



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-19-23

Applicant: Michael Price

Owner: City of Bexley

Location: 165 N. Parkview (At the City Pool site)




ARB Request: The applicant is seeking architectural review and approval to allow for the addition of 4 pickleball courts to the west of the existing tennis courts and east of the city pool at Jeffrey Park, which will include 5' and 6' high black, chain-link fencing.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

***(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory structures and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.**

Applicant

 Michael Price
 6145594300
 mprice@bexley.org

Location

165 N PARKVIEW AV
 Bexley, OH 43209

ARB-19-23

Submitted On: Dec 06, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Development of 4 pickleball courts to the west of the existing tennis courts at Jeffrey Park. The courts would have a surface of roughly 60' x 120'. Would include a 6' perimeter black chain-link fence, and 5' interior chain-link fence that separates the 4 courts. There would also be 4 - 36' high pickleball nets. The plan is to have a green and blue colored surface for the courts.

Architecture Review

true

Demolition

--

Planned Unit Dev

--

Rezoning

--

A.1: Attorney / Agent Information

Agent Name

Michael Price

Agent Address

165 N. Parkview Avenue

Agent Email

mprice@bexley.org

Agent Phone

614.559.4300

Property Owner Name

City of Bexley

Property Owner phone

614.559.4200

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project

110000

Minor Architectural Review

--

Major Architectural Review

true

Variance Review - Fill out a BZAP Application instead.

--

Zoning

--

Zoning Review Type

--

Sign Review and Architectural Review for Commercial Projects**Review Type**

--

--

Appeal of ARB decision to BZAP**Appeal of BZAP decision to City Council**

--

--

B: Project Worksheet: Property Information**Occupancy Type****Zoning District**

Residential

--

Use Classification**Other Classification**

Other

Park

B: Project Worksheet: Lot Info**Width (ft)****Depth (ft)**

60

120

Total Area (SF)

7200

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)****Proposed Addition (SF)**

0

7200

Removing (SF)**Type of Structure**

0

Pickleball Courts including fencing

Proposed New Primary Structure or Residence (SF)**Total Square Footage**

7200

7200

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)****Proposed Addition (SF)**

--

--

New Structure Type**Ridge Height**

--

--

Proposed New Structure (SF)**Is there a 2nd Floor**

--

--

Total of all garage and accessory structures (SF)**Total building lot coverage (SF)**

--

--

Total building lot coverage (% of lot)**Is this replacing an existing garage and/or accessory structure?**

--

--

B: Project Worksheet: Hardscape

Existing Driveway (SF)

--

Existing Patio (SF)

--

Existing Private Sidewalk (SF)

--

Proposed Additional Hardscape (SF)

7200

Total Hardscape (SF)

7200

B: Project Worksheet: Total Coverage

Total overall lot coverage (SF)

7200

Total overall lot coverage (% of lot)

.5

C.1 Architectural Review Worksheet: Roofing

Roofing

--

Structure

--

Existing Roof Type

--

New Roof Type

--

New Single Manufacturer

--

New Roof Style and Color

--

C.1 Architectural Review Worksheet: Windows

Windows

--

Structure

--

Existing Window Type

--

Existing Window Materials

--

New Window Manufacturer

--

New Window Style/Mat./Color

--

C.1 Architectural Review Worksheet: Doors

Doors

--

Structure

--

Existing Entrance Door Type

--

Existing Garage Door Type

--

Door Finish

--

Proposed Door Type

--

Proposed Door Style

Proposed Door Color

--

--

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

Existing Door Trim

--

--

Proposed New Door Trim

Existing Window Trim

--

--

Proposed New Window Trim

Trim Color(s)

--

--

Do the proposed changes affect the overhangs?

--

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

Existing Finishes

--

--

Existing Finishes Manufacturer, Style, Color

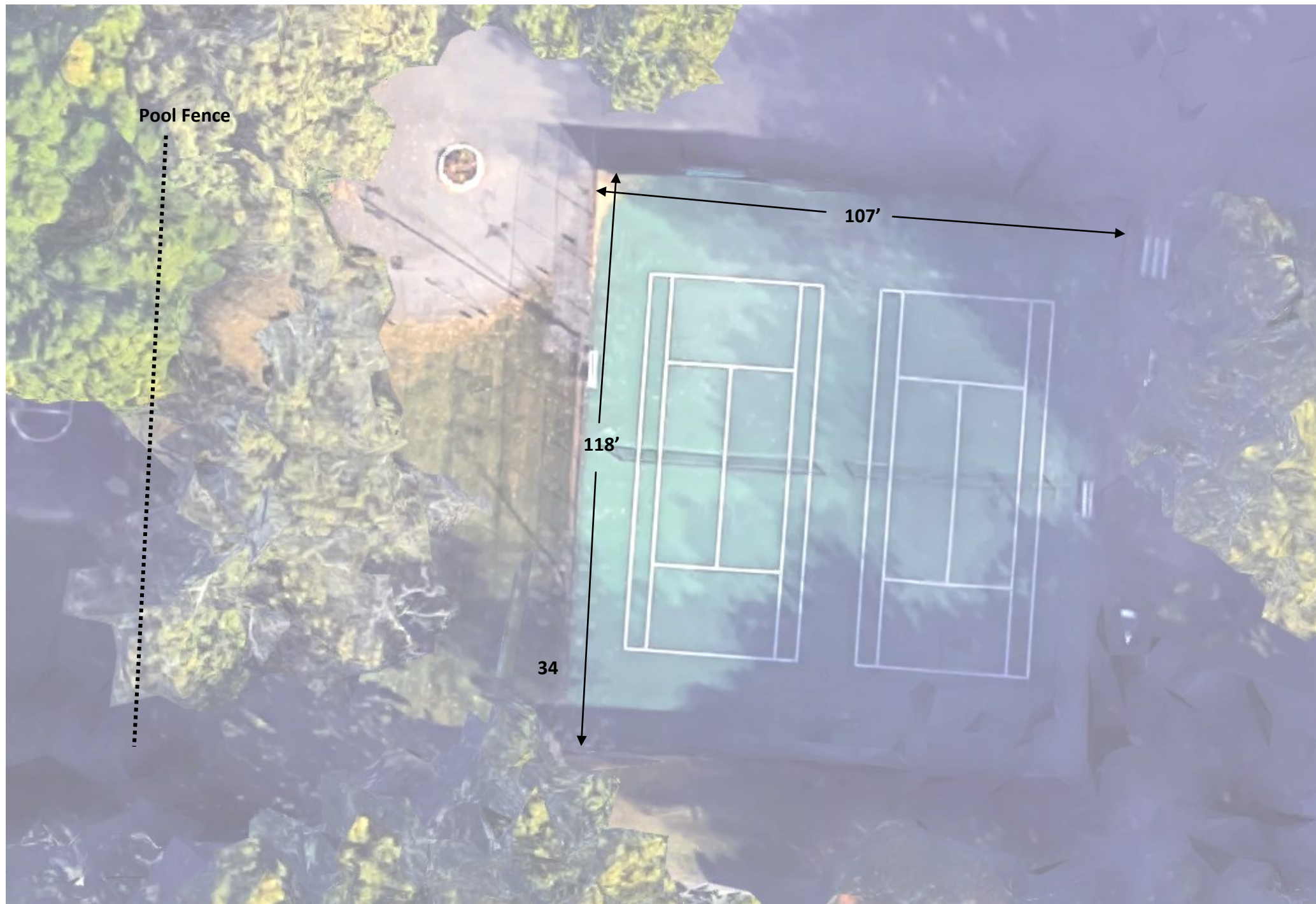
Proposed Finishes

--

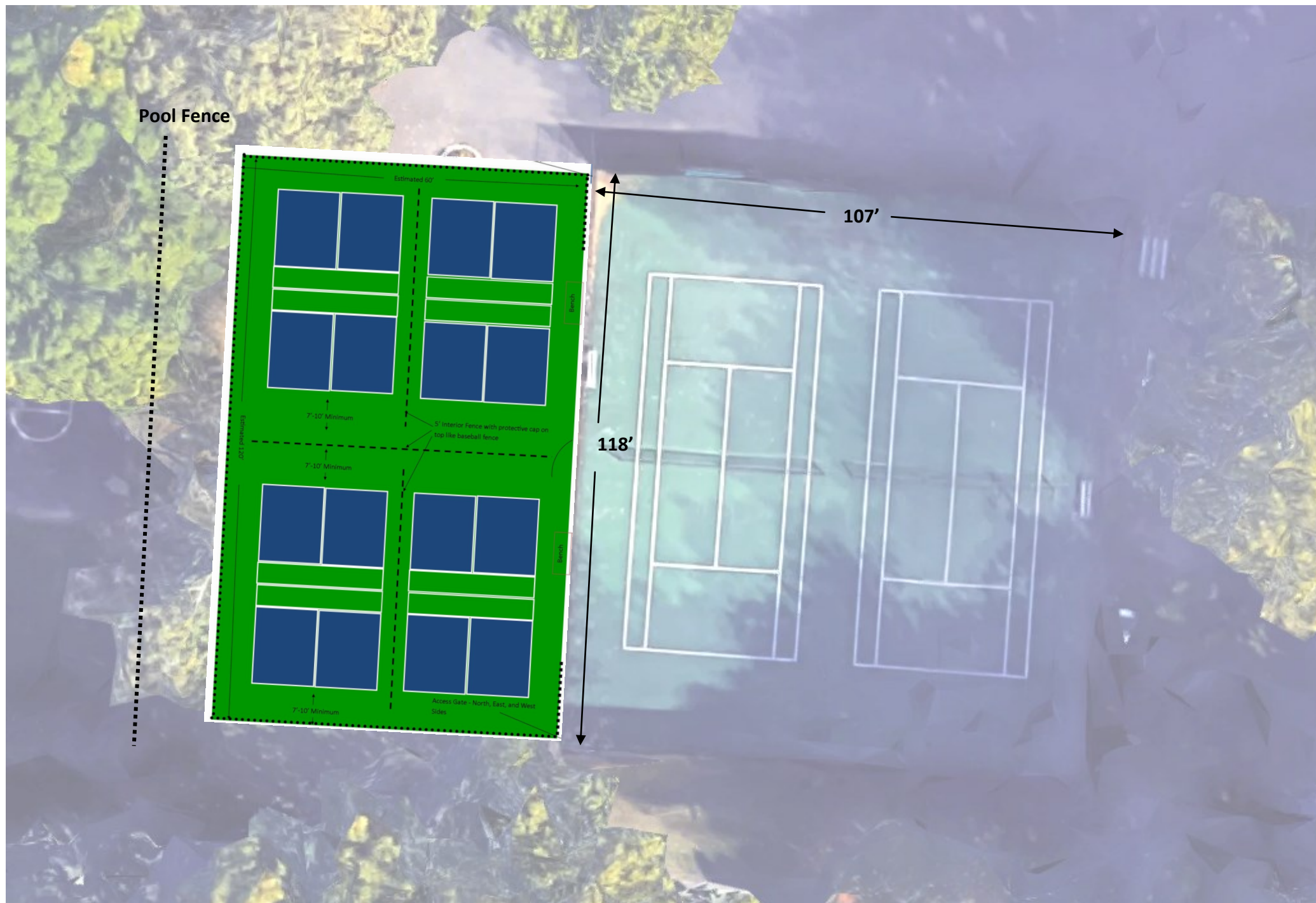
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Proposed Finishes Manufacturer, Style, Color

--



Jeffrey Park - Proposed Pickleball Court Site. Located along Clifton Avenue to the west of the existing Tennis Courts (between the tennis courts and pool fence)



Jeffrey Park - Proposed Pickleball Court Site. Located along Clifton Avenue to the west of the existing Tennis Courts (between the tennis courts and pool fence)









Access Gate - North, East, and West Sides



Estimated 60'

Estimated 120'

7'-10' Minimum

7'-10' Minimum

7'-10' Minimum

5' Interior Fence with protective cap on top like baseball fence

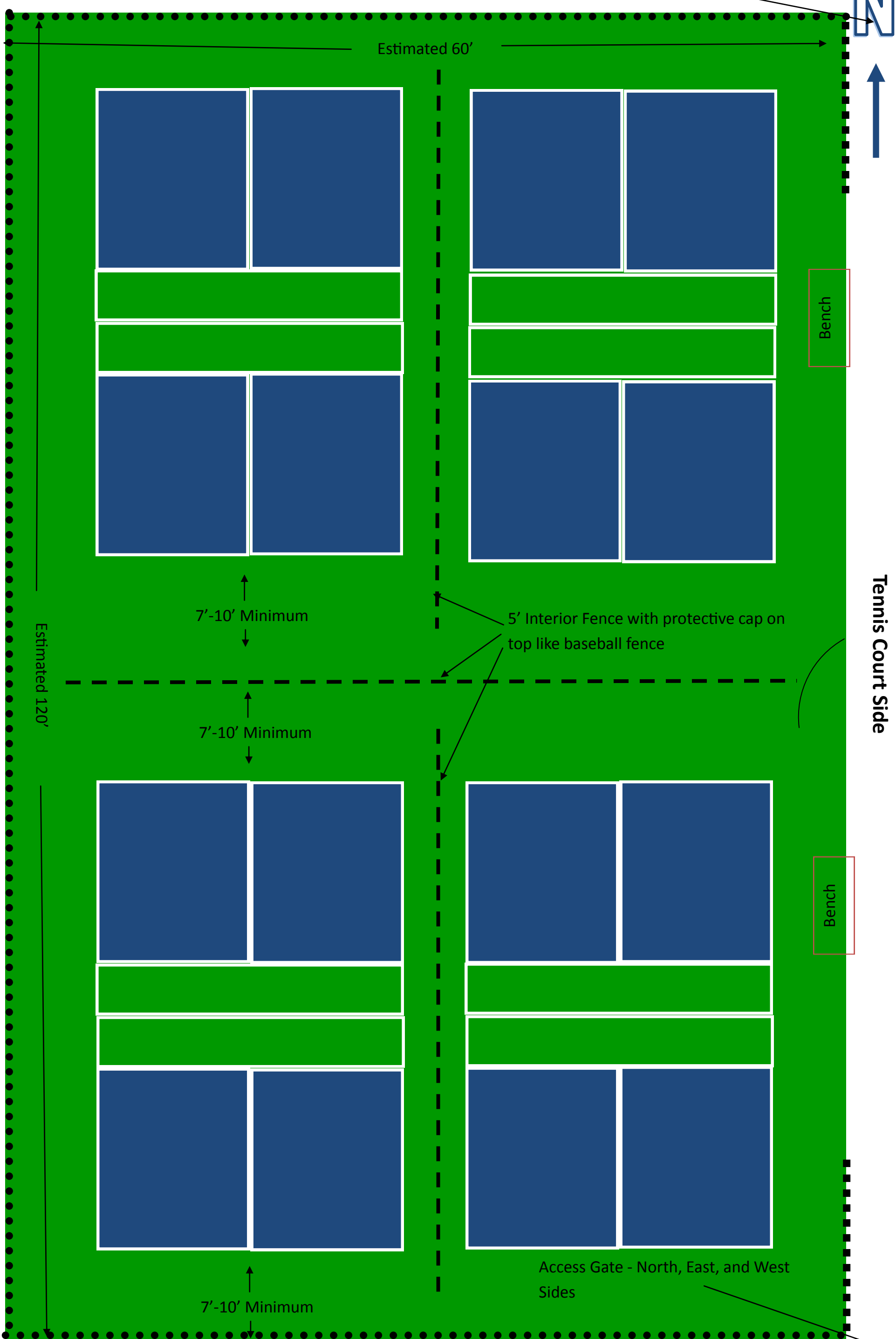
Bench

Bench

Tennis Court Side

Access Gate - North, East, and West Sides

6' Exterior Fence like existing tennis court fence.







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The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. If the applicant or his representative is not in attendance at such meeting, the Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

- a. Application No.: ARB-19-24
Applicant: William T. Gruber & Dean Wenz
Owner: William T. Gruber
Location: 745 Francis Avenue

ARB Request: The applicant is seeking architectural review and approval to demolish the existing single-family dwelling, and allow a new single-family dwelling and detached garage to be constructed on the lot. Please Note: This application was tabled at the June 13, 2019 meeting of the Architectural Review Board.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

*(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory structures and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

Applicant

Dean Wenz

6142396868

dwenz@wenz-architects.com

Location

745 FRANCIS AV

Bexley, OH 43209

ARB-19-24

Status: Active

Submitted: Dec 09, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

This project is for the construction of a new single family residence, and detached garage. All existing structured are to be demolished.

Architecture Review

true

Demolition

true

Planned Unit Dev

--

Rezoning

--

A.1: Attorney / Agent Information

Agent Name

Dean A Wenz

Agent Address

2463 E Main Street

Agent Email

dwenz@wenz-architects.com

Agent Phone

614-239-6868

Property Owner Name

Will & Mary Gruber

Property Owner phone

614-876-6132

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project

325000

Minor Architectural Review

--

Major Architectural Review

true

Variance Review - Fill out a BZAP Application instead.

--

Zoning

--

Zoning Review Type

--

Sign Review and Architectural Review for Commercial Projects

Review Type

--

--

Appeal of ARB decision to BZAP

Appeal of BZAP decision to City Council

--

--

B: Project Worksheet: Property Information

Occupancy Type

Zoning District

Residential

R6

Use Classification

R-6 (35% Building and 60% Overall)

B: Project Worksheet: Lot Info

Width (ft)

Depth (ft)

82.84

150

Total Area (SF)

12426

B: Project Worksheet: Primary Structure Info

Existing Footprint (SF)

Proposed Addition (SF)

1558

0

Removing (SF)

Type of Structure

1558

Single Family Home

Proposed New Primary Structure or Residence (SF)

Total Square Footage

2573

2573

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)

Existing Footprint (SF)

Proposed Addition (SF)

0

0

New Structure Type

Ridge Height

Detached Garage

25'-4"

Proposed New Structure (SF)

Is there a 2nd Floor

664

--

Total of all garage and accessory structures (SF)

Total building lot coverage (SF)

664

3273

Total building lot coverage (% of lot)

Is this replacing an existing garage and/or accessory structure?

26.3

No

B: Project Worksheet: Hardscape**Existing Driveway (SF)**

0

Existing Patio (SF)

0

Existing Private Sidewalk (SF)

0

Proposed Additional Hardscape (SF)

2400

Total Hardscape (SF)

2400

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)**

5673

Total overall lot coverage (% of lot)

45.6

C.1 Architectural Review Worksheet: Roofing**Roofing**

true

Structure

House & Garage

Existing Roof Type

--

New Roof Type

Arch. Dimensional Shingles

New Single Manufacturer

TBD

New Roof Style and Color

Dark Gray

C.1 Architectural Review Worksheet: Windows**Windows**

true

Structure

House & Garage

Existing Window Type

--

Existing Window Materials

Other

Other existing window materials

--

New Window Manufacturer

TBD

New Window Style/Mat./Color

Vinyl Double Hung - White

C.1 Architectural Review Worksheet: Doors**Doors**

true

Structure

House & Garage

Existing Entrance Door Type

--

Existing Garage Door Type

--

Door Finish**Proposed Door Type**

Painted

Fiberglass Entry Door System

Proposed Door Style

Proposed Door Color

As indicated on the drawings

Dark Gray

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Existing Door Trim

--

Proposed New Door Trim

Fiber-Cement

Existing Window Trim

--

Proposed New Window Trim

Fiber Cement

Trim Color(s)

White

Do the proposed changes affect the overhangs?

--

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

true

Existing Finishes

--

Existing Finishes Manufacturer, Style, Color

--

Proposed Finishes

Other

Other Proposed Finishes

Fiber-Cement

Proposed Finishes Manufacturer, Style, Color

Lap Siding with 6" exposure - Painted Light Gray

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

--

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

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Attachments (4)

pdf **Architectural Plans which include Exterior Elevations and floor plans of existing and proposed**
Nov 27, 2019

pdf **Landscape Plan for New Principal Structures**
Nov 27, 2019

pdf **Photographs (required)**
Nov 27, 2019

pdf **Site Plan**
Nov 27, 2019

Timeline

Payment

Status: Paid December 9th 2019, 1:32 pm

Zoning Officer

Status: Completed December 13th 2019, 4:34 pm

Assignee: Kathy Rose

Kathy Rose December 9th 2019, 3:44:10 pm

Dean - What is the height of the garage and house? thanks!

Dean Wenz December 9th 2019, 5:05:32 pm

Kathy, The House is 25'-6" to the ridge. The Garage is 20'-2" to the ridge.

Dean Wenz December 10th 2019, 9:26:30 am

I forgot to ask. Do you see an issue with the building heights? Or anything else for that matter?

Kathy Rose December 10th 2019, 4:04:27 pm

Garage height is limited to 20' - so there's one variance.

Kathy Rose December 10th 2019, 4:25:33 pm

Also, is there a 2nd floor in the garage? If so it is limited to 2/3 or less volume of the first floor.

Dean Wenz December 10th 2019, 4:32:15 pm

Kathy, I'll just lower it 4" so we stay under the 20' height. Thank you!

Dean Wenz December 10th 2019, 4:32:51 pm

No second floor in the garage.

Kathy Rose December 13th 2019, 4:33:43 pm

Got it!

Kathy Rose December 13th 2019, 4:34:05 pm

Jan ARB

Kathy Rose December 18th 2019, 10:05:24 am

Dean - You really should show how this home looks in context with the neighboring homes - what the Board would expect to see, and shows how it fits into the size and scale of the block.

Kathy Rose December 18th 2019, 10:14:33 am

You also need to note which trees are existing and what trees will remain, and also a landscape plan for the new home, which can also be a condition of the approval, if it is not ready by the 9th of January.

Dean Wenz December 18th 2019, 11:37:33 am

Kathy, There is a landscape plan included with the submittal. I think it has all of the information you mentioned, but please let me know ASAP if it is insufficient. I am still planning on providing the context drawing you mentioned, but I haven't been able to get to it yet. Would you please call me when you get a minute to discuss the demolition?

Dean Wenz December 22nd 2019, 11:58:12 am

Please confirm that you have received other documents though regular email.

Kathy Rose December 24th 2019, 10:21:31 am

Yes I did.

Design Planning Consultant

Status: In Progress

Assignee: Karen Bokor

Architectural Review Board

Status: In Progress

Karen Bokor January 2nd 2020, 12:44:14 pm

Hi Dean - I think it would be very helpful if you could bring a drawing or photo of the streetscape with the new home inserted into the drawing so that the Board can see its height/proportions/details, etc.... Its been something they ask for at just about every new build hearing.



Board of Zoning and Planning

Status: In Progress

City Council

Status: In Progress

Tree Commission

Status: In Progress

Arborist

Status: In Progress

The Gruber Residence
745 Francis Avenue Bexley, Ohio



Existing Home Photos
(All Structures to be removed)

DEAN A. WENZ
ARCHITECTS

2463 East Main Street

Bexley, Ohio 43209

Phone (614) 239-6868

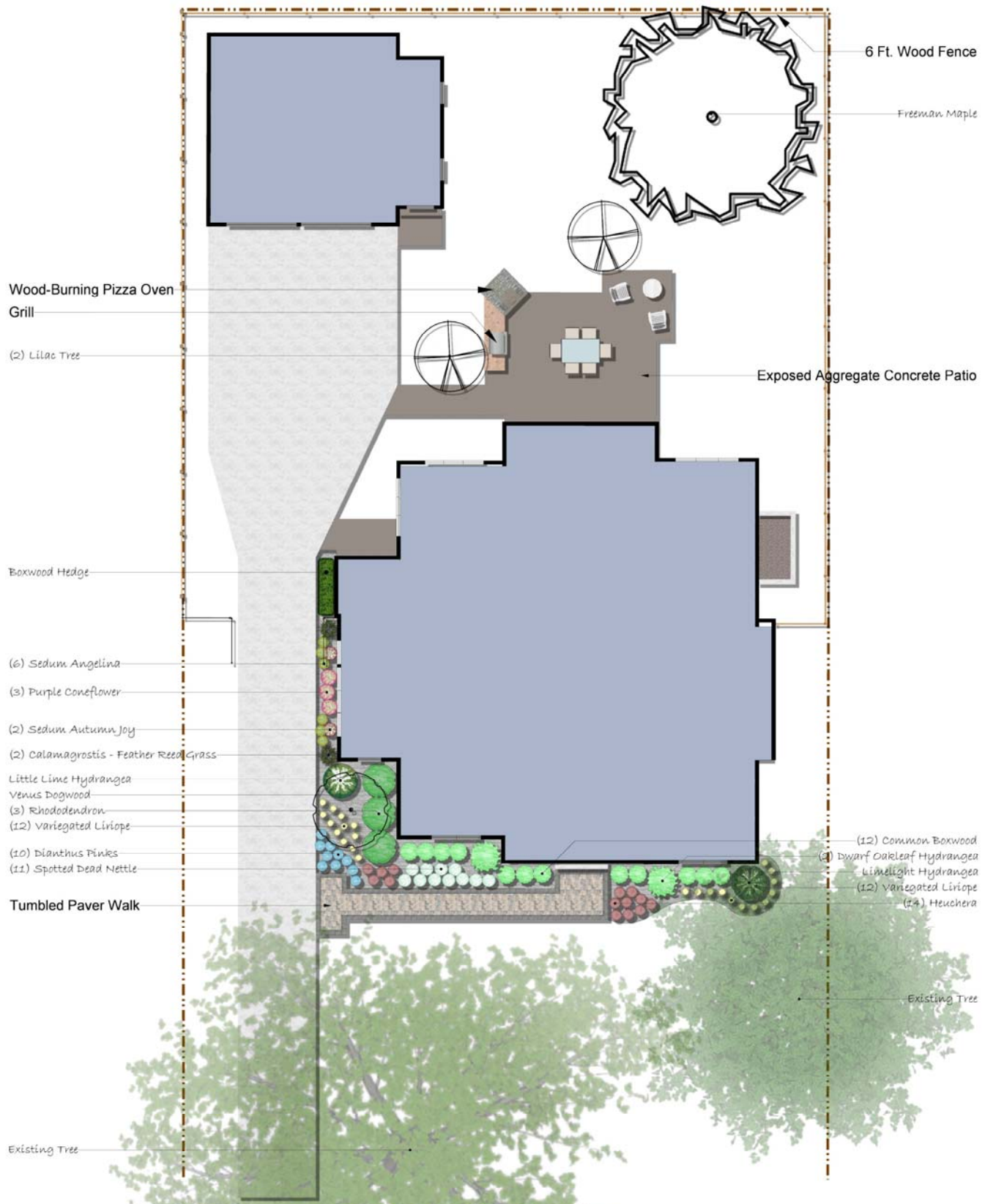
www.wenz-architecture.com

The Gruber Residence
745 Francis Avenue Bexley, Ohio



Existing Home Photos
(All Structures to be removed)

DEAN A. WENZ
ARCHITECTS



Scale:
1/8 inch = 1 Ft.

