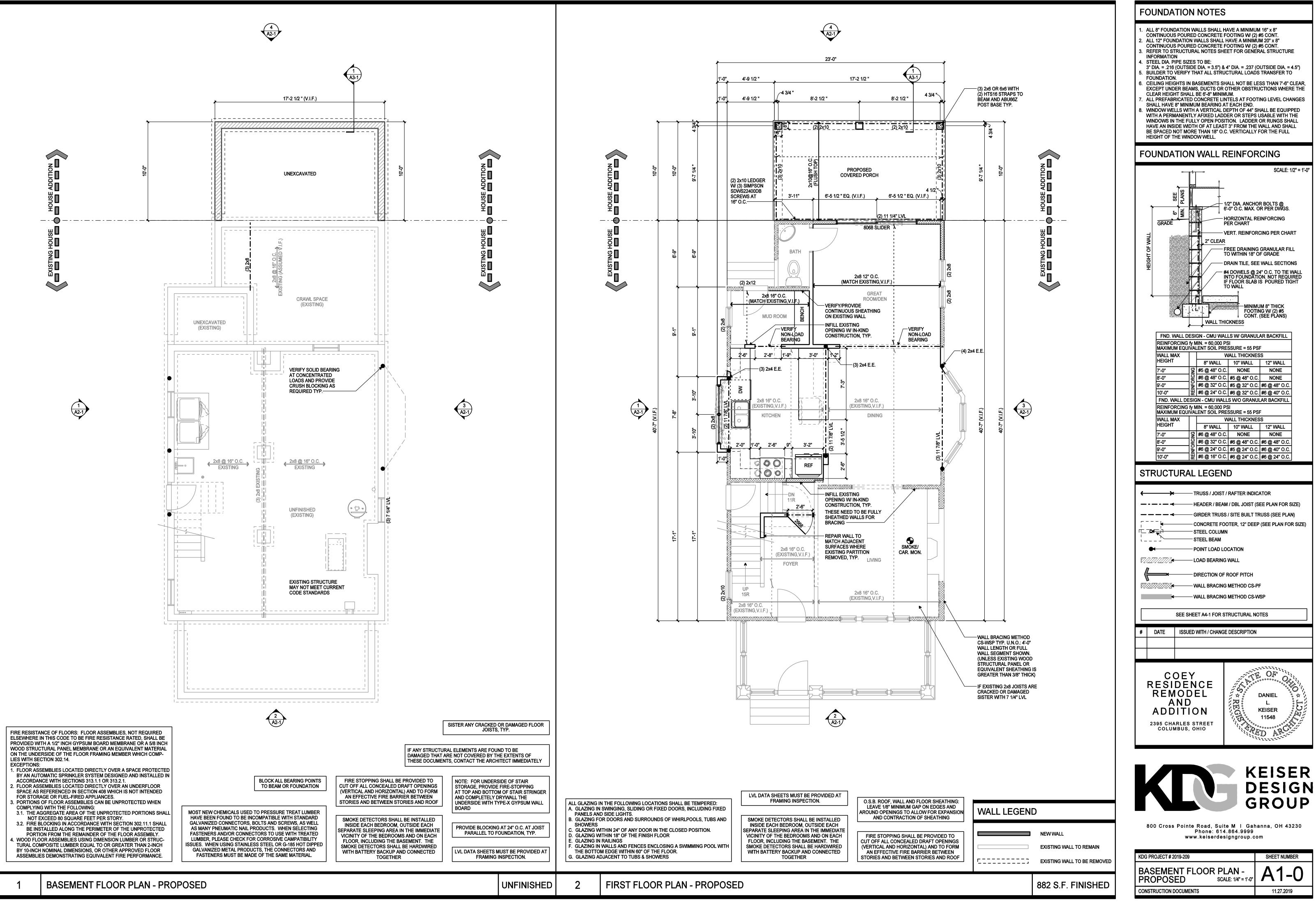
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	EXISTING CHIMNEY TO BE REMOVED, TYP.			 	<u>, , , , , , , , , , , , , , , , , , , </u>		
	Existing Roof to Be removed, typ					 	
EL = 118'-2 3/4" 🦯	RAFTER BEARING						
EL = 117'-8 1/2"	JOIST BEARING EXISTING			 	 		
	EXISTING WINDOW TO BE REMOVED, TYP						- - - - - -
EL = 109'-5 1/2" EL = 108'-9 1/2"	TOP OF SUBFLOOR EXISTING JOIST BEARING			 	 		
EL = 100'-0" EL = 99'-2 1/2"	TOP OF SUBFLOOR EXISTING TOP OF FOUNDATION _ EXISTING	۔ 		 	 		
	-			<u>KAKAKAKA</u>			
3	RIGHT ELE	/ATION - DI	EMOLITION	KAKAKAKA			
3	EXISTING CHIMNEY TO BE REMOVED, TYP.	/ATION - DI	EMOLITION				
3	EXISTING CHIMNEY TO	<u>'ATION - DI</u>					
<u>EL = 118'-2 3/4"</u>	EXISTING CHIMNEY TO BE REMOVED, TYP.	<u>'ATION - DI</u>					
EL = 118'-2 3/4" EL = 117'-8 1/2" EL = 109'-5 1/2"	EXISTING CHIMNEY TO BE REMOVED, TYP. EXISTING ROOF TO BE REMOVED, TYP. RAFTER BEARING EXISTING JOIST BEARING EXISTING EXISTING WINDOW TO BE REMOVED, TYP. EXISTING BOW WINDOW T BE REMOVED, TYP. EXISTING ROOF TO BE REMOVED						
EL = 118'-2 3/4" EL = 117'-8 1/2" EL = 109'-5 1/2"	EXISTING CHIMNEY TO BE REMOVED, TYP. EXISTING ROOF TO BE REMOVED, TYP. RAFTER BEARING EXISTING JOIST BEARING EXISTING EXISTING WINDOW TO BE REMOVED, TYP. EXISTING BOW WINDOW T BE REMOVED, TYP. EXISTING ROOF TO BE REMOVED, TYP. TOP OF SUBFLOOR						

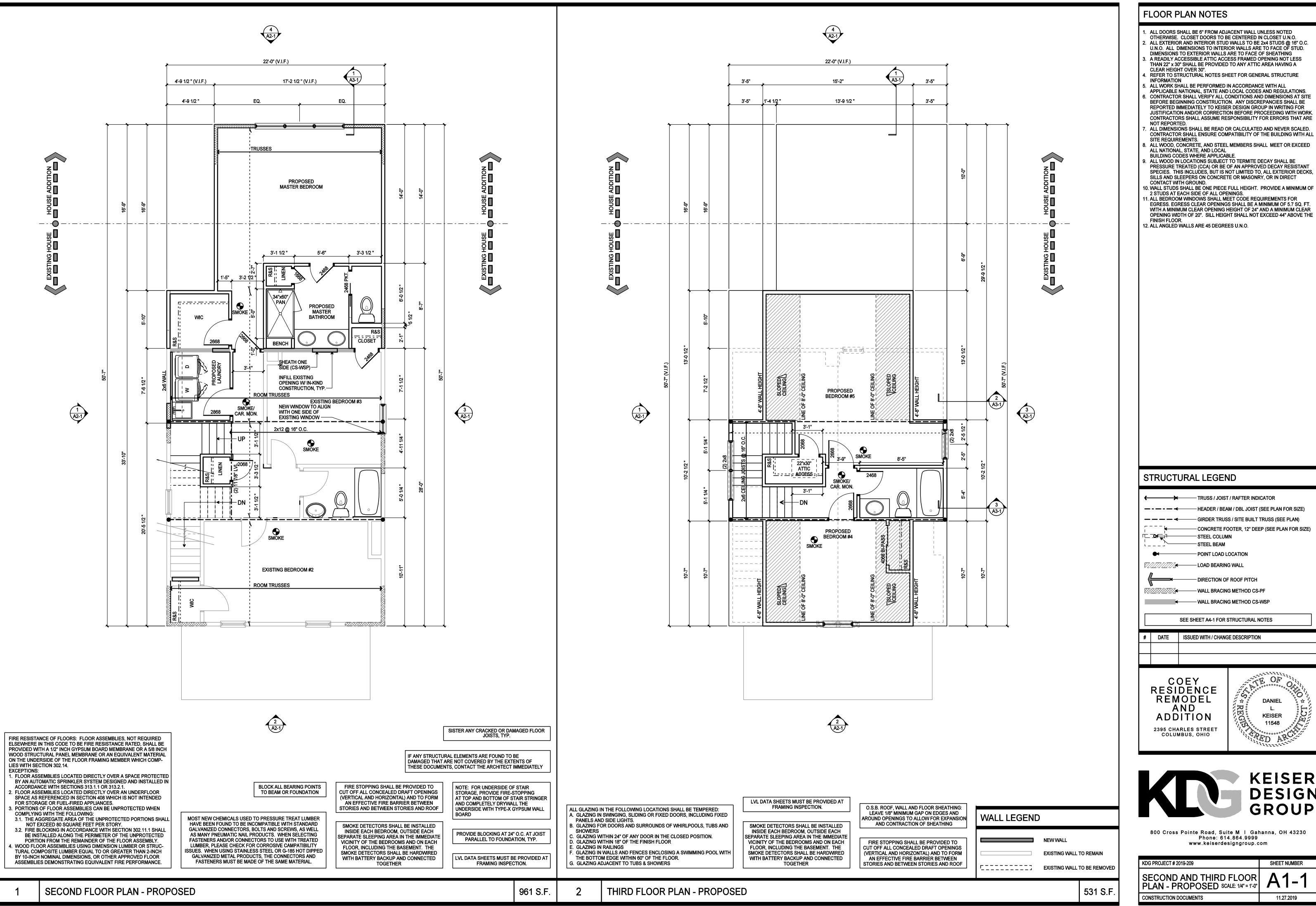


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KDG PROJECT # 2019-209	SHEET NUMBER
EXTERIOR ELEVATIONS - DEMOLITION SCALE: 1/4" = 1'-0"	D2-1
CONSTRUCTION DOCUMENTS	11.27.2019



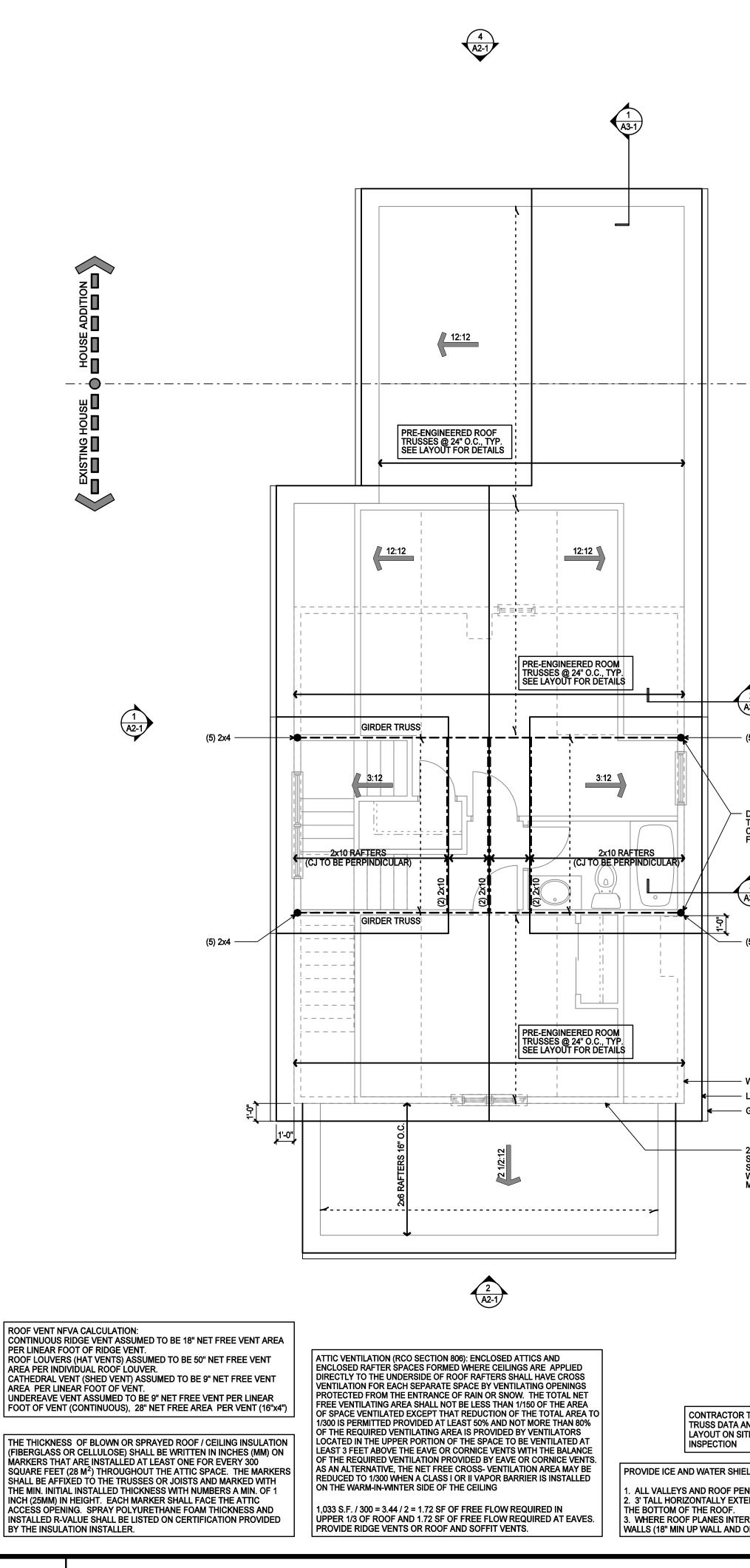
KDG PROJECT # 2019-209	SHEET NUMBER
BASEMENT FLOOR PLAN - PROPOSED SCALE: 1/4" = 1'-0"	A1-0
CONSTRUCTION DOCUMENTS	11.27.2019



TRUSS / JOIST / RAFTER INDICATOR - - - - - - - - - GIRDER TRUSS / SITE BUILT TRUSS (SEE PLAN) - CONCRETE FOOTER, 12" DEEP (SEE PLAN FOR SIZE) - STEEL COLUMN - POINT LOAD LOCATION LOAD BEARING WALL WALL BRACING METHOD CS-PF ✓ WALL BRACING METHOD CS-WSP SEE SHEET A4-1 FOR STRUCTURAL NOTES ISSUED WITH / CHANGE DESCRIPTION TE OF DANIEL :万 KEISER 11548 RED KEISER DESIGN GROUP 800 Cross Pointe Road, Suite M | Gahanna, OH 43230 Phone: 614.864.9999 www.keiserdesigngroup.com

www.keiserdesigngroup.c	:0111
KDG PROJECT # 2019-209	SHEET NUMBER
SECOND AND THIRD FLOOR PLAN - PROPOSED SCALE: 1/4" = 1'-0"	
CONSTRUCTION DOCUMENTS	11.27.2019

