



CITY OF BEXLEY

ARCHITECTURAL REVIEW BOARD

AGENDA

DATE: January 9, 2020

TIME: 6:00 P.M.

PLACE: City Council Chambers, Bexley Municipal Building

1. Call to Order
2. Roll Call
3. Approval of Minutes from the November 14th, 2019, ARB meeting.
4. Public Comment:

5. **NEW BUSINESS:**

A. Application No.: MA-19-200

Applicant: Rosati Windows – John Vaccani

Owner: Betty & Roy Brown

Location: 2619 Bexley Park Rd.

ARB Request: The applicant is seeking architectural review and approval to allow the existing leaded glass windows in the principal structure to be replaced with double-hung vinyl windows.

B. Application No.: ARB-19-20

Applicant: Candice Brothers – Ecohouse solar

Owner: Eric Sauerhoff

Location: 762 Vernon

ARB Request: The applicant is seeking architectural review and approval to allow solar panels to be installed on the principal structure's south facing roof.

C. Application No.: ARB-19-21

Applicant: Brenda Parker

Owner: Geodfrey Mendes

Location: 112 S. Parkview

ARB Request: The applicant is seeking architectural review and approval to allow 2 ½ story addition to the rear and a 2 story addition to the side of the 2 1/2 story principal structure.

D. Application No.: ARB-19-22

Applicant: Urbanorder Architecture

Owner: Daniel Matthew Massey & Talley Wetlaufer

Location: 261 North Drexel

ARB Request: The applicant is seeking architectural review and approval to allow an enclosed structure between the principal structure and the 2-story Garage to be replaced with a new modified enclosed living space.

E. Application No.: ARB-19-23

Applicant: Michael Price

Owner: City of Bexley

Location: 165 N. Parkview (At the City Pool site)

ARB Request: The applicant is seeking architectural review and approval to allow for the addition of 4 pickleball courts to the west of the existing tennis courts and east of the city pool at Jeffrey Park, which will include 5' and 6' high black, chain-link fencing.

F. Application No.: ARB-19-24

Applicant: William T. Gruber & Dean Wenz

Owner: William T. Gruber

Location: 745 Francis Avenue

ARB Request: The applicant is seeking architectural review and approval to demolish the existing single-family dwelling, and allow a new single-family dwelling and detached garage to be constructed on the lot. Please Note: This application was tabled at the June 13, 2019 meeting of the Architectural Review Board.

G. Application No.: ARB-19-25 (BZAP)

Applicant: Brian Marzich

Owner: Ryan Brown

Location: 2618 Brentwood

ARB Request: The applicant is seeking architectural review and approval to allow a covered side porches on the west side of the principal structure, one of which will be screened. The applicant is also seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow an open front entry porch.

H. Application No.: ARB-19-19 (BZAP)

Applicant: Ashley Coey
Owner: Nathan & Ashley Coey
Location: 2395 Charles St.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow a two-story addition to the rear of the principal structure, raise the 3rd floor roof and add 2 dormers, and to also modify the front porch roof.

I. Application No.: BZAP-19-18

Applicant: Nathan Kayes
Owner: Nathan Kayes
Location: 528 N. Cassady Rd.

ARB Request: The applicant is seeking architectural review and a recommendation to the Board of Zoning and Planning, to allow exterior modifications to the site and building at this location. The modifications include: parking changes, addition of a playground, landscaping and new signage for the proposed "Green Meadows Schoolhouse" day care facility.



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: MA-19-200

Applicant: Rosati Windows – John Vaccani

Owner: Betty & Roy Brown

Location: 2619 Bexley Park Rd.

ARB Request: The applicant is seeking architectural review and approval to allow the existing leaded glass windows in the principal structure to be replaced with double-hung vinyl windows.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

***(MA) Architectural Review
Application for Roof, Window, and
Siding ONLY - Minor changes (no
variance) Staff Review -**

MA-19-200

Status: Active

Submitted: Aug 06, 2019

Applicant



Rosati Windows- Vaccani

6149895373

jvaccani@rosatiwindows.com

Location

2619 BEXLEY PARK RD

Bexley, OH 43209

A.1: Contractor Information

Contrator Name

rosati windows

Email

jtilley@rosatiwindows.com

Address

4200 roberts rd cols oh 43228

Phone

6149890315

A.1: Project Information

Brief Project Description

replace 12 windows like for like grids same also

A.2: Fee Worksheet

Estimated Valuation of Project

11171

Variance Review Type

Single Family

Appeal of ARB decision to BZAP

false

Minor Architectural Review

true

Review Type

Windows

Appeal of BZAP decision to City Council

false

B: Project Worksheet: Property Information

Occupancy Type

Residential

Use Classification

--

Zoning District

--

C.1 Architectural Review Worksheet: Roofing

Roofing

false

Existing Roof Type

--

Structure

--

New Roof Type

--

New Single Manufacturer

--

New Roof Style and Color

--

C.1 Architectural Review Worksheet: Windows**Windows**

false

Existing Window Type

Double Hung

New Window Manufacturer

rosati windows

Explain if a change to window grids

none

Structure

House or Principal Structure

Existing Window Materials

Wood

New Window Style/Mat./Color

dh vinyl brown exterior

C.1 Architectural Review Worksheet: Doors changes**Doors**

false

Existing Entrance Door Type

--

Door Finish

--

Proposed Door Style

--

Structure

--

Existing Garage Door Type

--

Proposed Door Type

--

Proposed Door Color

--

C.1 Architectural Review Worksheet: Exterior Trim**Exterior Trim**

false

Proposed New Door Trim

--

Proposed New Window Trim

alum clad

Do the proposed changes affect the overhangs?

No

Existing Door Trim

--

Existing Window Trim

Wood

Trim Color(s)

--

C.2 Architectural Review Worksheet: Exterior Wall Finishes**Exterior Wall Finishes**

false

Existing Finishes Manufacturer, Style, Color**Existing Finishes**

--

Proposed Finishes

--

--

Proposed Finishes Manufacturer, Style, Color

--

Attachments (4)



2619 Bexley Park.JPG
Aug 07, 2019



back.JPG
Aug 07, 2019



side.JPG
Aug 07, 2019



front.JPG
Aug 07, 2019

Timeline

Payment

Status: Paid August 7th 2019, 3:32 pm

Permit & OBBS Fees

Status: Waived December 16th 2019, 3:47 pm

undefined undefined October 1st 2019, 8:40:48 am
any word on this one?

Robin Shetler October 22nd 2019, 1:56:12 pm

IS this job complete or did they keep it the same diamond grids?

undefined undefined October 23rd 2019, 8:55:36 am

same diamond grids

Robin Shetler October 23rd 2019, 9:20:33 am

@Karen Bokor see above

Design Planning Consultant

Status: In Progress

Assignee: Karen Bokor

Karen Bokor August 8th 2019, 10:47:50 pm

The home in these pictures has leaded glass windows with a significant number of diamond grids. Vinyl windows are not a like for like change and this needs to go to the Board

Robin Shetler October 23rd 2019, 9:20:10 am

@Karen Bokor , same for same

Robin Shetler November 15th 2019, 9:34:29 am

I spoke with the gentlemen that recently replaced John Tilley and he will be contacting the homeowner to discuss if they are going to apply to go before the Board soon to get this resolved.

Kathy Rose November 15th 2019, 9:43:58 am

Karen: The owners called they might be interested in other options that may be acceptable - John Vacanni has taken over the Bexley accounts. If there is a solution you would find acceptable - great - otherwise let us know if it will need to be placed on the next ARB agenda. Thanks!

Kathy Rose November 18th 2019, 12:18:30 pm

Karen: I spoke with John Vaccani about uploading any window specifications that may best match the leaded grid look. He will follow up. We also need to change out the contact information so that any response from us goes to the right person at Rosati.

Robin Shetler December 4th 2019, 10:03:38 am

Kathy Hammons is calling regarding this application approval. Please call 614-565-9270

Robin Shetler December 12th 2019, 9:30:25 am

@Kathy Rose @Karen Bokor , homeowners daughter is calling regarding these windows getting resolved. Please call at 614-565-9270

Kathy Rose December 13th 2019, 4:08:37 pm

I spoke with Karen this afternoon. She was going to call the owner and explain it's the diamond patten is proposed in vinyl that she has a problem with - even is same for same being the original is leaded glass I believe.

Kathy Rose December 13th 2019, 4:38:00 pm

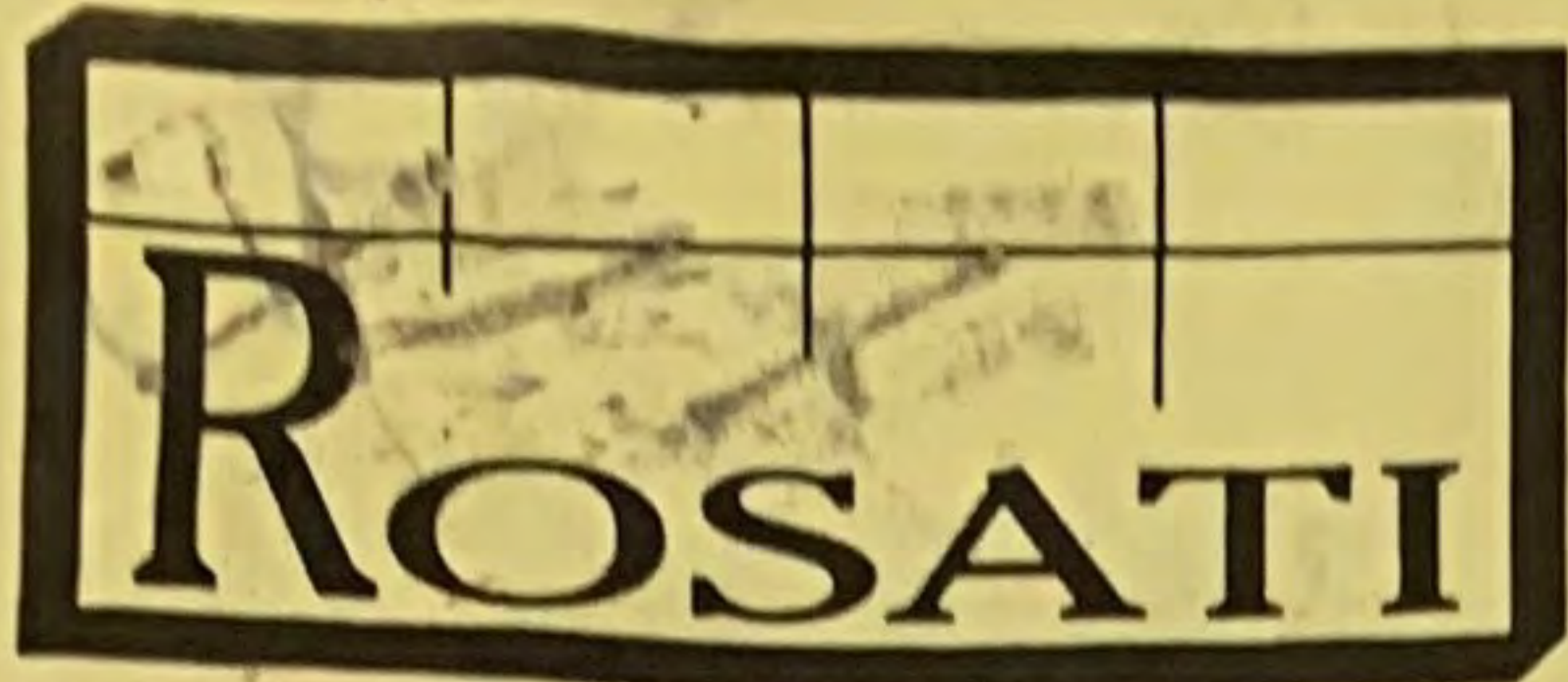
This still needs to Jan ARB per Karen - Jordan please provide envelopes

Kathy Rose December 16th 2019, 2:58:32 pm

John - Can you upload the specifications of the replacement windows for the Board to review?

Architectural Review

Status: Pending



W I N D O W S

See the difference.

Factory Order

Nº 51304

Date 7-24-19

4200 Roberts Road
Columbus, Ohio 43228
(614) 777-4806
(614) 888-866-7800

DAUGHTER
KATHY HAMMOND 614-565-9270

Customer CARMELLA KELLEY (H) (614) - 237-6207 (W) () -
Address 2619 BEXLEY PARK City BEXLEY Zip 43209 County: FWA

Rosati Window Co., LLC agrees to sell and supply customer and customer agrees to purchase from Rosati Window Co., LLC the following windows and other materials and services on the terms and conditions set forth below. All items purchased hereunder are covered to the extent applicable by the Limited Warranty. No oral agreement, promise, understanding or representation will be recognized or binding upon the parties. Contract subject to measure and verification of installation by Rosati Window Co., LLC.

Arbitration - Any claim or controversy arising under this contract shall be resolved by the Better Business Bureau Arbitration Program.

DESCRIPTION: COLOR: [] White [] Beige [] <u>Brown</u> / White in [] / White out [] Other _____					
Quantity	DOUBLE HUNG	Quantity	CASEMENT	Quantity	EXTERIOR DOOR
<u>(11)</u>		<u>(1)</u>			
	2 LITE SLIDER		DOUBLE CASEMENT	(Y) (N)	DECORATIVE GLASS
	PICTURE WINDOW		TRIPLE CASEMENT		SLIDING PATIO DOOR
	3 LITE SLIDER PICTURE WINDOW		CASEMENT BAY WITH PICTURE WINDOW		STORM DOOR
	EQUAL LITE 3 SECTION SLIDER		BOW WINDOW (Shown is five section bow; number of sections depends on width of window.)		STORM WINDOW
	HOPPER TILT BASEMENT WINDOW		AWNING WINDOW		

OTHER:
Email _____

Installed by Rosati Windows Co., LLC; cover outside trim with Brown Brown aluminum Installed by customer
 Removal of storm windows Yes No

<input type="checkbox"/> Bank Financed	<input checked="" type="checkbox"/> C.O.D. (Following does not apply)	Agreed price for above	\$ 11171 <u>11171</u>
NOTICE: ANY HOLDER OF THIS CONSUMER CREDIT CONTRACT IS SUBJECT TO ALL CLAIMS AND DEFENSES WHICH THE DEBTOR COULD ASSERT AGAINST THE SELLER OF GOODS OR SERVICES OBTAINED PURSUANT HERETO OR WITH THE PROCEEDS HEREOF. RECOVERY HEREUNDER BY THE DEBTOR SHALL NOT EXCEED AMOUNTS PAID BY THE DEBTOR HEREUNDER.		Sales Tax	\$ _____
EACH BUYER HEREBY AGREES TO THE TERMS AND CONDITIONS OF THIS CONTRACT AND ACKNOWLEDGES RECEIPT OF A COMPLETED COPY HEREOF.		Total	\$ <u>11171</u>
FOR TERMS OF FINANCING SEE SEPARATE TRUTH IN LENDING DISCLOSURE.		Down Payment <u>check 5111</u>	\$ <u>3723</u>
		Balance payable on Installation/Pickup	\$ <u>7448</u>

Installation to take place in approximately 15-17 WEEKS
Recheck typically occurs within 10-14 business days of the factory order date.

BUYER'S RIGHT TO CANCEL
BUYER MAY CANCEL THIS CONTRACT BY DELIVERING WRITTEN NOTICE TO THE SELLER AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION. BUYER MAY USE THIS CONTRACT AS THAT NOTICE BY WRITING "I HEREBY CANCEL" AT THE BOTTOM AND ADDING BUYER'S NAME AND ADDRESS. THE NOTICE MUST BE DELIVERED TO THE SELLER AT THE ADDRESS SHOWN ABOVE.