Gruber Residence

Ryan Brothers' Landscaping

The Gruber Residence
745 Francis Avenue Bexley, Ohio

Architectural Review Set 11.27.2019

DEAN A. WENZ

ARCHITECTS

2463 East Main Street Bexley, Ohio 43209 Phone (614) 239-6868 www.wenz-architecture.com

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745 Francis Avenue Bexley, Ohio



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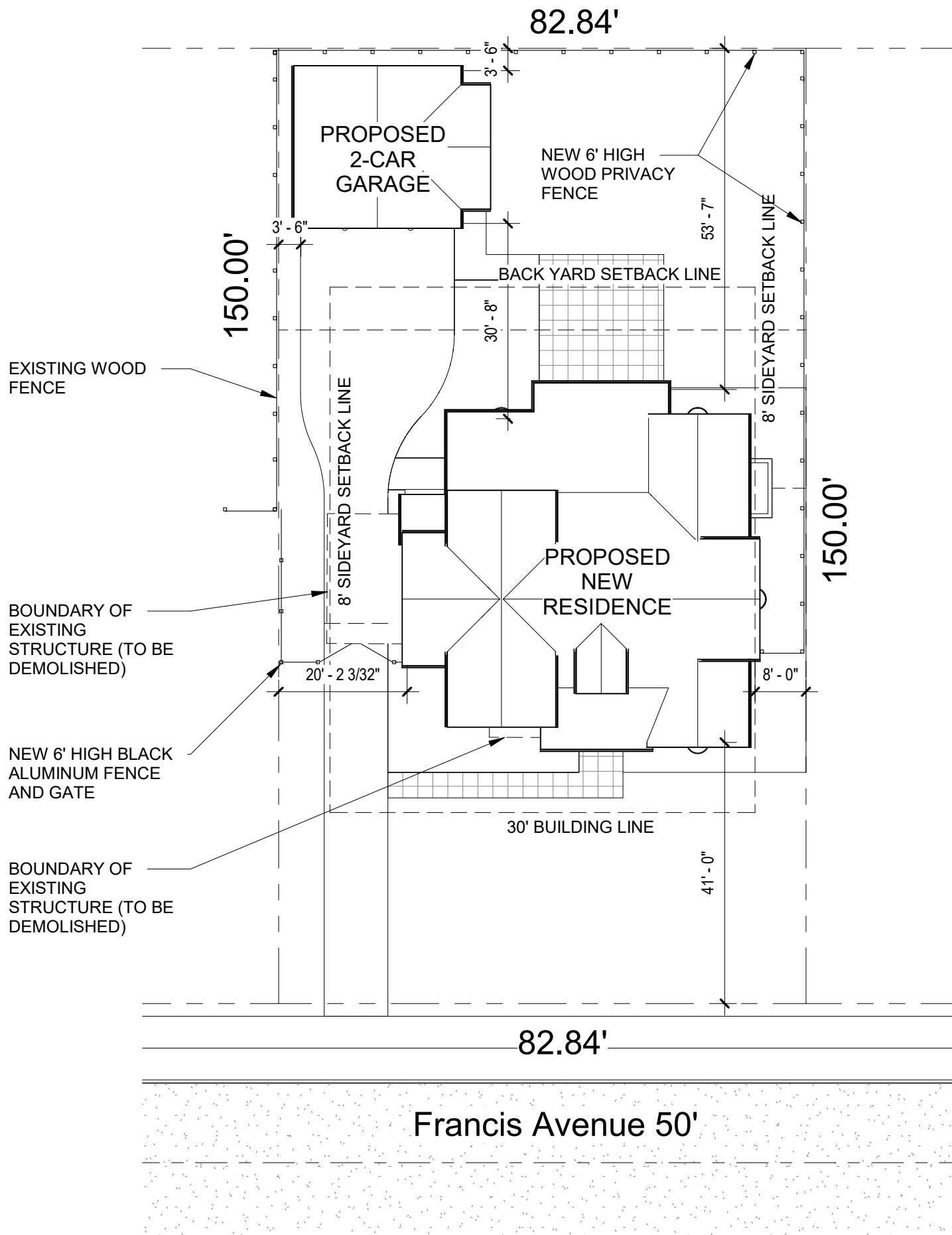
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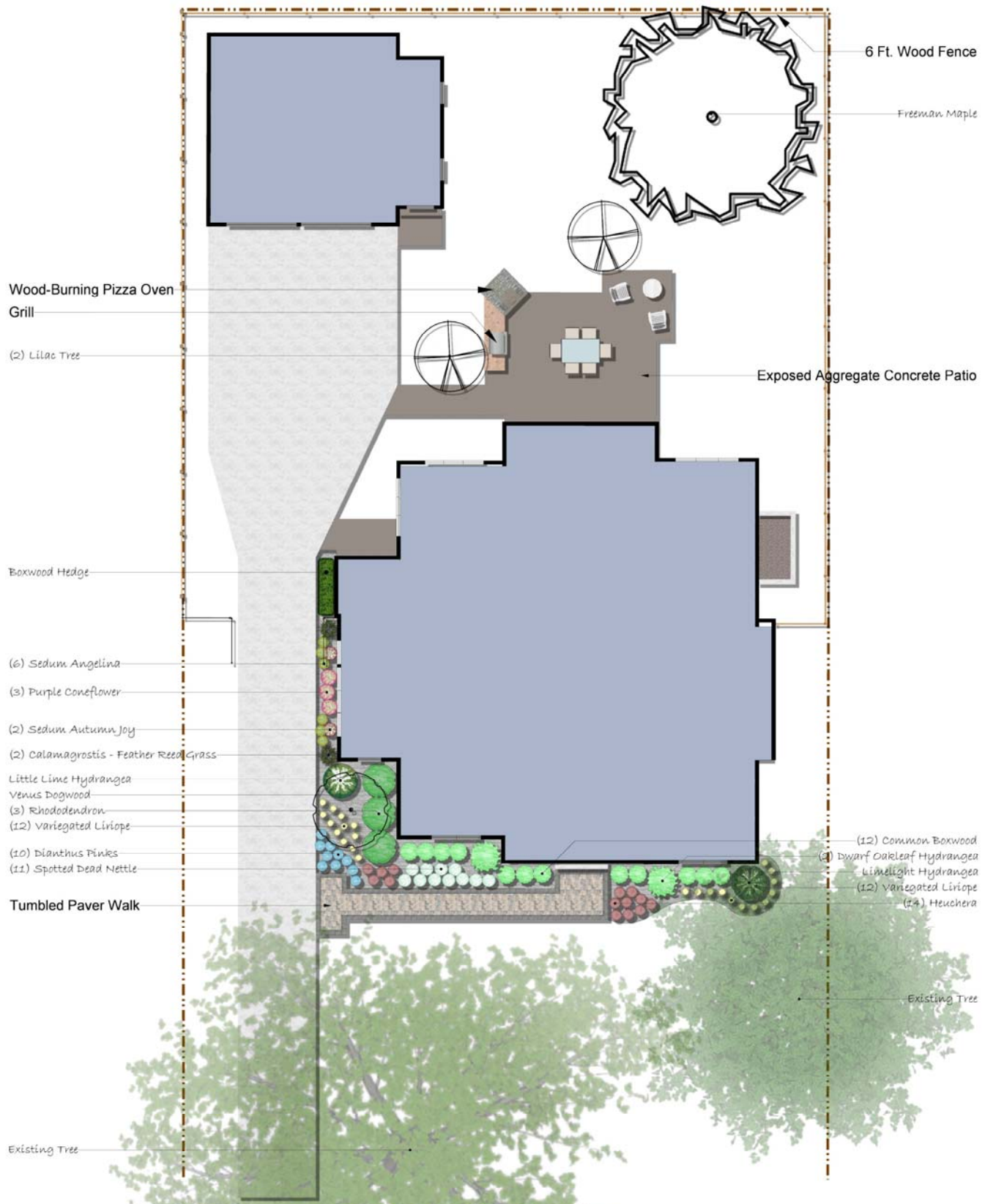
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The Gruber Residence
 745 Francis Avenue Bexley, Ohio



1 Site Plan 1
 1" = 20'-0"

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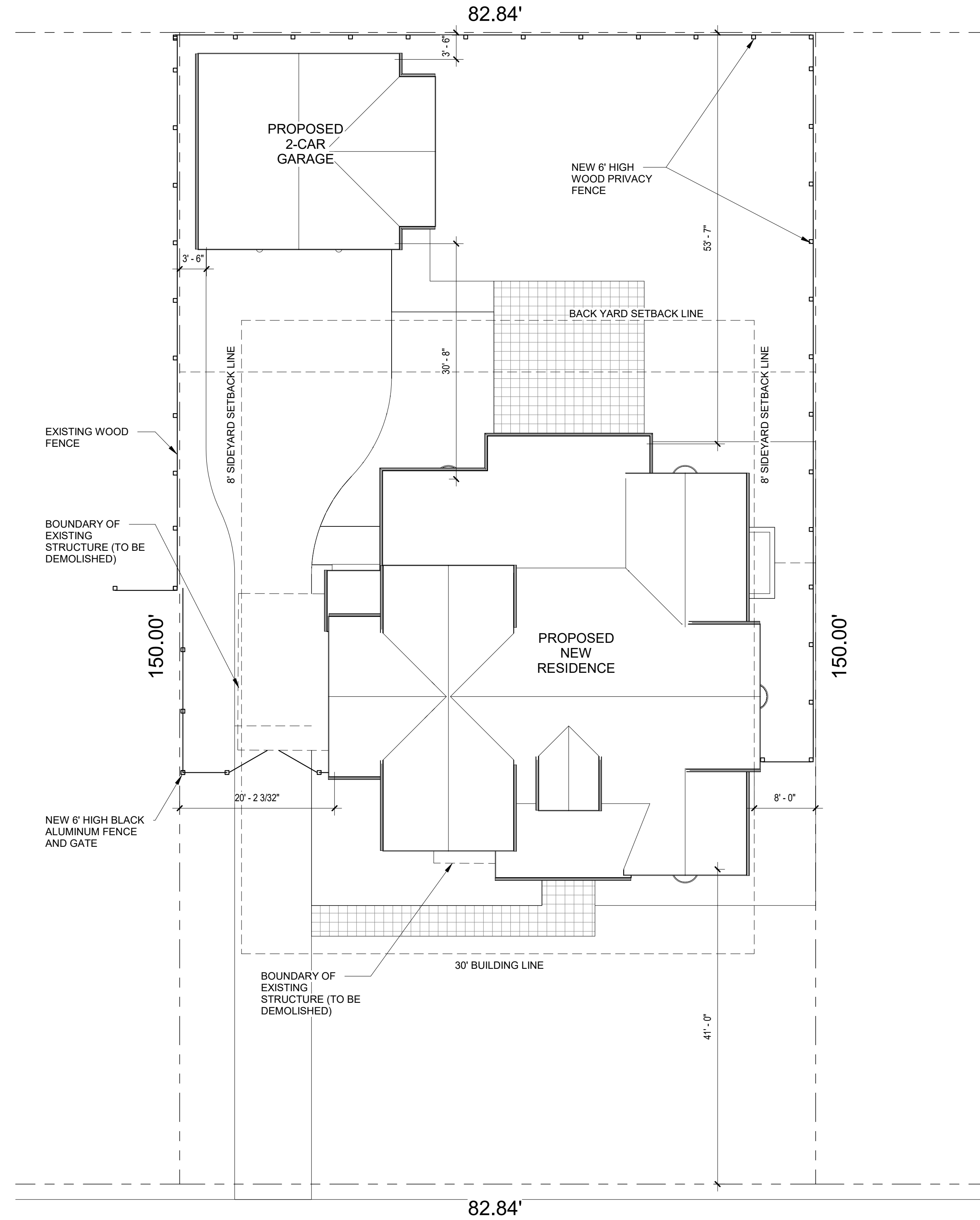
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Gruber Residence

Ryan Brothers' Landscaping

The Gruber Residence

745 Francis Avenue Bexley, Ohio

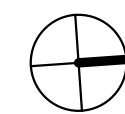
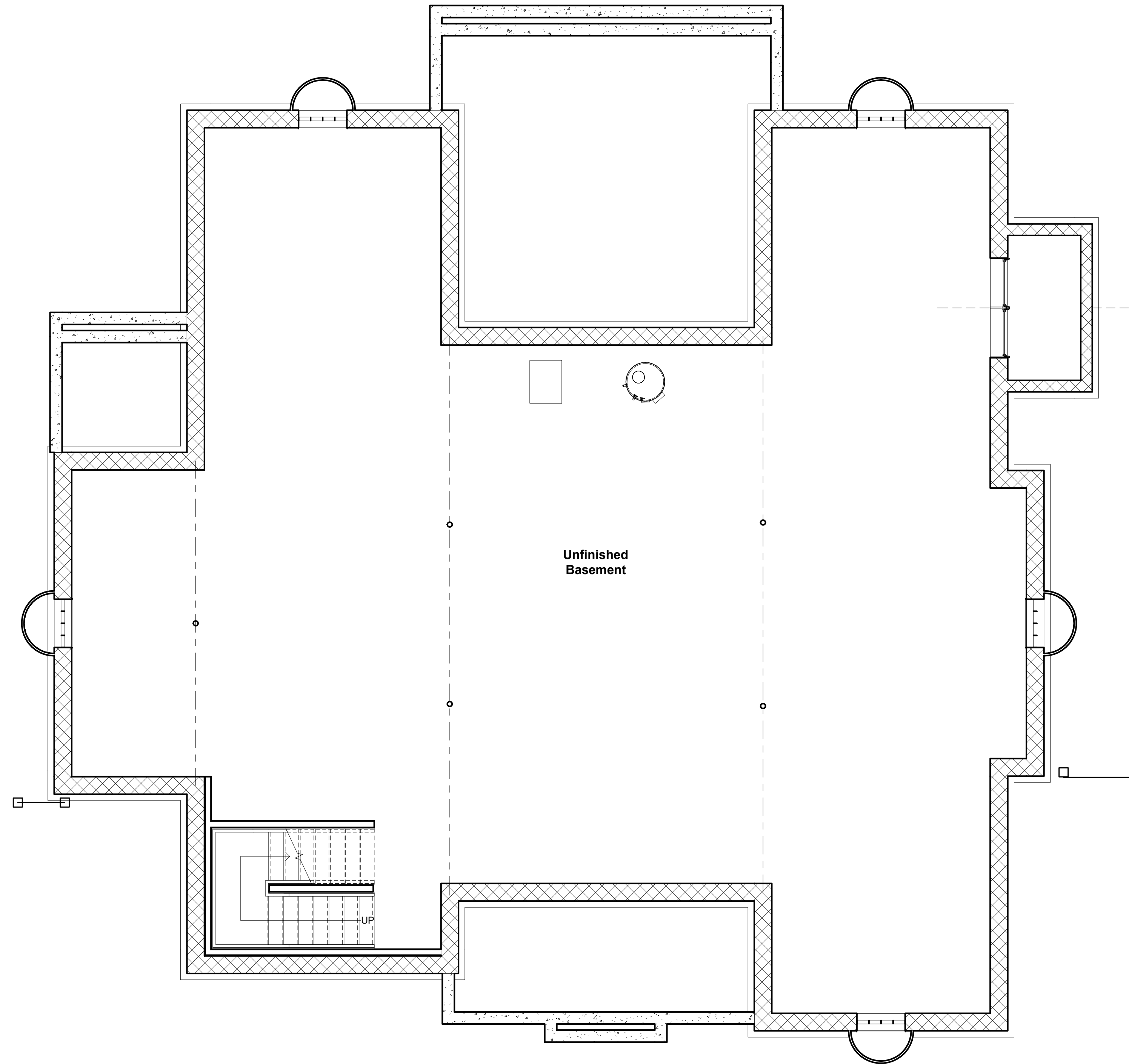


DEVELOPMENT INFORMATION	
ZONING DESIGNATION	= R6
TOTAL LAND AREA	= 12,426 SF
MAXIMUM BUILDING COVERAGE	35 % = 4,349 SF
BUILDING COVERAGE:	
PROPOSED NEW HOME	= 2,115 SF
COVERED PORCHES	= 458 SF
PROPOSED GARAGE	= 664 SF
TOTAL COVERAGE	26.3% = 3,273 SF
MAXIMUM LOT COVERAGE	50 % = 6,213 SF
LOT COVERAGE:	
STRUCTURES	= 3,273 SF
DRIVEWAY	= 1,690 SF
PATIO AND WALKS	= 710 SF
TOTAL COVERAGE	45.6% = 5,673 SF
FINISHED SPACE AREA CALCULATIONS	
PROPOSED FIRST FLOOR	= 2,115 SF
PROPOSED SECOND FLOOR	= 966 SF
TOTAL FINISHED RESIDENCE	= 3,081 SF

① Site Plan
1" = 10'-0"

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The Gruber Residence
745 Francis Avenue Bexley, Ohio



1 Basement Plan
1/4" = 1'-0"

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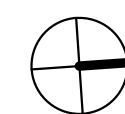
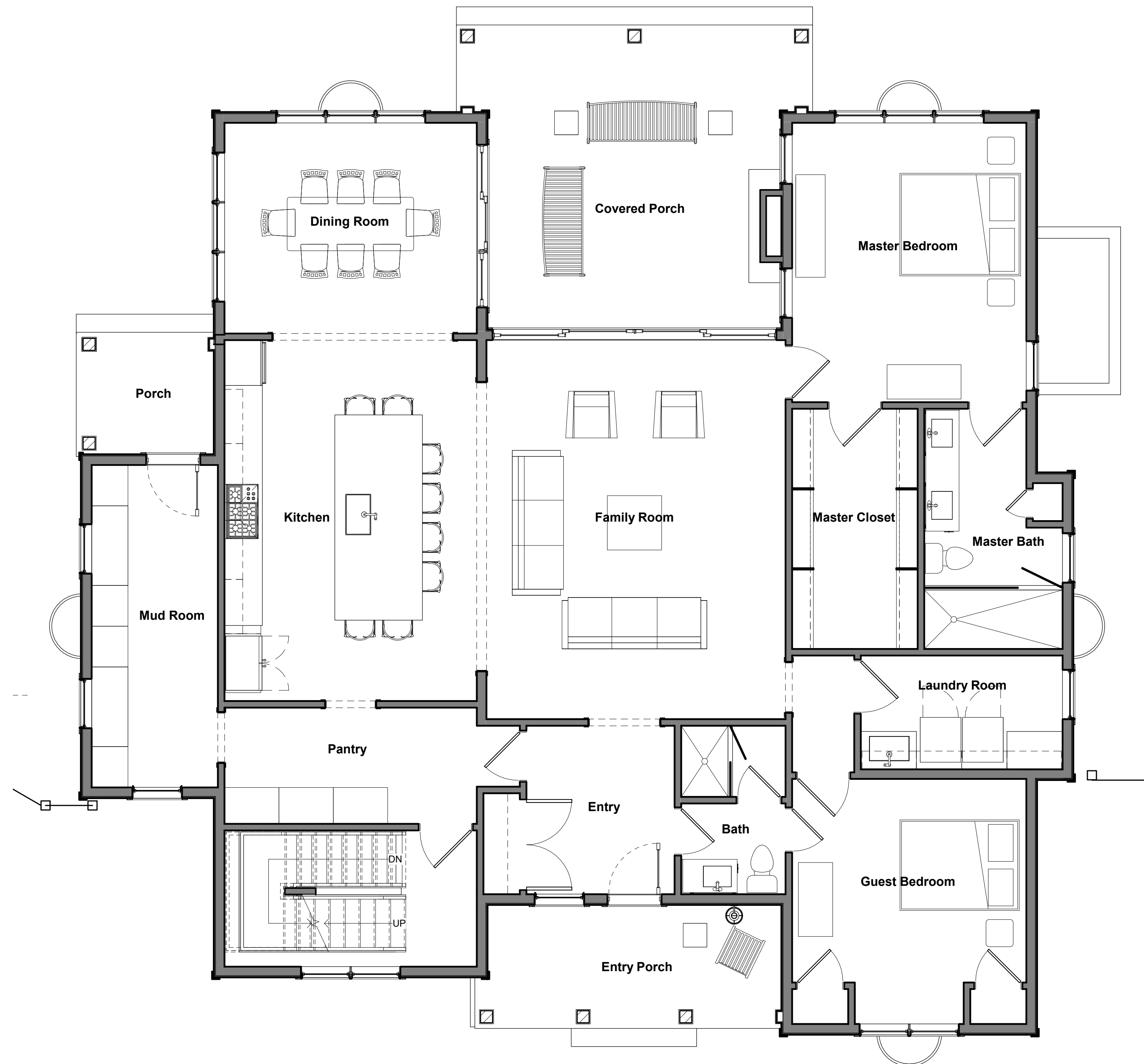
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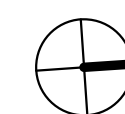
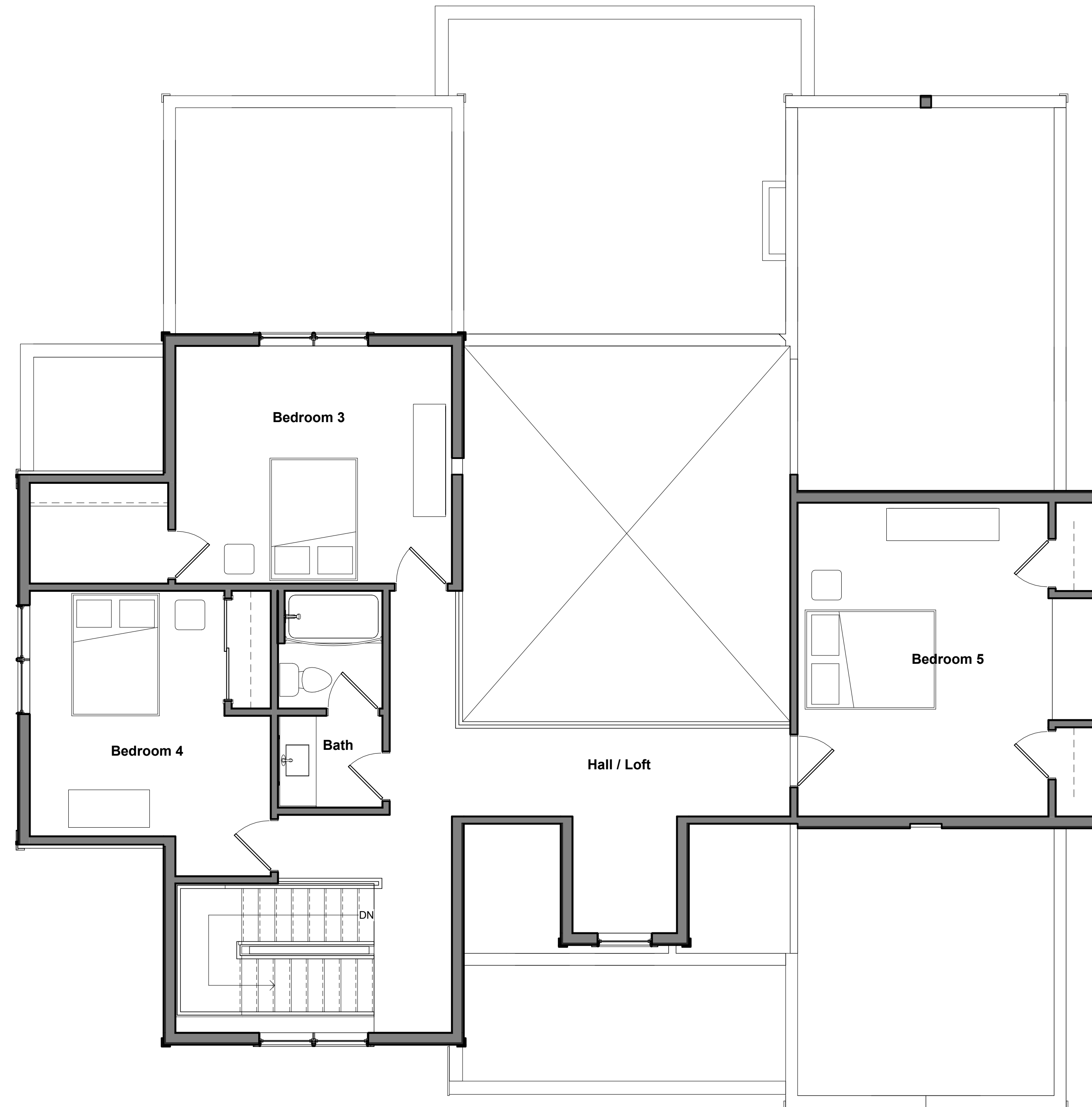
The Gruber Residence
745 Francis Avenue Bexley, Ohio



1 First Floor Plan
1/4" = 1'-0"

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The Gruber Residence
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1 Second Floor Plan
1/4" = 1'-0"

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The Gruber Residence
745 Francis Avenue Bexley, Ohio



① Front Elevation
3/16" = 1'-0"



② Right Side Elevation
3/16" = 1'-0"

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The Gruber Residence
745 Francis Avenue Bexley, Ohio



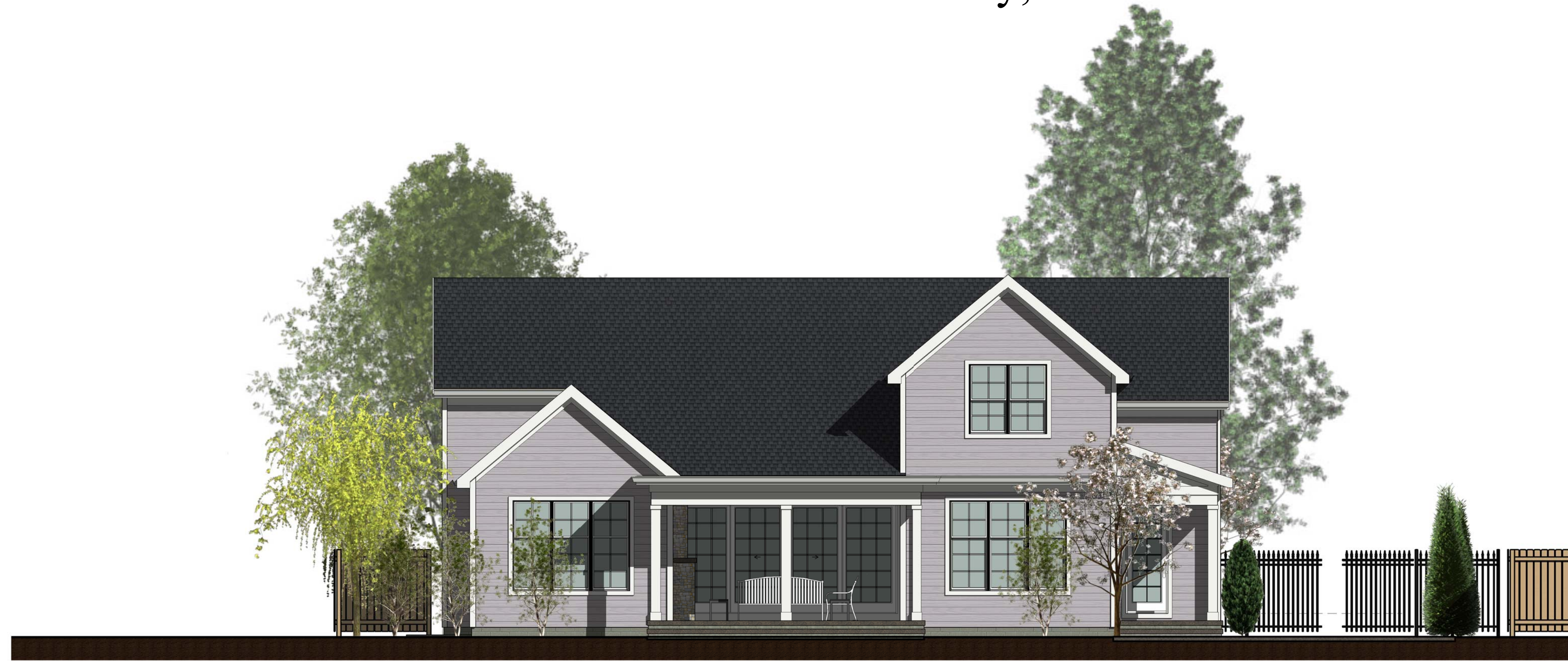
① Front Elevation
3/16" = 1'-0"



② Right Side Elevation
3/16" = 1'-0"

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The Gruber Residence
745 Francis Avenue Bexley, Ohio



① Back Elevation
3/16" = 1'-0"



② Left Side Elevation
3/16" = 1'-0"

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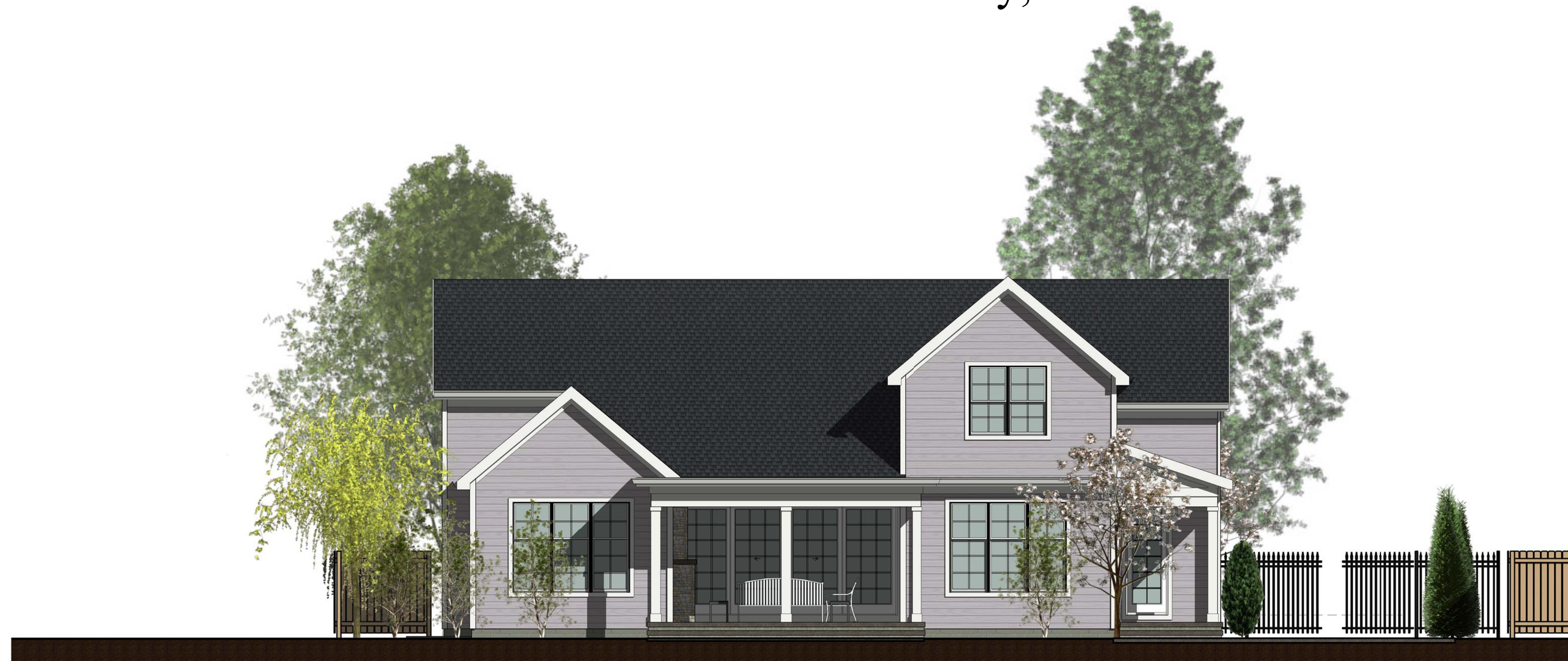
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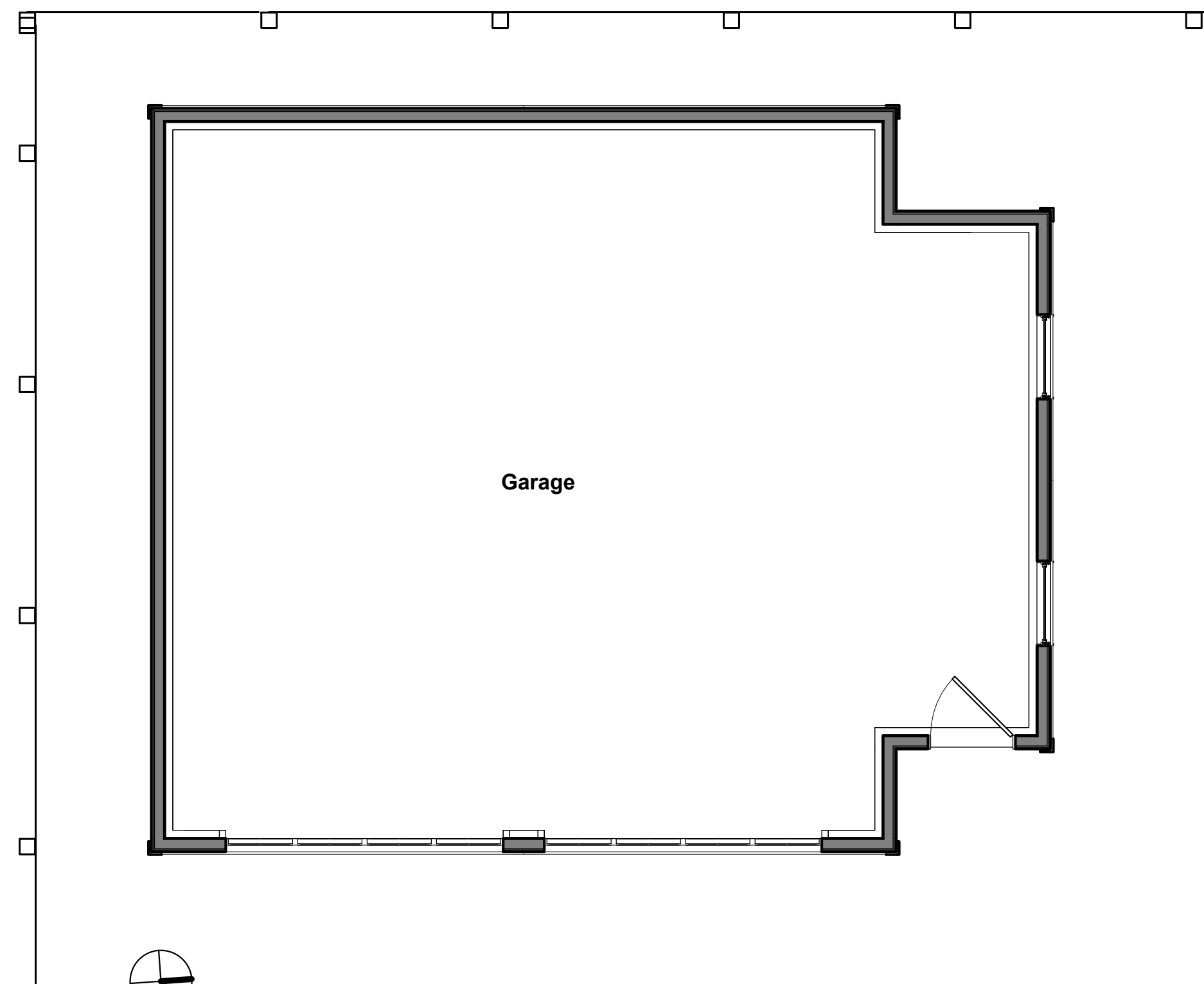
① Back Elevation
3/16" = 1'-0"