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ROOF PLAN - PROPOSED

-

EXISTING HOUSE HOUSE HOUSE ADDITION		
2 A3-1 (5) 2x4		
DESIGN GIRDER TRUSSES TO CARRY LOADS FROM CONVENTIONALLY FRAMED FLOOR AND ROOF 3 A3-1 (5) 2x4		
 WALL BELOW, TYP. LINE OF ROOF, TYP. GUTTER, TYP. 2x8 LEDGER W/ (3) SIMPSON SDWS22400DB SCREWS AT 16" O.C. WHERE LOW ROOF/CLG MEETS WALL 		
R TO PROVIDE AND TRUSS ITE AT FRAMING R TO ROVIDE AND TRUSS		
Integer RAFTERS OR TRUSSES ARE AT FRAMING RAFTERS OR TRUSSES ARE 24" O.C. OR GREATER 24" O.C. ELD AT: OVERLAY FRAMING: @ 24" O.C. ENETRATRIONS. 0'-0" - 6'-0" SPAN = 2x4s FENDING FROM 6'-0" - 9'-0" SPAN = 2x6s 9'-0" - 12'-0" SPAN = 2x8s 12'-0" - 15'-0" SPAN = 2 x 10s 15'-0" - 18'-0" SPAN = 2 x 12s 15'-0" - 18'-0" SPAN = 2 x 12s	2	NOT USED

FLOOR PLAN NOTES

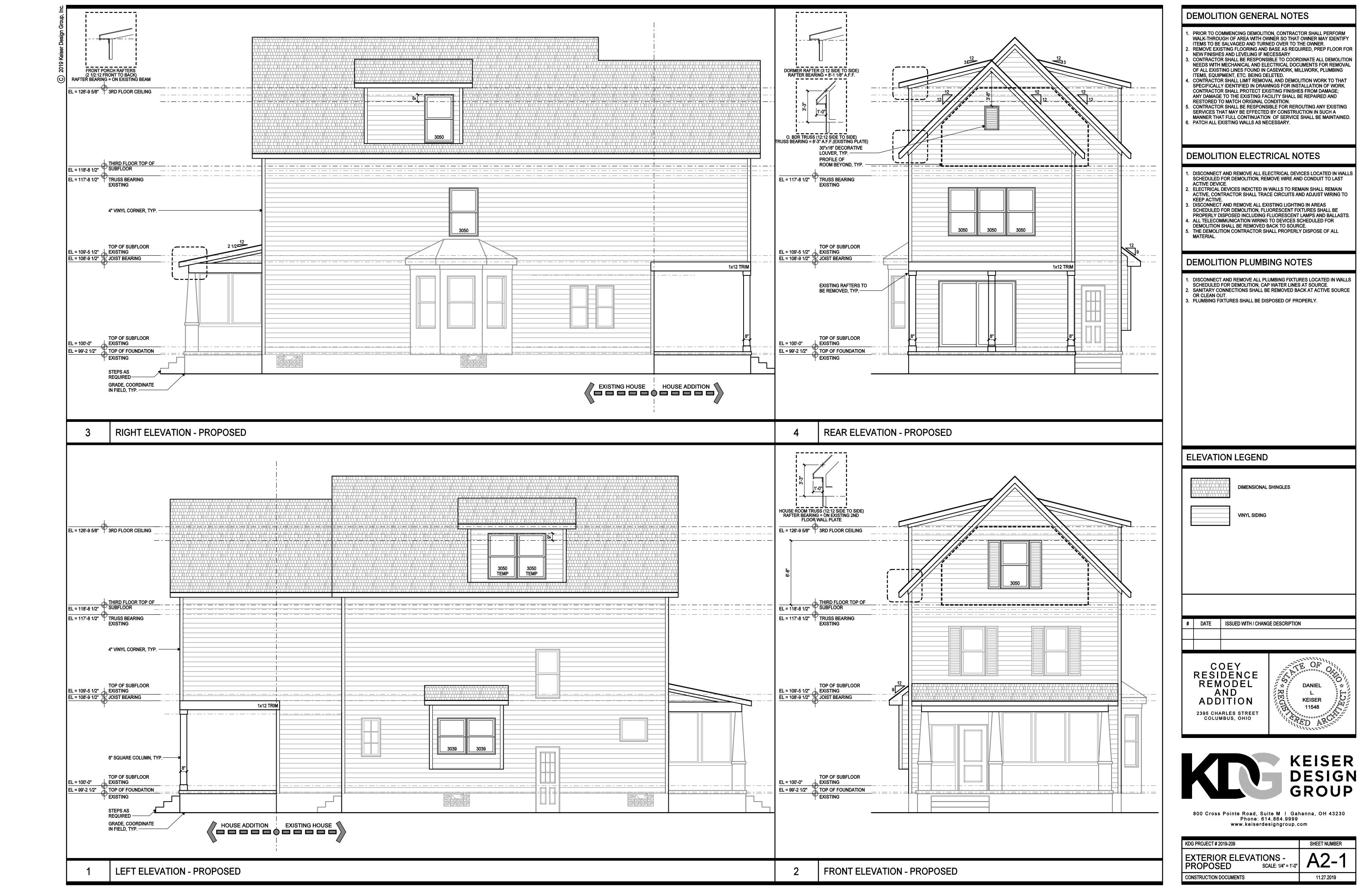
- ALL DOORS SHALL BE 6" FROM ADJACENT WALL UNLESS NOTED OTHERWISE. CLOSET DOORS TO BE CENTERED IN CLOSET U.N.O.
 ALL EXTERIOR AND INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. U.N.O. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD.
- DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF SHEATHING 3. A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22" x 30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OVER 30".
- REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION
 ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL
- APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.
 CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO KEISER DESIGN GROUP IN WRITING FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- 7. ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- 8. ALL WOOD, CONCRETE, AND STEEL MEMBERS SHALL MEET OR EXCEED ALL NATIONAL, STATE, AND LOCAL
- BUILDING CODES WHERE APPLICABLE.
 9. ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE OR MASONRY, OR IN DIRECT CONTACT WITH GROUND.
 10. WALL STUDS SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF
- WALL STODS STALL BE ONE FIELE FOLL HEIGHT. FROVIDE A MINIMOW OF 2 STUDS AT EACH SIDE OF ALL OPENINGS.
 ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS SHALL BE A MINIMUM OF 5.7 SQ. FT. WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE
- FINISH FLOOR. 12. ALL ANGLED WALLS ARE 45 DEGREES U.N.O.

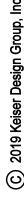
STRUCTURAL LEGEND

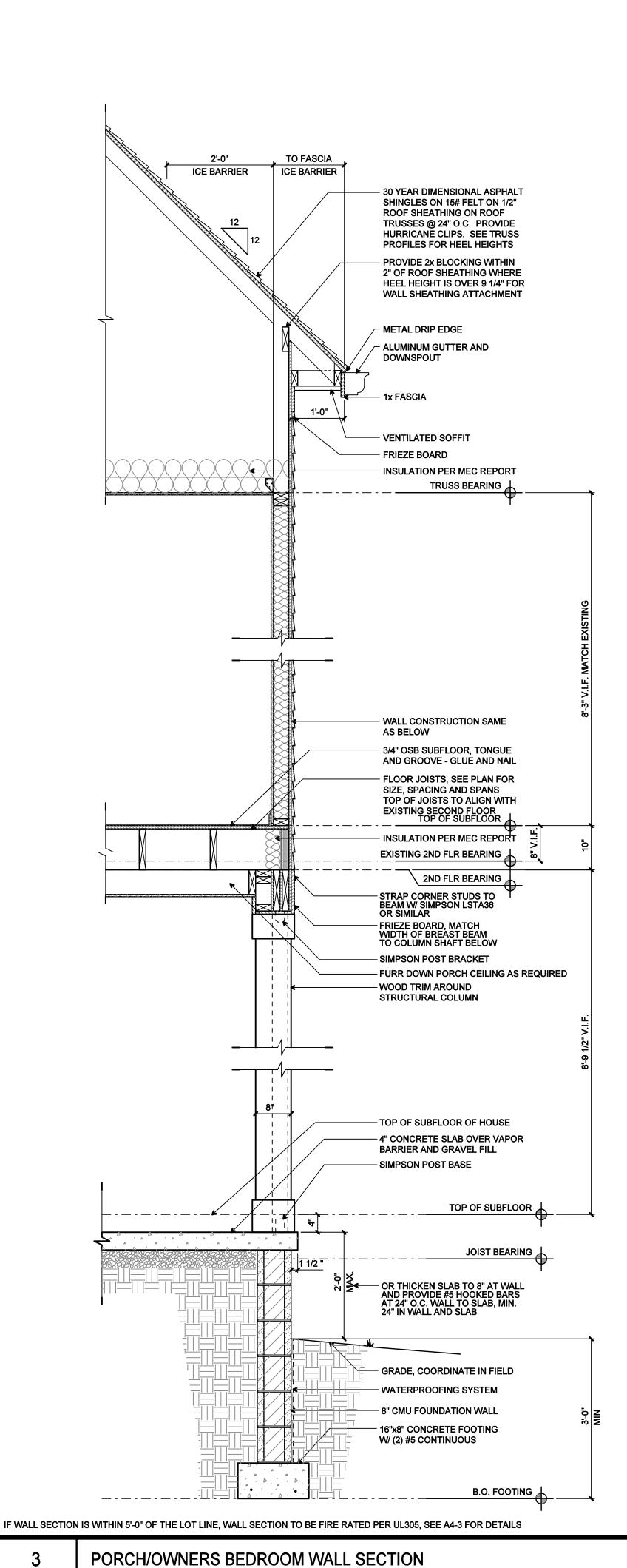
		HEADER / BEA GIRDER TRUS CONCRETE FO STEEL COLUN STEEL BEAM POINT LOAD L LOAD BEARING DIRECTION OF WALL BRACIN	OCATION G WALL
		SEE SHEET A4-1 FOR S	STRUCTURAL NOTES
#	DATE	ISSUED WITH / CHANG	SE DESCRIPTION
	REM A ADD 2395 CHA	DEY DENCE ODEL ND ITION RLES STREET ABUS, OHIO	DANIEL KEISER KEISER KEISER KEISER
			KEISER DESIGN GROUP

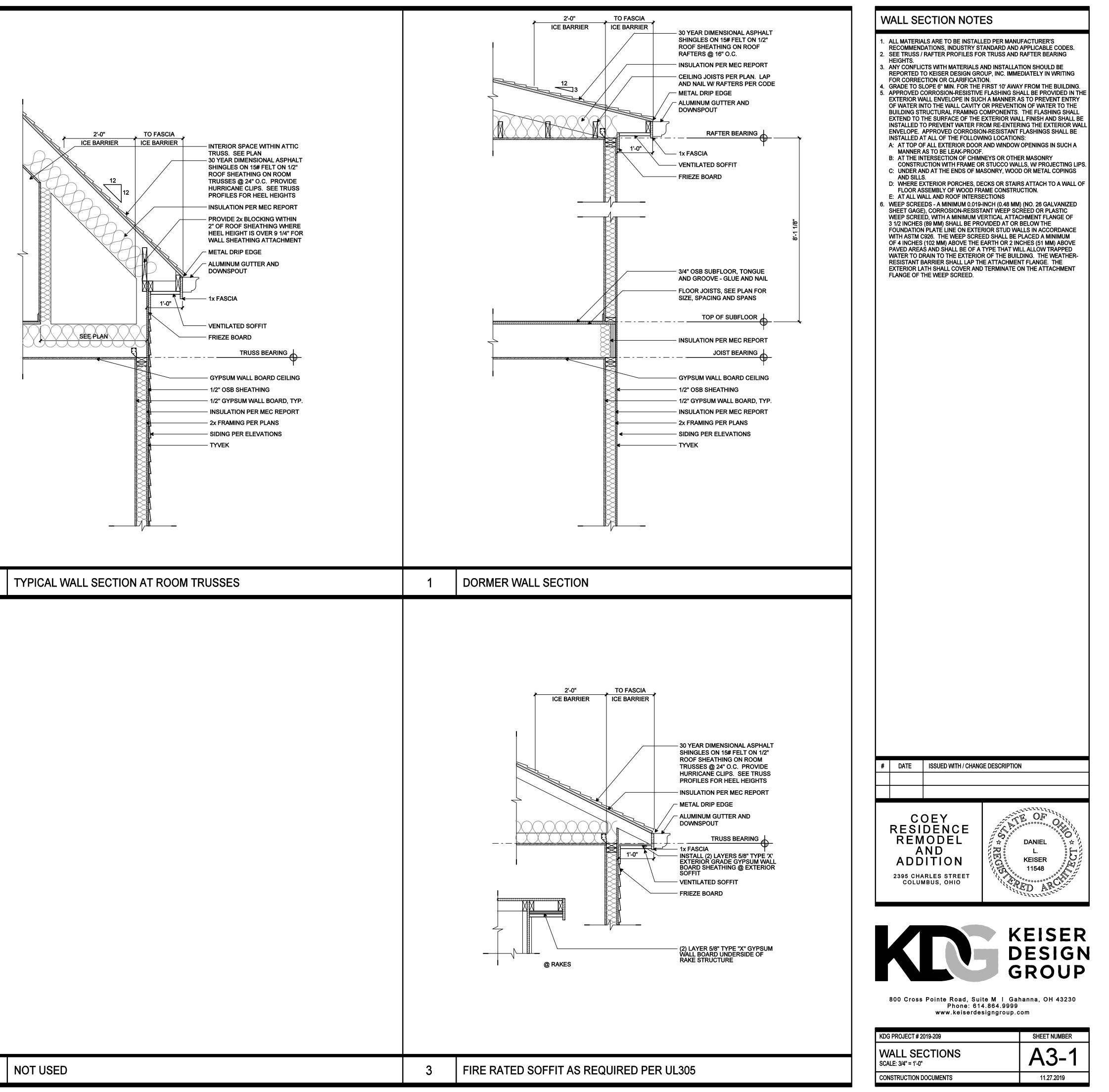
800 Cross Pointe Road, Suite M I Gahanna, OH 43230 Phone: 614.864.9999 www.keiserdesigngroup.com