AGREED
Factory Representative Bob Boy Customer Carmella Kelley
Accepted by Rosati Windows Co., LLC Customer _____
By _____ Date 7/24/19
Customer Source TV Copy to Measure 7-29-19 Copy to Production _____

Date.....Time

Applicator

Rosati Windows

Boston Brown

P-IRE806-1%

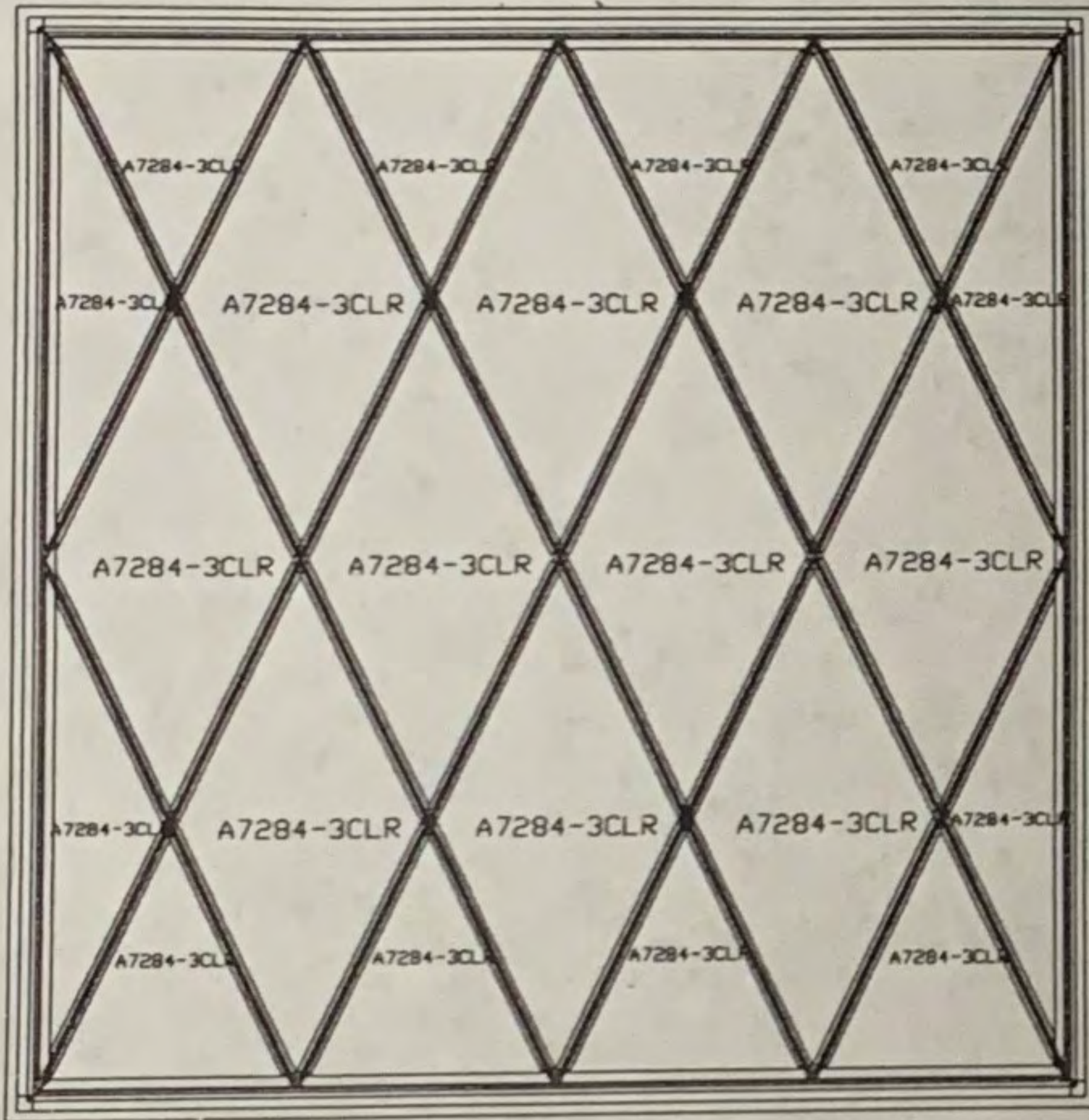
Lot# 080519

STANDARD

LEWIS COMPANY

DOUBLE HUNG.
 THIS PATTERN IN BOTH
 UPPER + LOWER SASH.
TOP

Kelley



ROSATI HARDIN 264077
 17.875 in x 18.625 in

GLASS TYPES:
 A7284-3CLR - Clear Flat 1/8" [22]

COMPONENTS:

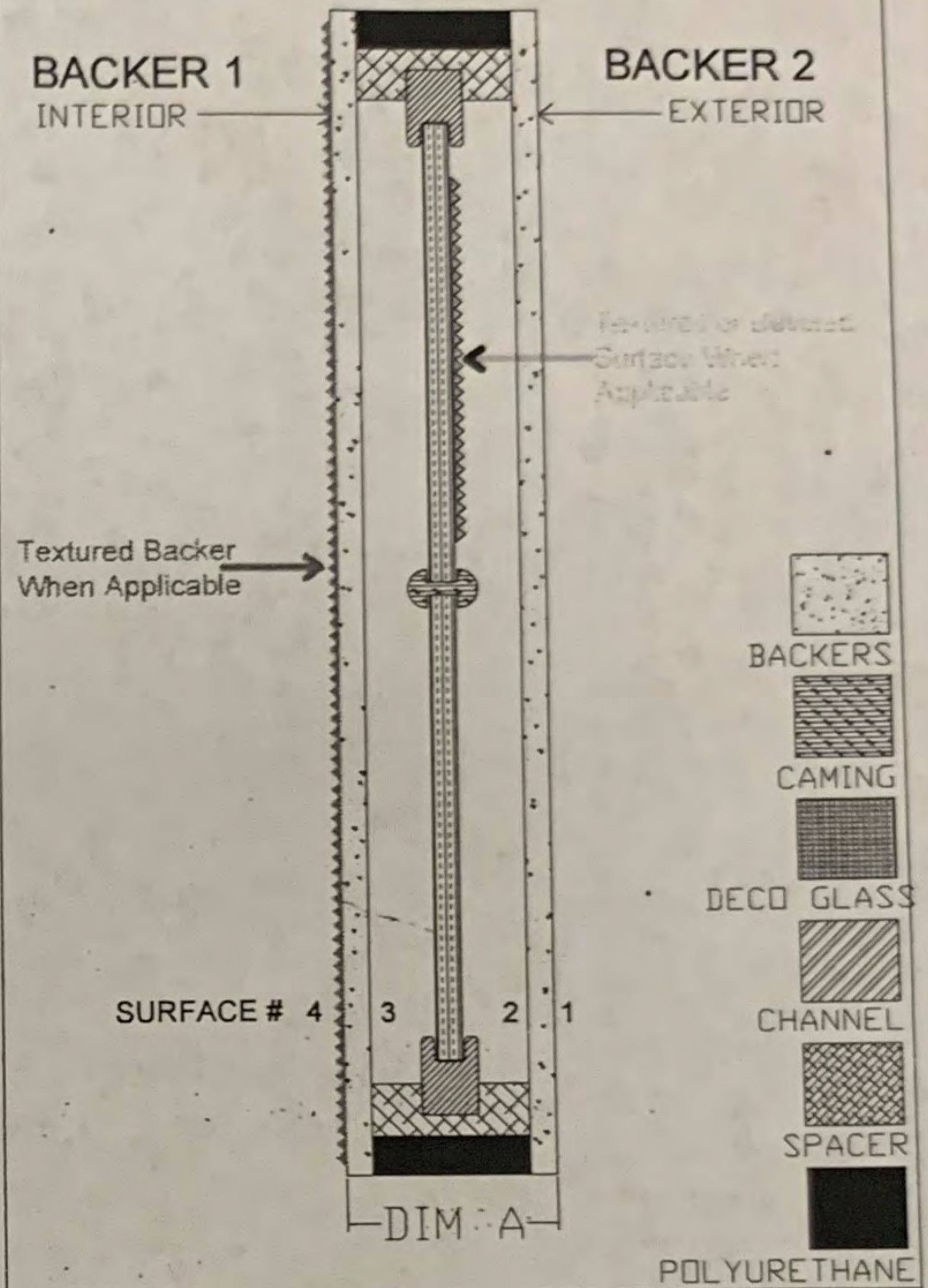
BACKER: 1/8 1/8" Clr Temp Backer-Rect
 BACKER2: 1/8 Temp Low E 272 3.1mm (Soft Coat) Rect
 SPACER: 0.25 SuperSpacer 5/8
 CHANNEL: 0.35 3/8" U Channel Zinc-Black.
 CAMING: 7/32 7/32" RH Zinc-Black Came

KENYON'S
GLASS

THIS DRAWING IS THE PROPERTY OF KENYON'S GLASS AND EMBODIES CONFIDENTIAL INFORMATION AND/OR TRADE SECRETS INFORMATION AND/OR KNOW-HOW WHICH IS THE PROPERTY OF KENYON'S GLASS, INCORPORATED. BY ACCEPTING THIS DRAWING, THE RECIPIENT AGREES NOT TO PROVIDE OR OTHERWISE MAKE AVAILABLE, THE DRAWING OR ANY INFORMATION OR KNOW-HOW EMBODIED THEREIN TO ANY THIRD PARTY WITHOUT PRIOR WRITTEN AUTHORIZATION.

DOOR IGU

IGU CONFIGURATION (SIDEVIEW):



DESCRIPTION: **HARDIN**
 17.875 in x 18.625 in
 DIM A = $\frac{7}{8}$ " IGU
 FRAME TYPE : N/A

- NOTES:
1. DRAWING VIEW FROM THE EXTERIOR
 2. TEXTURE/BEVELED SURFACE ASSEMBLED FACE UP
 3. GRAIN DIRECTION OF GLASS IS TO BE VERTICAL ↑ UNLESS OTHERWISE SPECIFIED.

QUOTE # : 264077-100





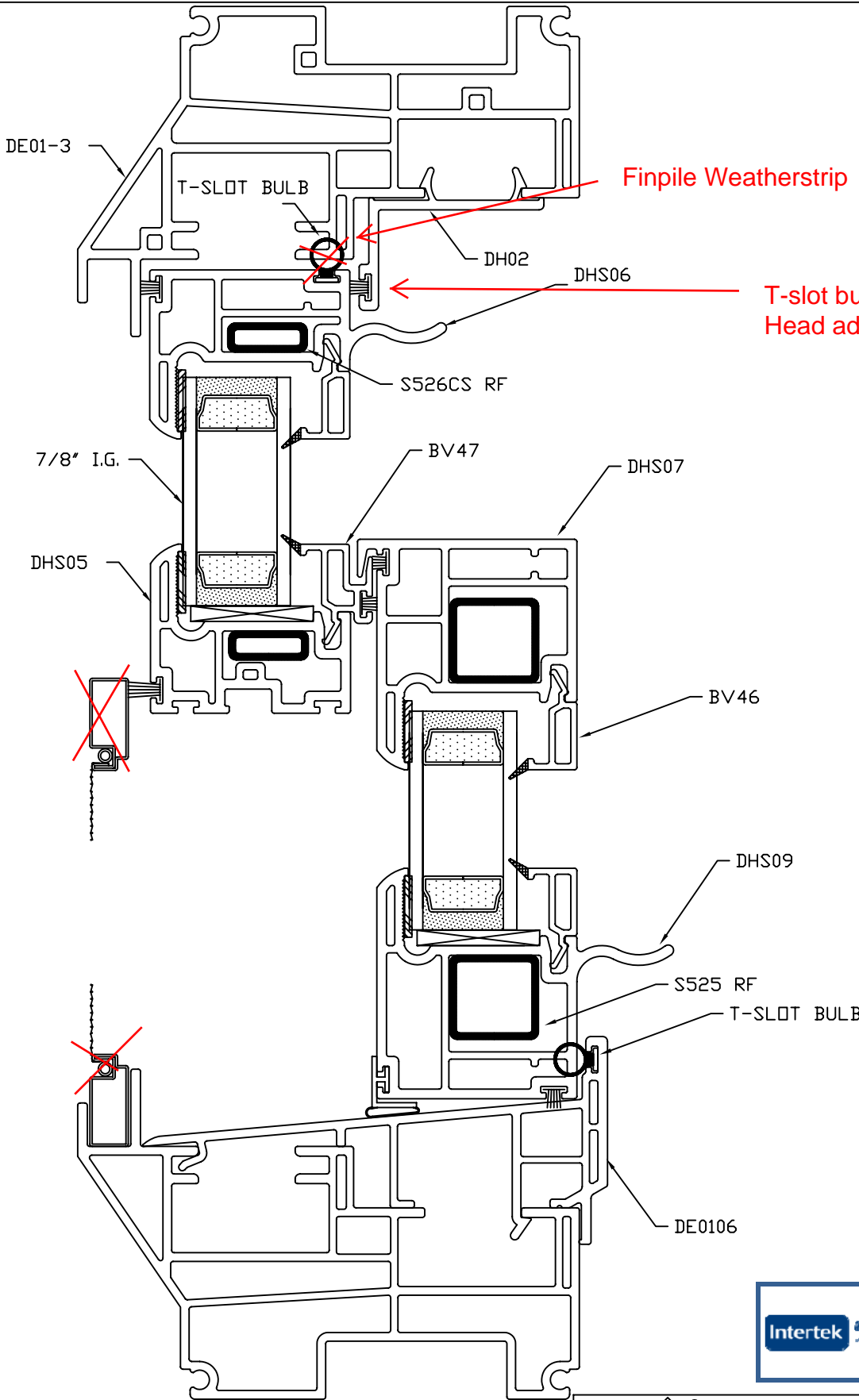




2619
KELLEY

The information, design or data shown on this document or electronic media is the exclusive property of Veka Inc.. It is considered confidential and proprietary and is made available for limited use only. Its use or reproduction without the expressed written consent of Veka Inc. is prohibited.

NOTE:
FOR OTHER PROFILE, GLAZING BEAD, & GLASS OPTIONS, PLEASE SEE THE LINEAL PROFILE CHARTS FOR THIS SYSTEM.



Finpile Weatherstrip

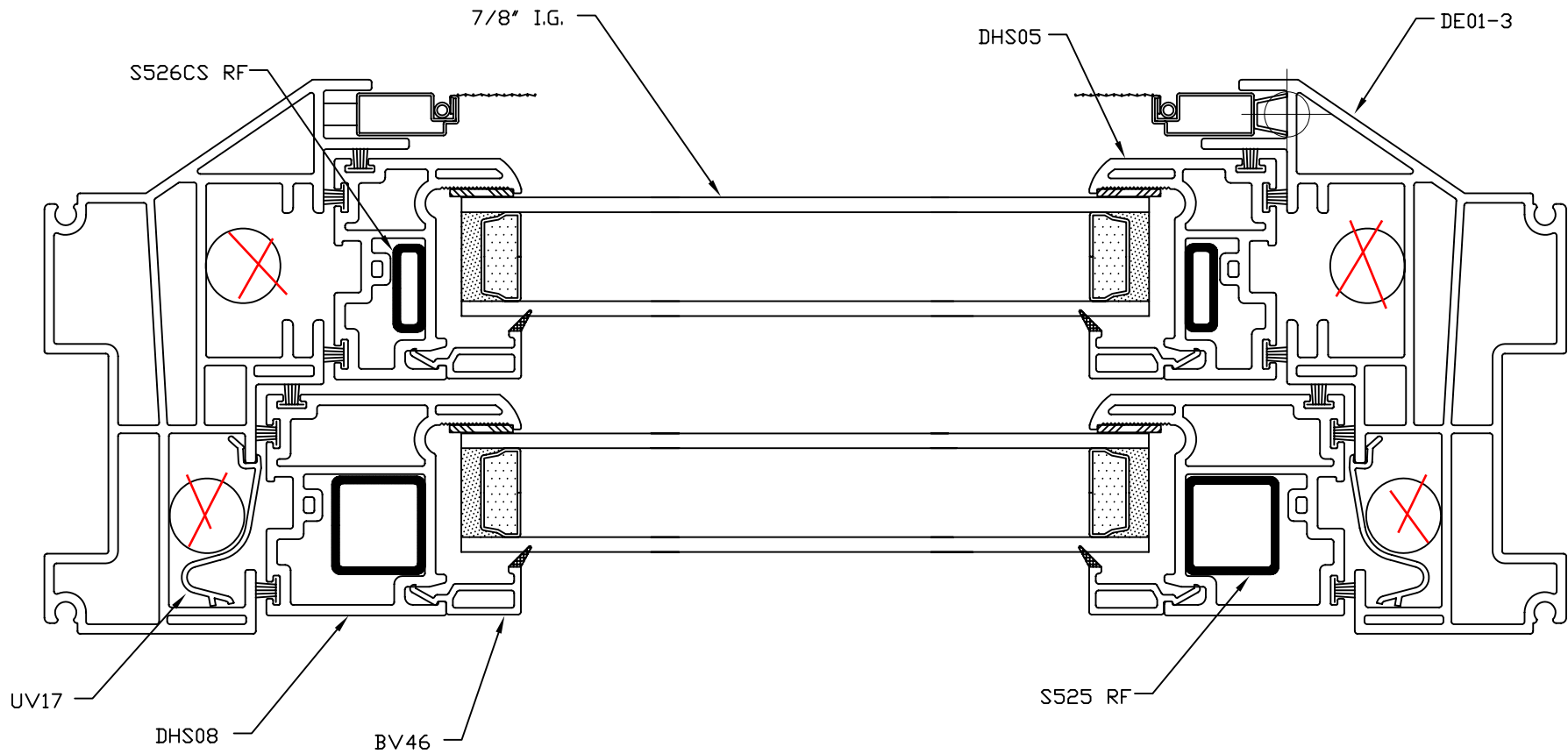
T-slot bulb in DH02 Head adapter

Report #: F7892-116-45
 Date: 05/12/16
 Verified by: *[Signature]*



VEKA INC.
 100 VEKA DRIVE
 FOMBELL, PA 16123

		DRAWN: SES	DATE: 8-17-98	SCALE: 3/4
		CHK'D:	DATE:	APPV'D:
		TITLE DOUBLE HUNG DE1WW, EQ. GLASS W/ DHS SASH VERTICAL ASSEMBLY		DWG. # DE1WWVBf
	REVISIONS	DATE		



NOTE:
 FOR OTHER PROFILE, GLAZING BEAD,
 & GLASS OPTIONS, PLEASE SEE THE
 LINEAL PROFILE CHARTS FOR THIS
 SYSTEM.