② Left Side Elevation
3/16" = 1'-0"

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The Gruber Residence
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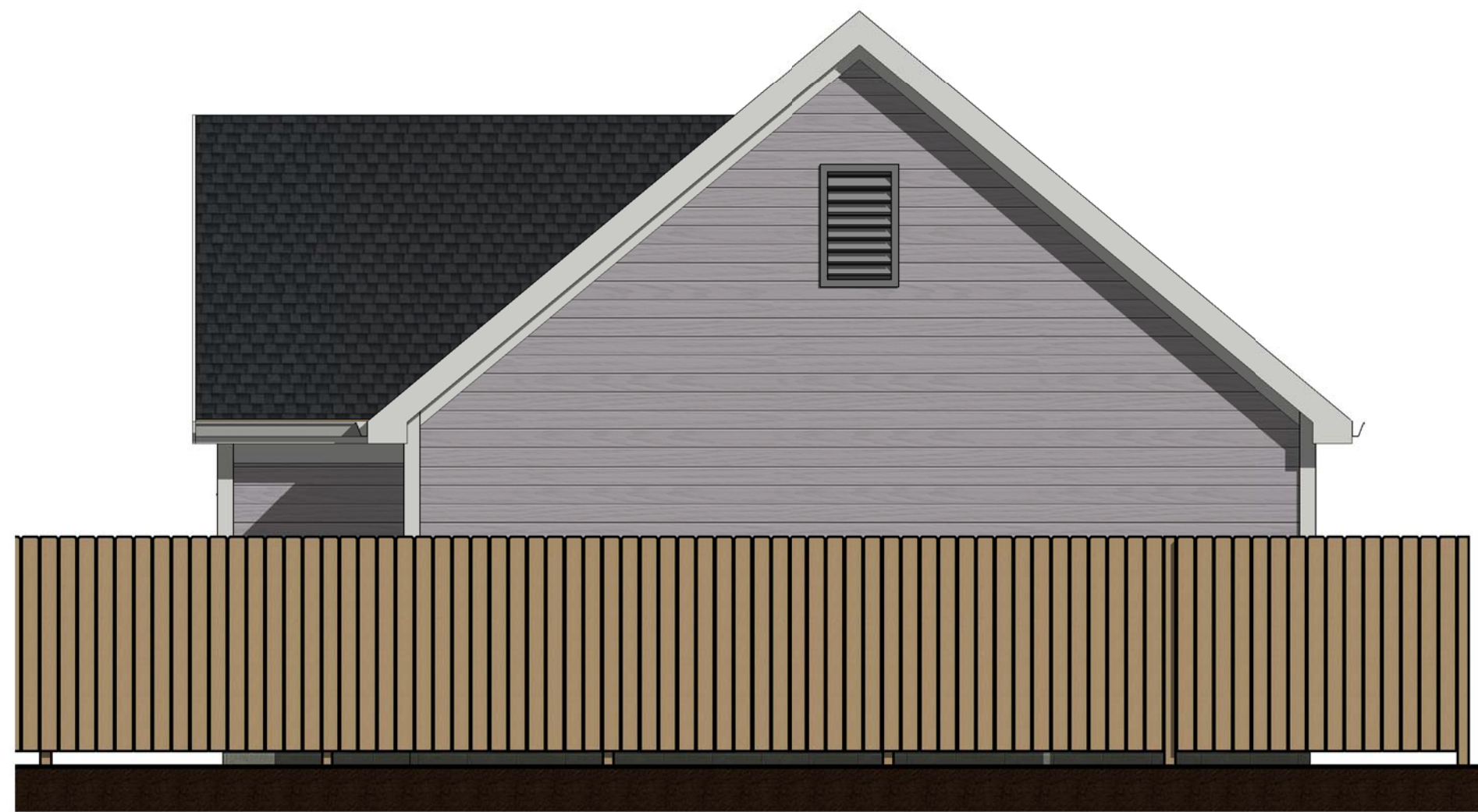
① Garage Plan
1/4" = 1'-0"



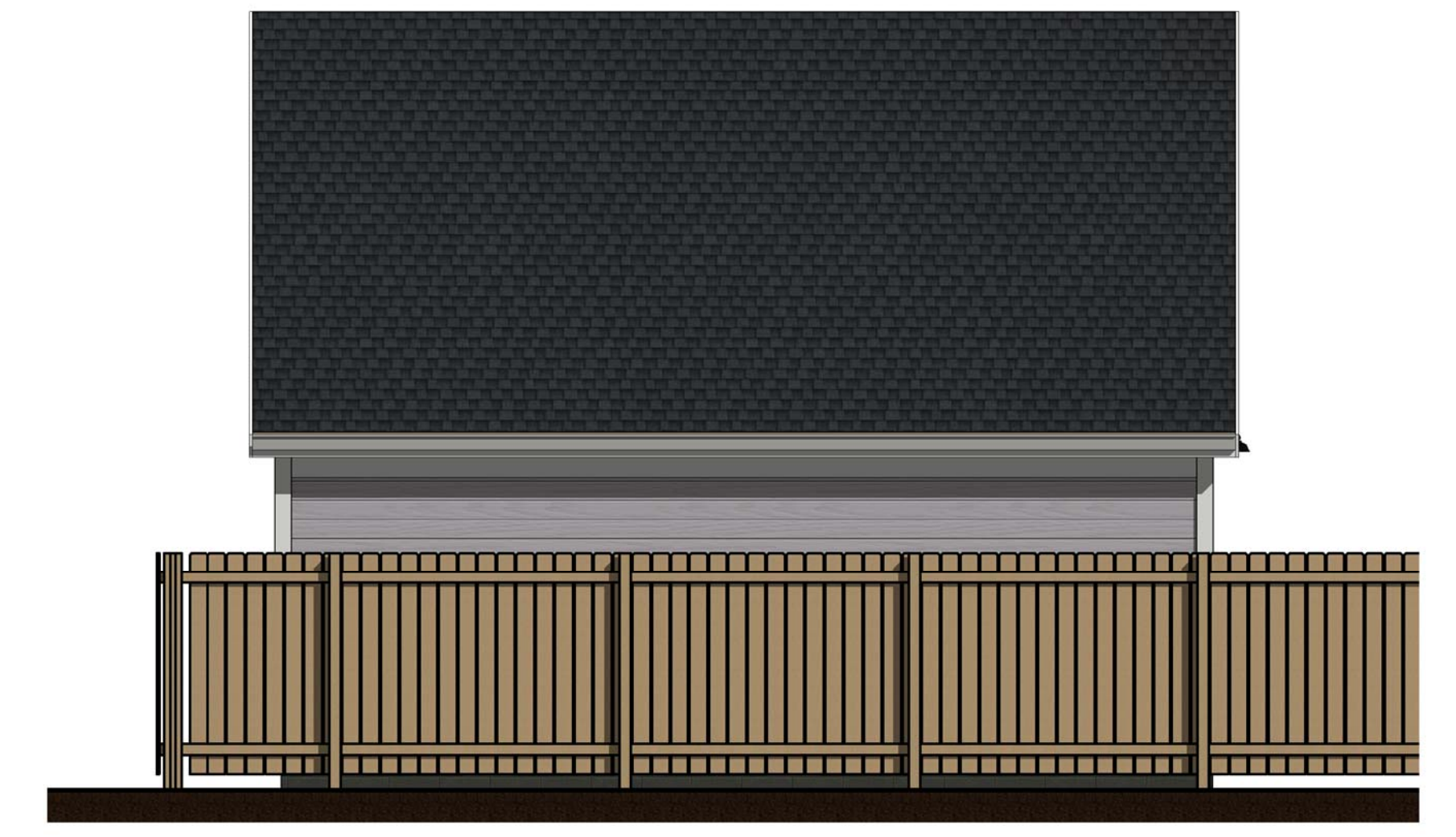
② Garage Front Elevation
1/4" = 1'-0"



③ Garage Right Side Elevation
1/4" = 1'-0"



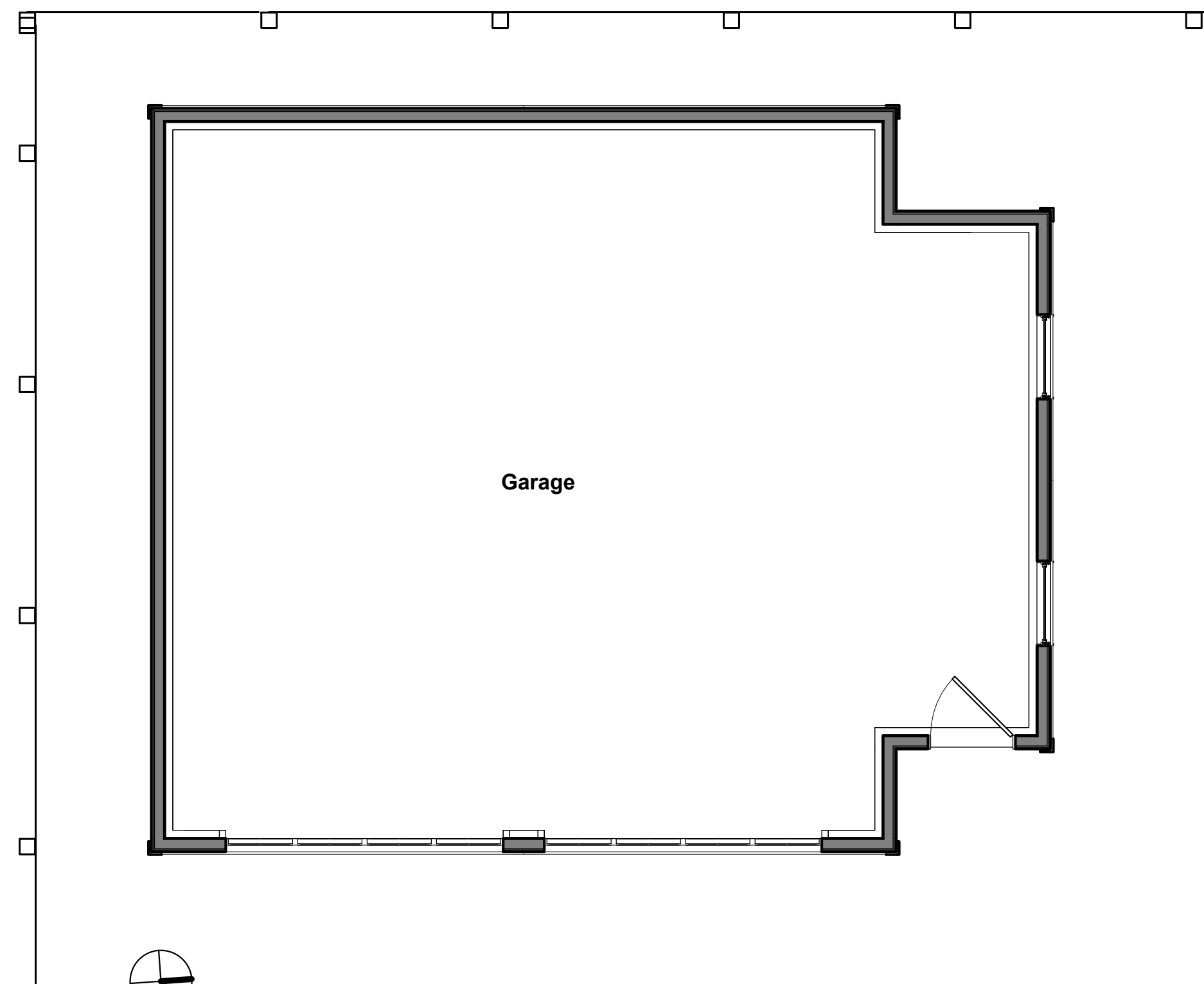
④ Garage Back Elevation
1/4" = 1'-0"



⑤ Garage Left Side Elevation
1/4" = 1'-0"

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The Gruber Residence
745 Francis Avenue Bexley, Ohio



① Garage Plan
1/4" = 1'-0"



② Garage Front Elevation
1/4" = 1'-0"



③ Garage Right Side Elevation
1/4" = 1'-0"



④ Garage Back Elevation
1/4" = 1'-0"



⑤ Garage Left Side Elevation
1/4" = 1'-0"

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The Gruber Residence
745 Francis Avenue Bexley, Ohio



Existing Home Photos
(All Structures to be removed)

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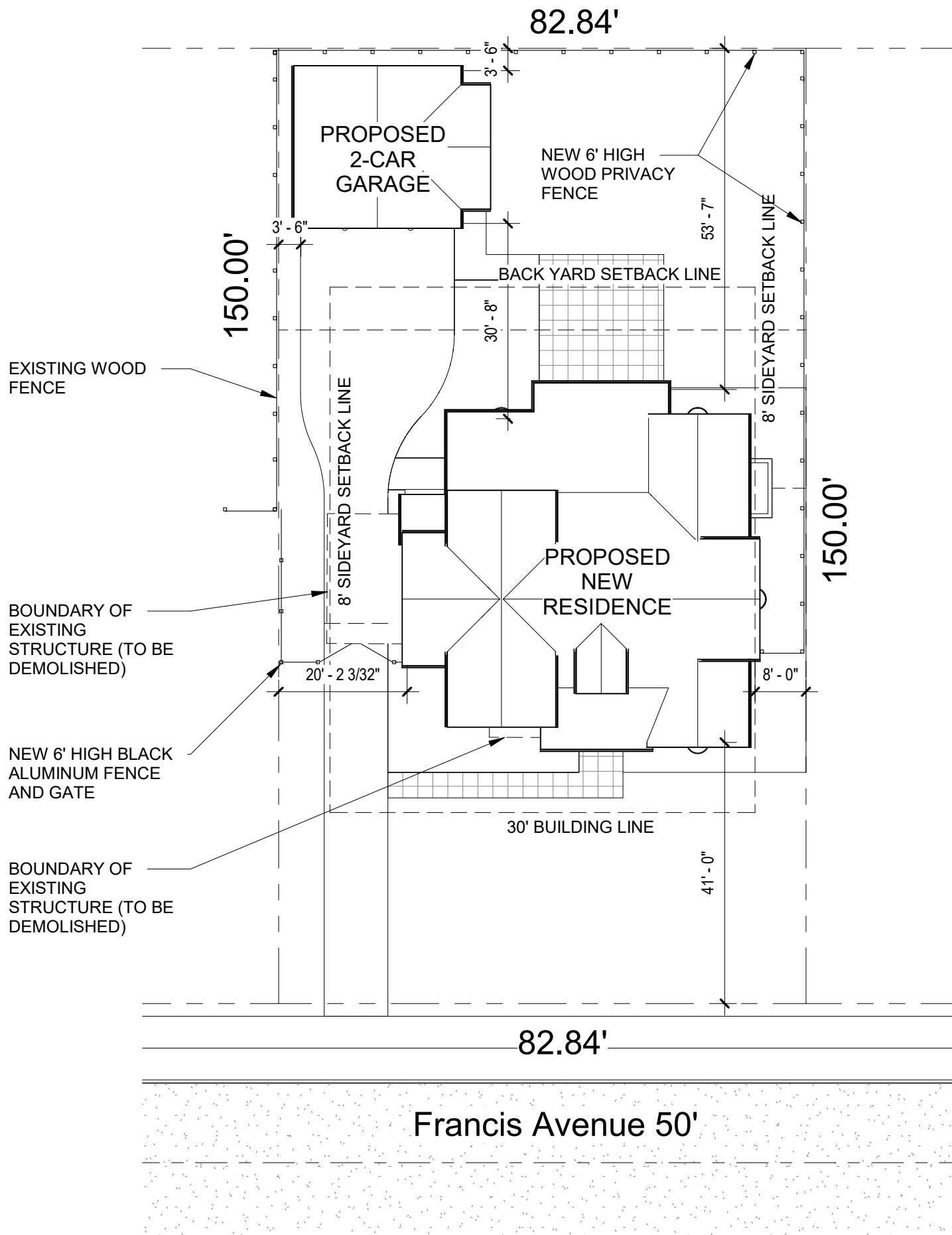
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1 Site Plan 1
 1" = 20'-0"

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The Gruber Residence
745 Francis Avenue



Street Elevation - Adjacent Structures

Not to Scale



Street Elevation - Adjacent Structures

Not to Scale

DEAN A. WENZ

ARCHITECTS

Minutes of the Jun 13, 2019 ARB meeting. – 745 Francis

Bokor reviewed staff comments with the Board for this application. For the benefit of all in attendance, Bokor explained that there is a demolition ordinance that has strict criteria to work through before a demolition would be approved. The applicant would like to demolish the existing home and build a new single family dwelling. The original application lacked sufficient scale and detail and the architecture did not fit with the fabric of the street. The homeowner and designer revised the proposal and came back with a new proposal. The scale is smaller, more detailed and more modern in design. The garage was removed from the front of the home in this rendering. In terms of the merit of demolishing an existing home, the replacement must be equal to or better than what is currently there. The structural engineer included a letter stating there were foundation problems, which the applicants will discuss with the Board. Staff believes more work could be done to break down the symmetry in the proposal's design. Bokor also noted that demolitions and new builds rarely get approved on the first time. Other features, such as landscape plans and adequate time for neighbors feedback, are included in the process. Bardwell restated Bokor's explanation of demolition, and added that Bexley has a rigorous demolition ordinance which sets rigorous standards for what must be done for an existing residence to be demolished, one of which is a demonstration of a fully explored proposed replacement. Criteria exists for the new structure, which should be over and above what is existing. Included in a proposed new build is a view of the streetscape of building frontage and height. One other item helpful to the Board in this, and any application, is including a 3-dimensional view to see how the building fits into the streetscape.

William Gruber and Shawn McAllister were sworn in. The applicants provided background information to the Board for this application. They provided an independent structural engineer report, which shows structural damage to the integrity of the house in the basement as well as water damage. The walls are cracked and the engineer was not confident the home is structurally sound. An independent architect reviewed the detailing of the demolition code and his opinion of the home, as well as researched whether the home had any architectural or historical significance. The applicants worked with Bokor on the plan revisions and knew some things would change after coming before the Board for review.

Comments from the Board included that the conditions listed by the structural engineer are not uncommon in South Bexley homes, are normal for this location, are not found to be compelling, all of the reasons are applicable to everyone living in South Bexley, that the design is of mediocre quality and out of scale, there are concerns with elevations, materials, massing and that the home is drawn facing forward in elevation only but will not always be seen from that vantage point, and that the design does not need to be symmetrical. The members are not convinced of the assessment, think the home has character as is, and see it as an opportunity to embellish and enhance the home.

Amy Lauerhass was sworn in. Mrs. Lauerhass is a neighbor to this residence and wanted to voice her concerns. She thanked the applicants for being open to changes based on Bokor's feedback and feels strongly that this home should not be demolished. There is nothing about the home that can not be repaired or remedied, and that the home has not been maintained properly, but is not uncommon. She did not see the structural engineer's report, but noted a lot of homes have similar problems. She disagrees that this home is unremarkable and thinks that it is desirable. She referenced that even though this home backs up to Capital University, homes to the sides will be impacted by this proposal. A solution she offered is to keep the main house open, and that it sits on a large lot that could support a detached garage in the back as well as include an addition for more interior space. The home in this proposal is not appropriate in scale height or massing to the other homes in the neighborhood. The homes in the area are asymmetrical, while this home is one large mass. She is concerned this would set a precedent in South Bexley, and look misplaced in the neighborhood. She asked the applicants to explore options of the stock of homes that are already there.

Susan Plaisted was sworn in. She is also a neighbor to this home, read the application, and wanted to remind the Board of a few things about demolition. Prior demolition requests came before the Board for historically significant homes and were approved. She stated that this house does not have the same type of significance as the other homes, one of which had a letter written on its behalf to not demolish the building, but was approved by the Board to demolish. This home is typical of the time it was built, but in her opinion is not that significant. The street is changing and evolving. Multi-family

homes have been converted into single family homes because people living in South Bexley want bigger homes.

Members of the Board stated that they do not necessarily object to demolishing a home that will be replaced with something better, but feel that the design in this proposal is not better than what is already there. The applicants said they will work with the Design Consultant to revise the proposal and asked the members of other changes to consider. Bardwell stated that the Board is not in the position to imply recommendations in order to meet Board approval. Bokor offered that the applicants have 3-dimensional representation of the proposal. Members commented that the proposed building lacks charm, and suggested the applicants take a look at cues in the surrounding homes, and that this was an opportunity to create something with character. Bardwell commented that the applicants should show the renderings in context, especially in regards to the broader perspective to the context of the street. The current grouping of residences are unique and frontages on this street are greater than on other streets in South Bexley. The lots are wider, have a spacious streetscape, and that the applicants should take advantage of that. Diverse styles of homes align the street, and Bardwell suggested the applicants walk along the street, and take a cue from what exists on the street now.

The members continued to discuss the details and design for this application. They commented that they can not dictate a specific style, but are asking for greater compatibility with the immediate and overall streetscape, as well as seeing the applicant use quality materials in the project. The Board and the applicants discuss Tabling the application. The applicants agree to Table. Bill Heyer made a motion to Table the application. Suzanne Toney seconded the motion.



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Bexley Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, January 6, 2020 at 6:00 PM.**, in City Council Chambers, Bexley City Hall, 2242 East main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-19-25 (BZAP)

Applicant: Brian Marzich

Owner: Ryan Brown

Location: 2618 Brentwood

ARB Request: The applicant is seeking architectural review and approval to allow a covered side porches on the west side of the principal structure, one of which will be screened. The applicant is also seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow an open front entry porch.

BZAP: The applicant is seeking architectural review and approval to allow an open front entry porch on the south side of the principal structure. The applicant is also seeking a variance from Bexley Code Section 1252.10(a)(1), which requires structures on lots 100' – 150' in width to be located 25' from the street side property line of a corner lot, to allow an open front porch addition to be constructed 19' from the east side property line. If approved, the porch will be constructed 1' further from the side property line than the existing structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

*(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory structures and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

Applicant

 Brian Marzich
 614-314-0260
 brian@marzich.com

Location

2618 BRENTWOOD RD
Bexley, OH 43209

ARB-19-25

Status: Active

Submitted: Dec 12, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Add new entry porch and new/enlarged side porch which is partially screened.

Architecture Review	Demolition
--	--
Planned Unit Dev	Rezoning
--	--

A.1: Attorney / Agent Information

Agent Name	Agent Address
Brian Marzich	--
Agent Email	Agent Phone
--	--
Property Owner Name	Property Owner phone
--	--

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project	Minor Architectural Review
40000	--
Major Architectural Review	Variance Review - Fill out a BZAP Application instead.
true	--
Zoning	Zoning Review Type
--	--

Sign Review and Architectural Review for Commercial Projects

--

Review Type

--

Appeal of ARB decision to BZAP

--

Appeal of BZAP decision to City Council

--

B: Project Worksheet: Property Information**Occupancy Type**

Residential

Zoning District

--

Use Classification

R-6 (35% Building and 60% Overall)

B: Project Worksheet: Lot Info**Width (ft)**

120

Depth (ft)

134

Total Area (SF)

16115

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)**

2788

Proposed Addition (SF)

794

Removing (SF)

--

Type of Structure

--

Proposed New Primary Structure or Residence (SF)

--

Total Square Footage

3582

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)**

--

Proposed Addition (SF)

--

New Structure Type

--

Ridge Height

--

Proposed New Structure (SF)

--

Is there a 2nd Floor

--

Total of all garage and accessory structures (SF)

--

Total building lot coverage (SF)

--

Total building lot coverage (% of lot)

--

Is this replacing an existing garage and/or accessory structure?

No

B: Project Worksheet: Hardscape**Existing Driveway (SF)**

1145

Existing Patio (SF)

1084

Existing Private Sidewalk (SF)

174

Proposed Additional Hardscape (SF)

0

Total Hardscape (SF)

2403

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)**

5416

Total overall lot coverage (% of lot)

34

C.1 Architectural Review Worksheet: Roofing**Roofing**

true

Structure

House or Principal Structure

Existing Roof Type

Arch. Dimensional Shingles

New Roof Type

Arch. Dimensional Shingles

New Single Manufacturer

match existing

New Roof Style and Color

match existing

C.1 Architectural Review Worksheet: Windows**Windows**

true

Structure

House or Principal Structure

Existing Window Type

Double Hung

Existing Window Materials

Other

Other existing window materials

vinyl

New Window Manufacturer

vinyl to match existing

New Window Style/Mat./Color

vinyl to match existing

C.1 Architectural Review Worksheet: Doors**Doors**

--

Structure

--

Existing Entrance Door Type

--

Existing Garage Door Type

--

Door Finish**Proposed Door Type**

--

--

Proposed Door Style

Proposed Door Color

--

--

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Existing Door Trim

Std. Lumber Profile

Proposed New Door Trim

--

Existing Window Trim

Vinyl

Proposed New Window Trim

match exist.

Trim Color(s)

white

Do the proposed changes affect the overhangs?

Yes

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

--

Existing Finishes

Wood Shingle

Existing Finishes Manufacturer, Style, Color

--

Proposed Finishes

Wood Shingle

Proposed Finishes Manufacturer, Style, Color

--

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

--

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

Attachments (3)



Photographs (required)
Dec 12, 2019

pdf **Architectural Plans which include Exterior Elevations and floor plans of existing and proposed**

Dec 12, 2019

pdf **Site Plan**

Dec 12, 2019

Timeline

Payment

Status: Paid December 13th 2019, 11:39 am

Robin Shetler December 12th 2019, 1:59:11 pm

Spoke to Brian, will be dropping off a hard copy of plans and a check for ARB

Zoning Officer

Status: Completed December 17th 2019, 10:39 am

Assignee: Kathy Rose

Robin Shetler December 12th 2019, 1:59:45 pm

@Kathy Rose , submitted for ARB, dropping off plans and a check

Kathy Rose December 13th 2019, 4:20:11 pm

Brian - what is the average existing front yard setback? Also, what is the distance from the additions to the side property lines?

Brian Marzich December 20th 2019, 8:57:10 am

Kathy, I re-uploaded sheet A1.1 to the site plan submission area with this additional information. Please let me know if you need anything else. Thanks, Brian Marzich 614-314-0260

Brian Marzich December 23rd 2019, 9:31:41 am

Kathy, I re-uploaded drawings showing the average front setback information. Please let me know if you need anything else.

Thanks, Brian Marzich 614-314-0260

Kathy Rose December 24th 2019, 10:19:52 am

I could not see the addresses for the neighboring properties??? You can e-mail that directly to me if you'd like.