KDG PROJECT # 2019-209	SHEET NUMBER
ROOF PLAN - PROPOSED SCALE: 1/4" = 1'-0"	A1-2
CONSTRUCTION DOCUMENTS	11.27.2019



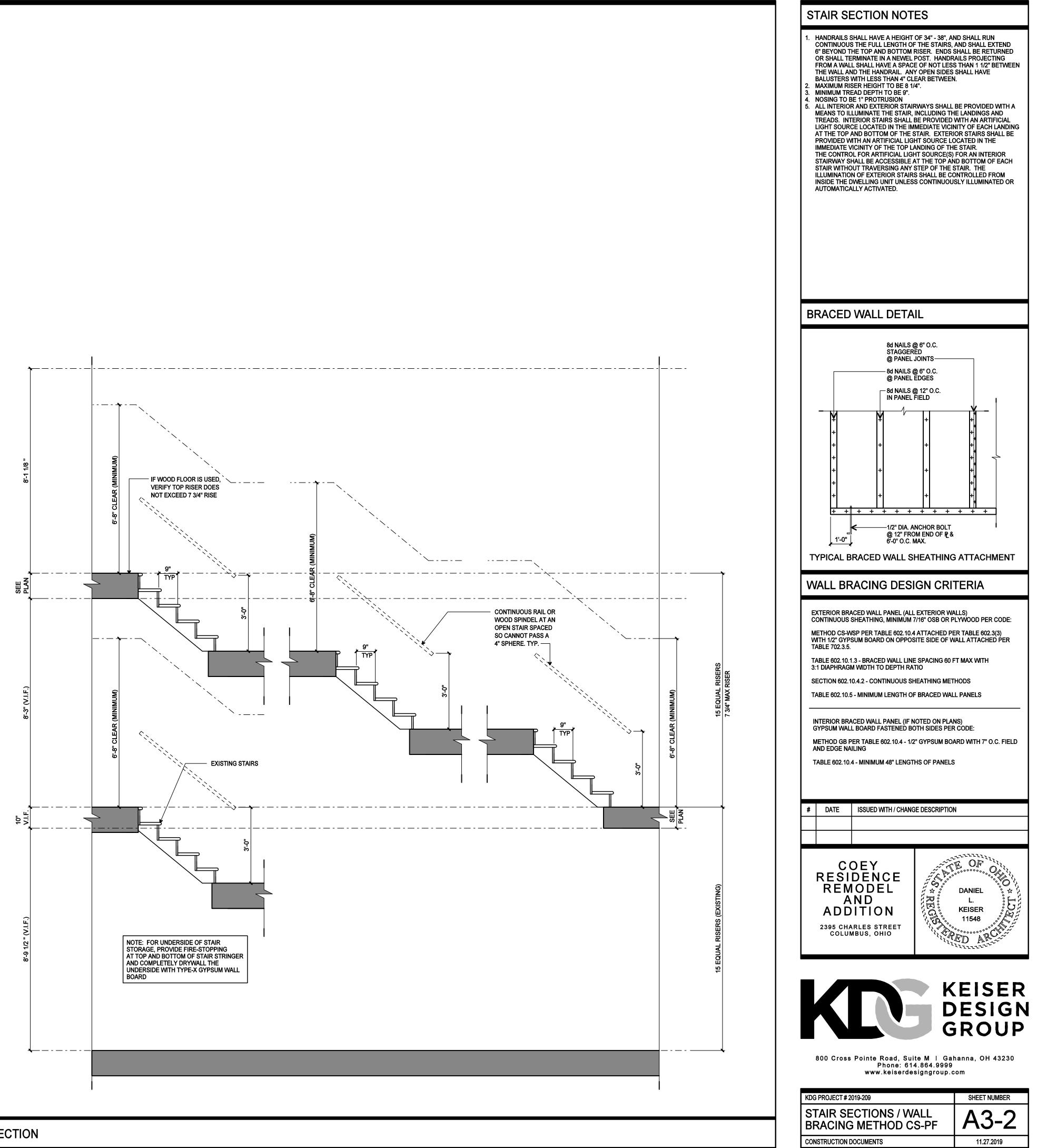






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Group,
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2	NOT USED
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DOCUMENT OWNERSHIP ALL DRAWINGS AND SPECIFICATIONS PREPARED AS PART OF THIS COMMISSION ARE THE PROPERTY OF KEISER

DESIGN GROUP, INC. AND WILL NOT BE TRANSFERRED OR USED ON ANY OTHER PROJECT WITHOUT WRITTEN AGREEMENT.

GENERAL REQUIREMENTS:

- WORK PERFORMANCE SHALL COMPLY WITH THE FOLLOWING: PACKAGE CONTAINING BOTH SPECIFICATIONS (IF PROVIDED) AND DRAWINGS.
- 2) APPLICABLE STATE AND LOCAL BUILDING CODES AND THE RULES AND REGULATIONS OF GOVERNMENTAL AGENCIES AND UTILITY COMPANIES HAVING JURISDICTION OVER THE WORK.

INTENT OF CONTRACT DOCUMENTS:

THE INTENT OF THE CONTRACT DOCUMENTS IS TO INCLUDE ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE WORK BY THE CONTRACTOR AND SUBCONTRACTOR.

<u>workmanship:</u>

ALL THE WORKMANSHIP SHALL CONFORM TO ALL APPLICABLE BUILDING CODES. ORDINANCES, AND ACCEPTABLE BUILDING STANDARDS. THE CONTRACTOR SHALL PAY FOR ALL PERMITS AND FEES.

ON-SITE & EXISTING CONDITIONS VERIFICATION:

THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO SUBMITTING HIS BID TO REVIEW THE PROJECT WITH THE OWNER AND TO BECOME FAMILIAR WITH EXISTING CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND SITE CONDITIONS PRIOR TO COMMENCING THE WORK. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

COORDINATION OF THE WORK: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK AND METHODS OF CONSTRUCTION.

INTERPRETATION OF CONTRACT DOCUMENTS: SHOULD DISCREPANCIES OR AMBIGUITIES IN, OR OMISSIONS FROM THE DRAWINGS OR SPECIFICATION BE FOUND, OR

INQUIRIES RELATIVE TO THE MEANING OR INTENT OF THE CONTRACT DOCUMENTS ARISE, THEY SHALL BE SUBMITTED TO THE ARCHITECT AND WILL BE ANSWERED BY ADDENDA. SUCH INSTRUCTIONS AND OTHER ADDENDA ISSUED PRIOR TO DATE OF THE SIGNING OF THE AGREEMENT WILL BE CONSIDERED AS PART OF THE CONTRACT DOCUMENTS AND BE BINDING TO THE CONTRACT AND SUBCONTRACTOR.

MANUFACTURERS PRODUCTS AND FABRICATIONS:

ALL MANUFACTURERS AND FABRICATORS PRINTED WARNING FOR HANDLING OF HIS PRODUCTS MUST BE STRICTLY OBSERVED. ALSO AS PER LOCAL CODES AND OTHER REQUIREMENTS.

ALL PRODUCTS AND MATERIALS MUST BE PROVIDED AND INSTALLED IN STRICT ACCORDANCE WITH THE RECOMMENDATIONS OF THE MANUFACTURER. IN THE EVENT OF CONFLICT BETWEEN THE DRAWINGS OR THE SPECIFICATIONS AND THE MANUFACTURER'S RECOMMENDATIONS, NOTIFY THE ARCHITECT AND OBTAIN CLARIFICATION BEFORE PROCEEDING WITH THE WORK.

FIREPLACE NOTES

CHIMNEY OUTLETS SHALL BE LOCATED A MINIMUM OF 3-0 ABOVE THE HIGHEST POINT AT WHICH THE CHIMNEY PENETRATES THE ROOF. CHIMNEY OUTLETS SHALL BE A MINIMUM OF 2-0 HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10-0.

CONSTRUCTION DEBRIS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ALL EXCESS DIRT AND DEBRIS FROM THE EXCAVATION, DEMOLITION AND CONSTRUCTION AS REQUIRED.

PROPERTY PROTECTION:

PRECAUTIONS SHALL BE TAKEN TO PROTECT THE GROUNDS, PLANTINGS, DRIVE, ETC. FROM ANY DAMAGE. DAMAGE INCURRED AS A RESULT OF CONSTRUCTION ACTIVITY SHALL BE REPAIRED OR REPLACED TO MATCH EXISTING AT THE CONTRACTORS EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST PROOF BARRIERS AT AREAS WHICH ARE UNDER CONSTRUCTION.

CONSTRUCTION MATERIALS:

ALL MATERIALS SHALL BE STORED ON THE SITE AS DIRECTED BY THE OWNER OR GENERAL CONTRACTOR. MISCELLANEOUS NOTES:

ROOF TRUSS PROFILES ARE SHOWN FOR CONFIGURATION ONLY. TRUSS MANUFACTURER AND CONTRACTOR TO COORDINATE ALL DIMENSIONAL RELATIONSHIPS. ALL ROOF TRUSSES AND GIRDERS TO BE ENGINEERED BY TRUSS SUPPLIER AND MANUFACTURER. SEND TRUSS SHOP DRAWINGS TO ARCHITECT FOR REVIEW OF ARCHITECTURAL CONFIGURATION. ALL TRUSSES TO BE ENGINEERED BY TRUSS MANUFACTURER ACCORDING TO THE LOADING INDICATED IN THESE DOCUMENTS.

THE BUILDING IS NOT STRUCTURALLY STABLE UNTIL ALL CONNECTIONS, FRAMING, SHEAR WALLS, X BRACING, AND EXTERIOR LOAD BEARING MASONRY WALLS ARE COMPLETE AND HAVE ACHIEVED DESIGN STRENGTH. CONTRACTOR IS SOLELY RESPONSIBLE TO MAINTAIN STRUCTURAL STABILITY DURING ERECTION AND CONSTRUCTION. TEMPORARY BRACING SYSTEMS ARE NOT TO BE REMOVED UNTIL STRUCTURAL WORK IS COMPLETED.

CALCULATED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.

ALL ANGLED WALLS ARE A 45 OR 90 DEGREE ANGLE, UNLESS OTHERWISE NOTED.

ADJUST OVERHANGS TO MAINTAIN CONSISTENT LEVEL WHEN THE PLANS CALL FOR (2) DIFFERENT PITCHES AT A HIP.

FINISHED SQUARE FOOTAGES ARE MEASURED TO THE OUTSIDE OF ALL WALLS THEY INCLUDE INTERIOR FIREPLACES AND EVERY LOCATION IN WHICH THE FLOOR JOISTS PROJECT FROM THE FOUNDATION.

NOT INCLUDED IN SQUARE FOOTAGES: WINDOW BOXES WHERE THE FLOOR JOISTS DO NOT PROJECT FROM THE OUNDATION, 2-STORY ENTRIES, GARAGES, DECKS, PATIOS, PORCHES, UNFINISHED STORAGE AREAS, BASEMENTS OF ANY OTHER UNFINISHED STORAGE AREAS.

OWNERS PERSONAL PROPERTY:

THE OWNER SHALL BE RESPONSIBLE FOR REMOVING PERSONAL PROPERTY AS REQUIRED BY THE CONTRACTOR TO PROVIDE CLEAR AND EASY ACCESS TO ALL AREAS UNDER CONSTRUCTION.

POST CONSTRUCTION NOTES:

AT THE COMPLETION OF THE PROJECT AND DURING THE PROJECT AS NECESSARY, CONTRACTOR SHALL THOROUGHLY CLEAN ALL WORK, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING:

- I) REMOVAL OF MORTAR SPLATTERS OR STRAINS FROM ALL INTERIOR AND EXTERIOR FINISHES.
- REMOVAL OF MASONRY WATERPROOFING ABOVE FINISH GRADE. REMOVAL OF ANY SPLATTERS OR STAINS FROM EXTERIOR SIDING, ROOFING, OR OTHER EXTERIOR MATERIALS.
- REMOVAL OF ALL STAINS FROM ALL EXPOSED CONCRETE WORK, WITH EXCEPTION OF CRAWL SPACE CONCRETE. REMOVAL OF STAINS AND CLEANING OF ALL INTERIOR FINISHES (COUNTERTOPS, PLUMBING FIXTURES, FLOORING, ETC.). THOROUGH CLEANING OF FAUCET SCREENS AND PLUMBING TRAPS.
- 6) VACUUMING OF ALL FLOORS, FOLLOWED BY WET MOPPING OF ALL HARD SURFACE FLOORS. 7) DUSTING OF ALL WALLS, CEILINGS, TRIM, DOORS, WINDOWS, CABINETS, ETC., INCLUDING THE INTERIOR SURFACES OF ALL CABINETS.
- 8) REMOVAL OF ALL WINDOWS AND DOORS STICKERS, INCLUDING GLUE RESIDUE, PAINT OR STAIN OVERLAPPING ON GLASS AND OTHER GLASS SPLATTERS.
- 9) POLISHING OF ALL WINDOWS, MIRRORS OR SURFACES WITH REFLECTIVE OR TRANSPARENT QUALITIES. 10) ADDITIONALLY, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL, INCLUDING VACUUMING, OF ALL CONSTRUCTION, OR OTHER DEBRIS, FROM JOIST, RAFTER, STUD OR OTHER CAVITIES, PRIOR TO GYPSUM BOARD, INSULATION, FINISHED FLOORING OR SURFACING.

DEMOLITION NOTES: (IF APPLICABLE)

GENERAL NOTES

WHERE EXISTING STRUCTURE IS TO BE REMOVED, REMAINING STRUCTURE SHALL BE ADEQUATELY SUPPORTED USING TEMPORARY BRACING, UNDERPINNING, OR OTHER SHORING, AS NECESSARY, PRIOR TO THE BEGINNING OF DEMOLITION. TEMPORARY SUPPORT TO REMAIN IN PLACE AND UNDISTURBED TILL FINAL CONSTRUCTION OR PERMANENT STRUCTURE COMPLETED.

DISMANTLE ALL STRUCTURES, FLOORS, FLOORING, WALLS, WINDOWS, DOORS, CABINETS, SHELVING, ETC. AS SHOWN OR REQUIRED. SALVAGE OF MATERIALS TO BE DICTATED BY OWNER. REMOVE, TERMINATE OR RELOCATED ALL EXISTING ELECTRICAL, PLUMBING, HVAC, IT, STEREO WIRING, CENTRAL VACUUM, IRRIGATION SYSTEMS, OR OTHER DEVICES AS REQUIRED FOR DEMOLITION OR NEW CONSTRUCTION. ALL WASTE AND DEBRIS FROM DEMOLITION WORK SHALL PROMPTLY BE REMOVED FROM THE SITE.

CONTRACTOR SHALL UTILIZE ALL MEANS NECESSARY DURING DEMOLITION AND NEW CONSTRUCTION TO INSURE THAT ALL NEW CONSTRUCTION AND EXISTING FINISHED SPACES ARE THOROUGHLY PROTECTED FROM WATER, THERMAL AND WIND DAMAGE, AND SHALL REMEDY, AT THE CONTRACTORS EXPENSE, ANY SUCH DAMAGE THAT MAY OCCUR.

STRUCTURE SHALL BE PROTECTED, AS NECESSARY, WITH TEMPORARY ENCLOSURES FOR WEATHER RELATED PROTECTION AND SECURITY PURPOSES. CONSTRUCTION MATERIALS STORED OUTSIDE SHALL BE COVERED AND PROTECTED WITH WATERPROOF TARPS AND ADEQUATELY SECURED FROM NATURAL AND INDUCED MOVEMENT. WOOD AND SIMILAR MATERIALS SHALL NOT BE STORED IN CONTACT WITH THE GROUND.

BARRIERS, BARRICADES, SIGNS, WARNING LIGHTS OR OTHER SAFETY DEVICES SHALL BE PROVIDED TO INSURE SAFETY TO THE OWNER, WORKERS AND THE GENERAL PUBLIC FROM HAZARDOUS CONDITIONS WHICH MAY ARISE AS A RESULT OF THE WORK. TO MINIMIZE INTRUSION OF DUST AND OTHER DEBRIS. CONSTRUCTION AREAS SHALL BE SEALED-OFF FROM INTERIOR SPACES WITH PLASTIC ENCLOSURES WITH ZIPPERED DOORWAY, OR SIMILAR. DUST, DEBRIS, AIRBORNE PAINTS, DISTURBING OR TOXIC FUMES OR OTHERS, ARE TO BE ISOLATED FROM EXISTING FINISH SPACES, AS WELL AS FROM THE GENERAL PUBLIC. DAMAGE RESULTING FROM THE PREVIOUSLY MENTIONED TO BE REMEDIED BY THE CONTRACTOR.

WHERE DEMOLITION, CONSTRUCTION, OR RELATED ACTIVITIES ARE TO OCCUR IN AREAS WITH EXISTING CARPET, HARDWOOD, VINYL OR CERAMIC FLOOR FINISH, ADEQUATE PROTECTIVE COVERINGS SHALL BE TEMPORARILY INSTALLED, BY THE CONTRACTOR, TO PROTECT FINISHES FROM DAMAGE. HVAC LOUVERS AND DIFFUSERS SHALL BE COVERED WITH TEMPORARY FILTERS DURING THE DEMOLITION AND CONSTRUCTION PHASE.