	Report #:	F7892-116-45
	Date:	05/12/16
	Verified by:	<i>[Signature]</i>



VEKA INC.
 100 VEKA DRIVE
 FOMBELL, PA 16123

The information, design or data shown on this document or electronic media is the exclusive property of Veka Inc.. It is considered confidential and proprietary and is made available for limited use only. Its use or reproduction without the expressed written consent of Veka Inc. is prohibited.

REVISIONS	DATE

DRAWN: SES	DATE: 22 JULY 97	SCALE: 3/4
CHK'D:	DATE:	APPV'D:
TITLE: DOUBLE HUNG DE1WW/DE3WW EQ. GLASS W/ DHS SASH HORIZ.ASSEMBLY		DWG. # DE1WWEHBa



2619
KELLEY



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-19-20

Applicant: Candice Brothers – Ecohouse solar

Owner: Eric Sauerhoff




Location: 762 Vernon

ARB Request: The applicant is seeking architectural review and approval to allow solar panels to be installed on the principal structure's south facing roof.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240. Mailed by: 12-26-2019

***(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory structures and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.**

Applicant

 Candice Brothers
 6144567641
 candice@ecohousesolar.com

Location

762 VERNON RD
 Bexley, OH 43209

ARB-19-20

Submitted On: Nov 19, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Installation of solar panels on the back and side of the house. Will be visible from the street.

Architecture Review

true

Demolition

--

Planned Unit Dev

--

Rezoning

--

A.1: Attorney / Agent Information**Agent Name**

Kurt Dieringer

Agent Address

1809 O'Brien Rd, Columbus, OH 43228

Agent Email

kurt@ecohousesolar.com

Agent Phone

614-456-7641

Property Owner Name

--

Property Owner phone

--

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet**Estimated Valuation of Project**

9000

Minor Architectural Review

true

Major Architectural Review

--

Variance Review - Fill out a BZAP Application instead.

--

Zoning

--

Zoning Review Type

--

Sign Review and Architectural Review for Commercial Projects

--

Review Type

--

Appeal of ARB decision to BZAP**Appeal of BZAP decision to City Council**

--

--

B: Project Worksheet: Property Information**Occupancy Type**

Residential

Zoning District

--

Use Classification

--

B: Project Worksheet: Lot Info**Width (ft)**

--

Depth (ft)

--

Total Area (SF)

--

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)**

--

Proposed Addition (SF)

--

Removing (SF)

--

Type of Structure

--

Proposed New Primary Structure or Residence (SF)

--

Total Square Footage

--

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)**

--

Proposed Addition (SF)

--

New Structure Type

--

Ridge Height

--

Proposed New Structure (SF)

--

Is there a 2nd Floor

--

Total of all garage and accessory structures (SF)

--

Total building lot coverage (SF)

--

Total building lot coverage (% of lot)

--

Is this replacing an existing garage and/or accessory structure?

--

B: Project Worksheet: Hardscape

Existing Driveway (SF)

--

Existing Private Sidewalk (SF)

--

Total Hardscape (SF)

--

Existing Patio (SF)

--

Proposed Additional Hardscape (SF)

--

B: Project Worksheet: Total Coverage

Total overall lot coverage (SF)

--

Total overall lot coverage (% of lot)

--

C.1 Architectural Review Worksheet: Roofing

Roofing

--

Existing Roof Type

--

New Single Manufacturer

--

Structure

--

New Roof Type

--

New Roof Style and Color

--

C.1 Architectural Review Worksheet: Windows

Windows

--

Existing Window Type

--

New Window Manufacturer

--

Structure

--

Existing Window Materials

--

New Window Style/Mat./Color

--

C.1 Architectural Review Worksheet: Doors

Doors

--

Existing Entrance Door Type

--

Door Finish

--

Proposed Door Style

--

Structure

--

Existing Garage Door Type

--

Proposed Door Type

--

Proposed Door Color

--

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

Existing Door Trim

--

--

Proposed New Door Trim

Existing Window Trim

--

--

Proposed New Window Trim

Trim Color(s)

--

--

Do the proposed changes affect the overhangs?

--

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

Existing Finishes

--

--

Existing Finishes Manufacturer, Style, Color

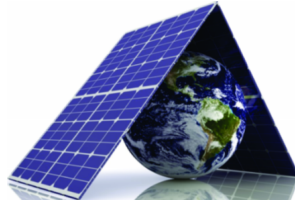
Proposed Finishes

--

--

Proposed Finishes Manufacturer, Style, Color

--



September 26, 2019
Solar Paperwork, Inc.
1317 N. San Fernando Bl #343
Burbank, CA 91504

Subject: Structural Certification for Installation of Solar Panels

Client: Stacey Philliber and Eric Sauerhoff
Address: 762 Vernon Rd, Bexley OH 43209

Attn.: To Whom It May Concern

A field observation of the condition of the existing framing system was performed by an audit team from EcoHouse Solar
From the field observation of the property, the existing roof structure was observed as follows:

The existing roof structure consists of:

- Composition Shingle over Roof Plywood is supported by 2 X 6 @ 24" O.C. O.C. SPF#2 at the ARRAY.

The rafters are sloped at approximately 32 degree

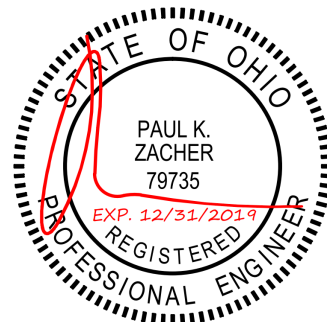
Design Criteria:

- Applicable Codes = 2018 IBC/IRC, ASCE 7-16, and NDS-15 OHIO BUILDING CODE 2017
- Ground Snow Load = 20 psf; Roof Snow Load = 7 psf
- Roof Dead Load = 7.6 psf.
- Basic Wind Speed = 115 mph Exposure Category C

I certify that the capacity of the structural roof framing that directly supports the additional gravity loading due to the solar panel supports and modules had been reviewed and determined to meet or exceed the requirements with structural upgrade in accordance with the 2018 IBC/IRC. OHIO BUILDING CODE 2017

If you have any questions on the above, do not hesitate to call.

Prepared By:
Solar Paperwork, Inc.





GENERAL NOTES

1. ALL ELECTRICAL MATERIALS SHALL BE NEW AND LISTED BY RECOGNIZED ELECTRICAL TESTING LABORATORY

CUSTOM MADE EQUIPMENT SHALL HAVE COMPLETE TEST DATA SUBMITTED BY THE MANUFACTURER ATTESTING TO ITS SAFETY

2. OUTDOOR EQUIPMENT SHALL BE NEMA 3R RATED OR BETTER

3. ALL METALLIC EQUIPMENT SHALL BE GROUNDED

4. CONTRACTOR SHALL OBTAIN ELECTRICAL PERMITS PRIOR TO INSTALLATION AND SHALL COORDINATE ALL INSPECTIONS, TESTING COMMISSIONING AND ACCEPTANCE WITH THE CLIENT, UTILITY CO. AND CITY INSPECTORS AS NEEDED.

5. THE ELECTRICAL CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS OF SERVICE POINTS AND SERVICE SIZES WITH THE SERVING UTILITY COMPANY AND COMPLY WITH ALL UTILITY COMPANIES REQUIREMENTS.

6. DRAWINGS ARE DIAGRAMMATIC ONLY, ROUTING OF RACEWAYS SHALL BE OPTION OF THE CONTRACTOR UNLESS OTHERWISE NOTED AND SHALL BE COORDINATED WITH OTHER TRADES.

7. IF THE ROOF MATERIAL OR ROOF STRUCTURE NOT ADEQUATE FOR PV INSTALLATION, CALL ENGINEER PRIOR TO INSTALL. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THAT THE ROOF IS CAPABLE OF WITHSTANDING THE EXTRA WEIGHT.

8. IF THE DISTANCES FOR CABLE RUNS ARE DIFFERENT THAN SHOWN, THE CONTRACTOR SHALL NOTIFY THE ELECTRICAL ENGINEER TO VALIDATE THE WIRE SIZE. FINAL DRAWINGS WILL BE RED-LINED AND UPDATED AS APPROPRIATE.

9. WHENEVER A DISCREPANCY IN QUALITY OF EQUIPMENT ARISES ON THE DRAWING OR SPECIFICATIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL MATERIAL AND SERVICES REQUIRED BY THE STRICTEST CONDITIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS TO ENSURE COMPLETE COMPLIANCE AND LONGEVITY OF THE OPERABLE SYSTEM REQUIRED BY THE ARCHITECT/ENGINEERS.

10. ALL BROCHURES, OPERATION MANUALS, CATALOGS, SHOP DRAWINGS, ETC. SHALL BE HANDED OVER TO OWNER'S REPRESENTATIVE AT THE COMPLETION OF WORK

PHOTOVOLTAIC NOTES:

1. ROOFTOP MOUNTED PHOTOVOLTAIC PANELS AND MODULES SHALL BE TESTED, LISTED AND IDENTIFIED BY RECOGNIZED ELECTRICAL TESTING LABORATORY

2. SOLAR SYSTEM SHALL NOT COVER ANY PLUMBING OR MECHANICAL VENTS

3. MODULES AND SUPPORT STRUCTURES SHALL BE GROUNDED.

4. SOLAR INVERTER SHALL BE LISTED TO UL1741.

5. REMOVAL OF AN INTERACTIVE INVERTER OR OTHER EQUIPMENT SHALL NOT DISCONNECT THE BONDING CONNECTION BETWEEN THE GROUNDING ELECTRODE CONDUCTOR AND THE PHOTOVOLTAIC SOURCE AND/OR OUTPUT CIRCUIT GROUNDED CONDUCTORS.

6. ALL PV MODULES AND ASSOCIATED EQUIPMENT AND WIRING SHALL BE PROTECTED FROM PHYSICAL DAMAGE.

7. LIVE PARTS OF PV SOURCE CIRCUITS AND PV OUTPUT CIRCUITS OVER 150V TO GROUND SHALL NOT BE ACCESSIBLE TO OTHER THAN QUALIFIED PERSONS WHILE ENERGIZED.

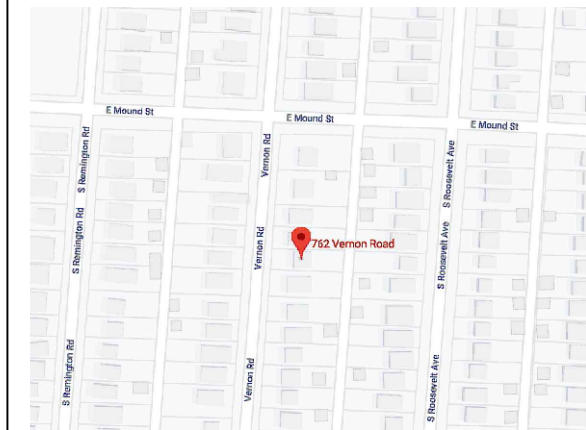
8. INVERTER IS EQUIPED WITH INTEGRATED GFDI, THUS PROVIDING GROUND FAULT PROTECTION

9. ALL CONDUCTORS SHALL BE COPPER AND 90 DEG RATED

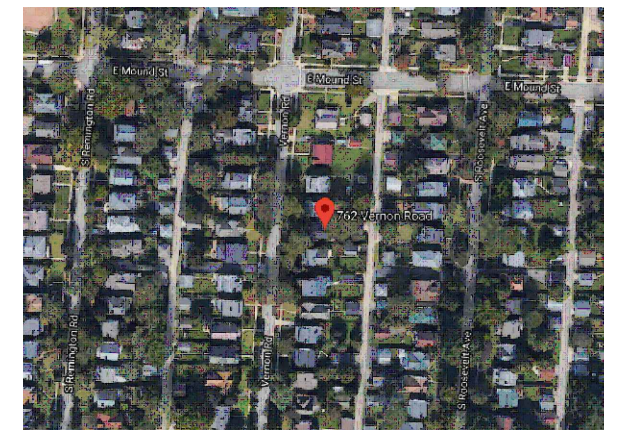
10. ALL ELECTRICAL EQUIPMENT SHALL BE LISTED BY A RECOGNIZED ELECTRICAL TESTING LABORATORY.

11. A SINGLE CONDUCTOR SHALL BE PERMITTED TO BE USED TO PERFORM THE MULTIPLE FUNCTIONS OF DC GROUNDING, AC GROUNDING AND BONDING BETWEEN AC AND DC SYSTEMS.