Brian Marzich December 26th 2019, 4:59:28 am

Kathy, The addresses are (from west to east): 2590, 2596, 2602, 2618, 2650, 2650, and 2650. They are called out on the areal diagram 3/A1.01 and in the Building Information box. Thanks

Design Planning Consultant

Status: In Progress

Assignee: Karen Bokor

Architectural Review Board

Status: In Progress

Board of Zoning and Planning

Status: In Progress

City Council

Status: In Progress

Tree Commission

Status: In Progress

Arborist

Status: In Progress

FOR REVIEW ONLY

MARZICH
ARCHITECTURE
2465 SENECA PARK PLACE - BEXLEY, OHIO 43209
614.314.0260



VIEW FROM SOUTH EAST



2 PROPOSED SOUTH ELEVATION
A2.1 1/4"=1'-0"



EXISTING ENTRY



EXISTING SOUTH FACADE



1 EXISTING SOUTH ELEVATION
A2.1 1/4"=1'-0"

BROWN RESIDENCE

ENTRY AND SIDE PORCH ADDITION
2618 BRENTWOOD ROAD, BEXLEY, OHIO 43209

Date: December 20, 2019

Scale: VARIES

Sheet:

A2.1

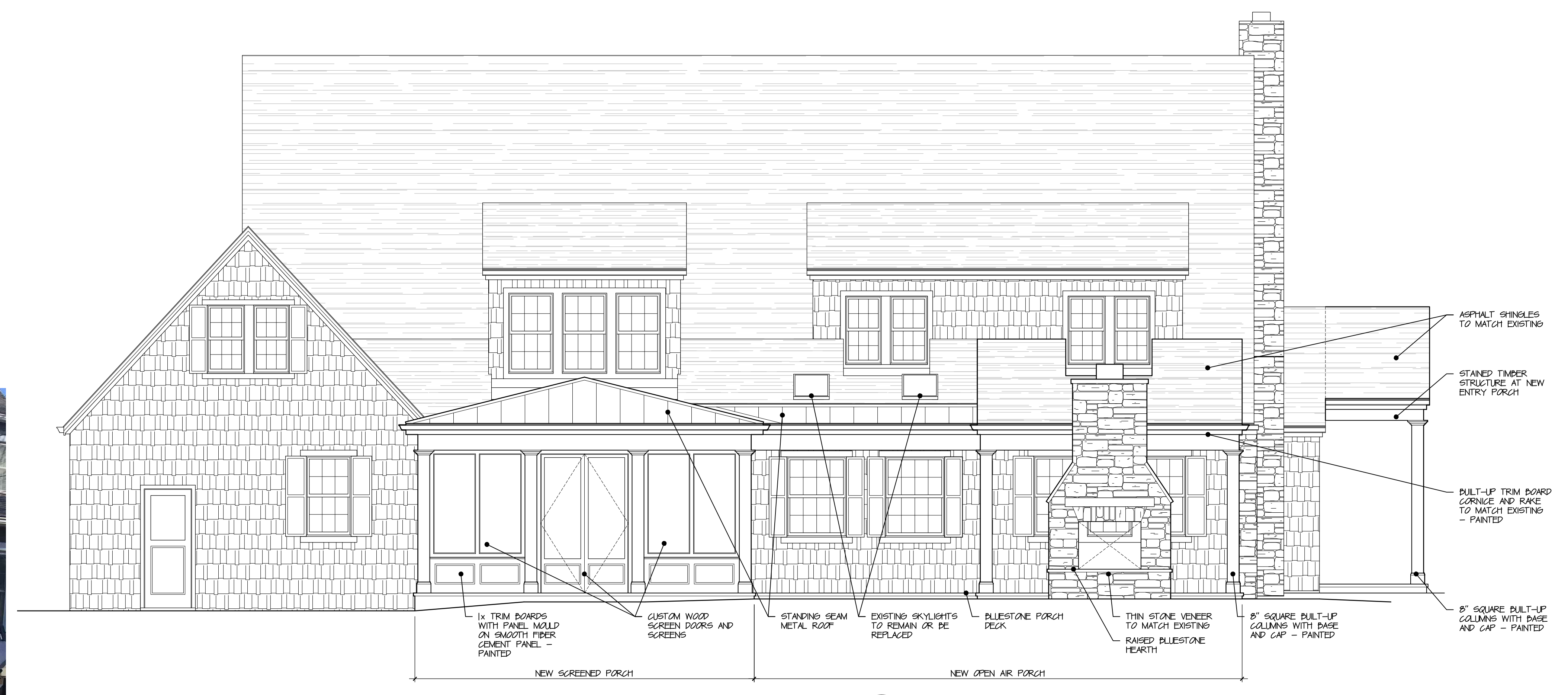
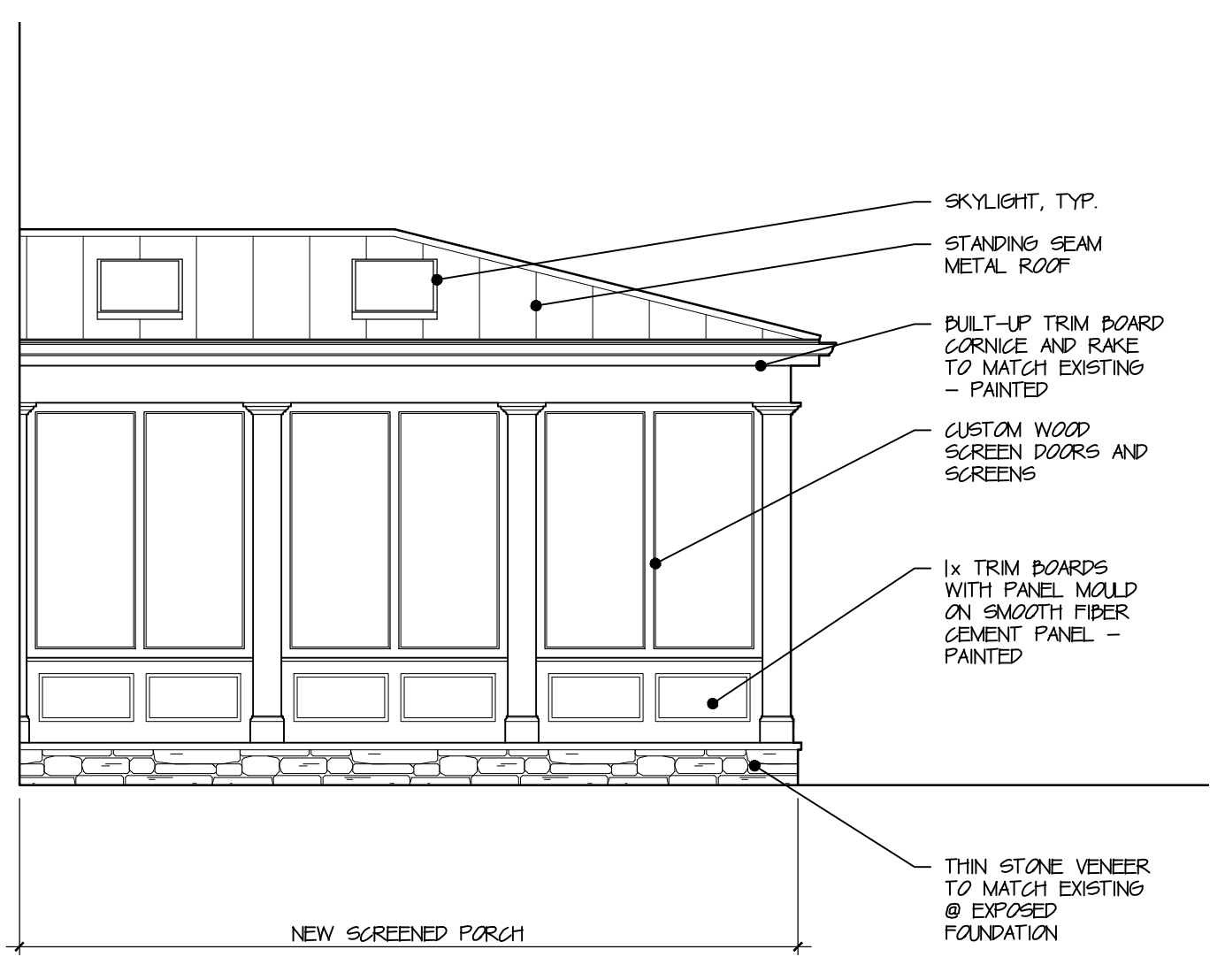
FOR REVIEW ONLY

MARZICH
ARCHITECTURE
2465 SENECA PARK PLACE - BEXLEY, OHIO 43209
614.314.0260

BROWN RESIDENCE
ENTRY AND SIDE PORCH ADDITION
2618 BRENTWOOD ROAD, BEXLEY, OHIO 43209

Date: December 20, 2019
Scale: VARIES
Sheet:

A2.2



2 PROPOSED WEST ELEVATION
A2.2 1/4"=1'-0"



1 EXISTING WEST ELEVATION
A2.2 1/4"=1'-0"



PORCH ENCLOSURE AND PATIO TO BE REMOVED



NEW FROM SOUTH WEST



2618

FOR REVIEW ONLY

MARZICH
ARCHITECTURE
2465 SENECA PARK PLACE - BEXLEY, OHIO 43209
614.514.0260

BUILDING INFORMATION

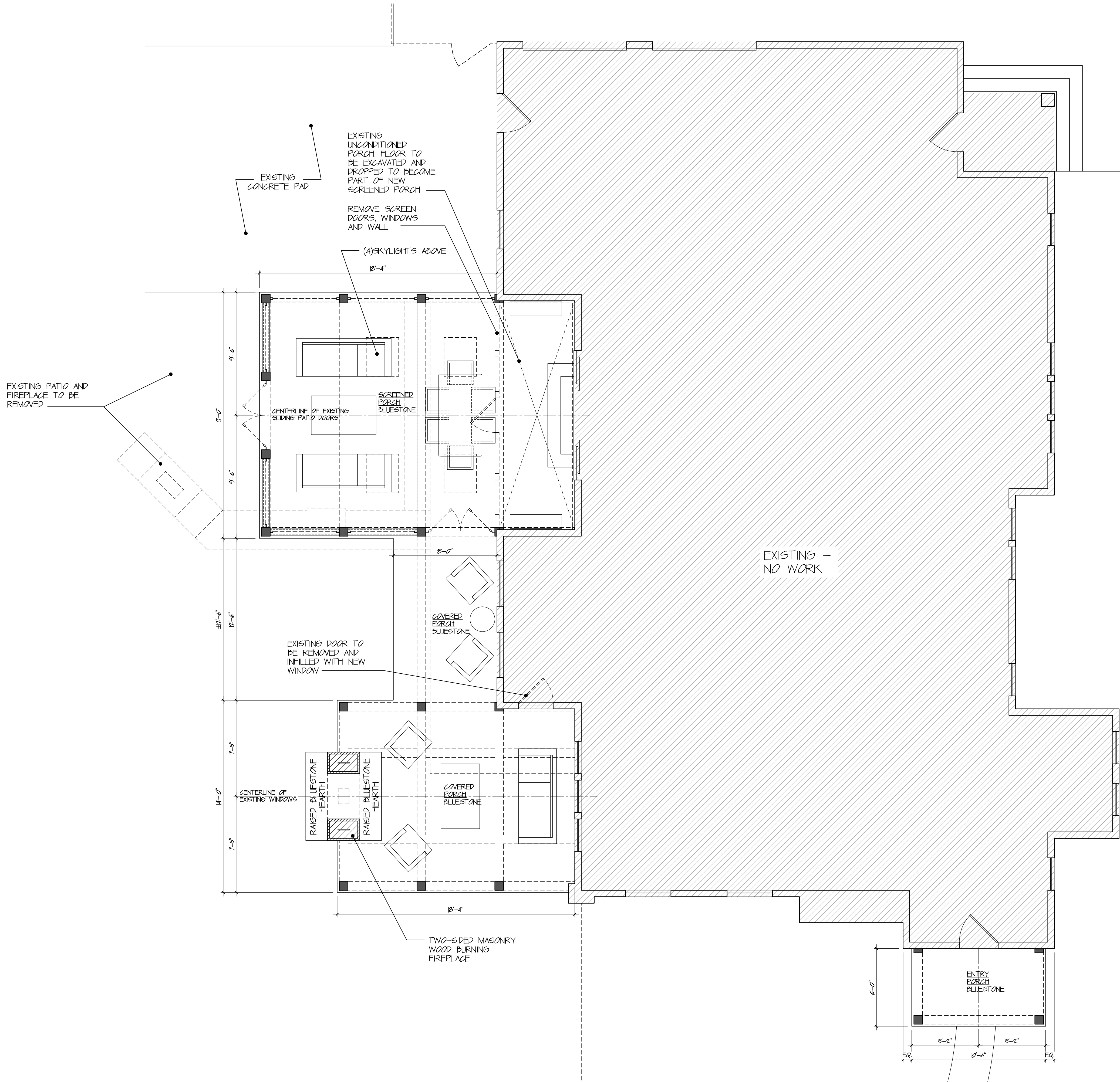
GOVERNING CODE: 2019 RESIDENTIAL CODE OF OHIO
 ZONING: R-6 (HIGH DENSITY)
 SITE AREA: 6,115 SF. (27 ACRES)

	EXISTING	PROPOSED	TOTAL
HOUSE COVERAGE (HOUSE, GARAGE, PORCHES)	2,786 SF.	794 SF.	3,580 SF.
BUILDING COVERAGE (50% MAX.)	2,786 SF. (17.3%)		3,580 SF. (22.2%)
HARDSCAPE:	2,409 SF.	-549	1,860 SF.
TOTAL COVERAGE (60% MAX.)	5,191 SF. (22.2%)		5,416 SF. (29.6%)

SQUARE FOOTAGE	AVERAGE FRONT YARD SETBACK
FIRST FLOOR: 2,246 SF.	ADDRESS
SECOND FLOOR: 1,095 SF.	2590
THIRD FLOOR: 421 SF.	2596
TOTAL: 4,862	2602
	2608
	2620
	2640
	2650
	AVE.
	44.5
	46.67
	49.5
	46.0
	43.5
	49.0
	43.5
	43.95

SHEET INDEX

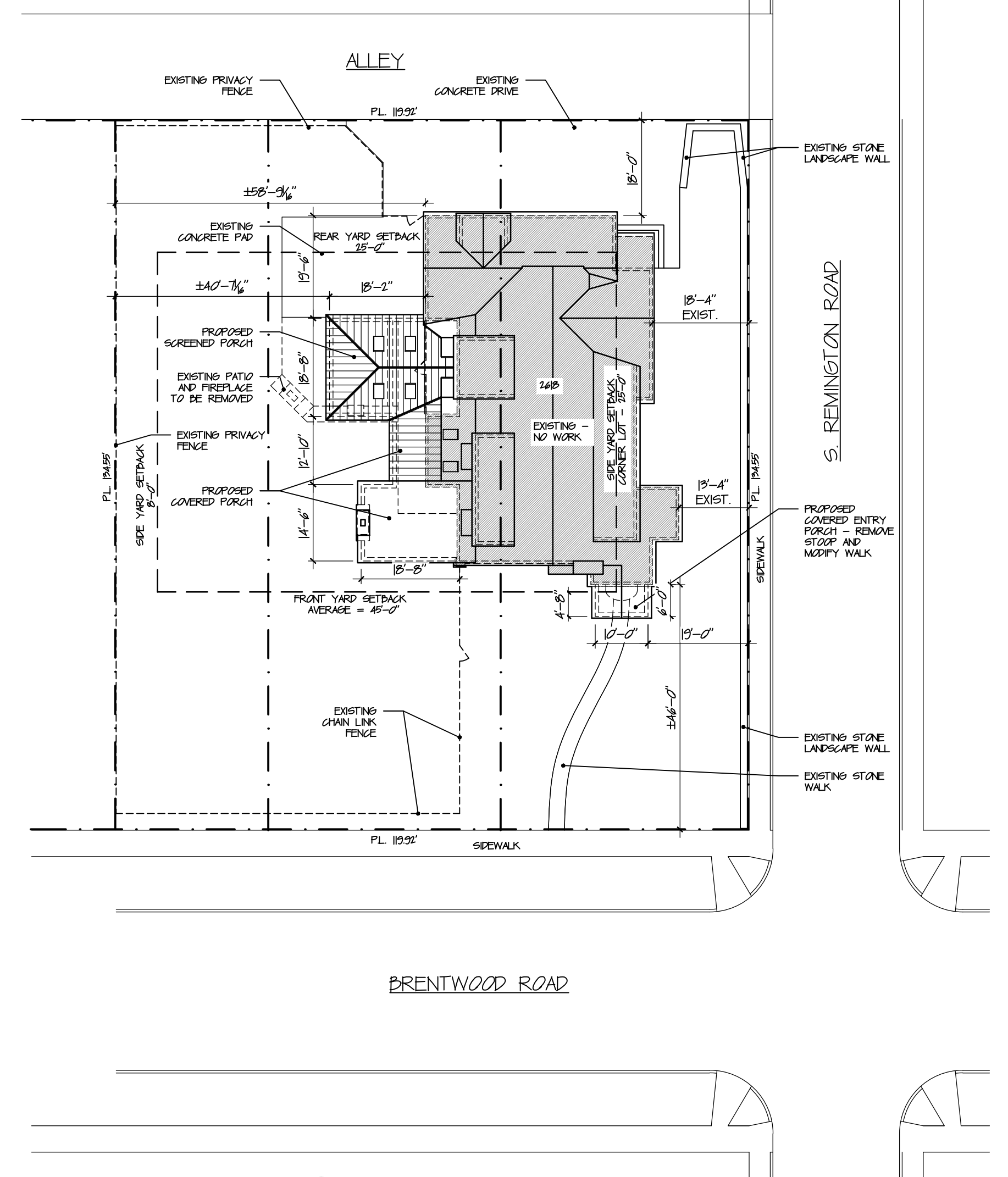
A11 SITE PLAN AND FLOOR PLAN
 A21 ELEVATIONS AND PHOTOS
 A22 ELEVATIONS AND PHOTOS



2 FIRST FLOOR PLAN
1/4"=1'-0"



3 AVERAGE SETBACK
NO SCALE



1 SITE PLAN
1"20'-0"

BROWN RESIDENCE
ENTRY AND SIDE PORCH ADDITION
2618 BRENTWOOD ROAD, BEXLEY, OHIO 43209

Date: December 20, 2019

Scale: VARIES

Sheet:

A1.1



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD
BOARD OF ZONING AND PLANNING

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The Bexley Board of Zoning and Planning (BZAP) will hold a Public Hearing on the following case on **Thursday, January 23, 2020 at 6:00 PM.**, in City Council Chambers, Bexley City Hall, 2242 East main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

- a. Application No.: BZAP-19-17
Applicant: Ashley Coey
Owner: Nathan & Ashley Coey
Location: 2395 Charles St.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a two-story addition to the rear of the principal structure, raise the 3rd floor roof and add 2 dormers, and to also modify the front porch roof.

BZAP: The applicant is seeking architectural review and approval, to allow a two-story addition to the rear of the principal structure, raise the 3rd floor roof and add 2 dormers, and to also modify the front porch roof. The applicant is also seeking a 2' 7" variance from Bexley Code Section 1252.09(R-6) Zoning District. Which requires an 8' setback from side yard property line, to allow the addition to be constructed 5'5" from the west side property line and in-line with the existing principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

*(BZAP)Board of Zoning & Planning
Application - Review of Variance
requests for Residential and
Commercial Development

Applicant



Ashley Coey

614-329-4050



ashleycoey@innovativedesignforyou.com

Location

2395 CHARLES ST

Bexley, OH 43209

BZAP-19-17

Status: Active

Submitted: Dec 05, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT.

Rear second floor addition. Raise 3rd floor roof and add 2 dormers. Change front porch roof line.

Architecture Review

--

Demolition

--

Rezoning

--

What requires Major Architectural Review

--

What requires Minor Architectural Review

--

Major Architectural Review

--

Conditional Use

--

Planned Unit Dev

--

Variance or Special Permit

true

Minor Architectural Review

--

A.1: Attorney / Agent Information

Agent Name

--

Agent Email

--

Agent Address

--

Agent Phone

--

A.2: Fee Worksheet

Estimated Valuation of Project

0

Major Architectural Review

true

Variance Review Type

Single Family

Minor Architectural Review

--

Variance Review

true

Zoning

--

Zoning Review Type

encroaching into required setback

Sign Review and Architectural Review for Commercial Projects

--

Review Type

Special Permit, Conditional Uses and All Others

Appeal of ARB decision to BZAP

--

Appeal of BZAP decision to City Council

--

Conditional Use - Explain type of Use if being requested and fill out Conditional Use Criteria

--

B: Project Worksheet: Property Information**Occupancy Type**

Residential

Zoning District

--

Use Classification

--

B: Project Worksheet: Lot Info**Width (ft)**

64

Depth (ft)

160

Total Area (SF)

10240

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)**

1482

Proposed Addition (SF)

170

Removing (SF)

0

Type of Structure

2nd Floor Room Addition

Proposed New Primary Structure or Residence (SF)

2204

Total Square Footage

2374

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)**

0

Proposed Addition (SF)

--

New Structure Type

--

Ridge Height

--

Proposed New Structure (SF)

--

Is there a 2nd Floor

--

Total of all garage and accessory structures (SF)**Total building lot coverage (SF)**

--	--
Total building lot coverage (% of lot)	Is this replacing an existing garage and/or accessory structure?
--	--

B: Project Worksheet: Hardscape

Existing Driveway (SF)	Existing Patio (SF)
--	--
Existing Private Sidewalk (SF)	Proposed Additional Hardscape (SF)
--	--
Total Hardscape (SF)	
--	

B: Project Worksheet: Total Coverage

Total overall lot coverage (SF)	Total overall lot coverage (% of lot)
--	--

C.1 Architectural Review Worksheet: Roofing

Roofing	Structure
true	House or Principal Structure
Existing Roof Type	New Roof Type
Arch. Dimensional Shingles	Arch. Dimensional Shingles
New Single Manufacturer	New Roof Style and Color
--	Charcoal Gray

C.1 Architectural Review Worksheet: Windows

Windows	Structure
true	House or Principal Structure
Existing Window Type	Existing Window Materials
Double Hung	Wood
New Window Manufacturer	New Window Style/Mat./Color
--	Double hung/Wood -Aluminum Clad/Black

C.1 Architectural Review Worksheet: Doors

Doors	Structure
true	House or Principal Structure
Existing Entrance Door Type	Existing Garage Door Type

Fiberglass

Insulated Metal

Door Finish

Proposed Door Type

Painted

Wood

Proposed Door Style

Proposed Door Color

Single Panel 6 lite door

Stained

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Existing Door Trim

Aluminum Clad

Proposed New Door Trim

Wood

Existing Window Trim

Other

Other Existing Window Trim

--

Proposed New Window Trim

--

Trim Color(s)

White

Do the proposed changes affect the overhangs?

No

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

true

Existing Finishes

Aluminum Siding

Existing Finishes Manufacturer, Style, Color

Aluminum, White

Proposed Finishes

Vinyl Siding

Proposed Finishes Manufacturer, Style, Color

Shaker and Clapboard Insulated Vinyl siding, White,

D: Tree & Public Gardens Commission Worksheet

Type of Landscape Project

--

Landscape Architect/Designer

--

Architect/Designer Phone

--

Architect/Designer E-mail

--

Project Description

--

I have read and understand the above criteria

--

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

E.1 Variance Worksheet

Description of the Proposed Variance. Please provide a thorough description of the variance being sought and the reason why.

We would like to expand the house 10' with a 2nd floor addition to the rear of the house. We would like to request a variance so that the structure can be aligned with the existing side of house.

1. Does the property in question require a variance in order to yield a reasonable return? Can there be any beneficial use of the property without the variance? Please describe.

Aligning the addition to the existing side of the house will provide a smooth consistency on the exterior and interior walls.

2. Is the variance substantial? Please describe.

No, we are requesting 8". This will not extend past the existing bay on the same side.

3. Would the essential character of the neighborhood be substantially altered or would adjoining properties suffer a substantial detriment as a result of the variance? Please describe.

No, the character of the neighborhood would not be altered and the neighbors would not suffer any as this is a 2nd floor addition and first floor will be patio and remain open and airy as is now. This addition will not come any closer to their property than what is existing now.

E.2 Variance Worksheet

4. Would the variance adversely affect the delivery of governmental services (e.g. water, sewer, garbage)? Please describe.

No, it would remain as is.

5. Did the property owner purchase the property with the knowledge of zoning restriction? Please describe.

No

6. Can the property owner's predicament feasibly be obviated through some method other than a variance? Please describe.

The addition cannot be completed as planned without a variance.

7. Is the spirit and intent behind the zoning requirement observed and is substantial justice done by granting the variance? Please describe.

We will not be extending any further than the existing structure is currently.

F.1 Fence Variance Worksheet

Lot Type

--

Narrative description of how you plan to meet the pertinent outlined variance criteria

--

F.1-F.2 Fence Variance Worksheet: Side and Rear Yard Restrictions for Corner Lots

1. Compatibility: Describe how the proposed side yard fence or wall exceeding forty-eight inches in height and on the street side of a corner lot compatible with other properties in the neighborhood?

--

2. Height: Please verify that the maximum height of such fence or wall shall not exceed seventy-two inches as measured from the average grade, as defined in Section 1230.06. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included within the seventy-two inch maximum height.

--

3. Transparency: Fences exceeding forty-eight inches in height should include transparency in the upper 12” to 18” of the fence through the use of latticework, pickets, or other appropriate design elements. Describe how you have satisfied this requirement.

--

4. Screening: A landscaping plan must be filed with the application for a special permit, indicating how such fencing or wall is to be screened from the street side elevation. The landscape plan should be designed in such a way as to mitigate the impact of a solid fence or wall as it relates to the street and other properties. Describe how the landscape plan addresses these items.

--

5. Visibility and Safety: The installation of such fence or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement. Please describe any visibility/safety concerns with your design.

--

6. Material Compatibility: No chain link, wire mesh or other similar material shall be installed on lot lines adjacent to public rights-of-way. Please verify that your design complies with this requirement.

--

7. Finished Side: Any fence or wall erected on a lot located at the intersection of two or more streets must have the finished and not the structural side facing the adjacent property, alley or street. Please verify that your design complies with this requirement.

--

F.3 Fence Variance Worksheet

Front Yard Restrictions

--

Fences Adjacent to Commercial Districts

--

Require Commercial Fences Adjacent to Residential Districts

--

F.3 Fence Variance Worksheet: Front Yard Restrictions

The proposed decorative landscape wall or fence is compatible with other properties in the neighborhood.

--

The height of the fence or wall does not exceed the size permitted as above when measured from the average grade of the yard where the fence or wall is to be installed. Artificially raising the height of the lot line by the use of mounding, retaining walls or similar means shall be included in the maximum height.

--

Posts, columns and finials may extend up to 6” above the maximum allowed height of the fence panels. CHAPTER 1264. FENCES AND WALLS City of Bexley Zoning Ordinance

--

A landscaping plan shall be filed with the application indicating how such fencing and/ or wall is to be integrated with existing front yard landscaping.

--

The installation of such fence and/or wall shall not create a visibility or safety concern for vehicular and/or pedestrian movement.

--

No chain link, wire mesh, concrete block or other similar type material shall be installed as a decorative landscape wall or fence.

--

The fence and/or wall shall have a minimum of 50% transparency.

--

That the lot exhibits unique characteristics that support the increase in fence height.

--

G. Demolition Worksheet

Is your property historically significant? Please attached supporting documentation. Recomend sources include ownership records, a letter from the Bexley Historical Society, etc.

--

Is your property architecturally significant? Please attached supporting documentation. Recomend sources include a letter of opinion from an architect or expert with historical preservation expertise.

--

If you answered "yes" to either of the above two questions, please describe any economic hardship that results from being unable to demolish the primary residence, and attach any supporting evidence.

--

If you answered "yes" to either of the above two questions, please describe any other unusual or compelling circumstances that require the demolition of the primary residence, and attach any supporting evidence.

--

I will provide a definite plan for reuse of the site, including proposed replacement structures, by completing Worksheets B & C and any other pertinent worksheets, along with required exhibits.

--

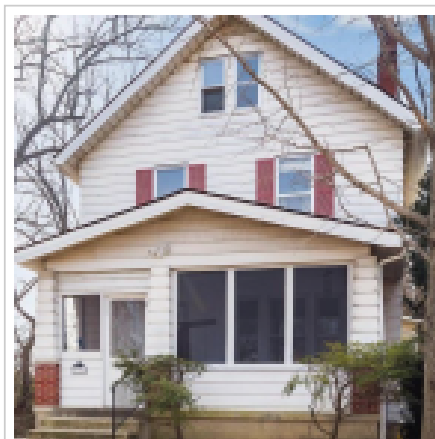
Provide a narrative time schedule for the replacement project

--

Please provide a narrative of what impact the proposed replacement project will have on the subject property and the neighborhood.

--

Attachments (3)



Photographs
Dec 05, 2019

pdf Architectural Plan

Dec 05, 2019

pdf Site Plan

Dec 05, 2019

Timeline

Zoning Officer

Status: Completed December 6th 2019, 3:19 pm

Assignee: Kathy Rose

Kathy Rose December 6th 2019, 3:18:42 pm

I would like a site plan to provide specific side yard setback of the existing structure uploaded - concern that adding on in-line with the existing structure is not the best option, especially due to the fact that you are increasing the height as well. What is the new ridge height?

Kathy Rose December 6th 2019, 3:57:44 pm

Jordan - Jan. ARB & BZAP meeting envelopes

Ashley Coey December 6th 2019, 4:49:00 pm

Existing roof = 29'-6" proposed roof = 34'-10".

Payment

Status: Paid December 9th 2019, 8:19 am

Ashley Coey December 5th 2019, 11:49:12 pm

Will this full amount need paid or will the previous payment of \$90 for the architectural review application be applied? Leaving the balance of \$100? Please advise.

Kathy Rose December 6th 2019, 3:22:54 pm

I have waived the 90.00 fee paid with the ARB application. K. Rose

Ashley Coey December 9th 2019, 8:20:35 am

Thank you. Balance paid.

Design Planning Consultant

Status: In Progress

Assignee: Karen Bokor

Kathy Rose December 6th 2019, 3:24:48 pm

Karen - this looks long and narrow and tall. There is a variance to extend to house at the same setback and they are raising the roof. You may want to take a look and critique what's proposed, in case there are any suggested modifications.

Kathy Rose December 23rd 2019, 11:49:29 am

owner and applicant are the same (innovative design for you)

Karen Bokor January 2nd 2020, 1:02:40 pm

It looks like Dan Keiser did the plans ??? Let me know what I'm missing..... Also I think it looks good! The additional height is good.