WHERE NECESSARY, CONTRACTOR SHALL PROVIDE A PORTABLE TOILET FOR USE BY ALL PERSONNEL, LOCATED WHERE DIRECTED BY OWNER, WHICH SHALL BE CLEANED AND SERVICED ON A REGULAR BASIS. CONTRACTOR RESPONSIBLE FOR ALL PERMITS AND ZONING ORDINANCES AFFILIATED WITH PORTABLE TOILETS, WHERE APPLICABLE.

AND METHODS OR JOB SITE SAFETY DURING CONSTRUCTION.

. GENERAL

- 2. IT IS SOLELY THE RESPONSIBILITY OF EACH CONTRACTOR TO FOLLOW ALL APPLICABLE SAFETY CODES AND REGULATIONS DURING
- SPECIFICATIONS, OR WITH EACH OTHER, THE STRICTEST PROVISION SHALL GOVERN.
- 4. GOVERNING CODE: 2019 RESIDENTIAL CODE OF OHIO 5. DESIGN ROOF SNOW LOAD: 25 PSF PLUS THE EFFECTS OF DRIFTING SNOW PER ASCE7. GROUND SNOW LOAD (Pa) = 25 PSF | FLAT ROOF SNOW LOAD = 20 PSF |
- 6. DESIGN LIVE LOADS:
- WIND DESIGN PARAMETERS:
- 8. SEISMIC DESIGN PARAMETERS OCCUPANCY CATEGORY = II | SITE CLASS = D
- 9. SOIL DESIGN ASSUMPTIONS b. EQUIVALENT FLUID PRESSURE FOR WALL LOADING = 55 PCF
- ASSUMED WALL LOADING IS CORRECT.

B. REINFORCED CONCRETE

- 1. MATERIALS: CONCRETE.
- b. STRUCTURAL CONCRETE CLASS
- LOCATION FOOTINGS, PIERS AND UNDE INTERIOR SLABS ON GRADE CONCRETE NOT OTHERWISE
- EXTERIOR SLABS ON GRADE BASEMENT WALL, PIERS AND
- INTEGRALLY WITH BASEMENT WALLS, AND ALL EXTERIOR CONCRETE NOT OTHERWISE IDENTIFIED.
- c. ALL DEFORMED REINFORCING BARS: FY = 60,000 d. ALL WELDED WIRE MESH: ASTM A-185 MINIMUM 8" LAPS
- OR THE BASEMENT WALLS HAVE BEEN SUFFICIENTLY BRACED TO PREVENT DAMAGE BY BACKFILL.
- 3. ALL ALL OPENINGS AND REENTRANT CORNERS IN FOUNDATION WALLS, PROVIDE MINIMUM ONE #4 REBAR x 24" LONG DIAGONALLY AT EACH CORNER.
- . MASONRY
- AS MODIFIED BY THE REQUIREMENTS OF THESE CONTRACT DOCUMENTS.
- 2. MATERIALS
- STRENGTH = 1800 PSI.
- U.N.O. e. BAR REINFORCING: ASTM A615, GRADE 60, UNLESS NOTED OTHERWISE. f. WIRE TIES AND ANCHORS: RECTANGULAR TYPE, 3/16" DIAMETER WIRE TIES (HOT DIPPED GALVANIZED).
- h FILL CORE SOLID AROUND ANCHOR BOLTS
- 3. LINTELS
- FOR EACH 4 INCHES OF WALL THICKNESS. USE 6 INCHES MINIMUM BEARING EACH END. MASONRY OPENINGS SECTION | TO 4'-0" L 3 1/2 x 3 1/2 x 5/16 | 4'-1" TO 5'-6" L 4 x 3 1/2 x 5/16 LLV | 5'-7" TO 6'-0" L 5 x 3 1/2 x 5/16 LLV 6'-1" TO 8'-0" L 6 x 3 1/2" x 5/16" LLV

D. STRUCTURAL STEEL

- 1. MATERIALS:
- 150," SIMPSON STRONG-TIE "ACRYLIC-TIE," ITW RED-HEAD "A7 ACRYLIC."
- c. EMBEDMENT LENGTH OF EXPANSION BOLTS INTO SOLID MASONRY OR CONCRETE SHALL BE AS FOLLOWS:
- d. ALL STEEL PIPE COLUMNS TO BE FIXED, NON-ADJUSTABLE, SCHEDULE 40 PIPE COLUMNS.
- 2. CONNECTIONS:
- APPROVED METHOD: BOLTS FLANGE WIDTH
 - 3/8" DIA. @ 30" O.C. .145" DIA. @ 18" O.C.
- **5" OR GREATER** 1/2" DIA. @ 42" O.C.
- SHOWN ON PLANS, WHICHEVER IS GREATER.
- OR REQUIRED BY DESIGN.

E. STRUCTURAL LUMBER

2. SPECIFICATIONS:

3. CONNECTIONS:

3b

- I. MATERIALS:
- THE NATIONAL DESIGN SPECIFICATION SUPPLEMENT 2018 EDITION; 19% MAX. M.C.

- TONGUE AND GROOVE.

2018 INTERNATIONAL RESIDENTIAL CODE

MANUFACTURER'S RECOMMENDATIONS.

STRUCTURAL NOTES

TOP AND BOTTOM ROWS 12"

1. THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER THE BUILDING IS FULLY COMPLETED. IT IS SOLEY THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ERECTION PROCEDURES AND SEQUENCE, AND TO ENSURE THE STABILITY OF THE BUILDING AND IT'S COMPONENT PARTS, AND THE ADEQUACY OF TEMPORARY OR INCOMPLETE CONNECTIONS, DURING ERECTION. THIS INCLUDES THE ADDITION OF ANY SHORING, SHEETING, TEMPORARY GUYS, BRACING OR TIE-DOWNS THAT MIGHT BE NECESSARY. SUCH MATERIAL IS NOT SHOWN ON THE DRAWINGS. IF APPLIED, THEY SHALL BE REMOVED AS CONDITIONS PERMIT, AND SHALL REMAIN THE CONTRACTOR'S PROPERTY. THE ENGINEER HAS NO EXPERTISE IN, AND TAKES NO RESPONSIBILITY FOR, CONSTRUCTION MEANS

ALL PHASES OF CONSTRUCTION. THE ENGINEER IS NOT ENGAGED IN, AND DOES NOT SUPERVISE, CONSTRUCTION. 3. SHOULD ANY OF THE DETAILED INSTRUCTIONS SHOWN ON THE PLANS CONFLICT WITH THESE STRUCTURAL NOTES, THE

SNOW EXPOSURE FACTOR (Ce) = 1.0 | SNOW LOAD IMPORTANCE FACTOR (I) = 1.0

FIRST FLOOR = 40 PSF + 15 PSF DEAD LOAD | SECOND FLOOR = 40 PSF + 15 PSF DEAD LOAD | ATTIC = 20 PSF (AREAS WHERE HEIGHT IS 30" OR GREATER) | EXTERIOR BALCONIES AND DECKS = 40 PSF OR OCCUPANCY SERVED | ROOF = 25 PSF + 20 PSF DEAD LOAD

BASIC WIND SPEED = 115 MPH | WIND LOAD IMPORTANCE FACTOR = 1.0 | WIND EXPOSURE = EXPOSURE B

a. ASSUMED ALLOWABLE SOIL BEARING PRESSURE FOR FOUNDATIONS = 1500 PSF FIRM STABLE, NATURAL SOILS OR ENGINEERED FILL c. IT IS THE CONTRACTORS RESPONSIBILITY TO VERIFY THE SOIL IS ADEQUATE TO SUPPORT THE STRUCTURE AND THAT THE

a. SPECIFICATIONS: IN GENERAL. COMPLY WITH ACI 301-14 "SPECIFICATIONS FOR STRUCTURAL CONCRETE." ACI 318-14 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE," AND ACI 332-14 "RESIDENTIAL CODE REQUIREMENTS FOR STRUCTURAL

	F'C
DERPINNING	3000
e, Walls, and all interior Se identified.	3500
DE, RETAINING WALLS, ND COLUMNS PLACED	4000 (WITH AIR)

2. DO NOT BACKFILL AGAINST BASEMENT WALLS UNTIL BOTH THE SLAB-ON-GRADE AND THE FLOOR ABOVE ARE IN PLACE AND CURED

4. PROVIDE CONTROL JOINTS IN SLAB-ON-GRADE AT 10' O.C. MAXIMUM SPACING EACH WAY WITH A MAXIMUM ASPECT RATIO OF 1.5:1.

1. SPECIFICATIONS: MASONRY CONSTRUCTION AND MATERIALS SHALL CONFORM TO ALL REQUIREMENTS OF "SPECIFICATIONS FOR MASONRY STRUCTURES (ACI 530.1-05)," PUBLISHED BY THE AMERICAN CONCRETE INSTITUTE, DETROIT, MICHIGAN, EXCEPT

a. CONCRETE BLOCK: ASTM C90. MINIMUM NET AREA COMPRESSIVE STRENGTH OF C.M.U. = 1900 PSI. b. MORTAR: ASTM C270 (USING THE PROPERTY SPECIFICATION METHOD, PARAGRAPH 3.2), TYPE S, MINIMUM COMPRESSIVE

c. BOND BEAM AND CORE FILL: ASTM C476, COARSE OR FINE TYPE, PLACED PER RCO SECTION 609. d. JOINT REINFORCING: HOT-DIPPED GALVANIZED FINISH, 9 GAGE MINIMUM SIDE WIRES AND CROSS WIRES, EXCEPT USE 3/16 INCH DIAMETER SIDE WIRES WHERE "HEAVY WEIGHT" IS REQUIRED. PROVIDE STANDARD WEIGHT AT EVERY OTHER COURSE MINIMUM

g. PROVIDE 100% SOLID BEARING, MINIMUM THREE COURSES UNDER BEAMS, TWO COURSES UNDER LINTELS.

i. PROVIDE 100% SOLID BLOCKS OR SOLIDLY-FILLED HOLLOW BLOCKS FOR AT LEAST 4" ALL AROUND ALL EXPANSION BOLTS.

PROVIDE LINTELS OVER ALL MASONRY OPENINGS AS INDICATED ON THE DRAWINGS OR WHERE NOT NOTED, PROVIDE THE FOLLOWING

a. STRUCTURAL STEEL CHANNEL, ANGLES, PLATES, ETC.: ASTM A36, FY = 36 KSI; STRUCTURAL STEEL WIDE FLANGES: ASTM A572 OR ASTM A992, FY = 50 KSI; HIGH STRENGTH BOLTS: ASTM A325 OR A490; ANCHOR BOLTS: ASTM A307 OR A36; ELECTRODES: SERIES E70; STRUCTURAL PIPES: ASTM A53 OR A501; FY = 35 KSI MIN; SQUARE AND RECTANGULAR TUBING: ASTM A500, FY = 46 KSI; EXPANSION

BOLTS: HILTI "KWIK-BOLT TZ," SIMPSON STRONG-TIE "STRONG BOLT" OR APPROVED EQUAL. ADHESIVE ANCHORS: HILTI "HIT-ICE/HIT HY b. MINIMUM BEAM BEARING ON MASONRY = 7-1/2, ON CONCRETE = 5 INCHES UNLESS NOTED OTHERWISE.

1/2 INCH DIAMETER BOLTS = 3-1/2 INCHES EMBEDMENT | 3/4 INCH DIAMETER BOLTS = 5 INCHES EMBEDMENT

a. WOOD NAILERS SHALL BE PROVIDED AND ATTACHED TO THE TOP FLANGE OF STEEL BEAMS PER THE FOLLOWING OR ANOTHER

POWDER ACTUATED FASTENERS

.145" DIA. @ 18" O.C.

b. BEAM TO COLUMN CONNECTIONS TO BE BOLTED SHEAR TAB OR CAP PLATE TYPE CONNECTIONS, WHERE A CONTINUOUS BEAM WITH A CAP PLATE IS USED, PROVIDE MIN. 3/8" STIFFENER PLATES EACH SIDE OF BEAM WEB CENTERED OVER COLUMN. c. CONNECTIONS TO BE SELECTED BY THE FABRICATOR TO DEVELOP THE FULL UNIFORM LOAD CAPACITY OF THE MEMBER OR FORCES

d. BEAM CONNECTIONS AT OPEN POCKETS IN A FOUNDATION, BEAM CONNECTIONS TO COLUMNS, AND COLUMN CONNECTIONS TO FOUNDATIONS SHALL COMPLY WITH RCO SECTIONS 502.6.3 AND 502.9.1 MINIMUM UNLESS MORE STRICT PROVISIONS ARE SPECIFIED

a. STRUCTURAL LUMBER INCLUDING BEARING AND EXTERIOR WALL STUDS: SPRUCE PINE FIR #2 OR EQUAL, ALLOWABLE STRESSES PER

b. PLYWOOD: CDX, STRUCTURAL II OR BETTER, EXTERIOR GLUE. FOR ROOF AND WALLS: PANEL IDENTIFICATION INDEX 24/0 -7/16 INCH MIN. (WITH PLYWOOD CLIPS). FOR FLOORS: PANEL IDENTIFICATION INDEX 32/16 - 23/32 INCH MIN.

c. OSB: FOR WALLS: MINIMUM 7/16 INCH THICK WITH 24/16 SPAN RATING, EXPOSURE 1. FOR ROOFS: MINIMUM 7/16 INCH THICK WITH 24/16 SPAN RATING, EXPOSURE 1. FOR FLOORS: 23/32 INCH THICK, STURD-I-FLOOR WITH SPAN RATING OF 24 OC, EXPOSURE 1,

d. MICROLAM (LVL): MODULUS OF ELASTICITY = 1,900,000 PSI, Fb = 2,600 PSI. DESIGN BASED ON ILEVEL TRUS JOIST.

UNLESS SPECIFICALLY SHOWN OTHERWISE, DESIGN, FABRICATION AND ERECTION SHALL BE GOVERNED BY THE LATEST EDITION OF: NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION | U.S. PRODUCT STANDARD PS1 |

a. JOISTS TO SIDES OF BEAMS: 16 GA. GALVANIZED STD. JOIST HANGERS, UNLESS SHOWN OTHERWISE. b. JOISTS AND TRUSSES TO TOPS OF WALLS AND BEAMS: 18 GA. GALVANIZED HURRICANE ANCHORS.