12. NON-CURRENT CARRYING METAL PARTS OF EQUIPMENT SHALL BE EFFECTIVELY BONDED TOGETHER. BOND BOTH ENDS OF RACEWAYS.



VICINITY MAP
SCALE: NTS



SATELLITE VIEW
SCALE: NTS

INDEX

1	ROOF PLAN
2	SINGLE LINE DIAGRAM
3	SIGNAGE
4	SITE PLAN
5	ATTACHMENT LAYOUT
6	INVERTER DATA SHEET
7	MODULE DATA SHEET
8	RSD DATA SHEET
9	RACKING DATA SHEET
10	ATTACHMENT DATA SHEET
11	RSD DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff
Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

MAIN

THE INSTALLATION OF SOLAR ARRAYS AND PHOTOVOLTAIC POWER SYSTEMS SHALL COMPLY WITH THE FOLLOWING CODES:

NATIONAL ELECTRICAL CODE 2017
OHIO BUILDING CODE 2017
INTERNATIONAL FIRE CODE 2017
INTERNATIONAL ENERGY CONSERVATION CODE 2018

AS ADOPTED BY THE STATE OF OHIO

ALL OTHER ORDINANCE ADOPTED BY THE LOCAL GOVERNING AGENCIES

PV SOLAR SYSTEM DETAILS





SYSTEM SIZE: DC STC: 6.93 KW
SYSTEM SIZE: AC CEC: 6.34 KW
SOLAR MODULES: (19) LG 365 watt
INVERTERS: (19) Enphase IQ7 Plus Microinverters

ELECTRICAL INFORMATION:

EXISTING
MAIN SERVICE PANEL BUS SIZE: 200A
MAIN SERVICE BREAKER SIZE: 200A
MOUNTING SYSTEM: IRONRIDGE

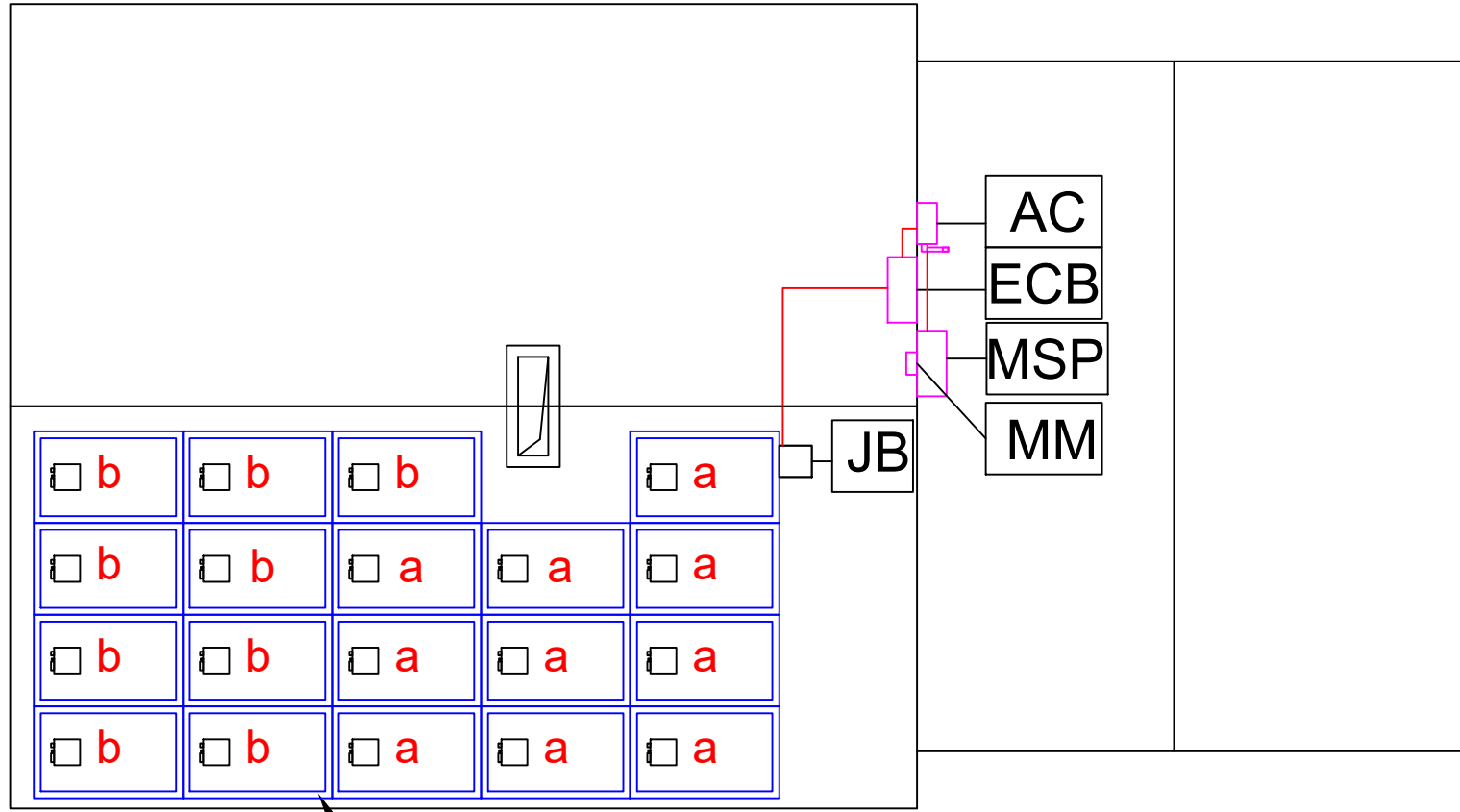
BUILDING INFORMATION:

ONE STORY HOUSE
CONSTRUCTION TYPE: V-B
OCCUPANCY: R
ROOF: COMP. SHINGLE
RAFTER: 2 X 6 @ 24" O.C.

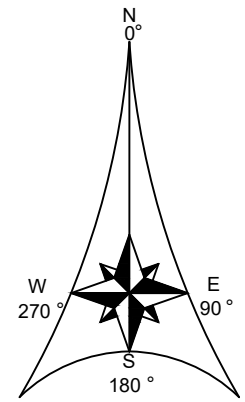
INDEX	
MSP	(E) Main Service Panel
MM	(E) Main Meter
ECB	(N) Enphase Combiner Box
AC	(N) AC Disconnect
JB	(N) Junction Box
	Microinverter/Optimizer
	Solar Module
	Conduit
	Setback

Total Roof Area: 963.3
 Total Module Area: 342
 35.5 % of Coverage

Vernon Rd



Solar PV Array
 19 - LG 365W Modules
 19 - IQ7 Plus Microinverters
 Pitch: 32 Deg
 Orientation: 90 Deg



SCALE: 3/32" = 1'-0"

1 ROOF PLAN

Project Name:
Stacey Philliber and Eric Sauerhoff
 Property address:
 762 Vernon Rd, Bexley
 OH 43209

CONTRACTOR

Ecohouse Solar
 1857 Northwest Boulevard
 Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
 DATE: 09/20/2019

#	ITEM	DESCRIPTION	QTY
1	PV MODULE	LG LG365Q1C-V5 Voc = 42.8V, Vmp = 36.7V Isc = 10.8A, Imp = 9.95A	19
2	SOLARDECK JB	4"x4"x2" UL LISTED WATER TIGHT NEMA TYPE 3	1
3	MAIN SERVICE PANEL	(E) MAIN SERVICE PANEL & METER 200A BUSBAR & 200A MAIN BREAKER	1
4	MICROINVERTERS	ENPHASE IQ7 PLUS MICROINVERTERS IQ7PLUS-72-X-US (240V) PEAK PWR TRACKING VOLTAGE: = 27-45 V CEC EFFICIENCY: = 97.0 % ENCLOSURE: NEMA 6 MAXIMUM INPUT CURRENT: = 15 A MAXIMUM OUTPUT CURRENT: = 1.21A MAXIMUM INPUT POWER: = 235 - 440W+ MAXIMUM OUTPUT POWER: = 240 W	19
5	ECB	Enphase Combiner Box	1
6	AC DISCONNECT	60A 2P BLADE TYPE 240V NON-FUSABLE	1
7	MM	UTILITY METER	1

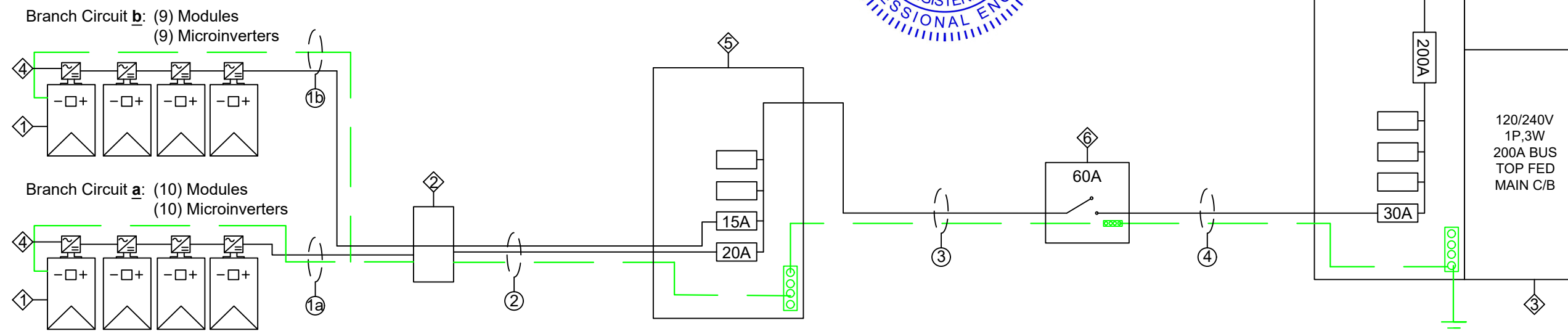
#	MODULE QTY x NEC MULT x MICROINV. OUTPUT AMPS = DESIGN AMPS	BREAKER SIZE (A)	WIRE TYPE	EGC	WIRE RATING X TEMP DERATE X CONDUCTOR DERATE = DERATED WIRE	CONDUIT SIZE
1a	10 X 1.25 X 1.21 = 15.1 A	20	(2) #12 AWG, ENPHASE Q CABLE	(1) #6 BARE SOLID COPPER GEC	30 X .71 X 1 = 21.3 >= 15.1	IN FREE AIR
1b	9 X 1.25 X 1.21 = 13.6 A	15	(2) #12 AWG, ENPHASE Q CABLE	(1) #6 BARE SOLID COPPER GEC	30 X .71 X 1 = 21.3 >= 13.6	IN FREE AIR
2	10 X 1.25 X 1.21 = 15.1 A	20	(4) #10 AWG, CU-THWN-2	(1) #10 AWG, CU-THWN-2 EGC	40 X .71 X .8 = 22.7 >= 15.1	3/4" EMT
3	19 X 1.25 X 1.21 = 28.7 A	30	(3) #8 AWG, CU-THWN-2	(1) #10 AWG, CU-THWN-2 EGC	55 X .91 X 1 = 50.05 >= 28.7	3/4" EMT
4	19 X 1.25 X 1.21 = 28.7 A	30	(3) #8 AWG, CU-THWN-2	(1) #10 AWG, CU-THWN-2 EGC	55 X .91 X 1 = 50.05 >= 28.7	3/4" EMT

- KEY NOTES:**
- SOLID BARE G.E.C (FREE-AIR) MOUNTED UNDER ARRAY
 - PER NEC ARTICLE 690.35 INVERTER GROUND FAULT PROTECTION PROVIDED
 - ALL GROUNDS AND NEUTRALS BONDED TO EXISTING GROUNDING CONDUCTOR W/IRREVERSIBLE CRIP CONNECTOR,
 - BACKFED BREAKERS MUST BE LOCATED @ OPPOSITE END OF BUS BAR FROM MAIN BREAKER OR MAIN LUG ON GRID SIDE. WHEN A BACKFED BREAKER IS THE METHOD OF UTILITY INTERCONNECTION, BREAKER SHALL NOT READ 'LINE OR LOAD'.
 - PER CEC 250.65(C): CONDUCTOR SPLICES ONLY ALLOWED WITH COMPRESSION CONNECTORS OR EXOTHERMIC WELDING
 - ALL GROUNDS AND NEUTRALS BONDED TO EXISTING GROUNDING CONDUCTOR W/IRREVERSIBLE CRIP CONNECTOR,
 - VERIFY (E) UFER GROUND NEAR MSP. IF (E) UFER IS NOT ACCESSIBLE OR VERIFIABLE, INSTALL A NEW 5/8" Ø X 8' LONG GROUNDING ROD AND BOND SOLAR SYSTEM EQUIPMENT GROUNDING ACCORDINGLY.
 - LOAD/LINE SIDE INTERCONNECTION AT MAIN PANEL PER ART. 705.12

AC SYSTEM SIZE CALCULATION				
Module PTC Rating (W)	x	NO. of Modules	x	Average Inverter CEC Efficiency = AC System Size
344.1	x	19	x	97% = 6.34 kW AC

PERCENT OF VALUES	NUMBER OF CURRENT CARRYING CONDUCTORS IN EMT
.80	4-6
.70	7-9
.50	10-20

120% RULE CALCULATION PER NEC 705.12(D)(2)(3)		
MAIN BUSBAR RATING:	200	AMPS
MAIN SERVICE BREAKER RATING:	200	AMPS
PV BACKFEDDING CURRENT:	30	AMPS
BUSBAR X 120% - MAIN BREAKER = MAX PV BREAKER		
	240	200 = 40



2 SINGLE LINE DIAGRAM

Project Name:
Stacey Philliber and Eric Sauerhoff
Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar
1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

1 CAUTION AUTHORIZED SOLAR PERSONNEL ONLY!

2 CAUTION SOLAR DC CURRENT PRESENT DURING DAYLIGHT HOURS

(STICKER TO BE LOCATED ON CONDUIT WITH DC CURRENT EVERY 4' HORIZONTALLY OR 10' VERTICALLY AND 1' FROM EACH SIDE OF A BEND)

3 WARNING! ELECTRIC SHOCK HAZARD. IF GROUND FAULT IS INDICATED, NORMALLY GROUNDED CONDUCTORS MAY BE UNGROUNDED AND ENERGIZED.

4 DC DISCONNECT DC PHOTOVOLTAIC POWER SOURCE RATED MAX POWER POINT CURRENT- ___ AMPS RATED MAX POWER POINT VOLTAGE- ___ VOLTS MAXIMUM SYSTEM VOLTAGE- ___ VOLTS SHORT CIRCUIT CURRENT- ___ AMPS

5 WARNING! ELECTRIC SHOCK HAZARD. DO NOT TOUCH THE TERMINALS. TERMINALS ON BOTH THE LINE AND LOAD SIDES MAY BE ENERGIZED IN THE OPEN POSITION.

11 PV LOAD CENTER SIZED FOR PV BREAKERS ONLY OR RENDERED UNABLE TO ACCEPT ANY ADDITIONAL LOADS. (STICKER LOCATED ON THE PV SUB PANEL)

6 PV SUB-PANEL ONLY (TO BE LOCATED ON SUB-PANEL ONLY WHEN SUB-PANEL IS DEDICATED FOR PV ONLY)

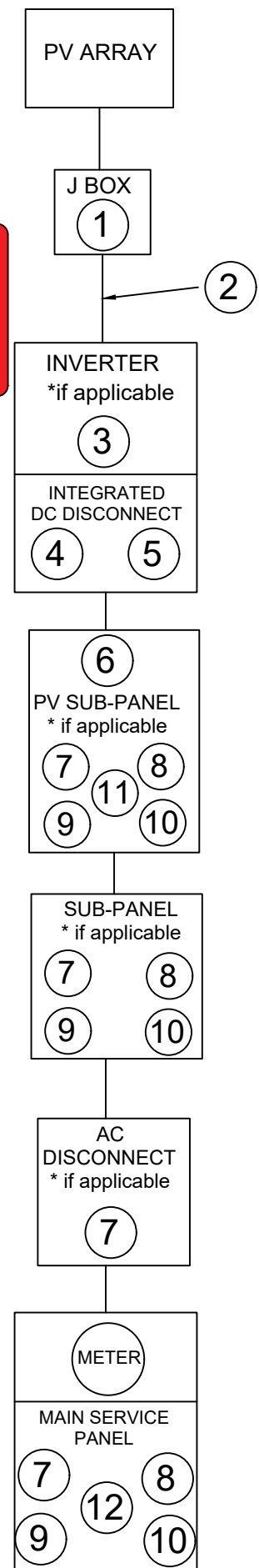
7 AC DISCONNECT AC PHOTOVOLTAIC POWER SOURCE RATED AC OUTPUT CURRENT: 28.7 A MAX NOMINAL AC OPERATING VOLTAGE: 240 Vac

8 THIS PANEL FED BY MULTIPLE SOURCES (UTILITY & SOLAR)

9 SOLAR (STICKER LOCATED INSIDE PANEL NEXT TO SOLAR BREAKER)

10 WARNING! INVERTER OUTPUT CONNECTION. DO NOT RELOCATE THIS OVERCURRENT DEVICE (STICKER LOCATED INSIDE PANEL BELOW PV BREAKER)

12 PHOTOVOLTAIC SYSTEM EQUIPPED WITH RAPID SHUT DOWN (STICKER LOCATED ON THE MAIN SERVICE PANEL)



MARKINGS, LABELS AND WIRING SIGNS

A. Purpose: Provide emergency responders with appropriate warning and guidance with respect to isolating solar electric system. This can facilitate identifying energized electrical lines that connect solar panels to the inverter, as these should not be cut when venting for smoke removal

B. Main Service Disconnect.

1. Residential buildings - The marking main be placed within the main service disconnect. The marking shall be placed outside cover if the main service disconnect is operable with the service panel closed.