Architectural Review Board

Status: In Progress

Board of Zoning and Planning

Status: In Progress

City Council

Status: In Progress

Tree Commission

Status: In Progress

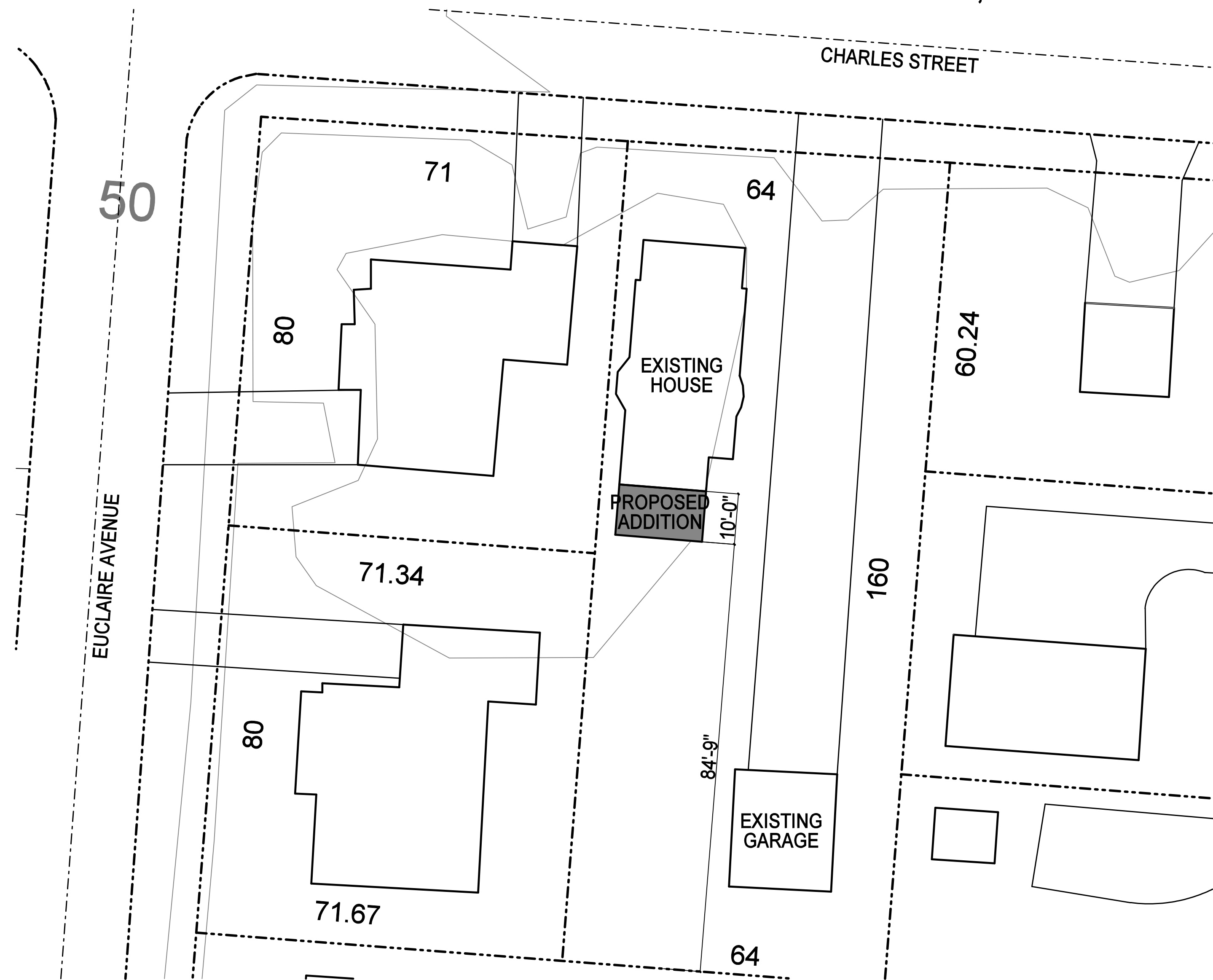
Arborist

Status: In Progress

KEISER DESIGN GROUP PROJECT # 2019-209

COEY RESIDENCE REMODEL AND ADDITION

2395 CHARLES STREET - COLUMBUS, OHIO

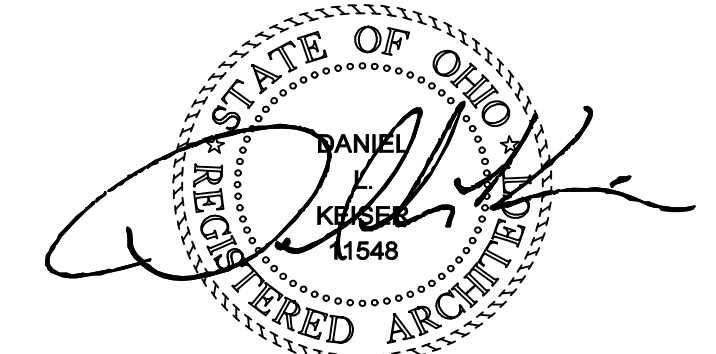


ANY CHANGES TO THESE DRAWINGS MUST BE REPORTED TO KEISER DESIGN GROUP, INC. IMMEDIATELY IN WRITING. KEISER DESIGN GROUP, INC. ASSUMES NO RESPONSIBILITY FOR CHANGES TO THE DRAWINGS THAT ARE NOT REPORTED TO THE ARCHITECT.

BASEMENT PLAN	FIRST FLOOR PLAN	SECOND FLOOR PLAN	THIRD FLOOR PLAN	ROOF PLAN	DRAWING INDEX
					<ul style="list-style-type: none"> A0-0 COVER SHEET D1-0 BASEMENT & 1ST FLOOR PLAN-DEMOLITION D1-1 SECOND & 3RD FLOOR PLAN - DEMOLITION D1-2 ROOF PLAN - DEMOLITION D2-1 EXTERIOR ELEVATIONS - DEMOLITION A1-0 BASMENT FLOOR PLAN - PROPOSED A1-1 FIRST & 2ND FLOOR PLAN - PROPOSED A1-2 THIRD FLOOR & ROOF PLAN- PROPOSED A2-1 PROPOSED EXTERIOR ELEVATIONS A3-1 WALL SECTIONS A3-2 STAIR SECTION / WALL BRACING METHOD CS-PF A4-1 GENERAL NOTES / STRUCTURAL NOTES / LIGHT AND VENT SCHEDULE A4-3 UL ASSEMBLY 305 DETAILS



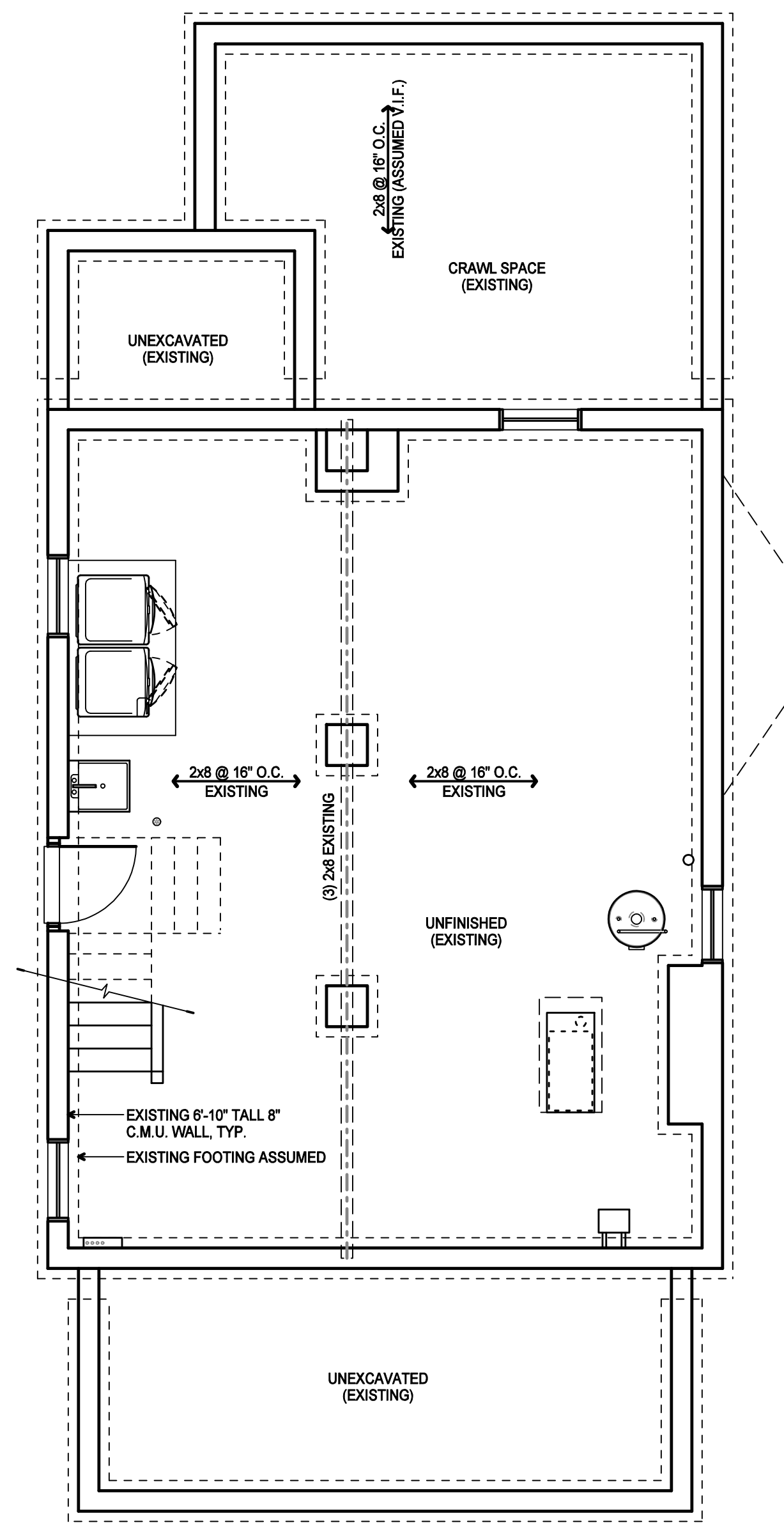
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 Phone: 614.884.9999
 www.keiserdesigngroup.com



DANIEL L. KEISER, LICENSE #11548 EXPIRATION DATE: 12/31/2019

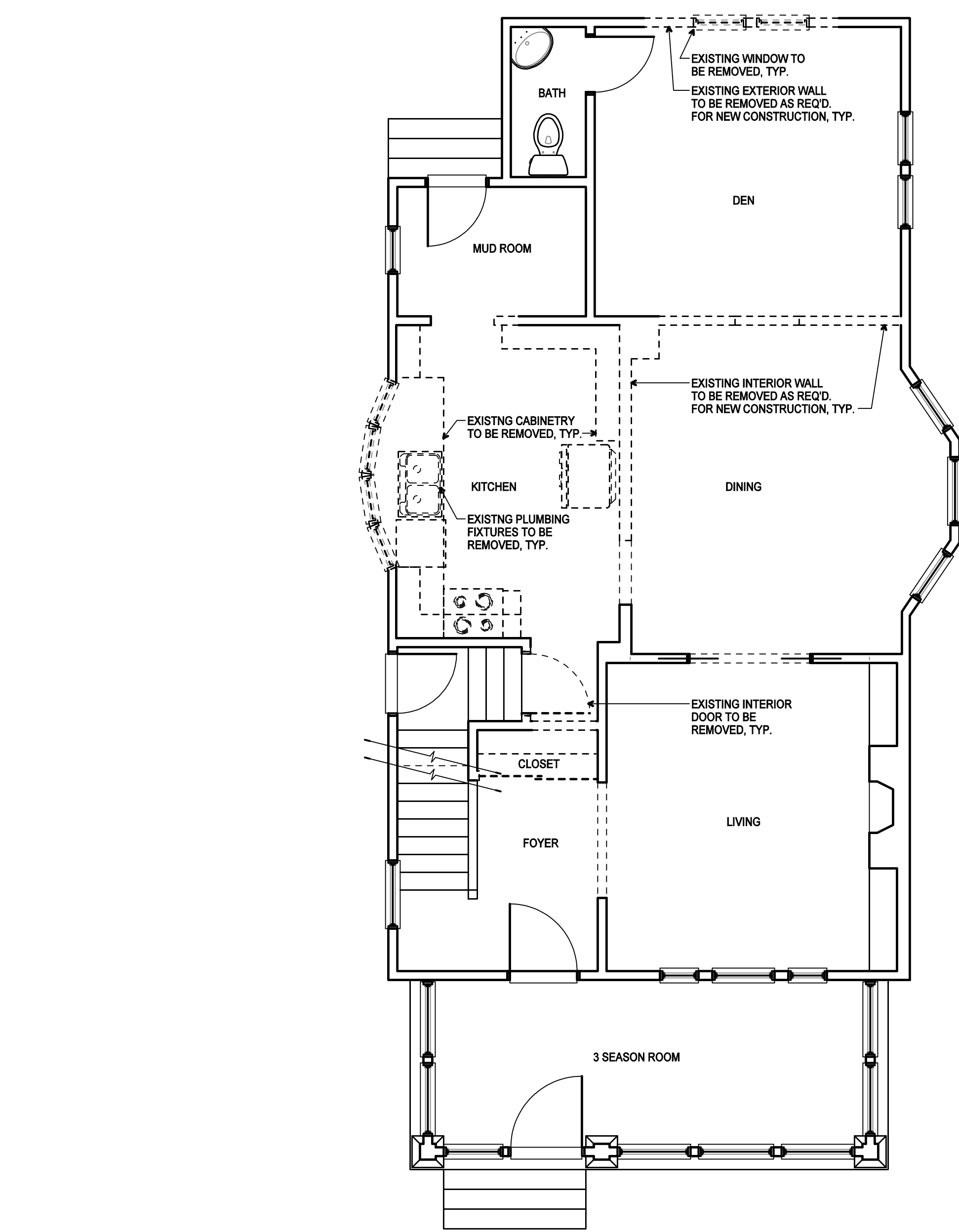
KDG PROJECT # 2019-209	SHEET NUMBER
COVER SHEET SCALE: N.T.S.	A0-0
CONSTRUCTION DOCUMENTS	11.27.2019

TITLE
 COEY RESIDENCE REMODEL AND ADDITION
 2395 CHARLES STREET COLUMBUS, OH 43209



1 BASEMENT FLOOR PLAN - DEMOLITION

UNFINISHED



2 FIRST FLOOR PLAN - DEMOLITION

882 S.F. FINISHED

DEMOLITION GENERAL NOTES

1. PRIOR TO COMMENCING DEMOLITION, CONTRACTOR SHALL PERFORM WALK-THROUGH OF AREA WITH OWNER SO THAT OWNER MAY IDENTIFY ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER.
2. REMOVE EXISTING FLOORING AND BASE AS REQUIRED, PREP FLOOR FOR NEW FINISHES AND LEVELING IF NECESSARY.
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4. CONTRACTOR SHALL LIMIT REMOVAL AND DEMOLITION WORK TO THAT SPECIFICALLY IDENTIFIED IN DRAWINGS FOR INSTALLATION OF WORK. CONTRACTOR SHALL PROTECT EXISTING FINISHES FROM DAMAGE. ANY DAMAGE TO THE EXISTING FACILITY SHALL BE REPAIRED AND RESTORED TO MATCH ORIGINAL CONDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REROUTING ANY EXISTING SERVICES THAT MAY BE EFFECTED BY CONSTRUCTION IN SUCH A MANNER THAT FULL CONTINUATION OF SERVICE SHALL BE MAINTAINED.
6. PATCH ALL EXISTING WALLS AS NECESSARY.

DEMOLITION ELECTRICAL NOTES

1. DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES LOCATED IN WALLS SCHEDULED FOR DEMOLITION, REMOVE WIRE AND CONDUIT TO LAST ACTIVE DEVICE.
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DEMOLITION PLUMBING NOTES

1. DISCONNECT AND REMOVE ALL PLUMBING FIXTURES LOCATED IN WALLS SCHEDULED FOR DEMOLITION, CAP WATER LINES AT SOURCE.
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WALL LEGEND

- EXISTING WALL TO REMAIN
- - - EXISTING WALL TO BE REMOVED

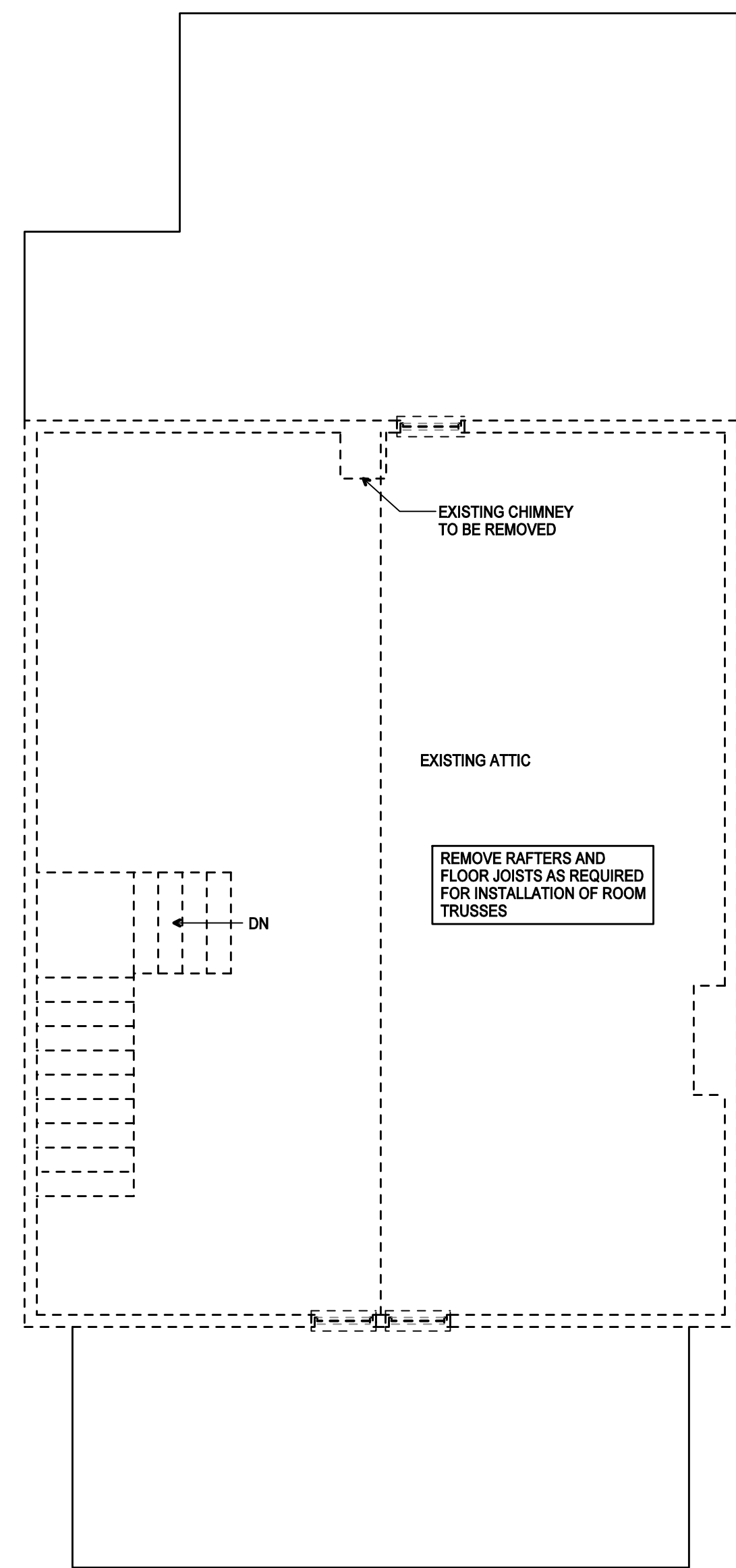
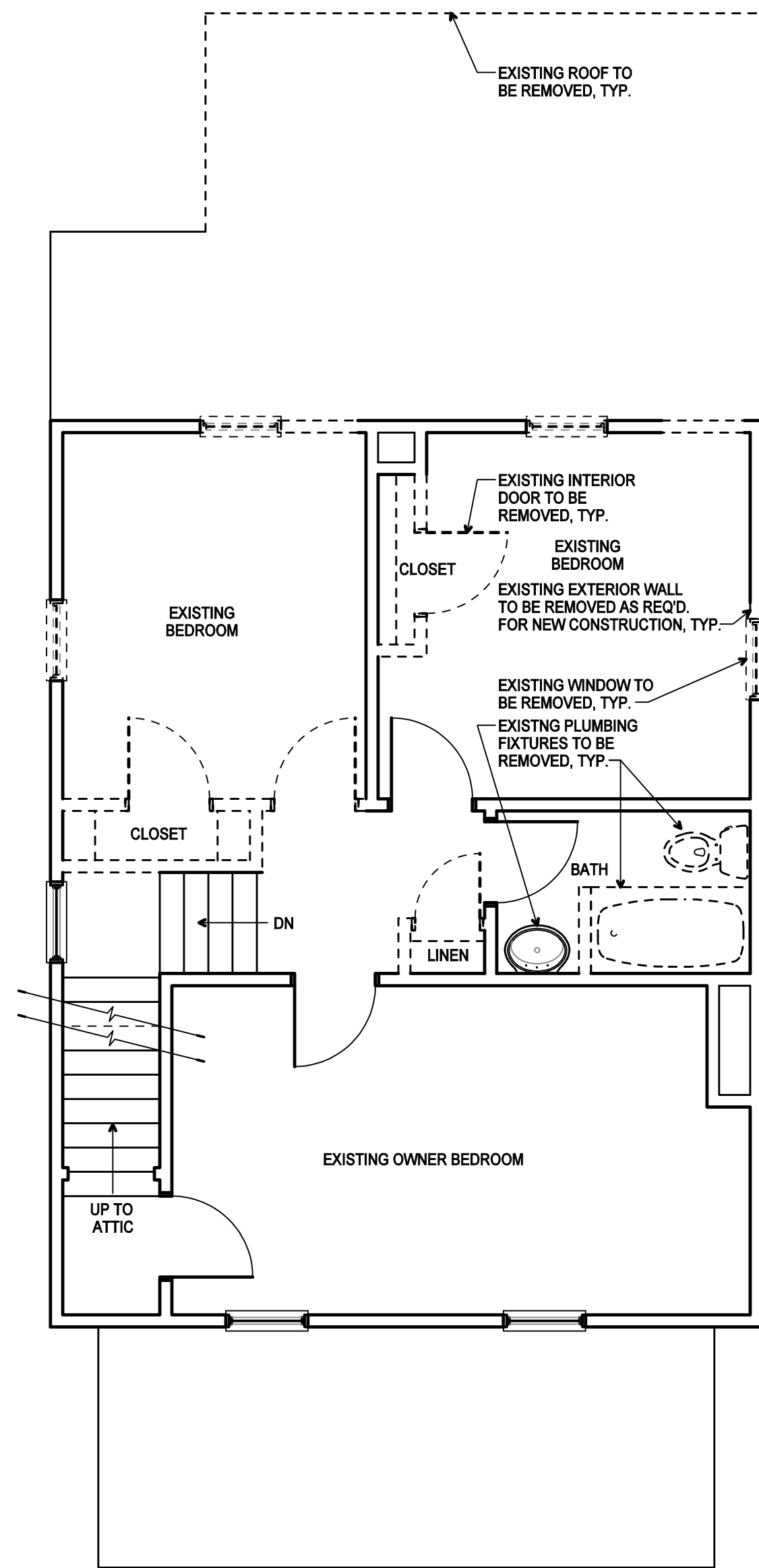
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COEY RESIDENCE REMODEL AND ADDITION
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KDG PROJECT # 2019-209	SHEET NUMBER
BASEMENT & 1ST FLOOR PLAN - DEMOLITION SCALE: 1/4" = 1'-0"	D1-0
CONSTRUCTION DOCUMENTS	11.27.2019



DEMOLITION GENERAL NOTES

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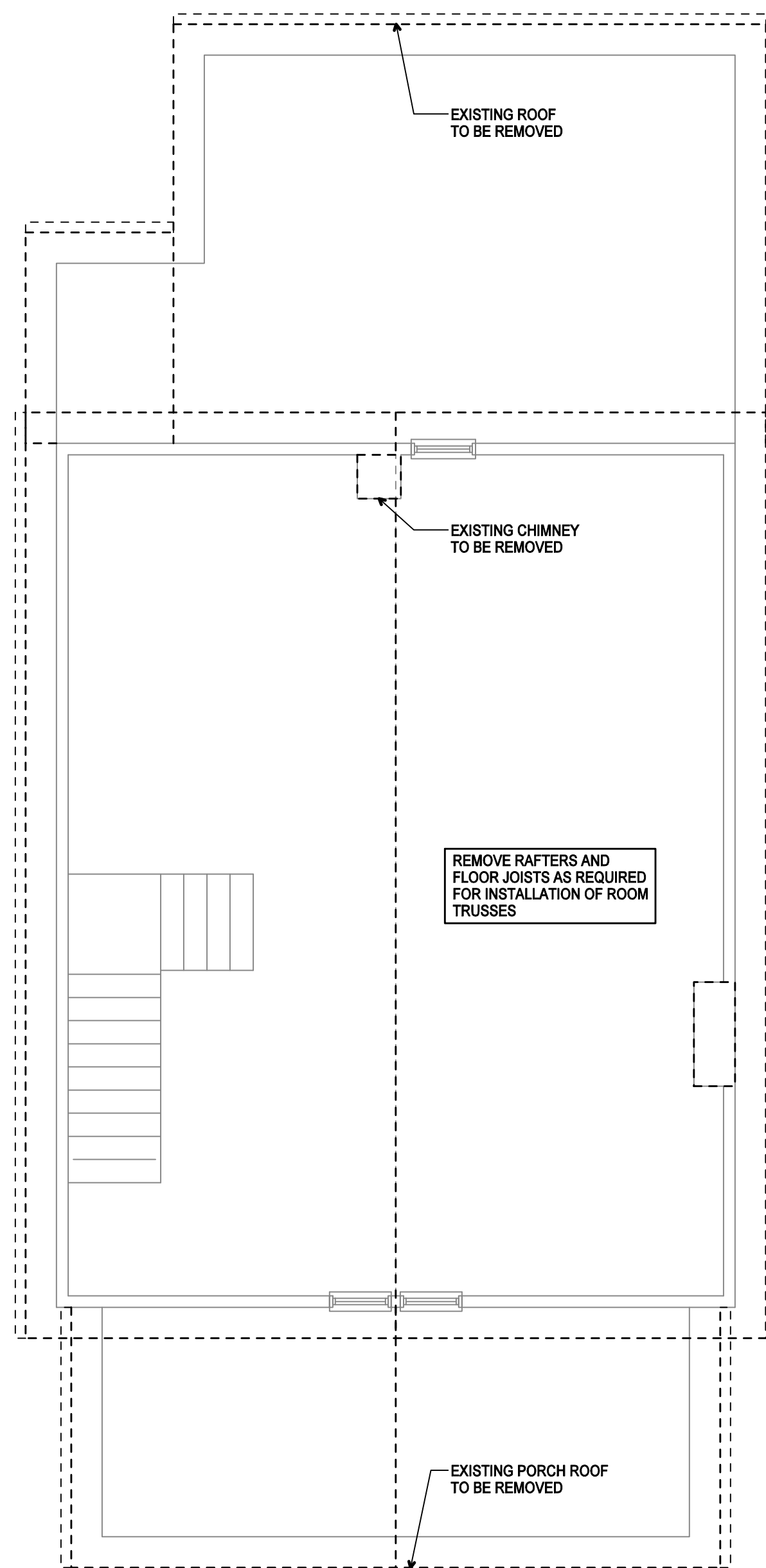
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RESIDENCE
REMODEL
AND
ADDITION**

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KDG PROJECT # 2019-209	SHEET NUMBER
SECOND & THIRD FLOOR PLAN - DEMOLITION SCALE: 1/4" = 1'-0"	D1-1
CONSTRUCTION DOCUMENTS	11.27.2019



DEMOLITION GENERAL NOTES

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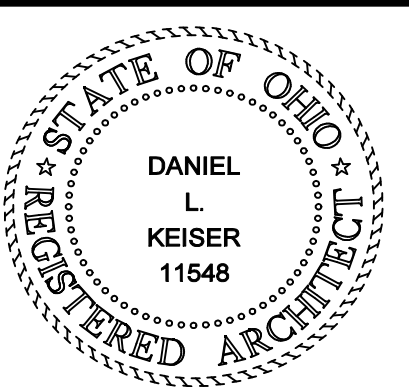
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WALL LEGEND