5. SHEATHING TO FLOOR JOISTS - GLUED AND NAILED - USE 8d COATED SINKERS AT 6 INCHES O/C AT PANEL EDGES AND 12 INCHES C/C AT INTERMEDIATE. SUPPORTS. USE AHESIVES MEETING APA SPECIFICATIONS APG-01 AND APPLIED IN ACCORDANCE WITH

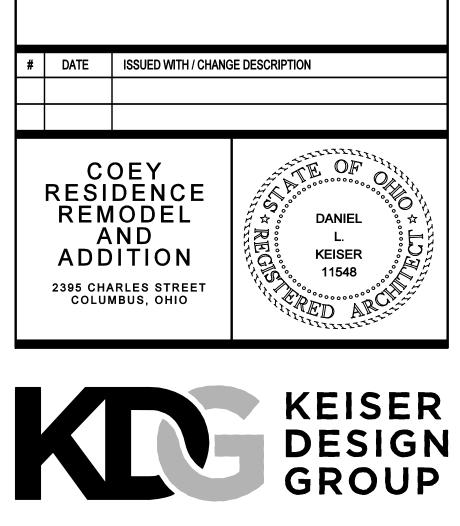
d. SHEATHING TO ROOF TRUSSES OR RAFTERS - NAILED - USED 8d COATED SINKERS @ 6 INCHES O.C. AT PANEL EDGES AND 12 INCHES O/C AT INTERMEDIATE SUPPORTS. PROVIDE PLYWOOD CLIPS AT MID-SPAN OF PLYWOOD BETWEEN SUPPORTS. e. SHEATHING TO WALLS - NAILED - USE 8d COATED SINKERS @ 6 INCHES O.C. AT PANEL EDGES AND 12 INCHES O/C AT INTERMEDIATE SUPPORTS. ALL VERTICAL AND HORIZONTAL JOINTS ARE TO BE VER A COMMON STUD, PLATE, BAND BOARD, OR 2x BLOCKING. f. ALL CONNECTORS (HANGERS, NAILS, ETC.) IN CONTACT WITH TREATED LUMBER SHALL BE STAINLESS STEEL OR HOT DIP GALVANIZED

COMPATIBLE WITH THE CHEMICALS IN THE WOOD. a. SILL PLATES TO FOUNDATION - 1/2" DIA. ANCHOR BOLTS AT 6'-0" O.C. AND 12" MAXIMUM FROM CORNERS AND ENDS OF PLATES. ANCHOR BOLTS TO BE EMBEDED IN THE FOUNDATION A MINIMUM OF 7" IN CONCRETE OR 15" IN MASONRY. h. BUILT UP WOOD BEAMS AND FLITCH BEAMS - 1/2" DIAMETER THRU BOLTS AT 24" O.C. 2" FROM TOP AND BOTTOM U.N.O. STAGGER

i. MULTIPLE STUD COLUMNS - GLUED AND NAILED WITH 16d NAILS AT 12" O.C. EACH PLY.

G. I

4. MISCELLANEOUS: a. USE ONE LINE C		KING OR CROSS	BRIDGING AT	8'-0" O/C MAX.	FOR ALL JOIS	STS AND RAFT	ERS, USE SO	ID BLOCKING AT			
JOIST AND RAF b. IT IS ASSUMED SHEATHING IS N	THAT THE STR										
PARTITIONS AN c. USE DOUBLE JC	D METAL DIAG	ONAL BRACING A	AS REQUIRED DNS, UNLESS \$	FOR LATERAL	STABILITY OF RWISE.	THE STRUCT	URE.				
e. APPLY CONTINU	USE DOUBLE STUDS AT BEAM AND LINTEL BEARING, UNLESS SHOWN OTHERWISE. (1) JACK STUD & (1) KING STUD, GLUE AND NAIL) APPLY CONTINUOUS BEAD OF ADHESIVE ON JOISTS AND GROOVE OF TONGUE-AND-GROOVE PANELS. N AREAS WHERE TOP CHORD OF TRUSSES DO NOT RECEIVE PLYWOOD OR OSB SHEATHING, PROVIDE 1 X 4 CONTINUOUS BRIDGING										
PERPENDICULAI g. BEFORE APPLY	PERPENDICULAR TO TOP CHORDS AND SPACED AT 3'-0" O.C. BEFORE APPLYING FINISH FLOORING, SET NAILS 1/8 INCH BUT DO NOT FILL, AND LIGHTLY SAND ANY SURFACE ROUGHNESS,										
h. PROVIDE AND I	ARTICULARLY AT JOINTS AND AROUND NAILS. ROVIDE AND INSTALL BRIDGING FOR PREFABRICATED WOOD TRUSSES AS INDICATED ON THE TRUSS MANUFACTURER'S PPROVED SHOP DRAWINGS.										
i. WHERE FLOOR 24 INCHES ON C	JOISTS SPAN F ENTER BETWE	EN BAND BOAR	D OVER WALL	AND ADJACEN	IT JOISTS. EX	TEND BLOCKI					
JOIST SPACES. PREFABRICATED WOO		ALL BE ADEQUA	TELY FASTENE	D TO THE FLC	OR SHEATHIN	NG.					
1. MATERIALS: a. LUMBER: SOUT		ALLOWABLE ST	RESSES PER 1	HE NATIONAL	DESIGN SPEC	CIFICATION SU	IPPLEMENT, 2	018 EDITION; 19%			
MAX. M.C. b. METAL CONNEC WITH HOLES, PL			•		•	IG CLASS G60	PER ASTM AS	25. MANUFACTURE			
2. DESIGN:	.003, TEETH C	K PRONGS UNIF	URMLT SPACE		ED.						
a. TOP CHORD LIV BOTTOM CHORI NET WIND UPLIF	D DEAD LOAD =				F OR PER RCC) 301.5					
b. FINAL DESIGN C SIMILAR DESIGN	OF MEMBERS A	Y THE MANUFAC	TURER.					XPERIENCED IN			
c. SHOP DRAWING d. MAXIMUM LIVE I e. MAXIMUM TOTA	LOAD DEFLECT	TON IS TO BE L/3	60.	R RESPONSIE	ILE FOR THE T	RUSS DESIGN	l.				
3. MISCELLANEOUS:											
a. BOLT TOP CHOP WITH 1/2" DIAME b. IN AREAS WHEF	TER BOLTS AT	2'-0" O.C. AT CC	NCENTRATED	LOADS, OR P	ER TRUSS DE	SIGNER RECO	MMENDATION				
PERPENDICULA c. TRUSS FABRICA	R TO TOP CHO TOR SHALL SU	RDS AND SPACE	ED AT 3'-0" O.C F THE FINAL, A	PPROVED FAE	BRICATION DR			ENT OF COMMERCE,			
OFFICE OF CON		JMPLIANCE, PRI	UK TU FABRIC	ATION AND EF	KEUTION.						
1. MATERIALS: PROV								NUFACTURED,			
2. DESIGN:											
a. DEFLECTION REQUIREMENTS: MAXIMUM LIVE LOAD DEFLECTION IS TO BE L/360. MAXIMUM TOTAL LOAD DEFLECTION IS TO BE L/240. b. LOADING REQUIREMENTS: LIVE LOAD = 40 PSF, DEAD LOAD = 15 PSF MINIMUM FOR FLOORS, INCREASE WHERE REQUIRED FOR SPECIFIC FLOOR FINISHES.											
c. FINAL DESIGN O SIMILAR DESIGN	F MEMBERS AN , RETAINED BY	THE MANUFACT	URER.								
 d. SHOP DRAWINGS AND CALCULATIONS SHALL EXHIBIT THE SEAL OF THE ENGINEER RESPONSIBLE FOR THE JOIST DESIGN. e. PRODUCT DATA: SUBMIT MANUFACTURER'S DATA SHEETS ON EACH PRODUCT TO BE USED, INCLUDING, PREPARATION INSTRUCTIONS AND RECOMMENDATIONS, STORAGE AND HANDLING REQUIREMENTS, INSTALLATION METHODS. 											
3. MISCELLANEOUS:											
PREVENT DAMA	GE.							S TO PROTECT AND TS. DO NOT INSTALL			
PRODUCTS UND c. PROVIDE ENGINI d. PROVIDE NAIL A	EERED CONNE	CTORS SPECIFIC	CALLY DESIGN	ED FOR CONN	IECTION TYPE						
e. INSTALL IN ACCO f. CONDITIONS AN	ORDANCE WITH	I MANUFACTURE	ER'S INSTRUCT				IMENDATION				
DO NOT PLACE H DO NOT CUT HO DO NOT MAKE H	LES AND DAMA	GE FLOOR JOIS	TS								
DO NOT HAMME DO NOT CUT, NO	R ON FLANGE / TCH OR DRILL	AND DAMAGE JO FLANGE				OOL					
DO NOT USE 16d DO NOT BEVEL (DO NOT SUPPOR	UT JOIST END	S INSIDE EDGE (OF BEARING								
DO NOT INSTALL											
3a S [.]	τριιστι	JRAL NO			=n						
Ja J	INUUT				_D						
LIGHT A	ND VEN	TILATION	N REQU	IREME	NTS FO	r habi'	TABLE \$	SPACES	NOTE: EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE		
HABITABLE ROOMS		ABLE ROOMS SHA IATURAL VENTILAT							OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF A KEY OR TOOL. WHERE WINDOWS ARE		
		OOR AIR. SUCH O LABLE BY THE BUII			MITH READY AC	CESS OR SHALL	. OTHERWISE B	E READILY	PROVIDED AS A MEANS OF EGRESS OR RESCUE THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44" A.F.F. ALL EGRESS		
	THE MININ	IUM OPENABLE AR	EA TO THE OUT	DOORS SHALL B	E 4% OF THE FL	OOR AREA BE	/entilated.		OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A NET CLEAR OPENING OF 5.7 SQ.FT THE MINIMUM NET CLEAR OPENING HEIGHT SHALL BE 24". THE MINIMUM NET CLEAR OPENING		
EXCEPTION #1		ED AREAS NEED N CAL VENTILATION S							WIDTH SHALL BE 20". THE MINIMUM GLAZING AREA SHALL BE 8% OF THE HABITABLE FLOOR AREA AND THE MINIMUM VENTILATION SHALL		
	OF 15 CUE		TE (CFM) (78L/s)	PER OCCUPAN	T COMPUTED O			ENTILATION AIR	BE 4% OF THE HABITABLE FLOOR AREA.		
EXCEPTION #2		I AND ONE OCCUP				ON 1 ABOVE IS S	ATISFIED AND	ARTIFICAL LIGHT	*NOTE: THE GLAZED AREAS MAY BE OMITTED IN ROOMS WHERE		
	IS PROVID	ED CAPABLE OF P A HEIGHT OF 30 IN	RODUCING AN A	VERAGE ILLUMI	NATION OF 6 FC				THE OPENING IS NOT REQUIRED BY AN APPROVED MECHANICAL VENTILATION SYSTEM IS PROVIDED CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM OR A WHOLE HOUSE		
EXCEPTION #3									MECHANICAL VENTILATION SYSTEM IS INSTALLED CAPABLE OF SUPPLYING OUTSIDE VENTILATION AIR OF 15 CUBIC FEET PER		
	SCREENIN	on IF in excess (Ig.	JF 40% OF THE E	ATERIOR SUNK	OOM WALLS AR	E OPEN, OK AR	e englosed o		MINUTE (CFM) PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR		
ROOM NAME	ROOM S.F.	WINDOW TYPE	REQUIRED GLAZING S.F.	ACTUAL GLAZING S.F.	REQUIRED VENT. S.F.	ACTUAL VENT. S.F.	TEMPERED GLAZING	BEDROOM EGRESS S.F.	EACH ADDITIONAL BEDROOM, AND ARTIFICIAL LIGHT IS PROVIDED CAPABLE OF PRODUCING AN AVERAGEILLUMINATION OF 6 FOOT- CANDLES (6.46x) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30		
BASEMENT			I	I	I	I	·		INCHES (762mm) ABOVE THE FLOOR LEVEL.		
NONE									*NOTE: BATHROOMS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT		
FIRST FLOOR GREAT ROOM/DEN	157.7 S.F.	D.H. / DOOR	12.6	72.6	6.3	36.3	SGD	N/A	SOURCE AND A MECHANICAL VENTILATION SYSTEM. THE MINIMUM VENTILATION RATES SHALL BE 50 CFM (23.6 L/s) FOR INTERMITTENT VENTILATION OR 20 CFM (9.4 L/s) FOR CONTINUOUS VENTILATION.		
KITCHEN / DINING	309.7 S.F.	D.H.	24.8	69.2	12.4	34.6	NO	N/A	VENTILATION AIR FROM THE SPACE SHALL BE EXHAUSTED DIRECTLY TO THE OUTSIDE.		
FAMILY ROOM/FOY	ER 218.3 S.F.	D.H.	17.5	59.0	8.7	36.0	NO	N/A			
SECOND FLOOR MASTER BEDROOM	257.9 S.F.	D.H.	20.6	45.0	10.3	22.5	NO	5.7 S.F. REQ'D.	*NOTE: LOWER LEVEL ROOMS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE PER EXCEPTION #2 AND A		
BEDROOM 2	176.7 S.F.	D.H.	14.1	26.0	7.1	13.0	NO	EXISTING	MECHANICAL VENTILATION SYSTEM PER EXCEPTION #1		
BEDROOM 3	128.2 S.F.	D.H.	10.3	15.0	5.1	7.5	NO	5.7 S.F. REQ'D.	*NOTE: THE GENERAL CONTRACTOR IS RESPONSIBLE FOR		
THIRD FLOOR BEDROOM 4	136.1 S.F.	D.H.	10.9	15.0	5.4	7.5	NO	5.7 S.F. REQ'D.	VERIFYING THE ACTUAL WINDOWS INSTALLED MEET THE REQ'D. GLAZING AND VENT AREAS OR THAT EXCEPTIONS 1, 2 OR 3 ARE COMPLIED WITH IF APPLICABLE AND EGRESS SIZE IS COMPLIANT.		
BEDROOM 5	249.9 S.F.	D.H.	20.0	15.0	10.0	7.5	NO	5.7 S.F. REQ'D.			
]		



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KDG PROJECT # 2019-209	SHEET NUMBER
GENERAL / STRUCTURAL NOTES / SCHEDULES	A4-1
CONSTRUCTION DOCUMENTS	11.27.2019