2. Commercial buildings - The marking shall be placed adjacent to the main service disconnect clearly visible from the location where the level is operated

3. Markings: Verbiage, Format and Type of Material.

a. Verbiage: CAUTION: SOLAR ELECTRIC SYSTEM CONNECTED

b. Format: White lettering on a red background. Minimum 3/8 inches letter height. All letters shall be capitalized. Arial or similar font, non bold.

c. Material: Reflective, weather resistant material suitable for the environment (use UL-969 as standard for weather rating). Durable adhesive materials meet this requirement.

C. Marking Requirements on DC conduit, raceways, enclosures, cable assemblies, DC combiners and junction boxes:

1. Markings: Verbiage, Format and Type of Material.

a. Placement : Markings shall be placed every 10 feet on all interior and exterior DC conduits, raceways, enclosures, and cable assemblies, at turns, above and for below penetrations, all DC combiners and junction boxes

b. Verbiage: CAUTION: SOLAR CIRCUIT Note: The format and type of material shall adhere to "V. V-3b, c" of this requirement.

c. Inverters are not required to have caution markings

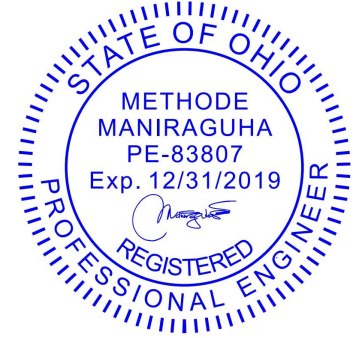
1. Marking is required on all interior and exterior DC conduit raceways, enclosures, cable assemblies, and junction boxes, combiner boxes and disconnects.

2. The materials used for marking shall be reflective, weather resistant material suitable for the environment.

Minimum 3/8 "letter height; all upper case letters Arial or similar font; Red background with white lettering.


3. Marking shall contain the words: **WARNING : PHOTOVOLTAIC POWER SOURCE.**


4. Marking shall be placed adjacent to the main service disconnect in a location clearly visible from the location where the disconnect is operated

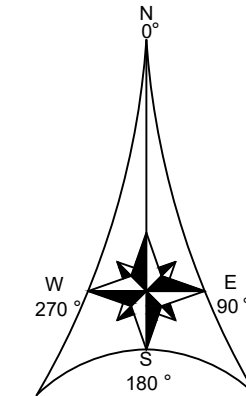
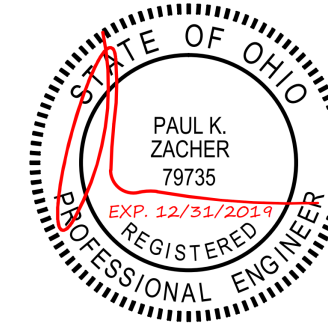


Permanent directory or plaque providing location of service disconnecting means and photovoltaic system disconnecting means, if not located at the same location. (Plaques shall be metal or plastic, with engraved or machine printed letters, or electro-photo plating, in a contrasting color to the plaque. Plaques shall be permanently attached to the equipment or in the required location using an approved method that is suitable to withstand the environment to which it is exposed. Plaques and signage shall meet legibility, defacement, exposure and adhesion requirements of Underwriters Laboratories marking and labeling system 969(UL969).

Plaques will have red background & white lettering.

3	SIGNAGE
Project Name: Stacey Philliber and Eric Sauerhoff Property address: 762 Vernon Rd, Bexley OH 43209	
CONTRACTOR	
Ecohouse Solar	
1857 Northwest Boulevard Columbus, OH 43212	
	
DESIGNER: www.solarpaperwork.com DATE: 09/20/2019	

INDEX	
MSP	(E) Main Service Panel
MM	(E) Main Meter
ECB	(N) Enphase Combiner Box
AC	(N) AC Disconnect
	Solar Module



SCALE: 1/16" = 1'-0"

4 SITE PLAN

Project Name:
Stacey Philliber and Eric Sauerhoff
 Property address:
762 Vernon Rd, Bexley OH 43209

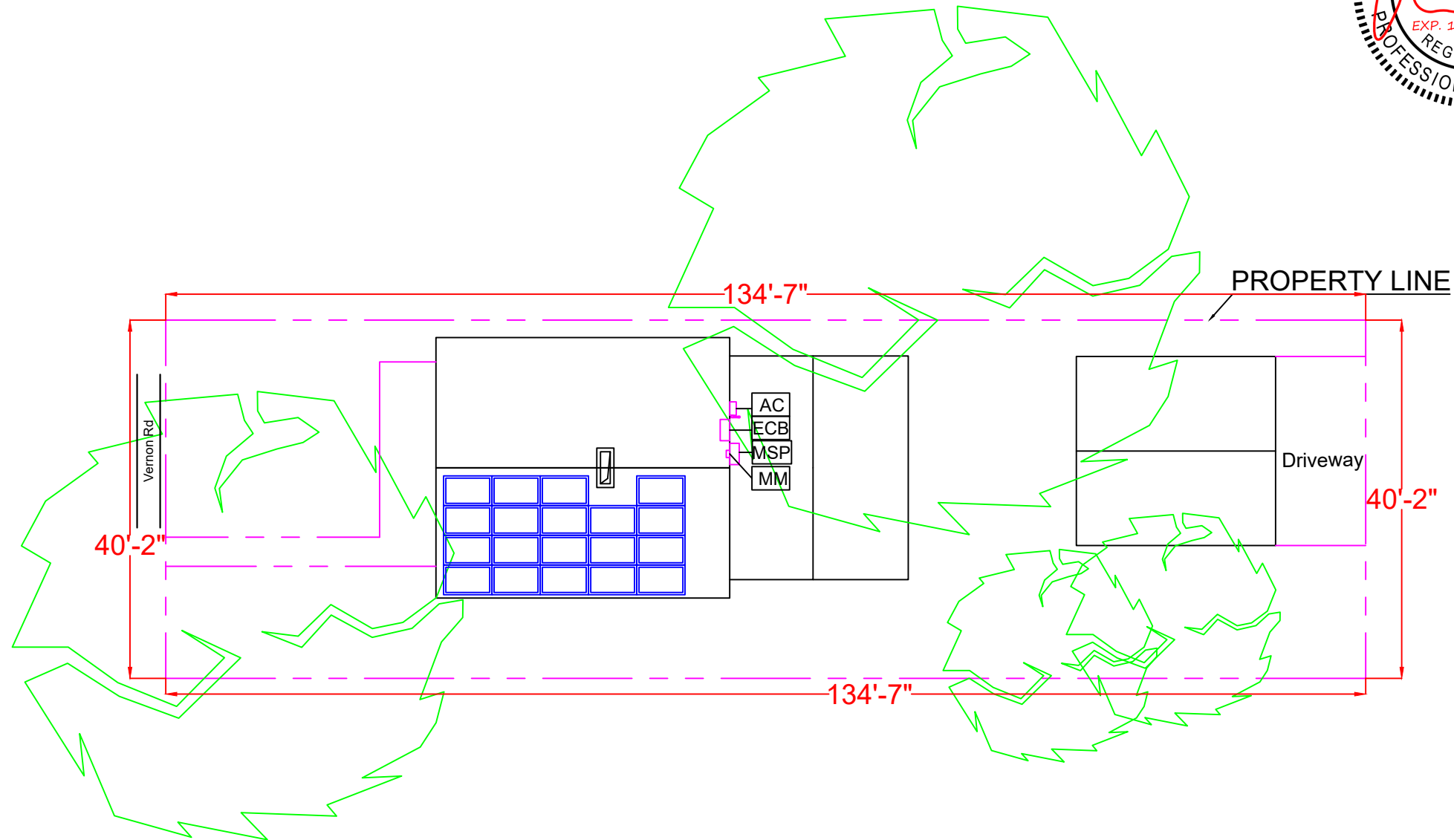
CONTRACTOR

Ecohouse Solar

 1857 Northwest Boulevard
 Columbus, OH 43212

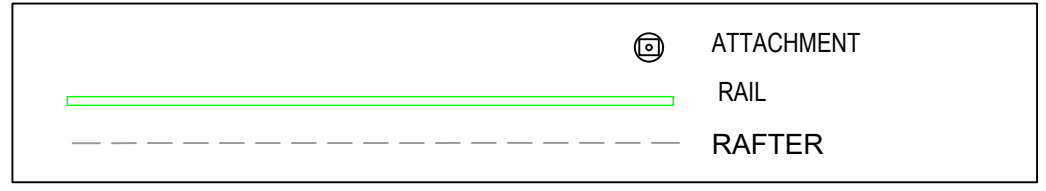
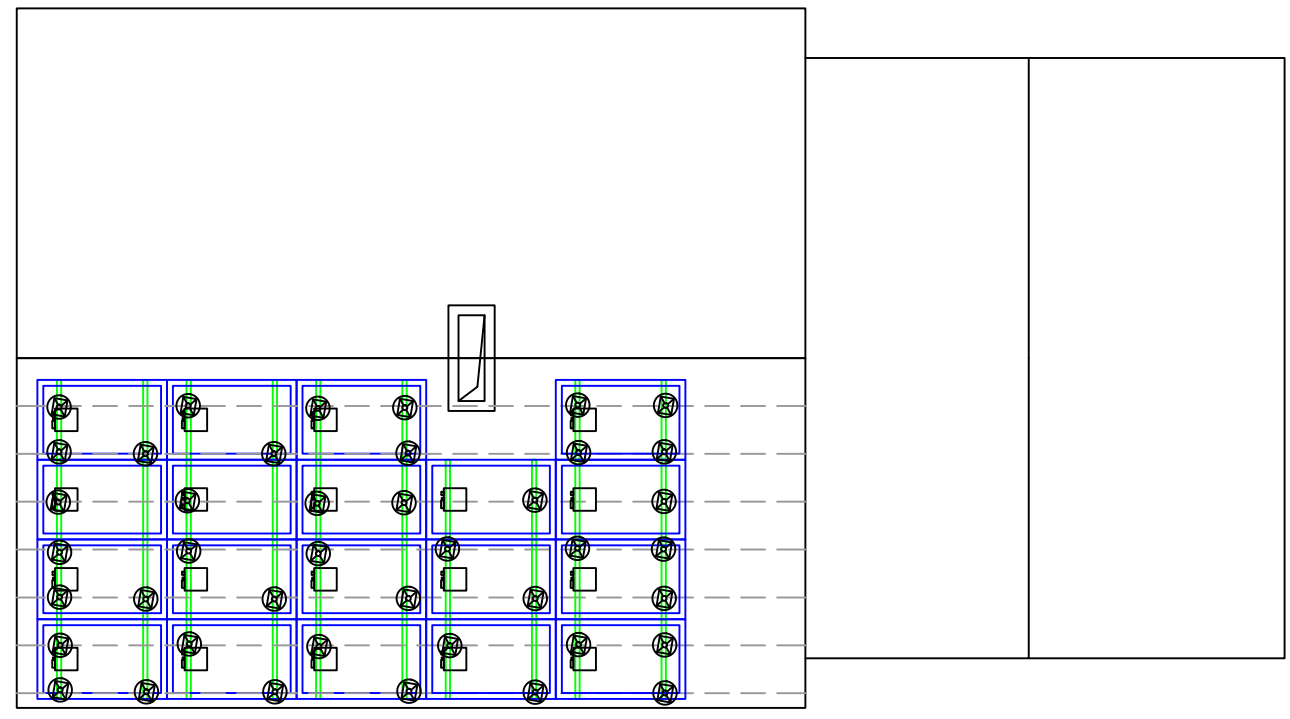
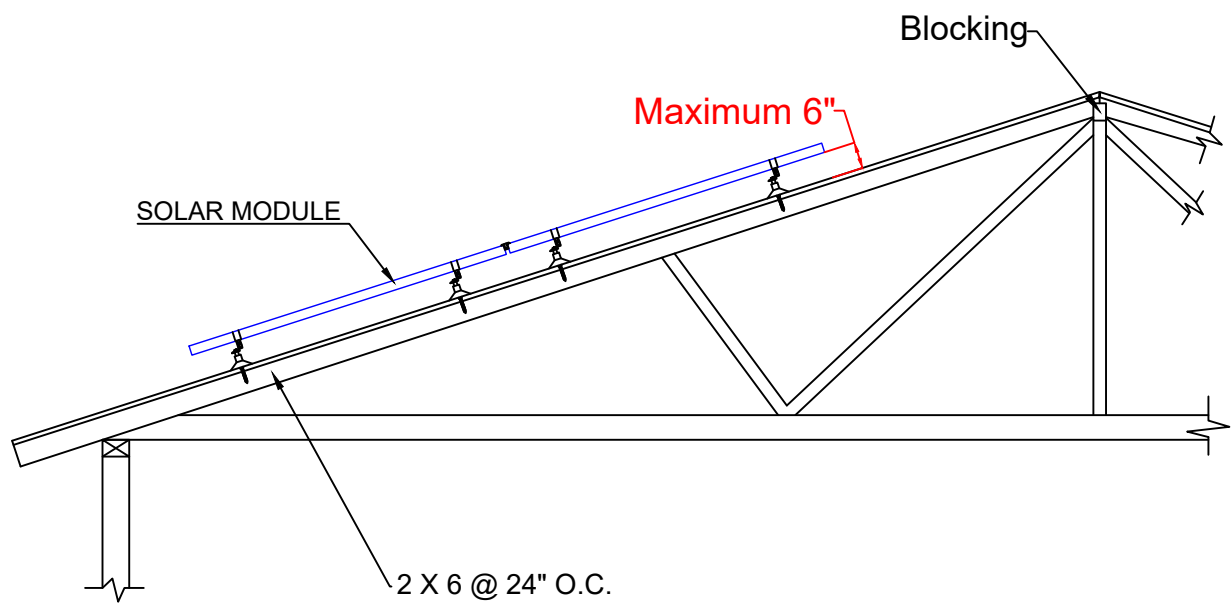
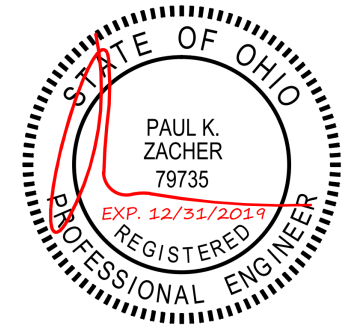


DESIGNER: www.solarpaperwork.com
 DATE: 09/20/2019



MODULE WEIGHT (lbs)	38.6
# OF MODULES	19
TOTAL MODULE WEIGHT (lbs)	733.4
RACK WEIGHT (lbs)	146.6
MICROINVERTER WEIGHT (lbs)	45.2
TOTAL SYSTEM WEIGHT (lbs)	925.2
# OF STANDOFFS	42
MAX SPAN BETWEEN STANDOFFS (in)	48
LOADING PER STANDOFF (lbs)	22.02
TOTAL AREA (sq.ft.)	342
LOADING (PSF)	2.70

1. IronRidge Racking System
2. Roof Tech Minis Attachment
3. Roof attachment hardware to be mounted to existing structure
(2 X 6 @ 24" O.C. RAFTER) with 48" O.C. rail spans or less.
4. Lag bolts are 5/16" X 3.5" stainless steel with 2.5" minimum embedment into the center of the roof
5. Roof sheathed with 1/2" plywood and upper surface is faced with felt paper.
Finished roof surface is **One layer of COMP. SHINGLE.**



5 ATTACHMENT LAYOUT

Project Name:
Stacey Philliber and Eric Sauerhoff
 Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar
 1857 Northwest Boulevard
 Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
 DATE: 09/20/2019

Enphase IQ 7 and IQ 7+ Microinverters

The high-powered smart grid-ready **Enphase IQ 7 Micro™** and **Enphase IQ 7+ Micro™** dramatically simplify the installation process while achieving the highest system efficiency.

Part of the Enphase IQ System, the IQ 7 and IQ 7+ Microinverters integrate with the Enphase IQ Envoy™, Enphase IQ Battery™, and the Enphase Enlighten™ monitoring and analysis software.