- EXISTING WALL TO REMAIN
- - - - - EXISTING WALL TO BE REMOVED

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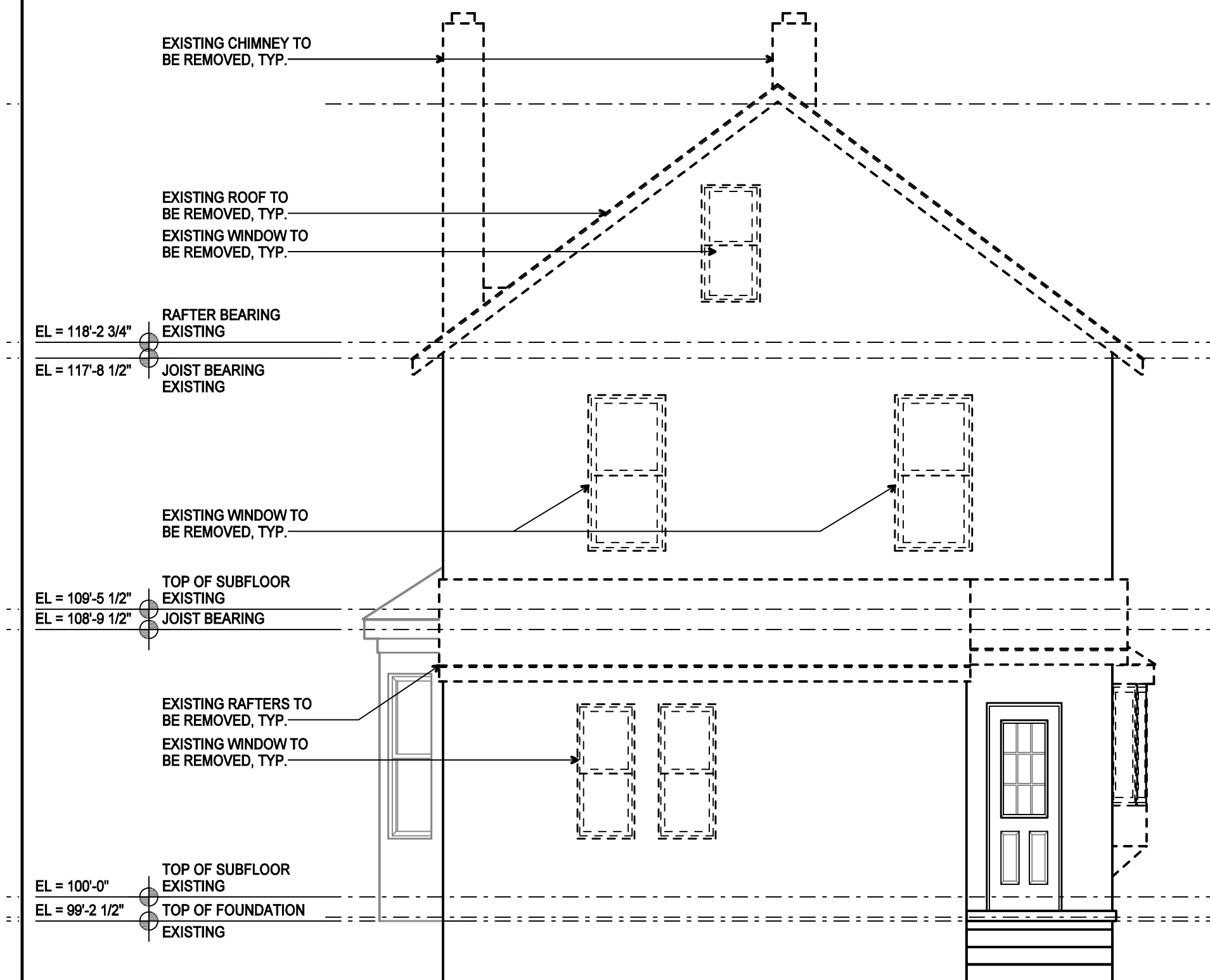
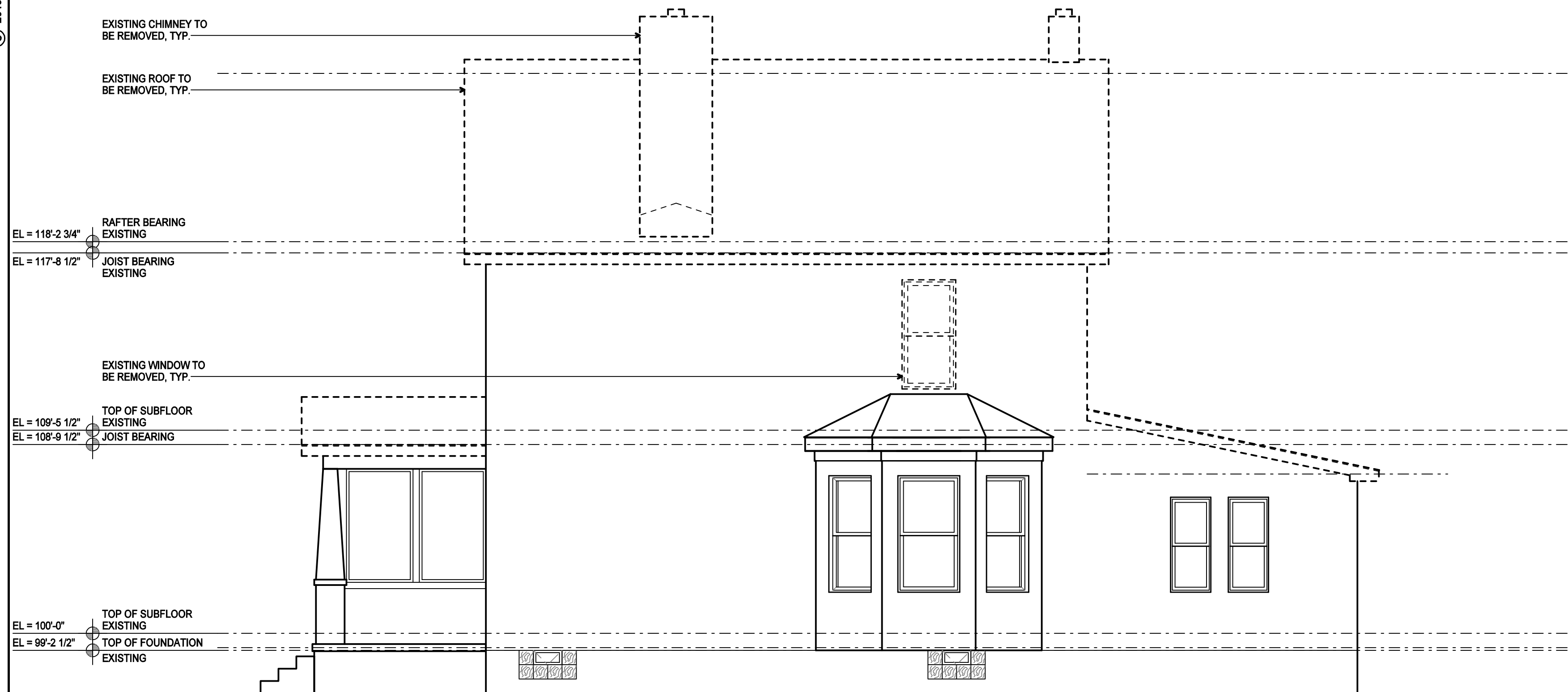
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KDG PROJECT # 2019-209	SHEET NUMBER
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SECOND & THIRD FLOOR PLAN - DEMOLITION SCALE: 1/4" = 1'-0"

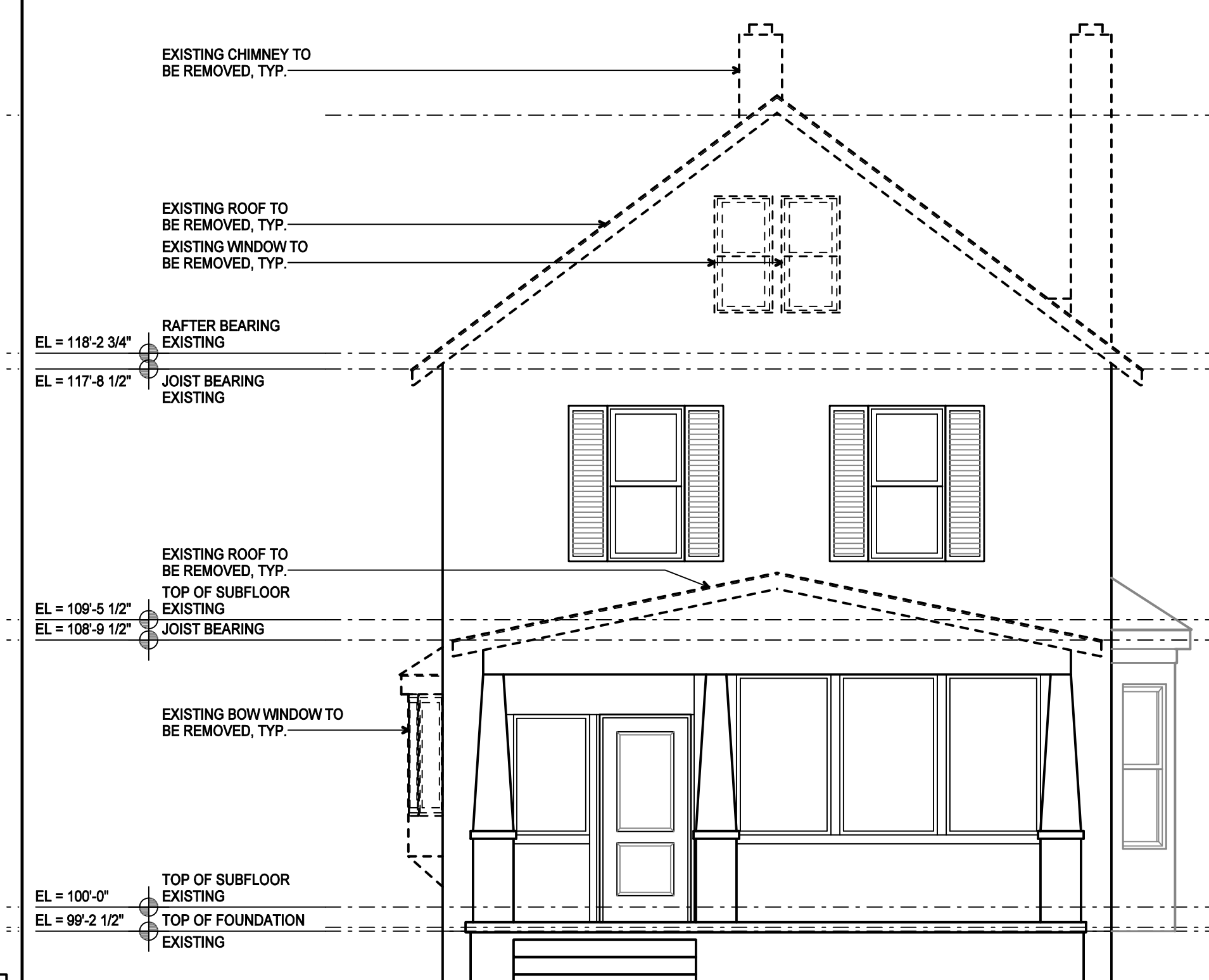
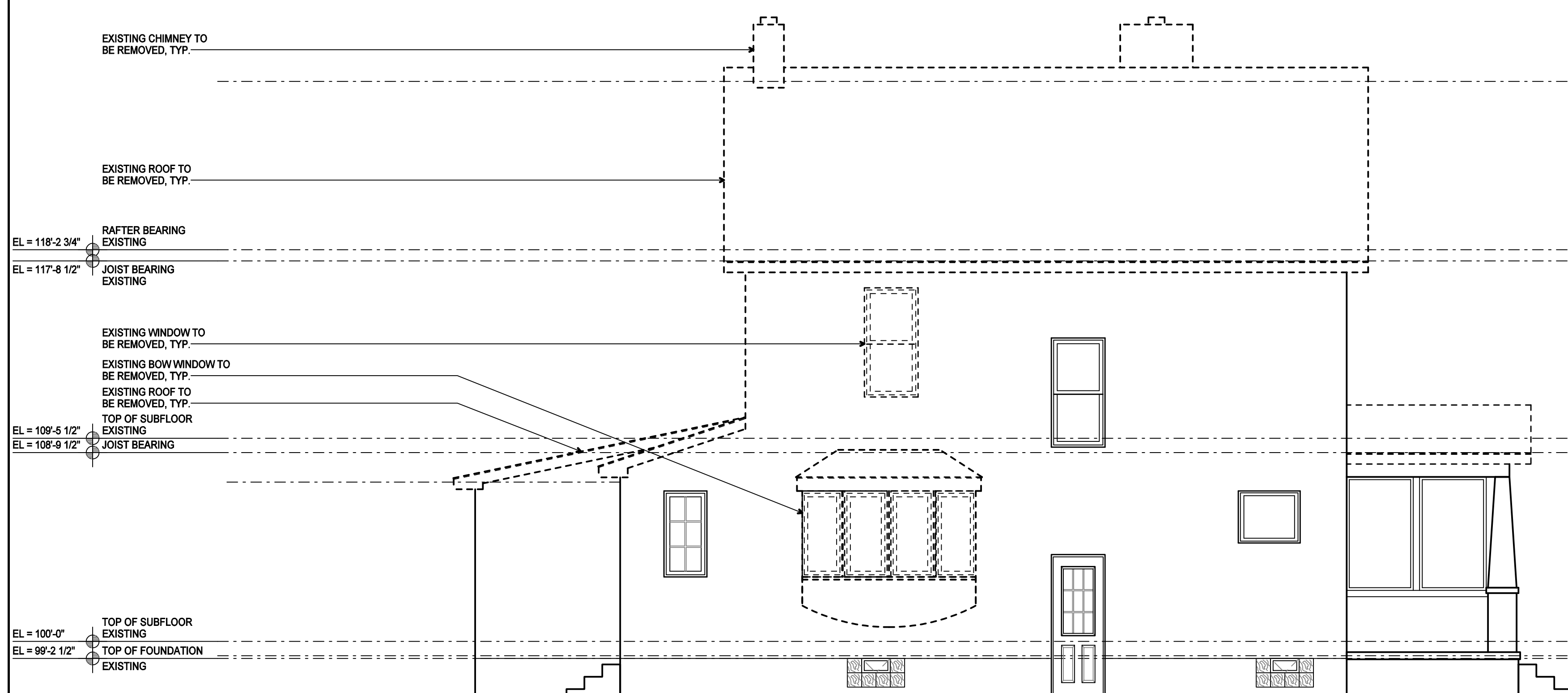
D1-2

CONSTRUCTION DOCUMENTS 11.27.2019



3 RIGHT ELEVATION - DEMOLITION

4 REAR ELEVATION - DEMOLITION



1 LEFT ELEVATION - DEMOLITION

2 FRONT ELEVATION - DEMOLITION

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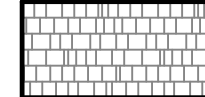
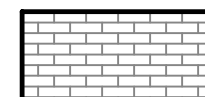
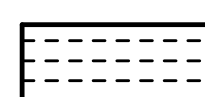
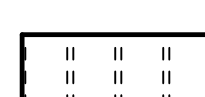
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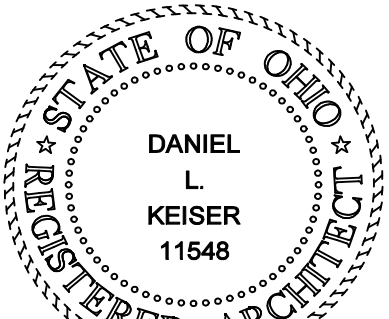
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ELEVATION LEGEND

-  DIMENSIONAL SHINGLES (EXISTING TO REMAIN)
-  BRICK VENEER (EXISTING TO REMAIN)
-  VINYL SIDING (TO BE REMOVED)
-  BOARD AND BATTEN SIDING (TO BE REMOVED)

#	DATE	ISSUED WITH / CHANGE DESCRIPTION

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AND
ADDITION
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COLUMBUS, OHIO



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KDG PROJECT # 2019-209

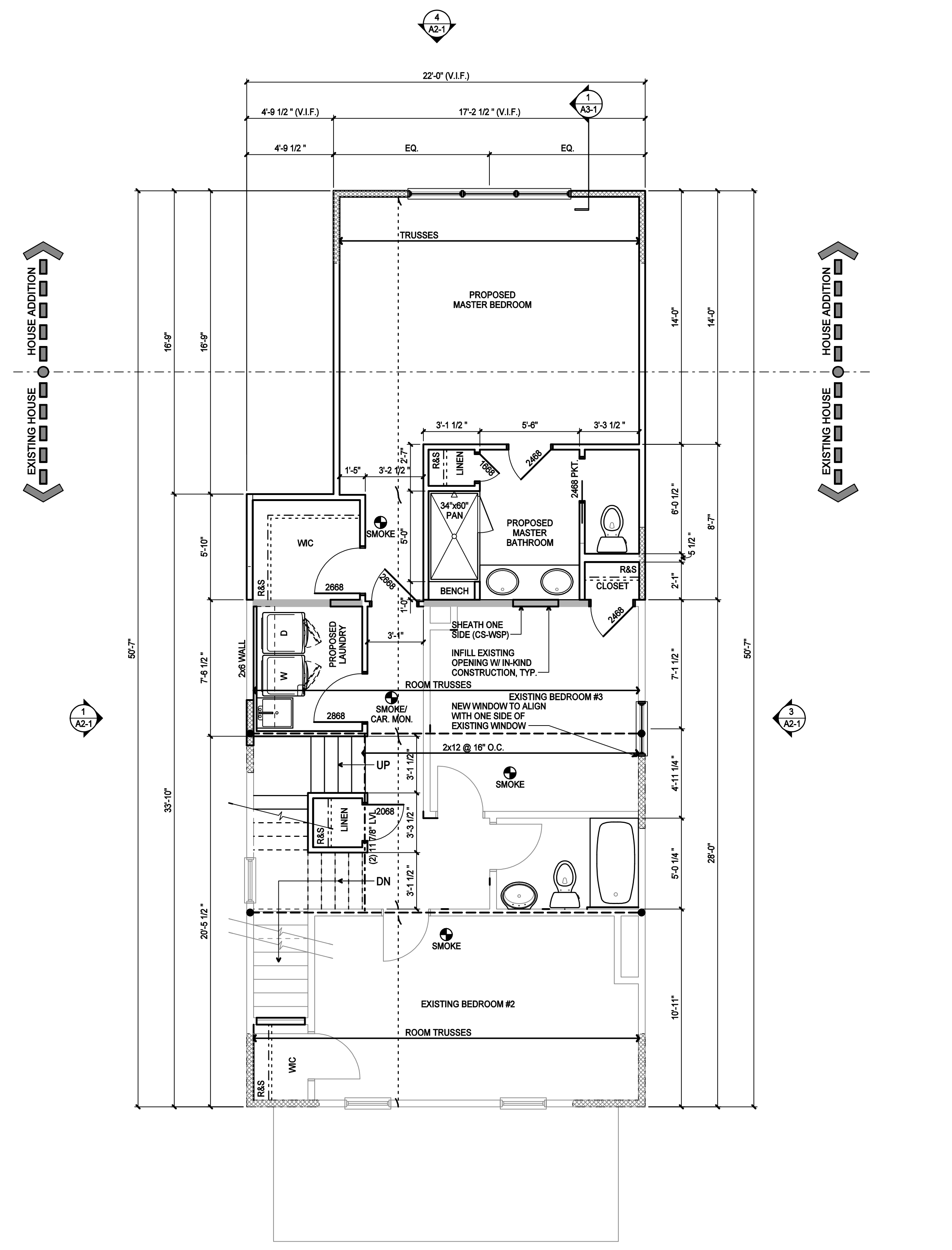
SHEET NUMBER

EXTERIOR ELEVATIONS -
DEMOLITION
SCALE: 1/4" = 1'-0"

D2-1

CONSTRUCTION DOCUMENTS

11.27.2019



FIRE RESISTANCE OF FLOORS: FLOOR ASSEMBLIES, NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2" GYPSUM BOARD MEMBRANE OR A 5/8" WOOD STRUCTURAL PANEL MEMBRANE OR AN EQUIVALENT MATERIAL ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER WHICH COMPLIES WITH SECTION 302.14.

EXCEPTIONS:

- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTIONS 313.1.1 OR 313.2.1.
- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER AN UNDERFLOOR SPACE AS REFERENCED IN SECTION 408 WHICH IS NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
- PORTIONS OF FLOOR ASSEMBLIES CAN BE UNPROTECTED WHEN COMPLYING WITH THE FOLLOWING:
 - THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS SHALL NOT EXCEED 80 SQUARE FEET PER STORY.
 - FIRE BLOCKING IN ACCORDANCE WITH SECTION 302.11.1 SHALL BE INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
 - WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH NOMINAL DIMENSIONS, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.

MOST NEW CHEMICALS USED TO PRESSURE TREAT LUMBER HAVE BEEN FOUND TO BE INCOMPATIBLE WITH STANDARD GALVANIZED CONNECTORS, BOLTS AND SCREWS, AS WELL AS MANY PNEUMATIC NAIL PRODUCTS. WHEN SELECTING FASTENERS AND/OR CONNECTORS TO USE WITH TREATED LUMBER, PLEASE CHECK FOR CORROSIVE COMPATIBILITY ISSUES. WHEN USING STAINLESS STEEL OR 6-18S HOT DIPPED GALVANIZED METAL PRODUCTS, THE CONNECTORS AND FASTENERS MUST BE MADE OF THE SAME MATERIAL.

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF

SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER

NOTE: FOR UNDERSIDE OF STAIR STORAGE, PROVIDE FIRE-STOPPING AT TOP AND BOTTOM OF STAIR STRINGER AND COMPLETELY DRYWALL THE UNDERSIDE WITH TYPE-X GYPSUM WALL BOARD

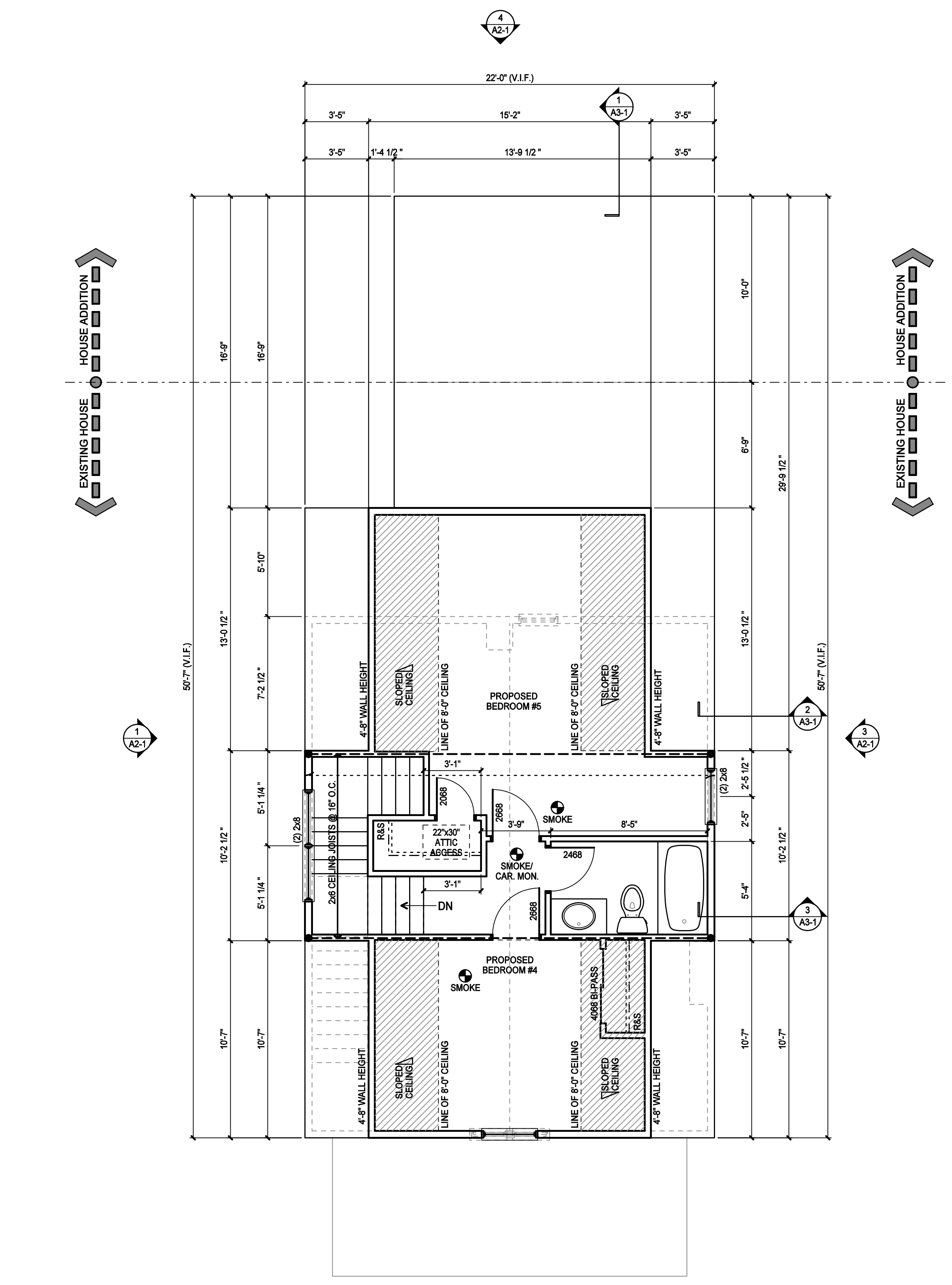
PROVIDE BLOCKING AT 24" O.C. AT JOIST PARALLEL TO FOUNDATION, TYP.

LVL DATA SHEETS MUST BE PROVIDED AT FRAMING INSPECTION.

SISTER ANY CRACKED OR DAMAGED FLOOR JOISTS, TYP.

IF ANY STRUCTURAL ELEMENTS ARE FOUND TO BE DAMAGED THAT ARE NOT COVERED BY THE EXTENTS OF THESE DOCUMENTS, CONTACT THE ARCHITECT IMMEDIATELY

BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION



ALL GLAZING IN THE FOLLOWING LOCATIONS SHALL BE TEMPERED:
 A. GLAZING IN SWINGING, SLIDING OR FIXED DOORS, INCLUDING FIXED PANELS AND SIDE LIGHTS.
 B. GLAZING FOR DOORS AND SURROUNDS OF WHIRLPOOLS, TUBS AND SHOWERS
 C. GLAZING WITHIN 24" OF ANY DOOR IN THE CLOSED POSITION.
 D. GLAZING WITHIN 18" OF THE FINISH FLOOR
 E. GLAZING IN RAILINGS
 F. GLAZING IN WALLS AND FENCES ENCLOSEING A SWIMMING POOL WITH THE BOTTOM EDGE WITHIN 8" OF THE FLOOR.
 G. GLAZING ADJACENT TO TUBS & SHOWERS

LVL DATA SHEETS MUST BE PROVIDED AT FRAMING INSPECTION.

O.S.B. ROOF, WALL AND FLOOR SHEATHING: LEAVE 1/8" MINIMUM GAP ON EDGES AND AROUND OPENINGS TO ALLOW FOR EXPANSION AND CONTRACTION OF SHEATHING

SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF

WALL LEGEND

	NEW WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

FLOOR PLAN NOTES

- ALL DOORS SHALL BE 6" FROM ADJACENT WALL UNLESS NOTED OTHERWISE. CLOSET DOORS TO BE CENTERED IN CLOSET U.N.O.
- ALL EXTERIOR AND INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. U.N.O. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF SHEATHING
- A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22" x 30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OVER 30"
- REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO KEISER DESIGN GROUP IN WRITING FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- ALL WOOD, CONCRETE, AND STEEL MEMBERS SHALL MEET OR EXCEED ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE
- ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE OR MASONRY, OR IN DIRECT CONTACT WITH GROUND.
- WALL STUDS SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF 2 STUDS AT EACH SIDE OF ALL OPENINGS.
- ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS SHALL BE A MINIMUM OF 5.7 SQ. FT. WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
- ALL ANGLE WALLS ARE 45 DEGREES U.N.O.

STRUCTURAL LEGEND

- TRUSS / JOIST / RAFTER INDICATOR
 - HEADER / BEAM / DBL JOIST (SEE PLAN FOR SIZE)
 - GIRDER TRUSS / SITE BUILT TRUSS (SEE PLAN)
 - CONCRETE FOOTER, 12" DEEP (SEE PLAN FOR SIZE)
 - STEEL COLUMN
 - STEEL BEAM
 - POINT LOAD LOCATION
 - LOAD BEARING WALL
 - DIRECTION OF ROOF PITCH
 - WALL BRACING METHOD CS-PF
 - WALL BRACING METHOD CS-WSP
- SEE SHEET A4-1 FOR STRUCTURAL NOTES

#	DATE	ISSUED WITH / CHANGE DESCRIPTION

COEY RESIDENCE REMODEL AND ADDITION

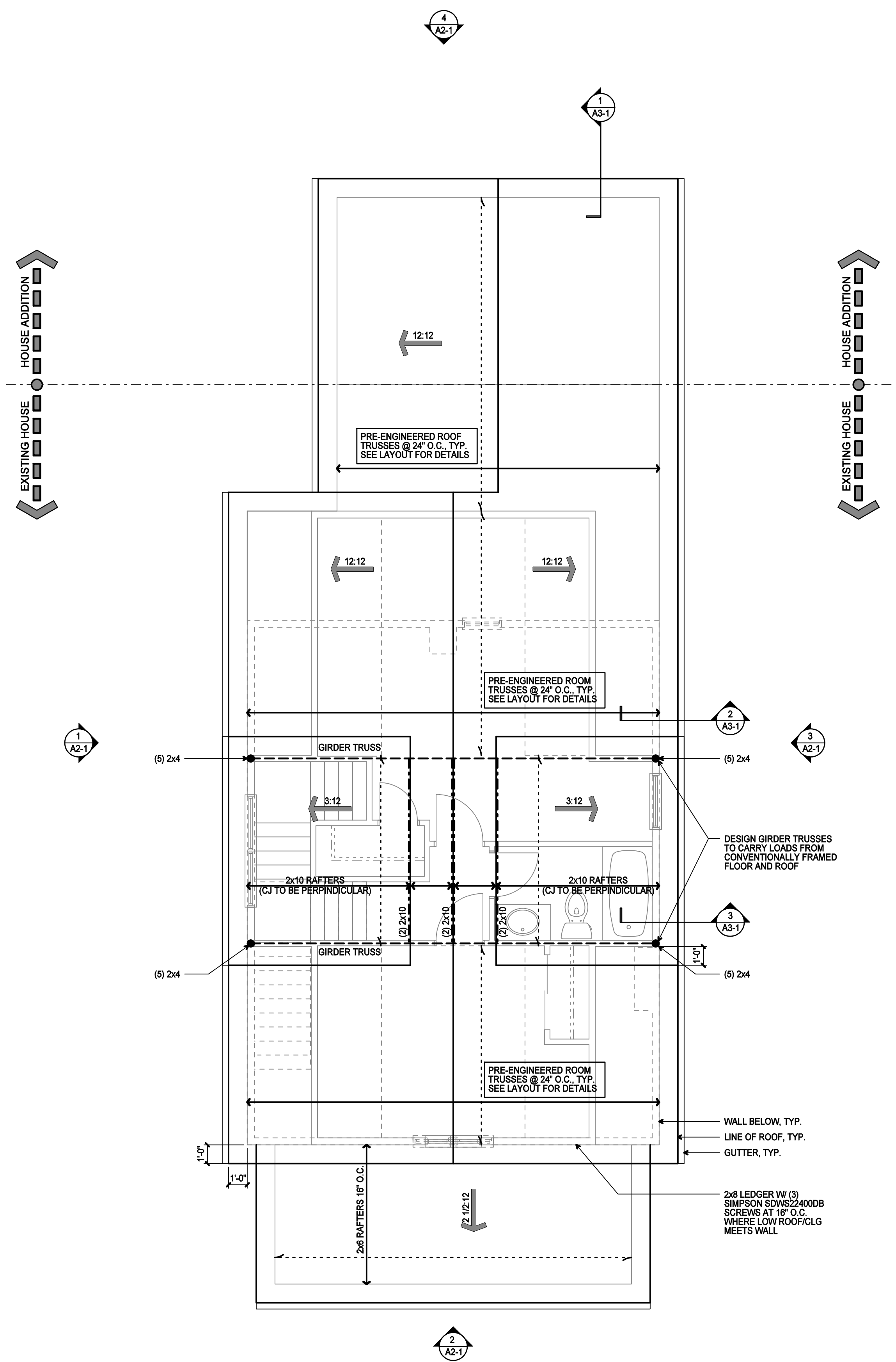
2385 CHARLES STREET
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KDG PROJECT # 2019-209	SHEET NUMBER
SECOND AND THIRD FLOOR PLAN - PROPOSED SCALE: 1/4" = 1'-0"	A1-1
CONSTRUCTION DOCUMENTS	11.27.2019



ROOF VENT NFVA CALCULATION:
 CONTINUOUS RIDGE VENT ASSUMED TO BE 18" NET FREE VENT AREA PER LINEAR FOOT OF RIDGE VENT.
 ROOF LOUVERS (HAT VENTS) ASSUMED TO BE 50" NET FREE VENT AREA PER INDIVIDUAL ROOF LOUVER.
 CATHEDRAL VENT (SHED VENT) ASSUMED TO BE 9" NET FREE VENT AREA PER LINEAR FOOT OF VENT.
 UNDEREAVE VENT ASSUMED TO BE 9" NET FREE VENT PER LINEAR FOOT OF VENT (CONTINUOUS), 28" NET FREE AREA PER VENT (16"x4")

THE THICKNESS OF BLOWN OR SPRAYED ROOF / CEILING INSULATION (FIBERGLASS OR CELLULOSE) SHALL BE WRITTEN IN INCHES (MM) ON MARKERS THAT ARE INSTALLED AT LEAST ONE FOR EVERY 300 SQUARE FEET (28 M²) THROUGHOUT THE ATTIC SPACE. THE MARKERS SHALL BE AFFIXED TO THE TRUSSES OR JOISTS AND MARKED WITH THE MIN. INITIAL INSTALLED THICKNESS WITH NUMBERS A MIN. OF 1 INCH (25MM) IN HEIGHT. EACH MARKER SHALL FACE THE ATTIC ACCESS OPENING. SPRAY POLYURETHANE FOAM THICKNESS AND INSTALLED R-VALUE SHALL BE LISTED ON CERTIFICATION PROVIDED BY THE INSULATION INSTALLER.