JUNE 27, 2014					3 g. gyps With 6d Ci
	LL RATING - 1 HR. G - See Items 3, 3a, 3d, 3	E, 3F, 3G, 3H, 3J AND 3L.			GEORGIA-F 3H. GYPS
HIS DESIGN W ESIGN METHO	DD). FOR JURISDICTIONS E	LOAD DESIGN METHOD OTHER THAN EMPLOYING THE LIMIT STATES DESIG			
INDICATE		L BEAR THE UL OR CUL CERTIFICATIO	N MARK FOR JURISDICTIO	NS EMPLOYING THE UL OR CUL	3I. GYPS NAILED 7" (
	I (SUCH AS CANADA), RES	2 3	5		PAPER TAP PABCO BUI
					3j. gyps Gypsum P
			(2	Internation	CERTAINTE 3K. GYPS
			5		HORIZ. OR SPACED A I PANELS AR
					NAT IONAL FSW-2 (FIN MIN), TYPE
WOOD ST	TUDS-NOM 2 BY 4" SPACE	D 16" OC MAX, EFFECTIVELY FIRESTOP	2000 (2		3L. GYPS WITH BEVE
JOINTS A	ND NAIL-HEADS-JOINTS (COVERED WITH JOINT COMPOUND AN ARE USED. AS AS ALT., NOM 3/32" THI	D PAPER TAPE. JOINT COM		ON OPPOS SCREWS S WALLBOAR
ITIRE SURFA	CE OF CLASSIFIED VENEE H JOINT COMPOUND.	R BASEBOARD WITH THE JOINTS REI	NFORCED WITH PAPER TAP	PE. NAILHEADS EXPOSED OR	0.140" PLAC TOP OF TH ADHERED
ERT. GYPSUM	I PANELS NAILED 7" OC WI	R OR VINYL SURFACED, WITH BEVELE TH 6D CEMENT COATED NAILS 1-7/8" L PSUM PANELS ARE TO BE INSTALLED	ONG, 0.0915" SHANK DIAM	AND 15/64" DIAM HEADS. WHEN	GRADES "B Mayco Ind
NELS, REFEF	R TO ITEM 6, 6A OR 6B, STI				3M. GYPS Layer. Noi
HEN ITEM 6A,		RS*, IS USED, TWO LAYERS OF GYPSU			CENTERED 1-5/8" LONG THE BASE
TACHED TO I IRRING CHAN DINTS IN BASE	FURRING CHANNELS WITH INELS WITH 1-5/8" LONG T E LAYERS. ONE LAYER OF	H 1" LONG TYPE S BUGLE-HEAD STEEL YPE S BUGLE-HEAD STEEL SCREWS S GYPSUM BOARD ATTACHED TO OPPO	SCREWS SPACED 12" OC.	FACE LAYER ATTACHED TO S IN FACE LAYERS STAGGERED WITH	VERT. JOIN 8 FT LONG AND TWO 1 DISCS, NOI
	RESILIENT CHANNELS ARE	E USED, 5/8" THICK, 4 FT WIDE GYPSUI			DISCS, NOI DISCS TO F PANELS (IT AS DESCR
TWEEN STU	DS.	G, SELF-TAPPING TYPE S OR S-12 STE			RADIATION
DLD & MILDE\ Merican Gyf	W RESISTANT TYPE X AND PSUM COTYPES AGX-1(FI	X (FINISH RATING 22 MIN), 5/8 TYPE X, MOLD & MILDEW RESISTANT AR TYPE INISH RATING 23 MIN.), M-GLASS (FINIS OR TYPE AG-C	E X, TYPE BLUEGLASS EXT	ERIOR SHEATHING.	3 n. Gyps Staggere
IJING NEW B	C (FINISH RATING 22 MIN) B UILDING MATERIALS PUB GYPSUM, INCTYPE 1, TYI SH RATING 23 MIN)	OR TYPE AG-C E LIC LTD., CO. -TYPE DBX-1 (FINISH RA' PE SF3 (FINISH RATING 20 MIN) OR FR	TING 24 MIN). PC, TYPE C OR TYPE X (FIN	NISH RATING 26 MIN), TYPE EGRG OR	CERTAINTE 30. WALI
INC. -TYPE MIN), TYPE II	AR (FINISH RATING 24 MIN P-X1 (FINISH RATING 24 M	N), TYPE C (FINISH RATING 24 MIN), TY IN), TYPE IP-X2 (FINISH RATING 24 MIN N), TYPE WRC (FINISH RATING 24 MIN),	I), TYPE SĊX (FINISH RATIN	G 24 MIN), TYPE SHX (FINISH RATING	APPLIED V JOINTS CO COMPOUN
ILGFC-WD	BUILDING PRODUCTS OPI , TYPE LGLLX (FINISH RAT	É RATING CO, LLC. -TYPE LGFC6A (FIŃI	SH RATING 34 MIN), TYPE L	GFC2A, TYPE LGFC-C/A, TYPE	PABCO BU
(FINISH R PE GPFS6 (F	ATING 26 MIN), TYPE DGG INISH RATING 26 MIN), TYI	(FINISH RATING 20 MIN), TYPE GPFS1 PE DS, TYPE DAP, TYPE DD (FINISH RA -TYPE X, WATER RATED-TYPE X, SHE/	(FINISH RATING 20 MIN), T` TING 20 MIN), TYPE DA, TYI	YPE GPFS2 (FINISH RATING 20 MIN), PE DAPC, TYPE LS (FINISH RATING	3P. GYPS HORIZONT WOOD STU
NISH RATING TING 22 MIN)	3 22 MIN), SOFFIT-TYPE LW), SHEATHING TYPE- DGLW	(FINISH RATING 22 MIN), WATER RATE X (FINISH RATING 22 MIN), TYPE DGLV / (FINISH RATING 22 MIN), SOFFIT-TYPI	V (FINISH RATÌNG 22 MIN), V E DGLW (FINISH RATING 22	NATER RÁTED-TYPE DGLW (FINISH MIN), TYPE LWX (FINISH RATING 22	GYPSUM P STUDS WIT NATIONAL
TÍNG 22 MIN) N), WATER R/), SHEATHING-TYPE LW2X ATED-TYPE DGL2W (FINISI	, VENEER PLASTER BASE-TYPE LW2X (FINISH RATING 22 MIN), SOFFIT-TYPE H RATING 22 MIN), SHEATHING-TYPE D	ÙW2X (FINISH RATING 22 M GL2W (FINISH RATING 22 M	/IN), TYPE DGL2W (FINISH`RATING 22 /IN).	4. STEE TWO 1/8" W
FSW-2 (FI MIN), TYPE F	NISH RATING 24 MIN), TYP	SH RATING 20 MIN), TYPE FSK-G (FINIS) E FSW-3 (FINISH RATING 20 MIN), TYPI MIN), TYPE FSW-C (FINISH RATING 20 N	E FSW-5 (FINISH RATING 22	2 MIN), TYPE FSW-G (FINISH RATING	TO THE EN BOARD, MA CORNERS
BCO BUILDIN PG-3W, PG	NG PRODUCTS, LLC., DBA G-5W (FINISH RATING 20 M	PABCO GYPSUM - TYPES C, PG-2 (FINI IIN), TYPE PG-4 (FINISH RATING 20 MIN S PG-5, PG-9 (FINISH RATING 26 MIN), F	I), TYPE PG-6 (FINIŠH RATIÌ	FINISH RATING 20 MIN), TYPES NG 23 MIN), TYPES PG-3WS, PG-5WS,	5. BATT COMPLETE
NEL REÝ S. A Am gypsum i Iai gypsum i	ATYPE GREX, PRX; TYPE Industry (Saraburi) Co Products PclType C, *	S RHX, MDX, ETX (FINISH RATING 22 N). LTD TYPE EX-1 (FINISH RATING 26 I TYPE X (FINISH RATING 26 MIN).	11N). MIN).		FRICTION-F CERTAINTE GUARDIAN
AR (FINISH R PE SHX (FINI	ATING 24 MIN), TYPE IPC-/ ISH RATING 24 MIN), TYPE	FINISH RATING 24 MIN), TYPE Ć (FINISH AR (FINISH RATING 24 MIN), TYPE IP-X SCX (FINISH RATING 24 MIN), TYPE SO	1 (FINISH RATING 24 MIN), T	YPE IP-X2 (FINISH RATING 24 MIN),	JOHNS MA KNAUF INS MANSON IN
G MEXICO S . NISH RATING	. A. DE. C. V. -TYPE ÁR (FIN 3 24 MIN), TYPE IP-X1 (FINI	: WRC (FINISH RATING 24 MIN). ISH RATING 24 MIN), TYPE C (FINISH R SH RATING 24 MIN), TYPE IP-X2 (FINISH	H RATING 24 MIN), TYPE SH	X (FINISH RATING 24 MÍN), SCX	OWENS CO ROCK WOO ROXUL, INC
. GYPSUM	BOARD*-(AS AS ALT. TO IT	SH RATING 24 MIN), TYPE IPC-AR (FIN EM 3)-5/8" THICK GYPSUM PANELS, WI ENED TO FRAMING WITH 1-1/4" LONG ⁻	ITH BEVELED, SQUARE, OR	R TAPERED EDGES, APPLIED EITHER	THERMÁFII 5A. FIBEF
PACED A MAX	8" OC, WITH LAST SCREW	/ 1" FROM EDGE OF BOARD. WHEN US	ED IN WIDTHS OF OTHER 1	THAN 48 IN., GYPSUM BOARDS ARE	MATERIAL. INSTRUCTI IS APPLIED
RTAINTEED	GYPSUM, INC. -TYPE C OR AR (FINISH RATING 24 MIN	INISH RATING 25 MIN.), M-GLASS (FINI TYPE X (FINISH RATING 26 MIN). N), TYPE C (FINISH RATING 24 MIN), TY	PE IP-AR (FINISH RATING 2	4 MIN), TYPE IPC-AR (FINISH RATING	INSTRUCTI
MIN), TYPE II MIN), TYPE V IITED STATES	P-X1 (FINISH RATING 24 M WRC (FINISH RATING 24 MI 5 GYPSUM CO. -TYPE AR (F	IŃ), TYPE IP-X2 (FINISH RATING 24 MIN N), TYPE WRX (FINISH RATING 24 MIN) FINISH RATING 24 MIN), TYPE SCX (FIN	I), TYPE SĊX (FINISH RATIN). IISH RATING 24 MIN), TYPE	G 24 MIN), TYPE SHX (FINISH RATING SGX (FINISH RATING 24 MIN), TYPE C	AND INS77 5B. FIBEI APPLIED C
X2 (FINISH R PE IPC-AR (F	ATING 24 MIN), TYPE SHX FINISH RATING 24 MIN).	SH RATING 24 MIN), TÝPE WRC (FINISH (FINISH RATING 24 MIN), TYPE FRX-G (ISH RATING 24 MIN), TYPE C (FINISH R	FINISH RATING 24 MIN), TY	PE`IP-AR (FINISH RATING 24 MIN),	APPLIED C APPLICATIO 4.3 POUND
NISH RATING	3 24 MIN), TYPE IP-X1 (ÈINI	ISH RATING 24 MIN), TYPE C (FINISH R SH RATING 24 MIN), TYPE IP-X2 (FINISI , TYPE IPC-AR (FINISH RATING 24 MIN)	H RATING 24 MIN), TYPE SH		NU-WOOL
		EM 3)-NOM 3/4" THICK, INSTALLED WIT AD GYPSUM PANEL STEEL SCREWS A		DATED NAILS AS DESCRIBED IN ITEM	FILL INTER THERMAFI
	S AR, IP-AR. 5 GYPSUM CO. -TYPES AR, . A. DE. C. V. -TYPES AR, IP				5D. GLAS SURFACE E BZJZ) CATE
. GYPSUM DE OF THE AS	BOARD*-(AS AS ALT. TO IT SSEMBLY. INSTALLED WITH	EMS 3, 3A AND 3B)-5/8" THICK, 2 FT WI H 1-7/8" LONG CEMENT COATED NAILS	AS DESCRIBED IN ITEM 3 (OR 1-1/4" LONG TYPE W COARSE	5E. BATT NOM 3-1/2"
C INCTYPE		S AS DESCRIBED IN ITEM 3A. JOINT CC	VERING (ITEM 2) NOT REQ	.	FRICTION-F
G MEXICO S. . GYPSUM	. A. DE. C. VTYPE SHX. BOARD*-(AS AS ALT. TO IT	EMS 3, 3A, 3B, OR 3C-NOT SHOWN) FC			5F. FIBEI 5A-SPRAY CAVITY IN A
AD BACKED AGGERED M IREAD GYPSI	GYPSUM PANELS WITH BE IN 1 STUD CAVITY ON OPP UM PANEL STEEL SCREWS	EVELED, SQUARE OR TAPERED EDGES POSITE SIDES OF STUDS. WALLBOARD & SPACED 8" OC AT PERIMETER AND IN	S, APPLIED VERT. VERT. JOI) SECURED TO STUDS WITH) THE FIELD. LEAD BATTEN	NTS CENTERED OVER STUDS AND 1 1-5/8" LONG TYPE W COARSE STRIPS REQ'D BEHIND VERT.	AMERROCI
NINTS OF LEA	D BACKED GYPSUM WALL A MAX THICKNESS OF 0.12 EL SCREWS, ONE AT THE	BOARD AND OPT'L AT REMAINING STU 25" PLACED ON THE FACE OF STUDS A FOP OF THE STRIP AND ONE AT THE B	JD LOCATIONS. LEAD BATT IND ATTACHED TO THE STU OTTOM OF THE STRIP. LEA	EN STRIPS, MIN 1-1/2" WIDE, MAX 10 JD WITH TWO 1" LONG TYPE S-12 D DISCS OR TABS MAY BE USED IN	5G. FIBEI 5A-BROWN CAVITY IN A LBS/FT3.
EU OF OR IN A OMPRESSION (PSUM BOAR	ADDITION TO THE LEAD BA I FITTED OR ADHERED OV DS UNDERNEATH SCREW	ATTEN STRIPS OR OPT'L AT OTHER LO ER STEEL SCREW HEADS OR MAX 1/2 LOCATIONS PRIOR TO THE INSTALLAT	CATIONS. MAX 3/4" DIAM B` " BY 1-1/4" BY MAX 0.125" TI FION OF THE SCREWS. LEA	Y MAX 0.125" THICK LEAD DISCS HICK LEAD TABS PLACED ON	IBS/FT3.
		L SPECIFICATION QQ-L-201F, GRADE "(-LBG (FINISH RATING 24 MIN).	.		6. STEE a. FURR
DRIZ. OR VER	T. GYPSUM PANELS FASTI	EMS 3, 3A, 3B, 3C, AND 3D)-5/8" THICK ENED TO FRAMING WITH 1-1/4" LONG ⁻	TYPE W COARSE THREAD (GYPSUM PANEL STEEL SCREWS	STUDS. CH TOGETHEF CHANNELS
34 mm	AND A VERY MUTTELL ACT O CODE	WS 1 AND 4" FROM EDGE OF BOARD (

UL ASSEMBLY NO. U305

ARD*-(AS AS ALT. TO ITEMS 3, 3A, 3B, 3C, 3D, AND 3E)-5/8" GLASS-MAT FACED WITH SQUARE EDGES, APPLIED EITHER YPSUM PANELS NAILED 7" OC AROUND THE PERIMÉTER AND IN THE FIELD WITH 6D CEMENT COATED NAILS 1-7/8" LONG, M AND 15/64" DIAM HEADS. NAILS SHALL BE PLACED 1 INCH AND 3 INCH FROM HORIZONTAL JOINTS AND 7 INCH OC

PSUM CO.-TYPE USGX (FINISH RATING 22 MIN.)

ARD*-(AS AS ALT. TO ITEMS 3 THROUGH 3F)-5/8" THICK PAPER SURFACED APPLIED VERT. GYPSUM PANELS NAILED 7" OC COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM AND 15/64" DIAM HEADS.

GYPSUM, LLC.-TYPE X COMFORTGUARD SOUND DEADENING GYPSUM BOARD (FINISH RATING 27 MIN).

ARD*-(AS AS ALT. TO ITEMS 3)-NOT TO BE USED WITH ITEMS 6 OR 7. 5/8" THICK PAPER SURFACED APPLIED VERT. ONLY. AILED 7" OC WITH 6D CEMENT COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM AND 15/64" DIAM HEADS.

M CO.-SOUNDBREAK XP TYPE X GYPSUM BOARD

ARD *-(AS AS ALT. TO ITEMS 3 THROUGH 3H, NOT SHOWN)-NOMINAL 5/8" THICK, 4 FT WIDE PANELS, APPLIED VERT. PANELS 6D CEMENT COATED NAILS 1-7/8" LONG. 0.0915" SHANK DIAM AND 15/64" DIAM HEADS. PANEL JOINTS COVERED WITH WO LAYERS OF JOINT COMPOUND. NAILHEADS COVERED WITH TWO LAYERS OF JOINT COMPOUND.

PRODUCTS, LLC., DBA PABCO GYPSUM -TYPE QUIETROCK ES (FINISH RATING 20 MIN).

ARD*-(AS AS ALT. TO ITEMS 3)-NOT TO BE USED WITH ITEMS 6 OR 7. 5/8" THICK PAPER SURFACED APPLIED VERT. ONLY. IAILED 7" OC WITH 6D CEMENT COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM AND 15/64" DIAM HEADS. SUM, INC.-TYPE SILENTFX.