IQ Series Microinverters extend the reliability standards set forth by previous generations and undergo over a million hours of power-on testing, enabling Enphase to provide an industry-leading warranty of up to 25 years.

Easy to Install

- Lightweight and simple
- Faster installation with improved, lighter two-wire cabling
- Built-in rapid shutdown compliant (NEC 2014 & 2017)

Productive and Reliable

- Optimized for high powered 60-cell and 72-cell* modules
- More than a million hours of testing
- Class II double-insulated enclosure
- UL listed

Smart Grid Ready

- Complies with advanced grid support, voltage and frequency ride-through requirements
- Remotely updates to respond to changing grid requirements
- Configurable for varying grid profiles
- Meets CA Rule 21 (UL 1741-SA)

* The IQ 7+ Micro is required to support 72-cell modules.



To learn more about Enphase offerings, visit enphase.com



Enphase IQ 7 and IQ 7+ Microinverters

INPUT DATA (DC)	IQ7-60-2-US / IQ7-60-B-US	IQ7PLUS-72-2-US / IQ7PLUS-72-B-US	
Commonly used module pairings ¹	235 W - 350 W +	235 W - 440 W +	
Module compatibility	60-cell PV modules only	60-cell and 72-cell PV modules	
Maximum input DC voltage	48 V	60 V	
Peak power tracking voltage	27 V - 37 V	27 V - 45 V	
Operating range	16 V - 48 V	16 V - 60 V	
Min/Max start voltage	22 V / 48 V	22 V / 60 V	
Max DC short circuit current (module Isc)	15 A	15 A	
Overvoltage class DC port	II	II	
DC port backfeed current	0 A	0 A	
PV array configuration	1 x 1 ungrounded array; No additional DC side protection required; AC side protection requires max 20A per branch circuit		
OUTPUT DATA (AC)	IQ 7 Microinverter	IQ 7+ Microinverter	
Peak output power	250 VA	295 VA	
Maximum continuous output power	240 VA	290 VA	
Nominal (L-L) voltage/range ²	240 V / 211-264 V	208 V / 183-229 V	208 V / 211-264 V
Maximum continuous output current	1.0 A (240 V)	1.15 A (208 V)	1.21 A (240 V) 1.39 A (208 V)
Nominal frequency	60 Hz	60 Hz	
Extended frequency range	47 - 68 Hz	47 - 68 Hz	
AC short circuit fault current over 3 cycles	5.8 Arms	5.8 Arms	
Maximum current per 20 A (L-L) branch circuit ³	16 (240 VAC)	13 (208 VAC)	13 (240 VAC) 11 (208 VAC)
Overvoltage class AC port	III	III	
AC port backfeed current	0 A	0 A	
Power factor setting	1.0	1.0	
Power factor (adjustable)	0.7 leading ... 0.7 lagging	0.7 leading ... 0.7 lagging	
EFFICIENCY	@240 V	@208 V	@240 V @208 V
Peak CEC efficiency	97.6 %	97.6 %	97.5 % 97.3 %
CEC weighted efficiency	97.0 %	97.0 %	97.0 % 97.0 %
MECHANICAL DATA			
Ambient temperature range	-40°C to +65°C		
Relative humidity range	4% to 100% (condensing)		
Connector type (IQ7-60-2-US & IQ7PLUS-72-2-US)	MC4 (or Amphenol H4 UTX with additional Q-DCC-5 adapter)		
Connector type (IQ7-60-B-US & IQ7PLUS-72-B-US)	Friends PV2 (MC4 intermateable). Adaptors for modules with MC4 or UTX connectors: - PV2 to MC4: order ECA-S20-S22 - PV2 to UTX: order ECA-S20-S25		
Dimensions (WxHxD)	212 mm x 175 mm x 30.2 mm (without bracket)		
Weight	1.08 kg (2.38 lbs)		
Cooling	Natural convection - No fans		
Approved for wet locations	Yes		
Pollution degree	PD3		
Enclosure	Class II double-insulated, corrosion resistant polymeric enclosure		
Environmental category / UV exposure rating	NEMA Type 6 / outdoor		
FEATURES			
Communication	Power Line Communication (PLC)		
Monitoring	Enlighten Manager and MyEnlighten monitoring options. Both options require installation of an Enphase IQ Envoy.		
Disconnecting means	The AC and DC connectors have been evaluated and approved by UL for use as the load-break disconnect required by NEC 690.		
Compliance	CA Rule 21 (UL 1741-SA) UL 62109-1, UL1741/IEEE1547, FCC Part 15 Class B, ICES-0003 Class B, CAN/CSA-C22.2 NO. 107.1-01 This product is UL Listed as PV Rapid Shut Down Equipment and conforms with NEC-2014 and NEC-2017 section 690.12 and C22.1-2015 Rule 64-218 Rapid Shutdown of PV Systems, for AC and DC conductors, when installed according manufacturer's instructions.		

1. No enforced DC/AC ratio. See the compatibility calculator at <https://enphase.com/en-us/support/module-compatibility>.
 2. Nominal voltage range can be extended beyond nominal if required by the utility.
 3. Limits may vary. Refer to local requirements to define the number of microinverters per branch in your area.

To learn more about Enphase offerings, visit enphase.com

© 2018 Enphase Energy. All rights reserved. All trademarks or brands used are the property of Enphase Energy, Inc. 2018-05-24



6 INVERTER DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff
 Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
 Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
 DATE: 09/20/2019

LG NeON[®]R

LG370Q1C-V5 | LG365Q1C-V5

370W | 365W

LG NeON[®]R is powerful solar module that provides world-class performance. A new cell structure that eliminates electrodes on the front maximizes the utilization of light and enhances reliability. LG NeON[®]R is a result of LG's efforts to increase customer's values beyond efficiency. LG NeON[®]R features enhanced durability, performance under real-world conditions, an enhanced warranty and aesthetic design suitable for roofs.



Feature



Aesthetic Roof

LG NeON[®]R has been designed with aesthetics in mind: the lack of any electrodes on the front creates an improved, modern aesthetic.



Extended Product Warranty

LG has extended the product warranty of the LG NeON[®]R to 25 years which is top level of the industry.



Enhanced Performance Warranty

LG NeON[®]R has an enhanced performance warranty. After 25 years, LG NeON[®]R is guaranteed to perform at minimum 90.8% of initial performance.



More generation per square meter

The LG NeON[®]R has been designed to significantly enhance its output, making it efficient even in limited space.

About LG Electronics

LG Electronics is a global big player, committed to expanding its operations with the solar market. The company first embarked on a solar energy source research program in 1985, supported by LG Group's vast experience in the semi-conductor (IC), chemistry and materials industries. In 2010, LG Solar successfully released its first Mono[®] series to the market, which is now available in 32 countries. The NeON[®] (previous Mono[®] NeON), NeON[®]2, NeON[®]2 B/Facial won the "Innovator AWARD" in 2013, 2015 and 2016, which demonstrates LG Solar's lead, innovation and commitment to the industry.



LG NeON[®]R

LG370Q1C-V5 | LG365Q1C-V5

General Data

Cell Properties(Material / Type)	Monocrystalline / N-type
Cell Maker	LG
Cell Configuration	60 Cells (6 x 10)
Module Dimensions(L x W x H)	1,700mm x 1,016mm x 40mm
Weight	17.5 kg
Glass(Thickness / Material)	2.8mm / Tempered Glass with AR Coating
Backsheet(Color)	White
Frame(Material)	Anodized Aluminum
Junction Box(Protection Degree)	IP68 with 3 Bypass Diodes
Cables(Length)	1,000mm x 2EA
Connector(Type / Maker)	MC4 / MC

Certifications and Warranty

Certifications	IEC 61215-1/-1-1/2:2016, IEC 61730-1/2:2016
	UL 1703
Salt Mist Corrosion Test	ISO 9001, ISO 14001, ISO 50001
	OHSAS 18001
Arsenic Corrosion Test	IEC 61701:2012 Severity 6
Ammonia Corrosion Test	IEC 62716:2013
Module Fire Performance	Type 1
Fire Rating	Class C (UL 790)
Product Warranty	25 Years
Output Warranty of Pmax	Linear Warranty ¹⁾

¹⁾ 1st year: 98%, 2nd year: 97.5%, 1st year: 0.04 annual degradation, 2) 90.8% for 25 years.

Temperature Characteristics

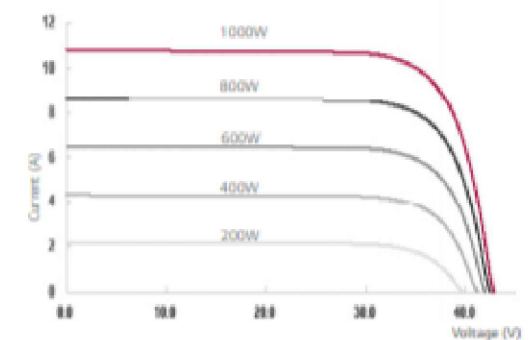
NOMOT ¹⁾	[°C]	44 ± 3
Pmax	[%/°C]	-0.30
Voc	[%/°C]	-0.24
Isc	[%/°C]	0.037

¹⁾ NOMOT (Nominal Module Operating Temperature) Irradiance 800 W/m², Ambient temperature 25 °C, Wind speed 1 m/s, Spectrum AM 1.5

Electrical Properties (NMOT)

Model	LG370Q1C-V5	LG365Q1C-V5	
Maximum Power (Pmax)	[W]	370	365
MPP Voltage (Vmpp)	[V]	37.0	36.6
MPP Current (Impp)	[A]	7.55	7.51
Open Circuit Voltage (Voc)	[V]	40.3	40.2
Short Circuit Current (Isc)	[A]	8.71	8.30

I-V Curves



Electrical Properties (STC)*

Model	LG370Q1C-V5	LG365Q1C-V5	
Maximum Power (Pmax)	[W]	370	365
MPP Voltage (Vmpp)	[V]	37.0	36.7
MPP Current (Impp)	[A]	10.01	9.95
Open Circuit Voltage (Voc, ±5%)	[V]	42.8	42.8
Short Circuit Current (Isc, ±5%)	[A]	10.82	10.80
Module Efficiency	[%]	21.4	21.1

* Power Tolerance

STC (Standard Test Condition) Irradiance 1000 W/m², Cell Temperature 25 °C, AM 1.5, Measure Tolerance ± 3%

Operating Conditions

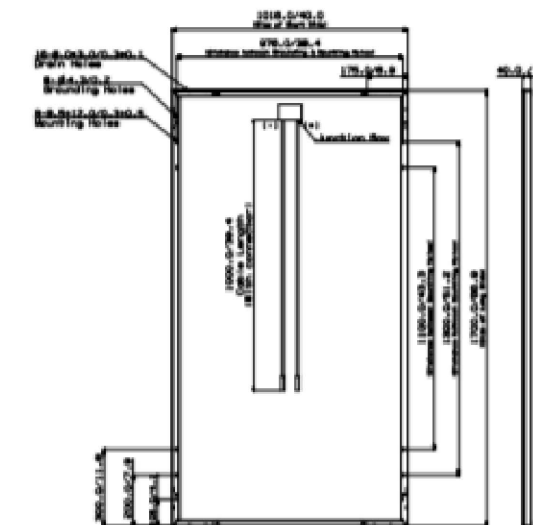
Operating Temperature	[°C]	-40 ~ +90
Maximum System Voltage	[V]	1,000
Maximum Series Fuse Rating	[A]	20
Mechanical Test Load(Front)	[Pa / psf]	5,400 / 113
Mechanical Test Load(Rear)	[Pa / psf]	4,000 / 83.5

* Test Load = Design x Safety Factor (1.5)

Packaging Configuration

Number of Modules Per Pallet	[EA]	25
Number of Modules Per 40ft HQ Container	[EA]	650
Packaging Box Dimensions (L x W x H)	[mm]	1,750 x 1,120 x 1,221
Packaging Box Gross Weight	[kg]	473

Dimensions (mm / inch)



7 MODULE DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff
Property address:
762 Vernon Rd, Bexley
OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019



LG Electronics Inc.
Solar Business Division
LG Twin Towers, 128 Yeosu-daero, Yeongdeungpo-gu, Seoul
07336, Korea
www.lg-solar.com

Product specifications are subject to change without notice.
DS-V5-60-C-G-P-EN-00314
© 2019 LG Electronics. All rights reserved.



Enphase AC Combiner Box

The **Enphase AC Combiner Box™** with Enphase Envoy-S™ consolidates interconnection equipment into a single enclosure and streamlines PV installations by providing a consistent, pre-wired solution for residential applications.



Smart

- Includes Envoy-S for communication and control
- Flexible networking supports Wi-Fi, Ethernet, or cellular

Simple

- Three pre-installed 20 A / 240 VAC circuit breakers
- Pre-configured revenue-grade metering available

Reliable

- Durable NRTL-certified NEMA type 3R enclosure
- Five-year warranty

Enphase AC Combiner Box

MODEL NUMBERS	
XAM1-120-B (880-00834) or XAM1-120 (880-00211)	AC Combiner with Enphase Envoy-S Metered™ for integrated revenue grade PV production metering (ANSI C12.20 +/- 0.5%) and optional consumption monitoring (+/- 2.5%).
ACCESSORIES (order separately)	
Enphase Mobile Connect™ CELLMODEM-01 (3G) or CELLMODEM-03 (4G)	Plug and play industrial grade cellular modem with five-year data plan for systems up to 60 microinverters. (Available in the US, Canada, Mexico, Puerto Rico, and the US Virgin Islands, where there is adequate cellular service in the installation area.)
Consumption Monitoring CT CT-200-SPLIT	Split core current transformers enable whole home consumption metering (+/- 2.5%).
ELECTRICAL SPECIFICATIONS	
Rating	Continuous duty
Solar branch circuit breakers	Three 2-pole 20 A / 240 VAC DIN rail-mounted breakers
Maximum system voltage	240 VAC
Rated output current	48 A
Rated input current, each input	16 A
Maximum fuse/circuit breaker rating (output)	60 A
Production Metering CT	200 A solid core pre-installed on solar busbar and wired to Envoy-S
MECHANICAL DATA	
Dimensions (WxDxH)	38.0 x 38.7 x 20.3 cm (15.0" x 15.3" x 8.0")
Weight	5.1 kg (11.2 lbs)
Ambient temperature range	-40° C to +46° C (-40° to 115° F)
Cooling	Vented, natural convection, plus heat shield
Enclosure environmental rating	Outdoor, NRTL-certified, NEMA type 3R, polycarbonate construction
Altitude	To 2000 meters (6,560 feet)
Wire size:	Follow local code requirements for conductor sizing.
Model XAM1-120-B	<ul style="list-style-type: none"> • 14 to 6 AWG copper conductors for branch inputs. • 14 to 4 AWG copper conductors for combined output.
Model XAM1-120	<ul style="list-style-type: none"> • 12 to 6 AWG copper conductors for branch inputs. • 12 to 4 AWG copper conductors for combined output.
INTERNET CONNECTION OPTIONS	
Integrated Wi-Fi	802.11b/g/n
Ethernet	802.3, Cat5E (or Cat 6) UTP Ethernet cable - (not included)
Cellular	Optional, CELLMODEM-01 (3G) or CELLMODEM-03 (4G) - (not included)
COMPLIANCE	
Compliance, Combiner Box	UL 1741
Compliance, Envoy-S	UL 916 CAN/CSA C22.2 No. 61010-1 47 CFR, Part 15, Class B, ICES 003 IEC/EN 61010-1:2010, EN50065-1, EN61000-4-5, EN61000-6-1, EN61000-6-2 Metering: ANSI C12.20 accuracy class 0.5



To learn more about Enphase offerings, visit enphase.com



To learn more about Enphase offerings, visit enphase.com

© 2017 Enphase Energy. All rights reserved. All trademarks or brands in this document are registered by their respective owner.
2017-04-14



8

ENPHASE AC COMBINER BOX DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff
Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019



Flush Mount System

Datasheet

Datasheet



Built for solar's toughest roofs.

IronRidge builds the strongest mounting system for pitched roofs in solar. Every component has been tested to the limit and proven in extreme environments.