ATTIC VENTILATION (RCO SECTION 806): ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED FROM THE ENTRANCE OF RAIN OR SNOW. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

1,033 S.F. / 300 = 3.44 / 2 = 1.72 SF OF FREE FLOW REQUIRED IN UPPER 1/3 OF ROOF AND 1.72 SF OF FREE FLOW REQUIRED AT EAVES. PROVIDE RIDGE VENTS OR ROOF AND SOFFIT VENTS.

BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION

CONTRACTOR TO PROVIDE TRUSS DATA AND TRUSS LAYOUT ON SITE AT FRAMING INSPECTION

ROOF SHEATHING SHALL BE SUPPORTED WITH BLOCKING OR EDGE CLIPPING WHEN RAFTERS OR TRUSSES ARE 24" O.C. OR GREATER

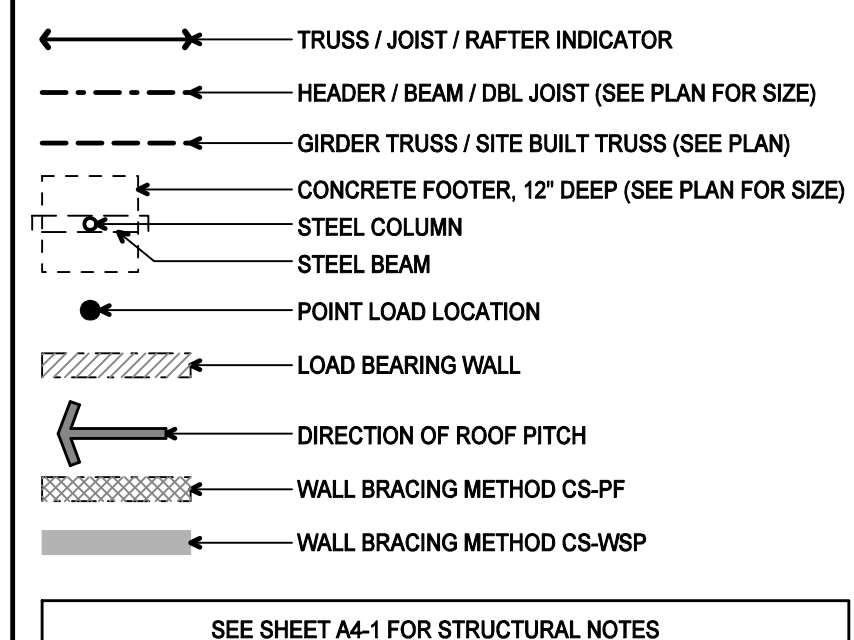
PROVIDE ICE AND WATER SHIELD AT:
 1. ALL VALLEYS AND ROOF PENETRATIONS.
 2. 3' TALL HORIZONTALLY EXTENDING FROM THE BOTTOM OF THE ROOF.
 3. WHERE ROOF PLANES INTERSECT VERTICAL WALLS (18" MIN UP WALL AND ONTO ROOF.)

OVERLAY FRAMING @ 24" O.C.
 0'-0" - 6'-0" SPAN = 2x4s
 6'-0" - 9'-0" SPAN = 2x6s
 9'-0" - 12'-0" SPAN = 2x8s
 12'-0" - 15'-0" SPAN = 2 x 10s
 15'-0" - 18'-0" SPAN = 2 x 12s

FLOOR PLAN NOTES

- ALL DOORS SHALL BE 6" FROM ADJACENT WALL UNLESS NOTED OTHERWISE. CLOSET DOORS TO BE CENTERED IN CLOSET U.N.O.
- ALL EXTERIOR AND INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. U.N.O. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF SHEATHING
- A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22" x 30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OVER 30"
- REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.
- CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO KEISER DESIGN GROUP IN WRITING FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
- ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- ALL WOOD, CONCRETE, AND STEEL MEMBERS SHALL MEET OR EXCEED ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE
- ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE OR MASONRY, OR IN DIRECT CONTACT WITH GROUND.
- WALL STUDS SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF 2 STUDS AT EACH SIDE OF ALL OPENINGS.
- ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS SHALL BE A MINIMUM OF 5.7 SQ. FT. WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
- ALL ANGLE WALLS ARE 45 DEGREES U.N.O.

STRUCTURAL LEGEND



#	DATE	ISSUED WITH / CHANGE DESCRIPTION

**COEY
RESIDENCE
REMODEL
AND
ADDITION**

2385 CHARLES STREET
COLUMBUS, OHIO

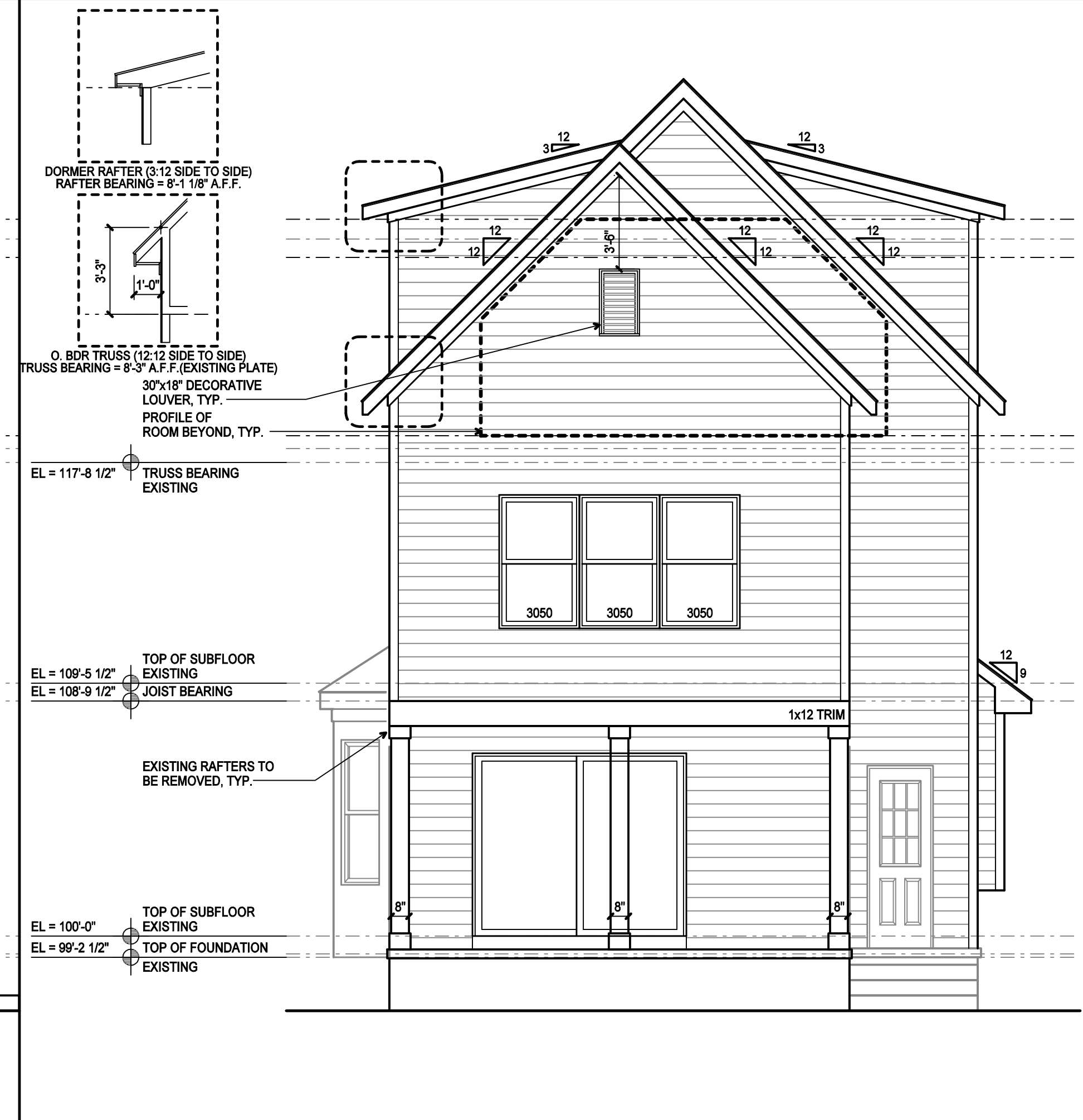


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KDG PROJECT # 2019-209	SHEET NUMBER
ROOF PLAN - PROPOSED	A1-2
SCALE: 1/4" = 1'-0"	
CONSTRUCTION DOCUMENTS	11.27.2019



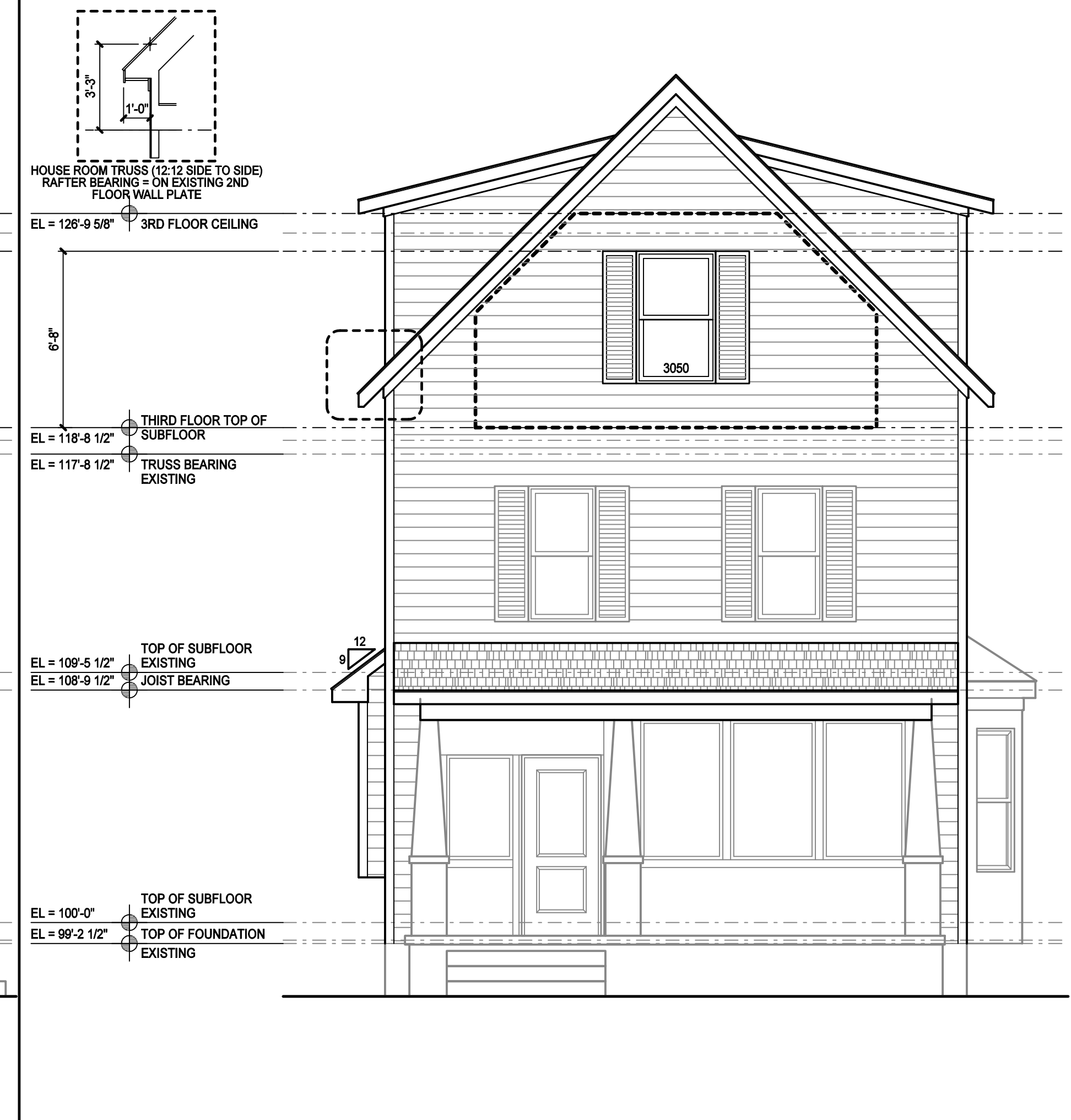
3 RIGHT ELEVATION - PROPOSED



4 REAR ELEVATION - PROPOSED



1 LEFT ELEVATION - PROPOSED



2 FRONT ELEVATION - PROPOSED

DEMOLITION GENERAL NOTES

1. PRIOR TO COMMENCING DEMOLITION, CONTRACTOR SHALL PERFORM WALK-THROUGH OF AREA WITH OWNER SO THAT OWNER MAY IDENTIFY ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER.
2. REMOVE EXISTING FLOORING AND BASE AS REQUIRED, PREP FLOOR FOR NEW FINISHES AND LEVELING IF NECESSARY.
3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL DEMOLITION NEEDS WITH MECHANICAL AND ELECTRICAL DOCUMENTS FOR REMOVAL OF ALL EXISTING LINES FOUND IN CASEWORK, MILLWORK, PLUMBING ITEMS, EQUIPMENT, ETC. BEING DELETED.
4. CONTRACTOR SHALL LIMIT REMOVAL AND DEMOLITION WORK TO THAT SPECIFICALLY IDENTIFIED IN DRAWINGS FOR INSTALLATION OF WORK. CONTRACTOR SHALL PROTECT EXISTING FINISHES FROM DAMAGE. ANY DAMAGE TO THE EXISTING FACILITY SHALL BE REPAIRED AND RESTORED TO MATCH ORIGINAL CONDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING ANY EXISTING SERVICES THAT MAY BE EFFECTED BY CONSTRUCTION IN SUCH A MANNER THAT FULL CONTINUATION OF SERVICE SHALL BE MAINTAINED.
6. PATCH ALL EXISTING WALLS AS NECESSARY.

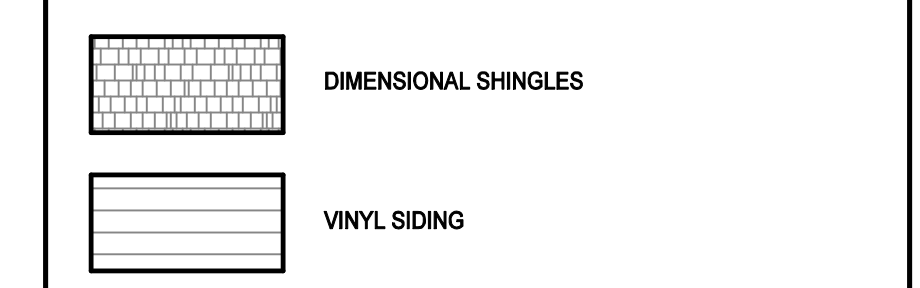
DEMOLITION ELECTRICAL NOTES

1. DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES LOCATED IN WALLS SCHEDULED FOR DEMOLITION, REMOVE WIRE AND CONDUIT TO LAST ACTIVE DEVICE.
2. ELECTRICAL DEVICES INDICATED IN WALLS TO REMAIN SHALL REMAIN ACTIVE, CONTRACTOR SHALL TRACE CIRCUITS AND ADJUST WIRING TO KEEP ACTIVE.
3. DISCONNECT AND REMOVE ALL EXISTING LIGHTING IN AREAS SCHEDULED FOR DEMOLITION, FLUORESCENT FIXTURES SHALL BE PROPERLY DISPOSED INCLUDING FLUORESCENT LAMPS AND BALLASTS.
4. ALL TELECOMMUNICATION WIRING TO DEVICES SCHEDULED FOR DEMOLITION SHALL BE REMOVED BACK TO SOURCE.
5. THE DEMOLITION CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIAL.

DEMOLITION PLUMBING NOTES

1. DISCONNECT AND REMOVE ALL PLUMBING FIXTURES LOCATED IN WALLS SCHEDULED FOR DEMOLITION, CAP WATER LINES AT SOURCE.
2. SANITARY CONNECTIONS SHALL BE REMOVED BACK AT ACTIVE SOURCE OR CLEAN OUT.
3. PLUMBING FIXTURES SHALL BE DISPOSED OF PROPERLY.

ELEVATION LEGEND



#	DATE	ISSUED WITH / CHANGE DESCRIPTION

COEY RESIDENCE REMODEL AND ADDITION
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KDG PROJECT # 2019-209	SHEET NUMBER
EXTERIOR ELEVATIONS - PROPOSED	A2-1
CONSTRUCTION DOCUMENTS	SCALE: 1/4" = 1'-0"
	11.27.2019

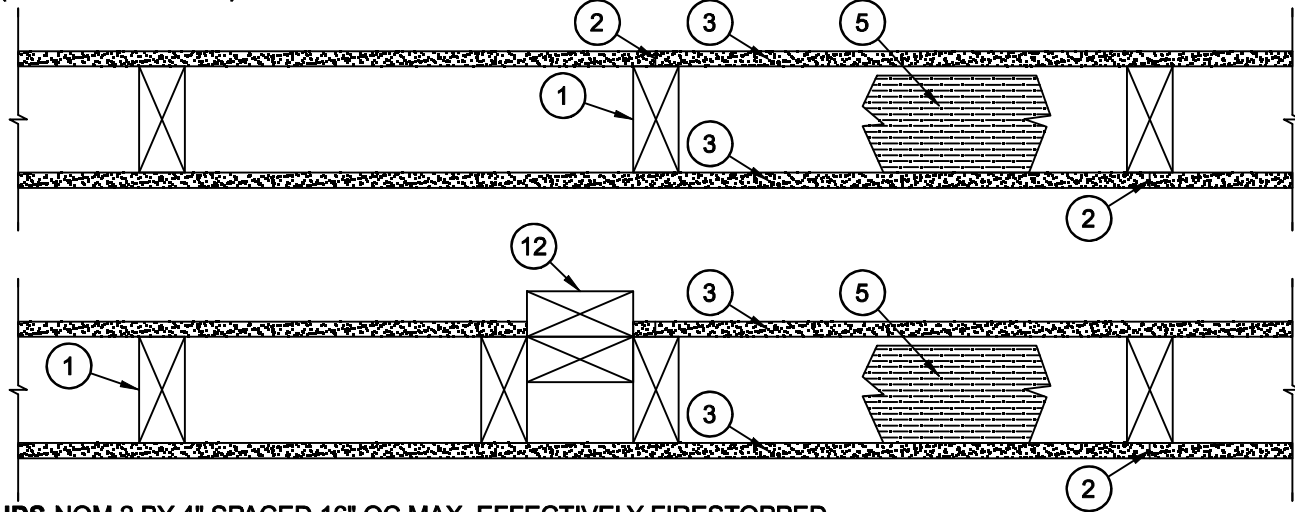
BXUV - FIRE RESISTANCE RATINGS - ANSUL-103
BXUV7 - FIRE RESISTANCE RATINGS - CAN/ULC-S101 CERTIFIED FOR CANADA
SEE GENERAL INFORMATION FOR FIRE-RESISTANCE RATINGS - ANSUL-103
SEE GENERAL INFORMATION FOR FIRE RESISTANCE RATINGS - CAN/ULC-S101 CERTIFIED FOR CANADA

DESIGN NO. U305

JUNE 27, 2014
BEARING WALL RATING - 1 HR.
FINISH RATING - SEE ITEMS 3, 3A, 3D, 3E, 3F, 3G, 3H, 3J AND 3L.

STC RATING - 56 (SEE ITEM 9)
THIS DESIGN WAS EVALUATED USING A LOAD DESIGN METHOD OTHER THAN THE LIMIT STATES DESIGN METHOD (E.G., WORKING STRESS DESIGN METHOD). FOR JURISDICTIONS EMPLOYING THE LIMIT STATES DESIGN METHOD, SUCH AS CANADA, A LOAD RESTRICTION FACTOR SHALL BE USED - SEE GUIDE BXUV OR BXUV7.

* INDICATES SUCH PRODUCTS SHALL BEAR THE UL OR CUL CERTIFICATION MARK FOR JURISDICTIONS EMPLOYING THE UL OR CUL CERTIFICATION (SUCH AS CANADA), RESPECTIVELY.



- 1. **WOOD STUDS**- NOM 2 BY 4" SPACED 16" OC MAX, EFFECTIVELY FIRESTOPPED.
- 2. **JOINTS AND NAIL-HEADS**-JOINTS COVERED WITH JOINT COMPOUND AND PAPER TAPE. JOINT COMPOUND AND PAPER TAPE MAY BE OMITTED WHEN SQUARE EDGE BOARDS ARE USED. AS ALT., NOM 3/32" THICK GYPSUM VENEER PLASTER MAY BE APPLIED TO THE ENTIRE SURFACE OF CLASSIFIED VENEER BASEBOARD WITH THE JOINTS REINFORCED WITH PAPER TAPE. NAILHEADS EXPOSED OR COVERED WITH JOINT COMPOUND.
- 3. **GYPSUM BOARD***-5/8" THICK PAPER OR VINYL SURFACED, WITH BEVELED, SQUARE, OR TAPERED EDGES, APPLIED EITHER HORIZ. OR VERT. GYPSUM PANELS NAILED 7" OC WITH 6D CEMENT COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM AND 15/64" DIAM HEADS. WHEN USED IN WIDTHS OTHER THAN 48 IN., GYPSUM PANELS ARE TO BE INSTALLED HORIZ. FOR AS ALT. METHOD OF ATTACHMENT OF GYPSUM PANELS, REFER TO ITEM 6, 6A OR 6B, STEEL FRAMING MEMBERS*.

WHEN ITEM 6, 6B, OR 6C STEEL FRAMING MEMBERS*, ARE USED, GYPSUM PANELS ATTACHED TO FURRING CHANNELS WITH 1" LONG TYPE B BUGLE-HEAD STEEL SCREWS SPACED 12" OC.

WHEN ITEM 6A, STEEL FRAMING MEMBERS*, IS USED, TWO LAYERS OF GYPSUM PANELS ATTACHED TO FURRING CHANNELS. BASE LAYER ATTACHED TO FURRING CHANNELS WITH 1" LONG TYPE S BUGLE-HEAD STEEL SCREWS SPACED 12" OC. FACE LAYER ATTACHED TO FURRING CHANNELS WITH 1-5/8" LONG TYPE S BUGLE-HEAD STEEL SCREWS SPACED 12" OC. ALL JOINTS IN FACE LAYERS STAGGERED WITH JOINTS IN BASE LAYER. ONE LAYER OF GYPSUM BOARD ATTACHED TO OPPOSITE SIDE OF WOOD STUD WITHOUT FURRING CHANNELS AS DESCRIBED IN ITEM 3.

WHEN ITEM 7, RESILIENT CHANNELS ARE USED, 5/8" THICK, 4 FT WIDE GYPSUM PANELS APPLIED VERT. SCREW ATTACHED FURRING CHANNELS WITH 1" LONG, SELF-DRILLING, SELF-TAPPING TYPE S OR S-12 STEEL SCREWS SPACED 8" OC, VERT. JOINTS LOCATED MIDWAY BETWEEN STUDS.

ACADIA DRYWALL SUPPLIES LTD. -TYPE X (FINISH RATING 22 MIN), 5/8" TYPE X, MOISTURE RESISTANT TYPE X, GYPSUM SHEATHING TYPE X, M-1 & MILDEW RESISTANT TYPE X AND MOLD & MILDEW RESISTANT TYPE X, TYPE BLUEGLASS EXTERIOR SHEATHING
AMERICAN GYPSUM CO.-TYPES AGX-1 (FINISH RATING 23 MIN.), M-GLASS (FINISH RATING 23 MIN.), TYPE AGX-11 (FINISH RATING 26 MIN), TYPE LIGHTROC (FINISH RATING 22 MIN) OR TYPE AG-C

BEIJING NEW BUILDING MATERIALS PUBLIC LTD. CO.-TYPE DBX-1 (FINISH RATING 24 MIN).
CERTAINTEED GYPSUM, INC.-TYPE 1, TYPE SF3 (FINISH RATING 20 MIN) OR FRPC, TYPE C OR TYPE X (FINISH RATING 26 MIN), TYPE EGRG OR GLASROC (FINISH RATING 23 MIN).
CGC INC.-TYPE AR (FINISH RATING 24 MIN), TYPE C (FINISH RATING 24 MIN), TYPE IP-AR (FINISH RATING 24 MIN), TYPE IPC-AR (FINISH RATING 24 MIN), TYPE IP-X1 (FINISH RATING 24 MIN), TYPE IP-X2 (FINISH RATING 24 MIN), TYPE SCX (FINISH RATING 24 MIN), TYPE SHX (FINISH RATING 24 MIN), TYPE ULX (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN).

CONTINENTAL BUILDING PRODUCTS OPERATING CO., LLC.-TYPE LGFC5A (FINISH RATING 34 MIN), TYPE LGFC2A, TYPE LGFC-C/A, TYPE LGFC-WD, TYPE LGLLX (FINISH RATING 21 MIN).
GEORGIA-PACIFIC GYPSUM, LLC.-TYPE 5 (FINISH RATING 26 MIN), TYPE 6 (FINISH RATING 24 MIN), TYPE 9 (FINISH RATING 26 MIN), TYPE C (FINISH RATING 26 MIN), TYPE DGG (FINISH RATING 20 MIN), TYPE GPF1 (FINISH RATING 20 MIN), TYPE GPF2 (FINISH RATING 20 MIN), TYPE GPF3 (FINISH RATING 20 MIN), TYPE DS, TYPE DAP, TYPE DO (FINISH RATING 20 MIN), TYPE DA, TYPE DAPC, TYPE LS (FINISH RATING 23 MIN), TYPE X, VENEER PLASTER BASE-TYPE X, WATER RATED-TYPE X, SHEATHING-TYPE X, SOFFIT-TYPE X, TYPE LWX (FINISH RATING 22 MIN), VENEER PLASTER BASE-TYPE LWX (FINISH RATING 22 MIN), WATER RATED-TYPE LWX (FINISH RATING 22 MIN), SHEATHING-TYPE LWX (FINISH RATING 22 MIN), SOFFIT-TYPE LWX (FINISH RATING 22 MIN), TYPE DGLW (FINISH RATING 22 MIN), WATER RATED-TYPE DGLW (FINISH RATING 22 MIN), SHEATHING-TYPE DGLW (FINISH RATING 22 MIN), SOFFIT-TYPE DGLW (FINISH RATING 22 MIN), TYPE LWX (FINISH RATING 20 MIN), TYPE FSW (FINISH RATING 20 MIN), TYPE FSW-2 (FINISH RATING 24 MIN), TYPE FSW-3 (FINISH RATING 20 MIN), TYPE FSW-6 (FINISH RATING 20 MIN), TYPE FSK-C (FINISH RATING 20 MIN), TYPE FSW-C (FINISH RATING 20 MIN), TYPE FSMR-C, TYPE FSW-6 (FINISH RATING 20 MIN), TYPE FSL (FINISH RATING 24 MIN), TYPE FSW-8

PABCO BUILDING PRODUCTS, LLC., DBA PABCO GYPSUM -TYPES C, PG-2 (FINISH RATING 20 MIN), PG-3 (FINISH RATING 20 MIN), TYPES PG-3W, PG-5W (FINISH RATING 20 MIN), TYPES PG-5, PG-9 (FINISH RATING 26 MIN), PG-11 OR TYPE PG-C.
PANEL REY S. A.-TYPE GREX, PRX; TYPES RHX, MDX, ETX (FINISH RATING 22 MIN).