ARD*-(AS AS ALT. TO ITEM 3)-5/8" THICK GYPSUM PANELS, WITH BEVELED, SQUARE, OR TAPERED EDGES, APPLIED EITHER YPSUM PANELS FASTENED TO FRAMING WITH 1-1/4" LONG TYPE W COARSE THREAD GYPSUM PANEL STEEL SCREWS OC WITH THE LAST SCREW 1" FROM THE EDGE OF THE BOARD. WHEN USED IN WIDTHS OTHER THAN 48 IN., GYPSUM INSTALLED HORIZ

I CO.-TYPE FSK (FINISH RATING 20 MIN), TYPE FSK-G (FINISH RATING 20 MIN), TYPE FSW (FINISH RATING 20 MIN), TYPE ING 24 MIN), TYPÈ FSW-3 (FINISH RATING 20 MIN), TYPÈ FSW-5 (FINISH RATING 22 MIN), TYPE FSW-G (FINISH RATING 20 FINISH RATING 20 MIN), TYPE FSW-C (FINISH RATING 20 MIN), TYPE FSMR-C, TYPE FSW-6 (FINISH RATING 20 MIN).

ARD*-(AS AS ALT. TO ITEM 3) FOR DIRECT APPLICATION TO STUDS ONLY- NOM 5/8" THICK LEAD BACKED GYPSUM PANELS QUARE OR TAPERED EDGES, APPLIED VERT, VERT, JOINTS CENTERED OVER STUDS AND STAGGERED MIN 1 STUD CAVITY S OF STUDS. WALLBOARD SECURED TO STUDS WITH 1-5/8" LONG TYPE W COARSE THREAD GYPSUM PANEL STEEL " OC AT PERIMETER AND IN THE FIELD. LEAD BATTEN STRIPS REQ'D BEHIND VERT, JOINTS OF LEAD BACKED GYPSUM DPT'LAT REMAINING STUD LOCATIONS. LEAD BATTEN STRIPS, MIN 2" WIDE, MAX 10 FT LONG WITH A MAX THICKNESS OF THE FACE OF STUDS AND ATTACHED TO THE STUD WITH TWO 1" LONG TYPE S-8 PAN HEAD STEEL SCREWS, ONE AT THE AND ONE AT THE BOTTOM OF THE STRIP. LEAD DISCS, MAX 5/16" DIAM BY MAX 0.140" THICK. COMPRESSION FITTED OR HE SCREW HEADS. LEAD BATTEN STRIPS TO HAVE A PURITY OF 99.5% MEETING THE FEDERAL SPECIFICATION QQ-L-201F

ES, INC.-"X-RAY SHIELDED GYPSUM"

ARD*-(AS AS ALT. TO ITEMS 3) FOR DIRECT APPLICATION TO STUDS ONLY- FOR USE AS THE BASE LAYER OR AS THE FACE HICK LEAD BACKED GYPSUM PANELS WITH BEVELED, SQUARE OR TAPERED EDGES, APPLIED VERT. VERT. JOINTS ITUDS AND STAGGERED MIN 1 STUD CAVITY ON OPPOSITE SIDES OF STUDS. WALLBOARD SECURED TO STUDS WITH V COARSE THREAD GYPSUM PANEL STEEL SCREWS SPACED 8" OC AT PERIMETER AND IN THE FIELD WHEN APPLIED AS WHEN APPLIED AS THE FACE LAYER SCREW LENGTH TO BE INCREASED TO 2-1/2" LEAD BATTEN STRIPS REQ'D BEHIND EAD BACKED GYPSUM WALLBOARD AND OPT'L AT REMAINING STUD LOCATIONS. LEAD BATTEN STRIPS, MIN 2" WIDE, MAX MAX THICKNESS OF 0.14" PLACED ON THE FACE OF STUDS AND ATTACHED TO THE STUD WITH CONSTRUCTION ADHESIVE TYPE S-12 PAN HEAD STEEL SCREWS, ONE AT THE TOP OF THE STRIP AND ONE AT THE BOTTOM OF THE STRIP. LEAD B" DIAM BY MAX 0.085" THICK. COMPRESSION FITTED OR ADHERED OVER THE SCREW HEADS. LEAD BATTEN STRIPS AND PURITY OF 99.9% MEETING THE FEDERAL SPECIFICATION QQ-L-201F. GRADE "C". FASTENERS FOR FACE LAYER GYPSUM IA OR 4B) WHEN INSTALLED OVER LEAD BACKED BOARD TO BE MIN 2-1/2" TYPE S-12 BUGLE HEAD STEEL SCREWS SPACED TEM 4.

CTION PRODUCTS, INC.-TYPE RPP-LEAD LINED DRYWALL

ARD*-(AS AS ALT. TO ITEM 3)-5/8" THICK. 4 FT. WIDE, APPLIED VERT. WITH VERT. JOINTS CENTERED OVER STUDS AND STUD CAVITY ON OPPOSITE SIDES OF STUDS. SECURED AS DESCRIBED IN ITEM 3.

PSUM, INC.-5/8" EASI-LITE TYPE X (FINISH RATING 24 MIN)

ARTITION FACINGS AND ACCESSORIES* -(AS AS ALT. TO ITEM 3, NOT SHOWN)-NOMINAL 5/8" THICK, 4 FT WIDE PANELS, NELS NAILED 7" OC WITH 6D CEMENT COATED NAILS 1-7/8" LONG. 0.0915" SHÁNK DIAM AND 15/64" DIAM HEADS. PANEL WITH PAPER TAPE AND TWO LAYERS OF JOINT COMPOUND. NAILHEADS COVERED WITH TWO LAYERS OF JOINT

PRODUCTS, LLC., DBA PABCO GYPSUM - TYPE QUIETROCK 527 (FINISH RATING 24 MIN).

ARD*-(AS AS ALT. TO ITEM 3, NOT SHOWN)-TWO LAYERS NOM. 5/16" THICK GYPSUM PANELS APPLIED VERT. OR HORIZ. JOINTS AND HORIZONTAL BUTT JOINTS ON OPPOSITE SIDES OF STUDS NEED NOT BE STAGGERED OR BACKED BY RIZONTAL JOINTS ON THE SAME SIDEBETWEEN FACE AND BASE LAYERS NEED NOT BE STAGGERED. BASE LAYER ASTENED TO STUDS WITH 1-1/4" LONG DRYWALL NAILS SPACED 8" OC. FACE LAYER GYPSUM PANELS FASTENED TO LONG DRYWALL NAILS SPACED 8" OC STARTING WITH A 4" STAGGER.

M CO.-TYPE FSW (FINISH RATING 25 MIN)

ER FASTENERS-(OPT'L)-FOR USE AT WALL CORNERS. CHANNEL SHAPED, 2" LONG BY 1" HIGH ON THE BACK SIDE WITH ATS PROTRUDING INTÓ THE 5/8" WIDE CHANNEL, FABRICATED FROM 24 GAUGE GALV STEEL, FASTENERS APPLIED ONLY JT EDGE (NOT ALONG TAPERED EDGES) OF THE GYPSUM BOARD, NO GREATER THAN 2" FROM CORNER OF GYPSUM NG 16" OC. NAILED TO ADJACENT STUD THROUGH TAB USING ONE NO. 6D CEMENT COATED NAIL PER FASTENER. L BOARD SHALL BE NAILED TO TOP AND BOTTOM PLATE USING NO. 6D CEMENT COATED NAILS.

BLANKETS* -(OPT'L-REQ'D WHEN ITEM 6A IS USED (RC-1)) GLASS FIBER OR MINERAL WOOL INSULATION. PLACED TO ARTIALLY FILL THE STUD CAVITIES. WHEN ITEM 6À IS UŚED, GLASS FIBER OR MINERAL WOOL INSULATION SHALL BE TO COMPLETELY FILL THE STUD CAVITIES.

LASS, INC. INTERNATIONAL, INC.

I GMBH. ON. INC

IT INC., DIV OF OWENS CORNING-CORNING FIBERGLAS CORP. FACTURING CO.-DELTA BOARD.

STICAL FIRE BATTS. **C.**-TYPE SAFB.

YED*-(NOT SHOWN-NOT FOR USE WITH ITEM 6) AS AS ALT. TO BATTS AND BLANKETS (ITEM 5)-SPRAY APPLIED CELLULOSE ER IS APPLIED WITH WATER TO COMPLETELY FILL THE ENCLOSED CAVITY IN ACCORDANCE WITH THE APPLICATION PPLIED WITH THE PRODUCT WITH A NOMINAL DRY DENSITY OF 2.7 LB/FT3. ALTERNATE APPLICATION METHOD: THE FIBER JT WATER OR ADHESIVE AT A NOMINAL DRY DENSITY OF 3.5 LB/FT3, IN ACCORDANCE WITH THE APPLICATION

PPLIED WITH THE PRODUCT. WHEN ITEM 6B IS USED, FIBER, SPRAYED SHALL BE INS735, INS745, INS765LD OR INS770LD. LC.-INS735 & INS745 FOR USE WITH WET OR DRY APPLICATION. INS510LD, INS515LD, INS541LD, INS735, INS745, INS765LD, TO BE USED FOR DRY APPLICATION ONLY.

YED*-(NOT SHOWN-NOT FOR USE WITH ITEM 6) AS AN ALT. TO BATTS AND BLANKETS (ITEM 5) AND ITEM 5A-SPRAY SE INSULATION MATERIAL. THE FIBER IS APPLIED WITH WATER TO INTERIOR SURFACES IN ACCORDANCE WITH THE RUCTIONS SUPPLIED WITH THE PRODUCT. APPLIED TO COMPLETELY FILL THE ENCLOSED CAVITY. MIN. DRY DENSITY OF

-CELLULOSE INSULATION

BLANKETS*-REQ'D FOR USE WITH RESILIENT CHANNELS, ITEM 7, 3" THICK MINERAL WOOL BATTS, FRICTION-FITTED TO

C.-TYPE SAFB

INSULATION-(AS AS ALT. TO ITEM 5C)-3" THICK GLASS FIBER BATTS BEARING THE UL CLASSIFICATION MARKING AS TO G AND/OR FIRE RESISTANCE, FRICTION-FITTED TO FILL THE INTERIOR OF THE WALL. SEE BATTS AND BLANKETS (BKNV OR S FOR NAMES OF CLASSIFIED COMPANIES.

BLANKETS* - (REQ'D FOR USE WITH WALL AND PARTITION FACINGS AND ACCESSORIES, ITEM 3D)-GLASS FIBER INSULATION, MIN. DENSITY OF 0.80 PCF, WITH A FLAME SPREAD OF 25 OR LESS AND A SMOKE DEVELOPED OF 50 OR LESS. O COMPLETELY FILL THE STUD CAVITIES. SEE BATTS AND BLANKETS CATEGORY (BKNV) FOR NAMES OF

YED*-(OPT'L, NOT SHOWN-NOT FOR USE WITH ITEM 6, 6A OR 6B). AS AS ALT. TO BATTS AND BLANKETS (ITEM 5) AND ITEM GRANULATED MINERAL FIBER MATERIAL. THE FIBER IS APPLIED WITH WATER TO COMPLETELY FILL THE ENCLOSED ANCE WITH THE APPLICATION INSTRUCTIONS SUPPLIED WITH THE PRODUCT. SEE FIBER, SPRAYED (CCAZ).

UCTS LP-ROCKWOOL

YED*-(OPT'L, NOT SHOWN-NOT FOR USE WITH ITEMS6, 6A OR 6B). AS AS ALT. TO BATTS AND BLANKETS (ITEM 5) AND ITEM ED SPRAY APPLIED CELLULOSE FIBER. THE FIBER IS APPLIED WITH WATER TO COMPLETELY FILL THE ENCLOSED STUD DANCE WITH THE APPLICATION INSTRUCTIONS SUPPLIED WITH THE PRODUCT. THE MIN. DRY DENSITY SHALL BE 4.30

ELLULOSE CORP. -CELBAR-RL.

ING MEMBERS-(OPT'L, NOT SHOWN)*-FURRING CHANNELS AND STEEL FRAMING MEMBERS AS DESCRIBED BELOW

ANNELS-FORMED OF NO. 25 MSG GALV STEEL. 2-9/16" OR 2-23/32" WIDE BY 7/8" DEEP, SPACED 24" OC PERPENDICULAR TO SECURED TO STUDS AS DESCRIBED IN ITEM B. ENDS OF ADJOINING CHANNELS ARE OVERLAPPED 6" AND TIED OOUBLE STRAND OF NO. 18 SWG GALV STEEL WIRE NEAR EACH END OF OVERLAP. AS AS ALT., ENDS OF ADJOINING OVERLAPPED 6" AND SECURED TOGETHER WITH TWO SELF-TAPPING #6 FRAMING SCREWS, MIN. 7/16" LONG AT THE OVERLAP. WITH ONE SCREW ON EACH FLANGE OF THE CHANNEL. GYPSUM BOARD ATTACHED TO FURRING CHANNELS AS M 3. B. STEEL FRAMING MEMBERS*-USED TO ATTACH FURRING CHANNELS (ITEM 6A) TO STUDS. CLIPS SPACED 48" OC. (2.75) CLIPS SECURED TO STUDS WITH NO. 8x2-1/2" COARSE DRYWALL SCREW THROUGH THE CENTER GROMMET. RSIC-V LIPS SECURED TO STUDS WITH NO. 8x1-1/2" COARSE DRYWALL SCREW THROUGH THE CENTER HOLE. FURRING

RSIC-V (2.75) CLIPS FOR USE WITH 2-23/32" WIDE FURRING CHANNELS.

STEEL FRAMING MEMBERS*-USED TO ATTACH FURRING CHANNELS (ITEM 6A) TO STUDS. CLIPS SPACED 48" OC. RSIC-1 CLIPS SECURED TO STUDS WITH NO. 8 X 2-1/2" COARSE DRYWALL SCREW THROUGH THE CENTER GROMMET. RSIC-V CLIPS SECURED TO STUDS WITH NO. 8 X 1-1/2" COARSE DRYWALL SCREW THROUGH THE CENTER HOLE. FURRING CHANNELS ARE FRICTION FITTED INTO CLIPS. PAC INTERNATIONAL, INC.-TYPES RSIC-1, RSIC-V, RSIC-1 (2.75), RSIC-V (2.75).

6A. STEEL FRAMING MEMBERS-(OPT'L, NOT SHOWN)*-FURRING CHANNELS AND STEEL FRAMING MEMBERS ON ONE SIDE OF STUDS AS DESCRIBED BELOW:

FURRING CHANNELS-FORMED OF NO. 25 MSG GALV STEEL, SPACED 24" OC PERPENDICULAR TO STUDS. CHANNELS SECURED TO STUDS AS DESCRIBED IN ITEM B. ENDS OF ADJOINING CHANNELS ARE OVERLAPPED 6" AND TIED TOGETHER WITH DOUBLE STRAND OF NO. 18 SWG GALV STEEL WIRE NEAR EACH END OF OVERLAP. BATTS AND BLANKETS PLACED IN STUD CAVITY AS DESCRIBED IN ITEM 5. TWO LAYERS OF GYPSUM BOARD ATTACHED TO FURRING CHANNELS AS DESCRIBED IN ITEM 3.

STEEL FRAMING MEMBERS*-USED TO ATTACH FURRING CHANNELS (ITEM 6AA) TO ONE SIDE OF STUDS ONLY. CLIPS SPACED 48" OC., AND SECURED TO STUDS WITH TWO NO. 8 X 2-1/2" COARSE DRYWALL SCREWS, ONE THROUGH THE HOLE AT EACH END OF THE CLIP. FURRING CHANNELS ARE FRICTION FITTED INTO CLIPS. KINETICS NOISE CONTROL, INC.-TYPE ISOMAX.