Our rigorous approach has led to unique structural features, such as curved rails and reinforced flashings, and is also why our products are fully certified, code compliant and backed by a 25-year warranty.



Strength Tested

All components evaluated for superior structural performance.



Class A Fire Rating

Certified to maintain the fire resistance rating of the existing roof.



UL 2703 Listed System

Entire system and components meet newest effective UL 2703 standard.



PE Certified

Pre-stamped engineering letters available in most states.



Design Assistant

Online software makes it simple to create, share, and price projects.



25-Year Warranty

Products guaranteed to be free of impairing defects.

XR Rails

XR10 Rail



A low-profile mounting rail for regions with light snow.

- 6' spanning capability
- Moderate load capability
- Clear and black finish

XR100 Rail



The ultimate residential solar mounting rail.

- 8' spanning capability
- Heavy load capability
- Clear and black finish

XR1000 Rail



A heavyweight mounting rail for commercial projects.

- 12' spanning capability
- Extreme load capability
- Clear anodized finish

Bonded Splices



All rails use internal splices for seamless connections.

- Self-drilling screws
- Varying versions for rails
- Forms secure bonding

Clamps & Grounding

UFOs



Universal Fastening Objects bond modules to rails.

- Fully assembled & lubed
- Single, universal size
- Clear and black finish

Stopper Sleeves



Snap onto the UFO to turn into a bonded end clamp.

- Bonds modules to rails
- Sized to match modules
- Clear and black finish

CAMO



Bond modules to rails while staying completely hidden.

- Universal end-cam clamp
- Tool-less installation
- Fully assembled

Grounding Lugs



Connect arrays to equipment ground.

- Low profile
- Single tool installation
- Mounts in any direction

Attachments

FlashFoot2



Flash and mount XR Rails with superior waterproofing.

- Twist-on Cap eases install
- Wind-driven rain tested
- Mill and black finish

Conduit Mount



Flash and mount conduit, strut, or junction boxes.

- Twist-on Cap eases install
- Wind-driven rain tested
- Secures 3/4" or 1" conduit

Slotted L-Feet



Drop-in design for rapid rail attachment.

- Secure rail connections
- Slot for vertical adjusting
- Clear and black finish

Bonding Hardware



Bond and attach XR Rails to roof attachments.

- T & Square Bolt options
- Nut uses 7/16" socket
- Assembled and lubricated

Resources



Design Assistant

Go from rough layout to fully engineered system. For free.

Go to IronRidge.com/design



NABCEP Certified Training

Earn free continuing education credits, while learning more about our systems.

Go to IronRidge.com/training

9

RACKING DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff
Property address:
762 Vernon Rd, Bexley OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

RT-MINI

Flexible Flashing certified by the International Code Council (ICC)

Engineered to ASTM D 1761 (Standard Test Methods for Mechanical Fasteners in Wood)

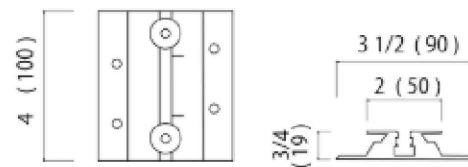
Components

RT2-00-MINIBK
PAT : PENDING

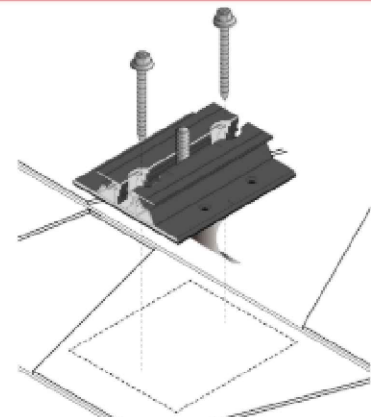


MINI base : 20 ea.
Screw : 40 ea.
Extra RT-Butyl : 10 ea.

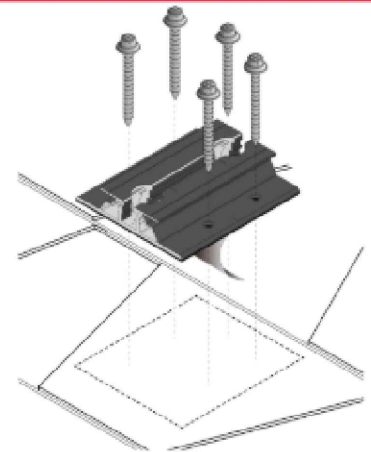
Dimensions in (mm)



Rafter installation



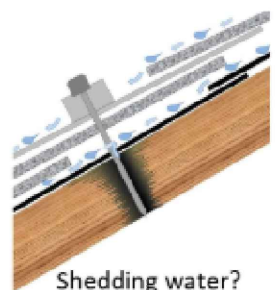
Deck installation



P.E. Stamped Letters available at www.roof-tech.us/support

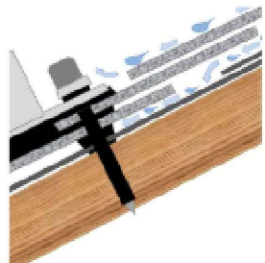
RT-Butyl is Roof Tech's flexible flashing used in 550,000 residential PV systems for the last 20 years. It is the first PV mounting system with Flexible Flashing certified by the ICC.

Metal Flashing Retrofit



Shedding water?

Flexible Flashing



100% Waterproof

ICC ESR-3575 ASTM2140 testing UV testing (7500 hrs.)



RT-MINI

Self-flashing base for asphalt & metal roof-top PV mounting systems

RT-MINI is suitable for mounting any rail system with a conventional L-Foot.



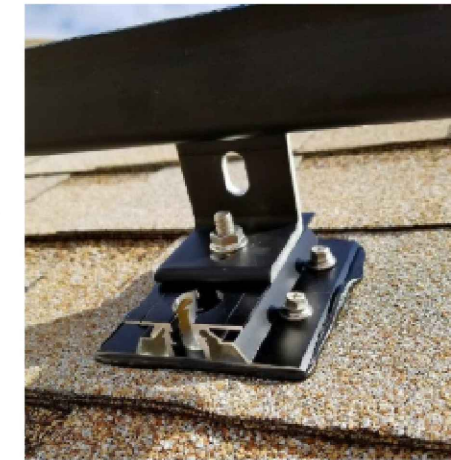
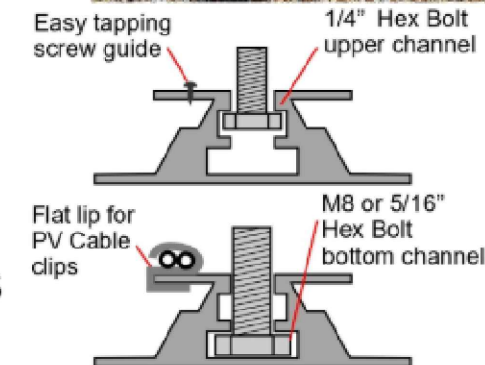
Dual bolt design: M8 or 5/16" for L-Foot & 1/4" for EMC



ICC ESR 3575

Call Now for more details

858-935-6064



10 ATTACHMENT DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff
Property address:
762 Vernon Rd, Bexley
OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019

Roof Tech Inc.
www.roof-tech.us info@roof-tech.us
10620 Treena Street, Suite 230, San Diego, CA 92131
858.935.6064

Roof Tech
Smarter PV mounting solutions from top of roof to bottom line®
www.roof-tech.us info@roof-tech.us

Rapid shutdown is built-in

The 2014 edition of the National Electrical Code (NEC 2014) added new rapid shutdown requirements for PV systems installed on buildings. Enphase Microinverters fully meet rapid shutdown requirements in the new code without the need to install any additional electrical equipment.

What's new in NEC 2014?
NEC 2014, Section 690.12 applies to PV conductors over 10 feet from the PV array and requires that the conductors power down to 30 volts and 240 volt-amperes within 10 seconds of rapid shutdown initiation.

String inverters require work arounds for rapid shutdown

Work around.

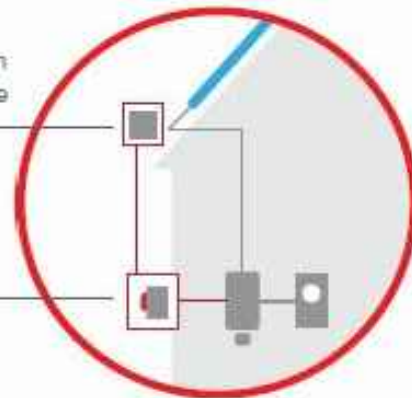
Specialized Rapid Shutdown electrical box installed on the roof within 10 feet of array.

Work around.

Shutoff switch that is easily accessible to first responders on the ground.

Work around.

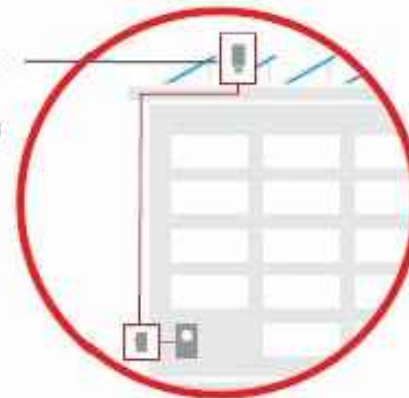
Extra conduit in installation.



Residential String Inverter

Work around.

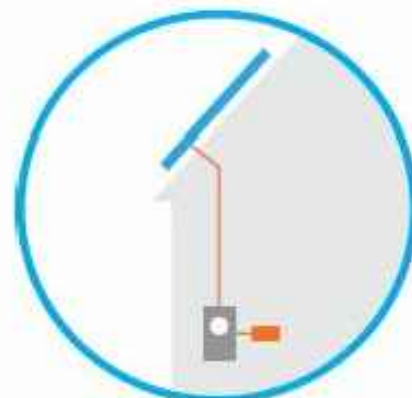
String inverter installed on roof, a hostile environment that string inverters are not built to live in.



Commercial String Inverter

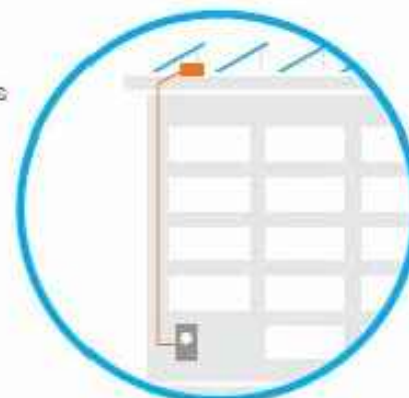
Enphase comes standard with rapid shutdown capability

All Enphase microinverters, even those that were previously installed, inherently meet rapid shutdown requirements, no additional equipment or workarounds needed.



Residential Microinverter

Enphase microinverters can safely shut down automatically, leaving only low-voltage DC electricity isolated to the PV module.



Commercial Microinverter

To learn more, visit enphase.com



11 RSD DATA SHEET

Project Name:
Stacey Philliber and Eric Sauerhoff
Property address:
762 Vernon Rd, Bexley
OH 43209

CONTRACTOR

Ecohouse Solar

1857 Northwest Boulevard
Columbus, OH 43212



DESIGNER: www.solarpaperwork.com
DATE: 09/20/2019



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-19-21

Applicant: Brenda Parker

Owner: Geodfrey Mendes

Location: 112 S. Parkview

ARB Request: The applicant is seeking architectural review and approval to allow 2 ½ story addition to the rear and a 2 story addition to the side of the 2 1/2 story principal structure.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

*(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory structures and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

Applicant



Brenda Parker

614-586-5514

brenda.parker@cbusarch.com

Location

112 S PARKVIEW AV

Bexley, OH 43209

ARB-19-21

Status: Active

Submitted: Dec 04, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

2-1/2 story addition at rear & 2 story addition at side.

Architecture Review

true

Demolition

--

Planned Unit Dev

--

Rezoning

--

A.1: Attorney / Agent Information

Agent Name

Brenda Parker

Agent Address

930 Northwest Blvd

Agent Email

brenda.parker@cbusarch.com

Agent Phone

614-586-5514

Property Owner Name

Godfrey Mendes

Property Owner phone

614-301-9453

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project

400000

Minor Architectural Review

--

Major Architectural Review

true

Variance Review - Fill out a BZAP Application instead.

--

Zoning

--

Zoning Review Type

--

Sign Review and Architectural Review for Commercial Projects**Review Type**

--

--

Appeal of ARB decision to BZAP**Appeal of BZAP decision to City Council**

--

--

B: Project Worksheet: Property Information**Occupancy Type**

Residential

Zoning District

R-3

Use Classification

R-3 (25% Building and 50% Overall)

B: Project Worksheet: Lot Info**Width (ft)**

100

Depth (ft)

250

Total Area (SF)

25000

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)**

2148

Proposed Addition (SF)

218

Removing (SF)

0

Type of Structure

Two-story addition

Proposed New Primary Structure or Residence (SF)

1876

Total Square Footage

5899

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)**

678

Proposed Addition (SF)

0

New Structure Type

Not applicable

Ridge Height

Not applicable

Proposed New Structure (SF)

0

Is there a 2nd Floor

No

Total of all garage and accessory structures (SF)

678

Total building lot coverage (SF)

11908

Total building lot coverage (% of lot)

47.6

Is this replacing an existing garage and/or accessory structure?

No

B: Project Worksheet: Hardscape**Existing Driveway (SF)**

2003

Existing Patio (SF)

1358

Existing Private Sidewalk (SF)

362

Proposed Additional Hardscape (SF)

136

Total Hardscape (SF)

8559

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)**

11908

Total overall lot coverage (% of lot)

12500

C.1 Architectural Review Worksheet: Roofing**Roofing**

true

Structure

House or Principal Structure

Existing Roof Type

Slate

New Roof Type

Std. 3-tab Asphalt Shingle

New Single Manufacturer

Certainteed

New Roof Style and Color

Nickel Gray

C.1 Architectural Review Worksheet: Windows**Windows**

true

Structure

House or Principal Structure

Existing Window Type

Double Hung

Existing Window Materials

Wood

New Window Manufacturer

Marvin

New Window Style/Mat./Color

Wood-Ultrex

C.1 Architectural Review Worksheet: Doors**Doors**

true

Structure

House or Principal Structure

Existing Entrance Door Type

Wood

Existing Garage Door Type

Wood

Door Finish

Painted

Proposed Door Type

Fiberglass

Proposed Door Style**Proposed Door Color**

3/4-light

White

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Existing Door Trim

Cedar

Proposed New Door Trim

Boral - 1x4 jambs, 1x6 head

Existing Window Trim

Wood

Proposed New Window Trim

Boral - 1x4 jambs, 1x6 head, historic sill, 1x4 apron

Trim Color(s)

White

Do the proposed changes affect the overhangs?