SIAM GYPSUM INDUSTRY (SARABURI) CO., LTD.-TYPE EX-1 (FINISH RATING 26 MIN).
THAI GYPSUM PRODUCTS PCL.-TYPE C, TYPE X (FINISH RATING 26 MIN).

UNITED STATES GYPSUM CO.-TYPE AR (FINISH RATING 24 MIN), TYPE C (FINISH RATING 24 MIN), TYPE FRX-G (FINISH RATING 29 MIN), TYPE IP-AR (FINISH RATING 24 MIN), TYPE IPC-AR (FINISH RATING 24 MIN), TYPE IP-X1 (FINISH RATING 24 MIN), TYPE IP-X2 (FINISH RATING 24 MIN), TYPE SHX (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN).

USG MEXICO S. A. DE. C. V.-TYPE AR (FINISH RATING 24 MIN), TYPE C (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN), TYPE IP-X1 (FINISH RATING 24 MIN), TYPE IP-X2 (FINISH RATING 24 MIN), TYPE SHX (FINISH RATING 24 MIN), SCX (FINISH RATING 24 MIN), TYPE IP-AR (FINISH RATING 24 MIN), TYPE IPC-AR (FINISH RATING 24 MIN), TYPE ULX (FINISH RATING 24 MIN).

3A. GYPSUM BOARD*(AS AS ALT. TO ITEM 3)-5/8" THICK GYPSUM PANELS, WITH BEVELED, SQUARE, OR TAPERED EDGES, APPLIED EITHER HORIZ. OR VERT. GYPSUM PANELS FASTENED TO FRAMING WITH 1-1/4" LONG TYPE W COARSE THREAD GYPSUM PANEL STEEL SCREWS SPACED A MAX 8" OC, WITH LAST SCREW 1" FROM EDGE OF BOARD. WHEN USED IN WIDTHS OF OTHER THAN 48 IN., GYPSUM BOARDS ARE TO BE INSTALLED HORIZ.

AMERICAN GYPSUM CO.-TYPES AGX-1 (FINISH RATING 25 MIN.), M-GLASS (FINISH RATING 25 MIN.), TYPE AG-C (FINISH RATING 25 MIN.),
CERTAINTEED GYPSUM, INC.-TYPE C OR TYPE X (FINISH RATING 26 MIN).
CGC INC.-TYPE AR (FINISH RATING 24 MIN), TYPE C (FINISH RATING 24 MIN), TYPE IP-AR (FINISH RATING 24 MIN), TYPE IPC-AR (FINISH RATING 24 MIN), TYPE IP-X1 (FINISH RATING 24 MIN), TYPE IP-X2 (FINISH RATING 24 MIN), TYPE SCX (FINISH RATING 24 MIN), TYPE SHX (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN).

UNITED STATES GYPSUM CO.-TYPE AR (FINISH RATING 24 MIN), TYPE C (FINISH RATING 24 MIN), TYPE SGX (FINISH RATING 24 MIN), TYPE C (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN), TYPE IP-X1 (FINISH RATING 24 MIN), TYPE IP-X2 (FINISH RATING 24 MIN), TYPE SHX (FINISH RATING 24 MIN), TYPE SCX (FINISH RATING 24 MIN), TYPE IP-AR (FINISH RATING 24 MIN), TYPE IPC-AR (FINISH RATING 24 MIN).

USG MEXICO S. A. DE. C. V.-TYPE AR (FINISH RATING 24 MIN), TYPE C (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN), TYPE WRX (FINISH RATING 24 MIN), TYPE IP-X1 (FINISH RATING 24 MIN), TYPE IP-X2 (FINISH RATING 24 MIN), TYPE SHX (FINISH RATING 24 MIN), TYPE SCX (FINISH RATING 24 MIN), TYPE IP-AR (FINISH RATING 24 MIN), TYPE IPC-AR (FINISH RATING 24 MIN).

3B. GYPSUM BOARD*(AS AS ALT. TO ITEM 3)-NOM 3/4" THICK, INSTALLED WITH 1-7/8" LONG CEMENT COATED NAILS AS DESCRIBED IN ITEM 3 OR 1-3/8" LONG TYPE W COARSE THREAD GYPSUM PANEL STEEL SCREWS AS DESCRIBED IN ITEM 3A.

CGC INC.-TYPES AR, IP-AR.
UNITED STATES GYPSUM CO.-TYPES AR, IP-AR.
USG MEXICO S. A. DE. C. V.-TYPES AR, IP-AR.

3C. GYPSUM BOARD*(AS AS ALT. TO ITEMS 3, 3A AND 3B)-5/8" THICK, 2 FT WIDE, TONGUE AND GROOVE EDGE, APPLIED HORIZ. TO ONE SIDE OF THE ASSEMBLY. INSTALLED WITH 1-7/8" LONG CEMENT COATED NAILS AS DESCRIBED IN ITEM 3 OR 1-1/4" LONG TYPE W COARSE THREAD GYPSUM PANEL STEEL SCREWS AS DESCRIBED IN ITEM 3A. JOINT COVERING (ITEM 2) NOT REQ'D.

CGC INC.-TYPE SHX.
UNITED STATES GYPSUM CO.-TYPE SHX.
USG MEXICO S. A. DE. C. V.-TYPE SHX.

3D. GYPSUM BOARD*(AS AS ALT. TO ITEMS 3, 3A, 3B, OR 3C-NOT SHOWN) FOR DIRECT APPLICATION TO STUDS ONLY- NOM 5/8" THICK LEAD BACKED GYPSUM PANELS WITH BEVELED, SQUARE OR TAPERED EDGES, APPLIED VERT. JOINTS CENTERED OVER STUDS AND STAGGERED MIN 1 STUD CAVITY ON OPPOSITE SIDES OF STUDS. WALLBOARD SECURED TO STUDS WITH 1-5/8" LONG TYPE W COARSE THREAD GYPSUM PANEL STEEL SCREWS SPACED 8" OC AT PERIMETER AND IN THE FIELD. LEAD BATTEN STRIPS REQ'D BEHIND VERT. JOINTS OF LEAD BACKED GYPSUM WALLBOARD AND OPT'L AT REMAINING STUD LOCATIONS. LEAD BATTEN STRIPS, MIN 1-1/2" LONG TYPE S-12 PAN HEAD STEEL SCREWS, ONE AT THE TOP OF THE STRIP AND ONE AT THE BOTTOM OF THE STRIP. LEAD DISCS OR TABS MAY BE USED IN LEU OF OR IN ADDITION TO THE LEAD BATTEN STRIPS OR OPT'L AT OTHER LOCATIONS. MAX 3/4" DIAM BY MAX 6.125" THICK LEAD DISCS OR COMPRESSION FITTED OR ADHERED OVER THE SCREW HEADS. LEAD BATTEN STRIPS TO HAVE A PURITY OF 99.9% MEETING THE FEDERAL SPECIFICATION QQ-L-201F, GRADE "C".

RAY-BAR ENGINEERING CORP.-TYPE RB-LBG (FINISH RATING 24 MIN).

3E. GYPSUM BOARD*(AS AS ALT. TO ITEMS 3, 3A, 3B, 3C AND 3D)-5/8" THICK GYPSUM PANELS, WITH SQUARE EDGES, APPLIED EITHER HORIZ. OR VERT. GYPSUM PANELS FASTENED TO FRAMING WITH 1-1/4" LONG TYPE W COARSE THREAD GYPSUM PANEL STEEL SCREWS SPACED A MAX 8" OC, WITH LAST SCREW 1" AND 4" FROM EDGE OF BOARD OR NAILED 7" OC WITH 6D CEMENT COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM AND 15/64" DIAM HEADS. WHEN USED IN WIDTHS OF OTHER THAN 48 IN., GYPSUM BOARDS ARE TO BE INSTALLED HORIZ.

GEORGIA-PACIFIC GYPSUM, LLC.-GREENGLASS TYPE X (FINISH RATING 23 MIN).

3F. GYPSUM BOARD*(AS AS ALT. TO ITEMS 3, 3A, 3B, 3C, 3D, AND 3E)-5/8" GLASS-MAT FACED WITH SQUARE EDGES, APPLIED EITHER HORIZ. OR VERT. GYPSUM PANELS NAILED 7" OC AROUND THE PERIMETER AND IN THE FIELD WITH 6D CEMENT COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM AND 15/64" DIAM HEADS. NAILS SHALL BE PLACED 1 INCH AND 3 INCH FROM HORIZONTAL JOINTS AND 7 INCH OC THEREAFTER.

UNITED STATES GYPSUM CO.-TYPE USGX (FINISH RATING 22 MIN.).

3G. GYPSUM BOARD*(AS AS ALT. TO ITEMS 3 THROUGH 3F)-5/8" THICK PAPER SURFACED APPLIED VERT. GYPSUM PANELS NAILED 7" OC WITH 6D CEMENT COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM AND 15/64" DIAM HEADS.

GEORGIA-PACIFIC GYPSUM, LLC.-TYPE X COMFORTGUARD SOUND DEADENING GYPSUM BOARD (FINISH RATING 27 MIN).

3H. GYPSUM BOARD*(AS AS ALT. TO ITEMS 3)-NOT TO BE USED WITH ITEMS 6 OR 7, 5/8" THICK PAPER SURFACED APPLIED VERT. ONLY. GYPSUM PANELS NAILED 7" OC WITH 6D CEMENT COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM AND 15/64" DIAM HEADS.

NATIONAL GYPSUM CO.-SOUNDBREAK XP TYPE X GYPSUM BOARD

3I. GYPSUM BOARD*(AS AS ALT. TO ITEMS 3 THROUGH 3H, NOT SHOWN)-NOMINAL 5/8" THICK, 4 FT WIDE PANELS, APPLIED VERT. PANELS NAILED 7" OC WITH 6D CEMENT COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM AND 15/64" DIAM HEADS. PANEL JOINTS COVERED WITH PAPER TAPE AND TWO LAYERS OF JOINT COMPOUND. NAILHEADS COVERED WITH TWO LAYERS OF JOINT COMPOUND.

PABCO BUILDING PRODUCTS, LLC., DBA PABCO GYPSUM-TYPE QUIETROCK ES (FINISH RATING 20 MIN).

3J. GYPSUM BOARD*(AS AS ALT. TO ITEMS 3)-NOT TO BE USED WITH ITEMS 6 OR 7, 5/8" THICK PAPER SURFACED APPLIED VERT. ONLY. GYPSUM PANELS NAILED 7" OC WITH 6D CEMENT COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM AND 15/64" DIAM HEADS.

CERTAINTEED GYPSUM, INC.-TYPE SILENTFX.

3K. GYPSUM BOARD*(AS AS ALT. TO ITEM 3)-5/8" THICK GYPSUM PANELS, WITH BEVELED, SQUARE, OR TAPERED EDGES, APPLIED EITHER HORIZ. OR VERT. GYPSUM PANELS FASTENED TO FRAMING WITH 1-1/4" LONG TYPE W COARSE THREAD GYPSUM PANEL STEEL SCREWS SPACED A MAX 8" OC, WITH LAST SCREW 1" FROM THE EDGE OF THE BOARD. WHEN USED IN WIDTHS OTHER THAN 48 IN., GYPSUM PANELS ARE TO BE INSTALLED HORIZ.

NATIONAL GYPSUM CO.-TYPE FSK (FINISH RATING 20 MIN), TYPE FSK-G (FINISH RATING 20 MIN), TYPE FSW (FINISH RATING 20 MIN), TYPE FSW-2 (FINISH RATING 24 MIN), TYPE FSW-3 (FINISH RATING 20 MIN), TYPE FSW-6 (FINISH RATING 20 MIN), TYPE FSK-C (FINISH RATING 20 MIN), TYPE FSW-C (FINISH RATING 20 MIN), TYPE FSMR-C, TYPE FSW-6 (FINISH RATING 20 MIN).

3L. GYPSUM BOARD*(AS AS ALT. TO ITEM 3) FOR DIRECT APPLICATION TO STUDS ONLY- NOM 5/8" THICK LEAD BACKED GYPSUM PANELS WITH BEVELED, SQUARE OR TAPERED EDGES, APPLIED VERT. JOINTS CENTERED OVER STUDS AND STAGGERED MIN 1 STUD CAVITY ON OPPOSITE SIDES OF STUDS. WALLBOARD SECURED TO STUDS WITH 1-5/8" LONG TYPE W COARSE THREAD GYPSUM PANEL STEEL SCREWS SPACED 8" OC AT PERIMETER AND IN THE FIELD. LEAD BATTEN STRIPS REQ'D BEHIND VERT. JOINTS OF LEAD BACKED GYPSUM WALLBOARD AND OPT'L AT REMAINING STUD LOCATIONS. LEAD BATTEN STRIPS, MIN 2" WIDE, MAX 10 FT LONG WITH A MAX THICKNESS OF 0.14" PLACED ON THE FACE OF STUDS AND ATTACHED TO THE STUD WITH TWO 1" LONG TYPE S-8 PAN HEAD STEEL SCREWS, ONE AT THE TOP OF THE STRIP AND ONE AT THE BOTTOM OF THE STRIP. LEAD DISCS, MAX 5/16" DIAM BY MAX 0.140" THICK, COMPRESSION FITTED OR ADHERED OVER THE SCREW HEADS. LEAD BATTEN STRIPS TO HAVE A PURITY OF 99.5% MEETING THE FEDERAL SPECIFICATION QQ-L-201F, GRADES "B, C OR D".

MAYCO INDUSTRIES, INC.-TX-RAY SHIELDED GYPSUM*

3M. GYPSUM BOARD*(AS AS ALT. TO ITEMS 3) FOR DIRECT APPLICATION TO STUDS ONLY- FOR USE AS THE BASE LAYER OR AS THE FACE LAYER- NOM 5/8" THICK LEAD BACKED GYPSUM PANELS WITH BEVELED, SQUARE OR TAPERED EDGES, APPLIED VERT. JOINTS CENTERED OVER STUDS AND STAGGERED MIN 1 STUD CAVITY ON OPPOSITE SIDES OF STUDS. WALLBOARD SECURED TO STUDS WITH 1-5/8" LONG TYPE W COARSE THREAD GYPSUM PANEL STEEL SCREWS SPACED 8" OC AT PERIMETER AND IN THE FIELD WHEN APPLIED AS THE BASE LAYER. WHEN APPLIED AS THE FACE LAYER SCREW LENGTH TO BE INCREASED TO 2-1/2" LEAD BATTEN STRIPS REQ'D BEHIND VERT. JOINTS OF LEAD BACKED GYPSUM WALLBOARD AND OPT'L AT REMAINING STUD LOCATIONS. LEAD BATTEN STRIPS, MIN 2" WIDE, MAX 8 FT LONG WITH A MAX THICKNESS OF 0.14" PLACED ON THE FACE OF STUDS AND ATTACHED TO THE STUD WITH CONSTRUCTION ADHESIVE AND TWO 1" LONG TYPE S-12 PAN HEAD STEEL SCREWS, ONE AT THE TOP OF THE STRIP AND ONE AT THE BOTTOM OF THE STRIP. LEAD DISCS, NOMINAL 3/8" DIAM BY MAX 0.085" THICK, COMPRESSION FITTED OR ADHERED OVER THE SCREW HEADS. LEAD BATTEN STRIPS AND DISCS TO HAVE A PURITY OF 99.9% MEETING THE FEDERAL SPECIFICATION QQ-L-201F, GRADE "C". FASTENERS FOR FACE LAYER GYPSUM PANELS (ITEM 4, 4A OR 4B) WHEN INSTALLED OVER LEAD BACKED BOARD TO BE MIN 2-1/2" TYPE S-12 BUGLE HEAD STEEL SCREWS SPACED AS DESCRIBED IN ITEM 4.

RADIATION PROTECTION PRODUCTS, INC.-TYPE RPP-LEAD LINED DRYWALL

3N. GYPSUM BOARD*(AS AS ALT. TO ITEM 3)-5/8" THICK, 4 FT. WIDE, APPLIED VERT. WITH VERT. JOINTS CENTERED OVER STUDS AND STAGGERED ONE STUD CAVITY ON OPPOSITE SIDES OF STUDS. SECURED AS DESCRIBED IN ITEM 3.

CERTAINTEED GYPSUM, INC.-5/8" EASH-LITE TYPE X (FINISH RATING 24 MIN)

3O. WALL AND PARTITION FACINGS AND ACCESSORIES*(AS AS ALT. TO ITEM 3, NOT SHOWN)-NOMINAL 5/8" THICK, 4 FT WIDE PANELS, APPLIED VERT. PANELS NAILED 7" OC WITH 6D CEMENT COATED NAILS 1-7/8" LONG, 0.0915" SHANK DIAM AND 15/64" DIAM HEADS. PANEL JOINTS COVERED WITH PAPER TAPE AND TWO LAYERS OF JOINT COMPOUND. NAILHEADS COVERED WITH TWO LAYERS OF JOINT COMPOUND.

PABCO BUILDING PRODUCTS, LLC., DBA PABCO GYPSUM-TYPE QUIETROCK 527 (FINISH RATING 24 MIN).

3P. GYPSUM BOARD*(AS AS ALT. TO ITEM 3, NOT SHOWN)-NOM 5/16" THICK GYPSUM PANELS APPLIED VERT. OR HORIZ. HORIZONTAL EDGE JOINTS AND HORIZONTAL BUTT JOINTS ON OPPOSITE SIDES OF STUDS NEED NOT BE STAGGERED OR BACKED BY WOOD STUDS. HORIZONTAL JOINTS ON THE SAME SIDEBETWEEN FACE AND BASE LAYERS NEED NOT BE STAGGERED. BASE LAYER GYPSUM PANELS FASTENED TO STUDS WITH 1-1/4" LONG DRYWALL NAILS SPACED 8" OC. FACE LAYER GYPSUM PANELS FASTENED TO STUDS WITH 1-7/8" LONG DRYWALL NAILS SPACED 8" OC STARTING WITH A 4" STAGGER.

NATIONAL GYPSUM CO.-TYPE FSW (FINISH RATING 25 MIN)

4. STEEL CORNER FASTENERS-(OPT'L)-FOR USE AT WALL CORNERS. CHANNEL SHAPED, 2" LONG BY 1" HIGH ON THE BACK SIDE WITH TWO 1/8" WIDE CLEATS PROTRUDING INTO THE 5/8" WIDE CHANNEL. FABRICATED FROM 24 GAUGE GALV STEEL. FASTENERS APPLIED ONLY TO THE END OR CUT EDGE (NOT ALONG TAPERED EDGES) OF THE GYPSUM BOARD, NO GREATER THAN 2" FROM CORNER OF GYPSUM BOARD. MAX SPACING 16" OC. NAILED TO ADJACENT STUD THROUGH TAB USING ONE NO. 6D CEMENT COATED NAIL PER FASTENER. CORNERS OF WALL BOARD SHALL BE NAILED TO TOP AND BOTTOM PLATE USING NO. 6D CEMENT COATED NAILS.

5. BATTS AND BLANKETS*(OPT'L)-REQ'D WHEN ITEM 6A IS USED (RC-1) GLASS FIBER OR MINERAL WOOL INSULATION. PLACED TO COMPLETELY OR PARTIALLY FILL THE STUD CAVITIES. WHEN ITEM 6A IS USED, GLASS FIBER OR MINERAL WOOL INSULATION SHALL BE FRICTION-FITTED TO COMPLETELY FILL THE STUD CAVITIES.

CERTAINTEED CORP.
GUARDIAN FIBERGLASS, INC.
JOHNS MANVILLE INTERNATIONAL, INC.
KNAUF INSULATION GMBH.
MANSON INSULATION, INC.
OWENS CORNING HT INC., DIV OF OWENS CORNING-CORNING FIBERGLAS CORP.
ROCK WOOL MANUFACTURING CO.-DELTA BOARD.
ROXUL, INC.-TYPE R12, TYPE R16, TYPE R18, TYPE R24, TYPE R30, TYPE R36, TYPE R42, TYPE R48, TYPE R54, TYPE R60, TYPE R66, TYPE R72, TYPE R78, TYPE R84, TYPE R90, TYPE R96, TYPE R102, TYPE R108, TYPE R114, TYPE R120, TYPE R126, TYPE R132, TYPE R138, TYPE R144, TYPE R150, TYPE R156, TYPE R162, TYPE R168, TYPE R174, TYPE R180, TYPE R186, TYPE R192, TYPE R198, TYPE R204, TYPE R210, TYPE R216, TYPE R222, TYPE R228, TYPE R234, TYPE R240, TYPE R246, TYPE R252, TYPE R258, TYPE R264, TYPE R270, TYPE R276, TYPE R282, TYPE R288, TYPE R294, TYPE R300, TYPE R306, TYPE R312, TYPE R318, TYPE R324, TYPE R330, TYPE R336, TYPE R342, TYPE R348, TYPE R354, TYPE R360, TYPE R366, TYPE R372, TYPE R378, TYPE R384, TYPE R390, TYPE R396, TYPE R402, TYPE R408, TYPE R414, TYPE R420, TYPE R426, TYPE R432, TYPE R438, TYPE R444, TYPE R450, TYPE R456, TYPE R462, TYPE R468, TYPE R474, TYPE R480, TYPE R486, TYPE R492, TYPE R498, TYPE R504, TYPE R510, TYPE R516, TYPE R522, TYPE R528, TYPE R534, TYPE R540, TYPE R546, TYPE R552, TYPE R558, TYPE R564, TYPE R570, TYPE R576, TYPE R582, TYPE R588, TYPE R594, TYPE R600, TYPE R606, TYPE R612, TYPE R618, TYPE R624, TYPE R630, TYPE R636, TYPE R642, TYPE R648, TYPE R654, TYPE R660, TYPE R666, TYPE R672, TYPE R678, TYPE R684, TYPE R690, TYPE R696, TYPE R702, TYPE R708, TYPE R714, TYPE R720, TYPE R726, TYPE R732, TYPE R738, TYPE R744, TYPE R750, TYPE R756, TYPE R762, TYPE R768, TYPE R774, TYPE R780, TYPE R786, TYPE R792, TYPE R798, TYPE R804, TYPE R810, TYPE R816, TYPE R822, TYPE R828, TYPE R834, TYPE R840, TYPE R846, TYPE R852, TYPE R858, TYPE R864, TYPE R870, TYPE R876, TYPE R882, TYPE R888, TYPE R894, TYPE R900, TYPE R906, TYPE R912, TYPE R918, TYPE R924, TYPE R930, TYPE R936, TYPE R942, TYPE R948, TYPE R954, TYPE R960, TYPE R966, TYPE R972, TYPE R978, TYPE R984, TYPE R990, TYPE R996, TYPE R1002, TYPE R1008, TYPE R1014, TYPE R1020, TYPE R1026, TYPE R1032, TYPE R1038, TYPE R1044, TYPE R1050, TYPE R1056, TYPE R1062, TYPE R1068, TYPE R1074, TYPE R1080, TYPE R1086, TYPE R1092, TYPE R1098, TYPE R1104, TYPE R1110, TYPE R1116, TYPE R1122, TYPE R1128, TYPE R1134, TYPE R1140, TYPE R1146, TYPE R1152, TYPE R1158, TYPE R1164, TYPE R1170, TYPE R1176, TYPE R1182, TYPE R1188, TYPE R1194, TYPE R1200, TYPE R1206, TYPE R1212, TYPE R1218, TYPE R1224, TYPE R1230, TYPE R1236, TYPE R1242, TYPE R1248, TYPE R1254, TYPE R1260, TYPE R1266, TYPE R1272, TYPE R1278, TYPE R1284, TYPE R1290, TYPE R1296, TYPE R1302, TYPE R1308, TYPE R1314, TYPE R1320, TYPE R1326, TYPE R1332, TYPE R1338, TYPE R1344, TYPE R1350, TYPE R1356, TYPE R1362, TYPE R1368, TYPE R1374, TYPE R1380, TYPE R1386, TYPE R1392, TYPE R1398, TYPE R1404, TYPE R1410, TYPE R1416, TYPE R1422, TYPE R1428, TYPE R1434, TYPE R1440, TYPE R1446, TYPE R1452, TYPE R1458, TYPE R1464, TYPE R1470, TYPE R1476, TYPE R1482, TYPE R1488, TYPE R1494, TYPE R1500, TYPE R1506, TYPE R1512, TYPE R1518, TYPE R1524, TYPE R1530, TYPE R1536, TYPE R1542, TYPE R1548, TYPE R1554, TYPE R1560, TYPE R1566, TYPE R1572, TYPE R1578, TYPE R1584, TYPE R1590, TYPE R1596, TYPE R1602, TYPE R1608, TYPE R1614, TYPE R1620, TYPE R1626, TYPE R1632, TYPE R1638, TYPE R1644, TYPE R1650, TYPE R1656, TYPE R1662, TYPE R1668, TYPE R1674, TYPE R1680, TYPE R1686, TYPE R1692, TYPE R1698, TYPE R1704, TYPE R1710, TYPE R1716, TYPE R1722, TYPE R1728, TYPE R1734, TYPE R1740, TYPE R1746, TYPE R1752, TYPE R1758, TYPE R1764, TYPE R1770, TYPE R1776, TYPE R1782, TYPE R1788, TYPE R1794, TYPE R1800, TYPE R1806, TYPE R1812, TYPE R1818, TYPE R1824, TYPE R1830, TYPE R1836, TYPE R1842, TYPE R1848, TYPE R1854, TYPE R1860, TYPE R1866, TYPE R1872, TYPE R1878, TYPE R1884, TYPE R1890, TYPE R1896, TYPE R1902, TYPE R1908, TYPE R1914, TYPE R1920, TYPE R1926, TYPE R1932, TYPE R1938, TYPE R1944, TYPE R1950, TYPE R1956, TYPE R1962, TYPE R1968, TYPE R1974, TYPE R1980, TYPE R1986, TYPE R1992, TYPE R1998, TYPE R2004, TYPE R2010, TYPE R2016, TYPE R2022, TYPE R2028, TYPE R2034, TYPE R2040, TYPE R2046, TYPE R2052, TYPE R2058, TYPE R2064, TYPE R2070, TYPE R2076, TYPE R2082, TYPE R2088, TYPE R2094, TYPE R2100, TYPE R2106, TYPE R2112, TYPE R2118, TYPE R2124, TYPE R2130, TYPE R2136, TYPE R2142, TYPE R2148, TYPE R2154, TYPE R2160, TYPE R2166, TYPE R2172, TYPE R2178, TYPE R2184, TYPE R2190, TYPE R2196, TYPE R2202, TYPE R2208, TYPE R2214, TYPE R2220, TYPE R2226, TYPE R2232, TYPE R2238, TYPE R2244, TYPE R2250, TYPE R2256, TYPE R2262, TYPE R2268, TYPE R2274, TYPE R2280, TYPE R2286, TYPE R2292, TYPE R2298, TYPE R2304, TYPE R2310, TYPE R2316, TYPE R2322, TYPE R2328, TYPE R2334, TYPE R2340, TYPE R2346, TYPE R2352, TYPE R2358, TYPE R2364, TYPE R2370, TYPE R2376, TYPE R2382, TYPE R2388, TYPE R2394, TYPE R2400, TYPE R2406, TYPE R2412, TYPE R2418, TYPE R2424, TYPE R2430, TYPE R2436, TYPE R2442, TYPE R2448, TYPE R2454, TYPE R2460, TYPE R2466, TYPE R2472, TYPE R2478, TYPE R2484, TYPE R2490, TYPE R2496, TYPE R2502, TYPE R2508, TYPE R2514, TYPE R2520, TYPE R2526, TYPE R2532, TYPE R2538, TYPE R2544, TYPE R2550, TYPE R2556, TYPE R2562, TYPE R2568, TYPE R2574, TYPE R2580, TYPE R2586, TYPE R2592, TYPE R2598, TYPE R2604, TYPE R2610, TYPE R2616, TYPE R2622, TYPE R2628, TYPE R2634, TYPE R2640, TYPE R2646, TYPE R2652, TYPE R2658, TYPE R2664, TYPE R2670, TYPE R2676, TYPE R2682, TYPE R2688, TYPE R2694, TYPE R2700, TYPE R2706, TYPE R2712, TYPE R2718, TYPE R2724, TYPE R2730, TYPE R2736, TYPE R2742, TYPE R2748, TYPE R2754, TYPE R2760, TYPE R2766, TYPE R2772, TYPE R2778, TYPE R2784, TYPE R2790, TYPE R2796, TYPE R2802, TYPE R2808, TYPE R2814, TYPE R2820, TYPE R2826, TYPE R2832, TYPE R2838, TYPE R2844, TYPE R2850, TYPE R2856, TYPE R2862, TYPE R2868, TYPE R2874, TYPE R2880, TYPE R2886, TYPE R2892, TYPE R2898, TYPE R2904, TYPE R2910, TYPE R2916, TYPE R2922, TYPE R2928, TYPE R2934, TYPE R2940, TYPE R2946, TYPE R2952, TYPE R2958, TYPE R2964, TYPE R2970, TYPE R2976, TYPE R2982, TYPE R2988, TYPE R2994, TYPE R3000, TYPE R3006, TYPE R3012, TYPE R3018, TYPE R3024, TYPE R3030, TYPE R3036, TYPE R3042, TYPE R3048, TYPE R3054, TYPE R3060, TYPE R3066, TYPE R3072, TYPE R3078, TYPE R3084, TYPE R3090, TYPE R3096, TYPE R3102, TYPE R3108, TYPE R3114, TYPE R3120, TYPE R3126, TYPE R3132, TYPE R3138, TYPE R31

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