FURRING CHANNELS-FORMED OF NO. 25 MSG GALV STEEL. 2-3/8" WIDE BY 7/8" DEEP, SPACED 24" OC PERPENDICULAR TO STUDS. CHANNELS SECURED TO STUDS AS DESCRIBED IN ITEM B. ENDS OF ADJOINING CHANNELS ARE OVERLAPPED 6" AND TIED TOGETHER WITH DOUBLE STRAND OF NO. 18 SWG GALV STEEL WIRE NEAR EACH END OF OVERLAP. AS AS ALT., ENDS OF ADJOINING CHANNELS MAY BE OVERLAPPED 6" AND SECURED TOGETHER WITH TWO SELF-TAPPING #6 FRAMING SCREWS, MIN. 7/16" LONG AT THE MIDPOINT OF THE OVERLAP, WITH ONE SCREW ON EACH FLANGE OF THE CHANNEL. GYPSUM BOARD ATTACHED TO FURRING CHANNELS AS DESCRIBED IN ITEM 3.

STEEL FRAMING MEMBERS*-USED TO ATTACH FURRING CHANNELS (ITEM 6BA) TO STUDS. CLIPS SPACED 48" OC. GENIE CLIPS SECURED TO STUDS WITH NO. 8 X 1-1/2" COARSE DRYWALL SCREW THROUGH THE CENTER HOLE. FURRING CHANNELS ARE FRICTION FITTED INTO CLIPS.

PLITEQ, INC.-TYPE GENIE CLIP

6C. STEEL FRAMING MEMBERS-(OPT'L, NOT SHOWN)*-FURRING CHANNELS AND RESILIENT SOUND ISOLATION CLIP AS DESCRIBED BELOW:

a. FURRING CHANNELS-FORMED OF NO. 25 MSG GALV STEEL. SPACED 24" OC PERPENDICULAR TO STUDS. CHANNELS SECURED TO STUDS AS DESCRIBED IN ITEM B. ENDS OF ADJOINING CHANNELS OVERLAPPED 6" AND SECURED TOGETHER WITH FOUR SELF-TAPPING NO 8X1/2 SELF DRILLING SCREWS (2 PER SIDE 1" AND 4" FROM OVERLAP EDGE). GYPSUM BOARD ATTACHED TO FURRING CHANNELS AS DESCRIBED IN ITEM 3. SIDE JOINT FURRING CHANNELS SHALL BE ATTACHED TO STUDS WITH RESILMOUNT SOUND ISOLATION CLIPS LOCATED APPROXIMATELY 2" FROM EACH END OF LENGTH OF CHANNEL. BOTH GYPSUM BOARDS AT SIDE JOINTS FASTENED INTO CHANNEL WITH SCREWS SPACED 8" OC, APPROXIMATELY 1/2" FROM JOINT EDGE. b. STEEL FRAMING MEMBERS*-RESILIENT SOUND ISOLATION CLIP USED TO ATTACH FURRING CHANNELS (ITEM 6CA) TO STUDS. CLIPS SPACED 16" OC., AND SECURED TO STUDS WITH NO. 10 X 2-1/2" COARSE DRYWALL SCREW THROUGH THE CENTER HOLE. FURRING CHANNELS ARE FRICTION FITTED INTO CLIPS.

STUDCO BUILDING SYSTEMS-RESILMOUNT SOUND ISOLATION CLIPS-TYPE A237 OR A237R

FURRING CHANNEL-OPT'L-NOT SHOWN-FOR USE ON ONE SIDE OF THE WALL-RESILIENT CHANNELS, 25 MSG GALV STEEL, SPACED VERT. 24" OC. FLANGE PORTION SCREW ATTACHED TO ONE SIDE OF STUDS WITH 1-1/4" LONG DIAMOND SHAPED POINT, DOUBLE LEAD PHILLIPS HEAD STEEL SCREWS. WHEN RESILIENT CHANNELS ARE USED, INSULATION, ITEMS 5C OR 5D IS REQ'D.

CAULKING AND SEALANTS-(NOT SHOWN, OPT'L) A BEAD OF ACOUSTICAL SEALANT APPLIED AROUND THE PARTITION PERIMETER FOR SOUND CONTROL.

STC RATING-THE STC RATING OF THE WALL ASSEMBLY IS 56 WHEN IT IS CONSTRUCTED AS DESCRIBED BY ITEMS 1 THROUGH 6, EXCEPT:

ITEM 2. ABOVE-NAILHEADS SHALL BE COVERED WITH JOINT COMPOUND. ITEM 2, ABOVE-JOINTS AS DESCRIBED, SHALL BE COVERED WITH FIBER TAPE AND JOINT COMPOUND. ITEM 5, ABOVE-BATTS AND BLANKETS* THE CAVITIES FORMED BY THE STUDS SHALL BE FRICTION FIT WITH R-19 UNFACED FIBERGLASS INSULATION BATTS MEASURING 6-1/4" THICK AND 15-1/4" WIDE. d. ITEM 6, ABOVE-STEEL FRAMING MEMBERS* TYPE RSIC-1 CLIPS SHALL BE USED TO ATTACH GYPSUM BOARD TO STUDS ON EITHER SIDE OF THE WALL ASSEMBLY

ITEM 8, ABOVE-CAULKING AND SEALANTS (NOT SHOWN) A BEAD OF ACOUSTICAL SEALANT SHALL BE APPLIED AROUND THE PARTITION PERIMETER FOR SOUND CONTROL STEEL CORNER FASTENERS (ITEM 4), FIBER, SPRAYED (ITEMS 5A AND 5B) AND STEEL FRAMING MEMBERS (ITEM 6A), NOT EVALUATED AS ALTERNATIVES FOR OBTAINING STC RATING.

10. WALL AND PARTITION FACINGS AND ACCESSORIES* -(OPT'L, NOT SHOWN)-NOMINAL 1/2" THICK, 4 FT WIDE PANELS, FOR OPT'L USE AS AN ADDITIONAL LAYER ON ONE OR BOTH SIDES OF THE ASSEMBLY. PANELS ATTACHED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. WHEN THE QR-510 PANEL IS INSTALLED BETWEEN THE WOOD FRAMING AND THE UL CLASSIFIED GYPSUM BOARD, THE REQ'D UL CLASSIFIED GYPSUM BOARD LAYER(S) IS/ARE TO BE INSTALLED AS INDICATED AS TO FASTENER TYPE AND SPACING, EXCEPT THAT THE REQ'D FASTENER LENGTH SHALL BE ÍNCREASED BY A MIN. OF 1/2" NOT EVALUATED OR INTENDED AS A SUBSTITUTE FOR THE REQ'D LAYER(S) OF UL CLASSIFIED GYPSUM BOARD.

PABCO BUILDING PRODUCTS, LLC., DBA PABCO GYPSUM - TYPE QUIETROCK 510.

11. CEMENTITIOUS BACKER UNITS*-(OPT'L ITEM NOT SHOWN-FOR USE ON FACE OF 1 HR SYSTEMS WITH ALL STANDARD ITEMS REQ'D)-7/16 IN., 1/2 IN., 5/8 IN., 3/4" OR 1" THICK, MIN, 32" WIDE.- APPLIED VERT, OR HORIZ, WITH VERT, JOINTS CENTERED OVER STUDS. FASTENED TO STUDS AND RUNNERS WITH CEMENT BOARD SCREWS OF ADEQUATE LENGTH TO PENETRATE STUD BY A MIN. OF 3/8" FOR STEEL FRAMING MEMBERS, AND A MIN. OF 3/4" FOR WOOD FRAMING MEMBERS SPACED A MAX OF 8" OC. WHEN 4 FT. WIDE BOARDS ARE USED, HORIZONTAL JOINTS NEED NOT BE BACKED BY FRAMING.

NATIONAL GYPSUM CO.-TYPE DURABACKER. PERMABASE. DURABACKER PLUS. OR PERMABASE PLUS.

12. NON-BEARING WALL PARTITION INTERSECTION -(OPT'L)-TWO NOMINAL 2 BY 4" STUDS OR NOMINAL 2 BY 6" STUDS NAILED TOGETHER WITH TWO 3" LONG 10D NAILS SPACED A MAX. 16" OC. VERT. AND FASTENED TO ONE SIDE OF THE MIN. 2 BY 4" STUD WITH 3" LONG 10D NAILS SPACED A MAX. 16" OC. VERT. INTERSECTION BETWEEN PARTITION WOOD STUDS TO BE FLUSH WITH THE 2 BY 4" STUDS. THE WALL PARTITION WOOD STUDS ARE TO BE FRAMED BY WITH A SECOND 2 BY 4" WOOD STUD FASTENED WITH 3" LONG 10D NAILS SPACED A MAX. 16" OC. VERT. MAX. ONE NON-BEARING WALL PARTITION INTERSECTION PER STUD CAVITY. NON-BEARING WALL PARTITION STUD DEPTH SHALL BE AT A MIN. EQUAL TO THE DEPTH OF THE BEARING WALL.

13. MESH NETTING-(NOT SHOWN)-ANY THIN, WOVEN OR NON-WOVEN FIBROUS NETTING MATERIAL ATTACHED WITH STAPLES TO THE OUTER FACE OF ONE ROW OF STUDS TO FACILITATE THE INSTALLATION OF THE SPRAYED FIBER FROM THE OPPOSITE ROW.

14. MINERAL AND FIBER BOARD*-(OPT'L, NOT SHOWN)-FOR OPT'L USE AS AN ADDITIONAL LAYER ON ONE SIDE OF WALL. NOM 1/2" THICK, 4 FT WIDE WITH LONG DIMENSION PARALLEL AND CENTERED OVER STUDS. ATTACHED TO FRAMING WITH 2" LONG TYPE W STEEL SCREWS, SPACED 12" OC. THE REQ'D UL CLASSIFIED GYPSUM BOARD LAYER(S) IS/ARE TO BE INSTALLED AS INDICATED AS TO FASTENER TYPE AND SPACING, EXCEPT THAT THE REQ'D FASTENER LENGTH SHALL BE INCREASED BY A MIN. OF 1/2" NOT EVALUATED OR INTENDED AS A SUBSTITUTE FOR THE REQ'D LAYER(S) OF UL CLASSIFIED GYPSUM BOARD.

HOMASOTE CO.-HOMASOTE TYPE 440-32

14A. MINERAL AND FIBER BOARD*-(OPT'L, NOT SHOWN)-FOR USE WITH ITEMS 14B-14E)-FOR OPT'L USE AS AN ADDITIONAL LAYER ON ONE SIDE OF WALL. NOM 1/2" THICK, 4 FT WIDE WITH LONG DIMENSION PARALLEL AND CENTERED OVER STUDS. ATTACHED TO FRAMING WITH MIN. 1-3/8" LONG RING SHANKED NAILS OR 1-1/4" LONG TYPE W STEEL SCREWS, SPACED 12" OC ALONG BOARD EDGES AND 24" OC IN FIELD OF BOARD ALONG INTERMEDIATE FRAMING. NOT EVALUATED OR INTENDED AS A SUBSTITUTE FOR THE REQ'D LAYER(S) OF UL CLASSIFIED GYPSUM BOARD.

HOMASOTE CO.-HOMASOTE TYPE 440-32

14B. GLASS FIBER INSULATION-(FOR USE WITH ITEM 14A)-3-1/2" THICK GLASS FIBER BATTS BEARING THE UL CLASSIFICATION MARKING AS TO SURFACE BURNING AND/OR FIRE RESISTANCE, PLACED TO FILL THE INTERIOR OF THE WALL. SEE BATTS AND BLANKETS (BKNV OR BZJZ) CATEGORIES FOR NAMES OF CLASSIFIED COMPANIES.

14C. BATTS AND BLANKETS*-(AS AS ALT. TO ITEM 14B, FOR USE WITH ITEM 14A), 3" THICK MINERAL WOOL BATTS, PLACED TO FILL INTERIOR OF WALL, ATTACHED TO THE 3-1/2" FACE OF THE STUDS WITH STAPLES PLACED 24" OC.

THERMAFIBER, INC.-TYPE SAFB

14D. ADHESIVE-(FOR USE WITH ITEM 14A)-CONSTRUCTION GRADE ADHESIVE APPLIED IN VERT., SERPENTINE, NOMINAL 3/8" WIDE BEADS DOWN THE LENGTH OF BOTH VERT. EDGES OF MINERAL AND FIBER BOARD (ITEM 14A).

14E. GYPSUM BOARD*-(FOR USE WITH ITEM 14A)-5/8" THICK, 4 FT WIDE, APPLIED VERT. OVER MINERAL AND FIBER BOARD (ITEM 14A) WITH VERT. JOINTS LOCATED ANYWHERE OVER STUD CAVITIES. SECURED TO MINERAL AND FIBER BOARDS WITH 1-1/2" TYPE G SCREWS SPACED 8" OC ALONG EDGES OF EACH VERT. JOINT AND 12" OC IN INTERMEDIATE FIELD OF THE MINERAL AND FIBER BOARD (ITEM 14A). SECURED TO OUTERMOST STUDS AND BEARING PLATES WITH 2" LONG TYPE S SCREWS SPACED 8" OC. GYPSUM BOARD JOINTS COVERED WITH PAPER TAPE AND JOINT COMPOUND. SCREW HEADS COVERED WITH JOINT COMPOUND. FINISH RATING 30 MIN.

AMERICAN GYPSUM CO.-TYPE AG-C. **CERTAINTEED GYPSUM, INC.**-TYPE FRPC, TYPE C.

CGC INC -TYPES C. IP-X2, IPC-AR CONTINENTAL BUILDING PRODUCTS OPERATING CO., LLC. - TYPE LGFC-C/A.

GEORGIA-PACIFIC GYPSUM, LLC.-TYPES 5, DAPC, TG-C. NATIONAL GYPSUM CO.-TYPES FSK-C, FSW-C.

PABCO BUILDING PRODUCTS, LLC., DBA PABCO GYPSUM - TYPE PG-C. PANEL REY S. A. -TYPE PRC. THAI GYPSUM PRODUCTS PCL-TYPE C

UNITED STATES GYPSUM CO.-TYPES C, IP-X2, IPC-AR. USG MEXICO S. A. DE. C. V.-TYPES C, IP-X2, IPC-AR.

INDICATES SUCH PRODUCTS SHALL BEAR THE UL OR CUL CERTIFICATION MARK FOR JURISDICTIONS EMPLOYING THE UL OR CUL CERTIFICATION (SUCH AS CANADA), RESPECTIVELY.

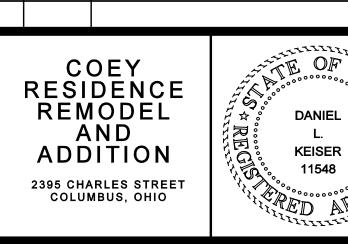
LAST UPDATED ON 2014-06-27

CHANNELS ARE FRICTION FITTED INTO CLIPS. RSIC-1 AND RSIC-V CLIPS FOR USE WITH 2-9/16" WIDE FURRING CHANNELS. RSIC-1 (2.75) AND

6B. STEEL FRAMING MEMBERS-(OPT'L, NOT SHOWN)*-FURRING CHANNELS AND STEEL FRAMING MEMBERS AS DESCRIBED BELOW:

GENERAL NOTES

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