No

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

true

Existing Finishes

Brick

Existing Finishes Manufacturer, Style, Color

Brick

Proposed Finishes

Other

Other Proposed Finishes

HardiLap cement board siding

Proposed Finishes Manufacturer, Style, Color

HardiLap, smooth, 5" exposure

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

--

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

Attachments (4)

pdf **Architectural Plans which include Exterior Elevations and floor plans of existing and proposed**

Dec 04, 2019

pdf **Photographs (required)**

Dec 04, 2019

pdf **Site Plan**

Dec 04, 2019

pdf **Permission for Agent to represent owner.**

Dec 04, 2019

Timeline

Payment

Status: Paid December 5th 2019, 4:01 pm

Zoning Officer

Status: Completed December 6th 2019, 4:28 pm

Assignee: Kathy Rose

Kathy Rose December 6th 2019, 4:28:26 pm

Jordan: January 9th ARB envelopes

Design Planning Consultant

Status: In Progress

Assignee: Karen Bokor

Architectural Review Board

Status: In Progress

Board of Zoning and Planning

Status: In Progress

City Council

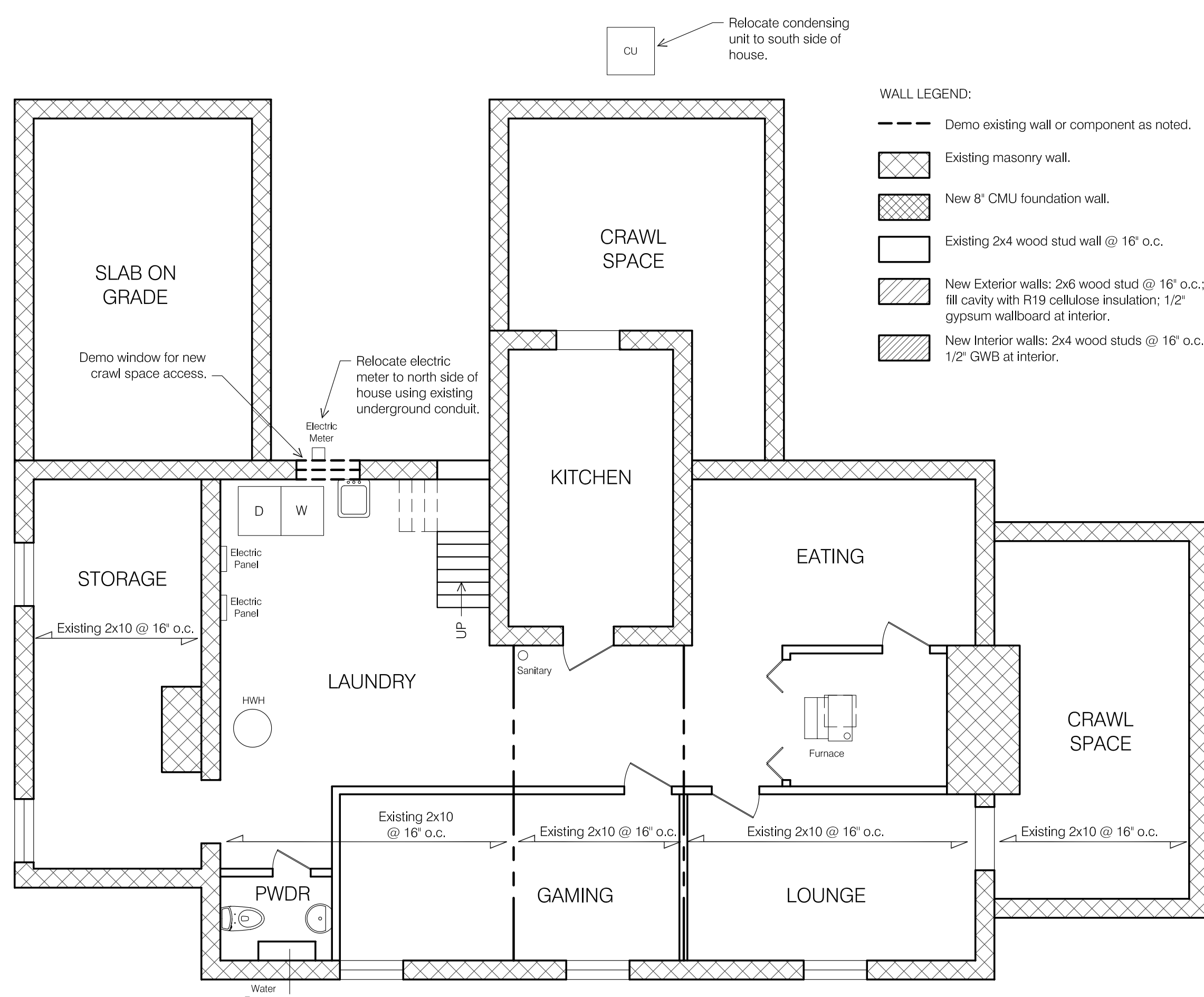
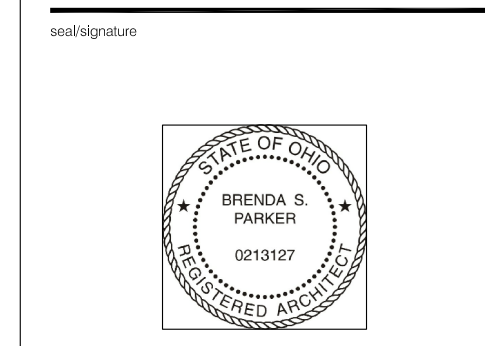
Status: In Progress

Tree Commission

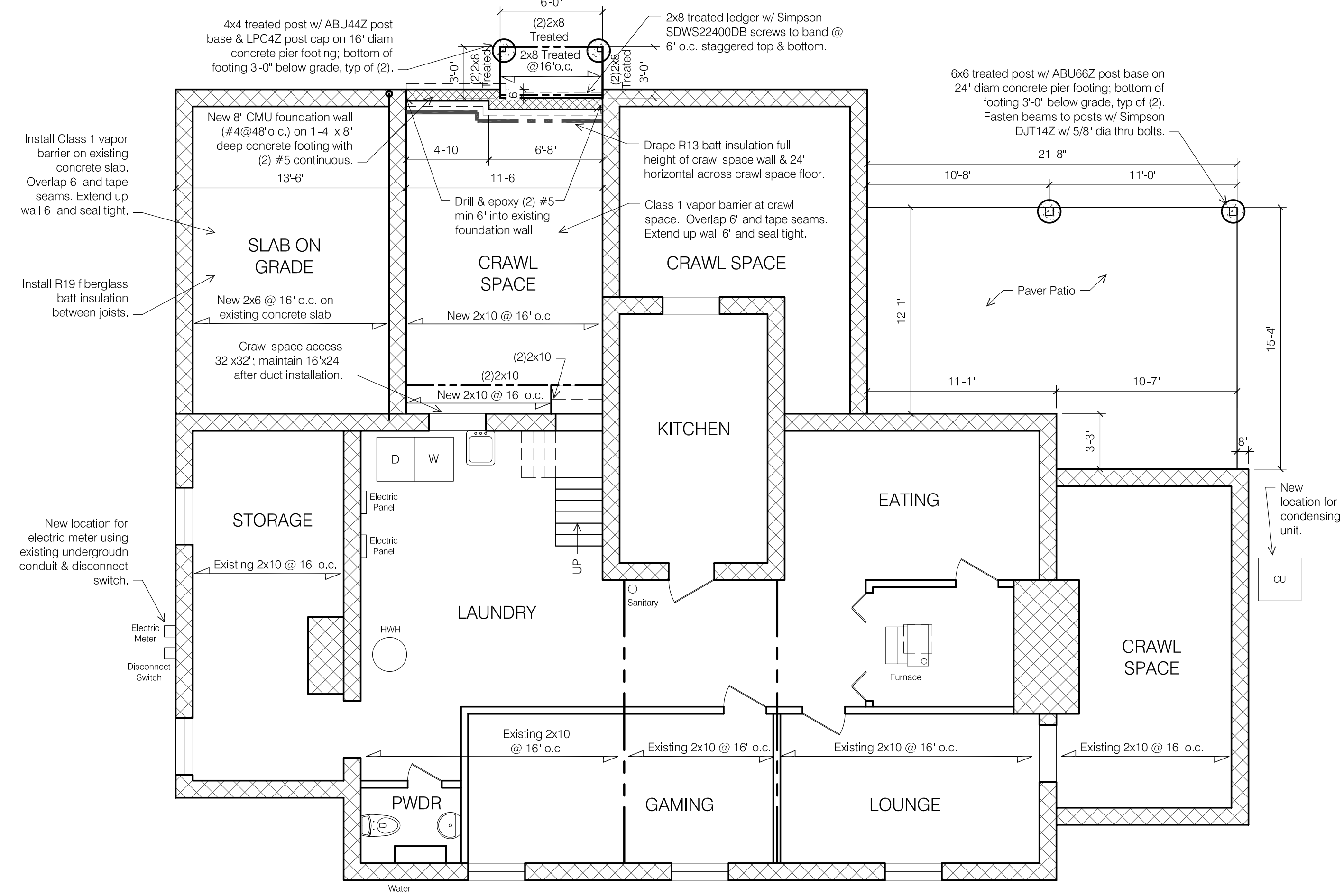
Status: In Progress

Arborist

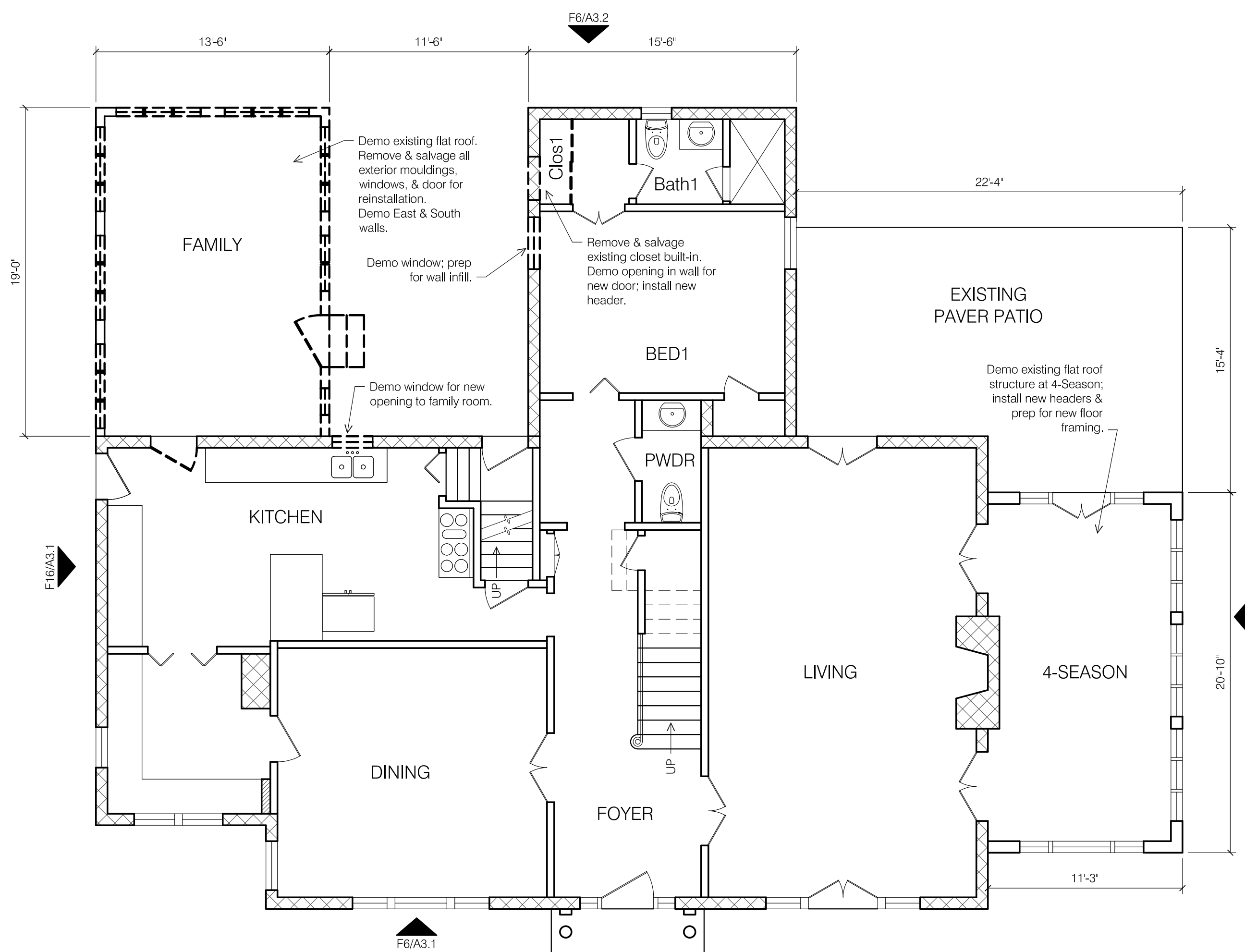
Status: In Progress



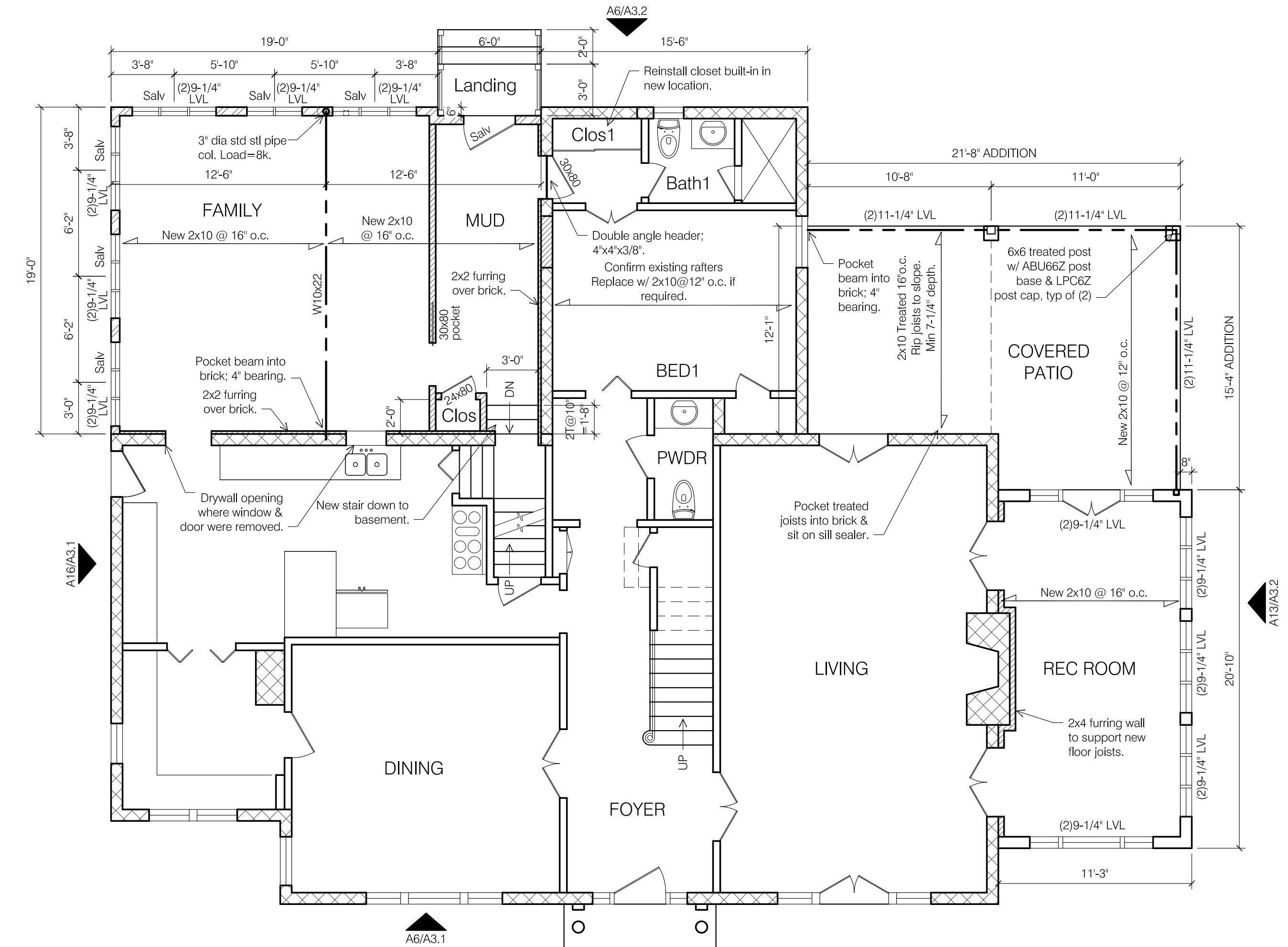
G5 BASEMENT DEMO PLAN
SCALE: 3/16" = 1'-0"



G14 BASEMENT NEW WORK PLAN
SCALE: 3/16" = 1'-0"



A5 FIRST FLOOR DEMO PLAN
SCALE: 3/16" = 1'-0"



A14 FIRST FLOOR NEW WORK PLAN
SCALE: 3/16" = 1'-0"

key plan

Issue Date	December 3, 2019
Phase	
Issued For	Bexley Architectural Review
Project Number	112 SPA
Sheet No.	

Owner:
Mendes Residence
112 S Parkview Avenue
Bexley, Ohio 43209

Architect:
Brenda Parker
930 Northwest Blvd.
Columbus, Ohio 43212
T: 614.586.5514

sheet number



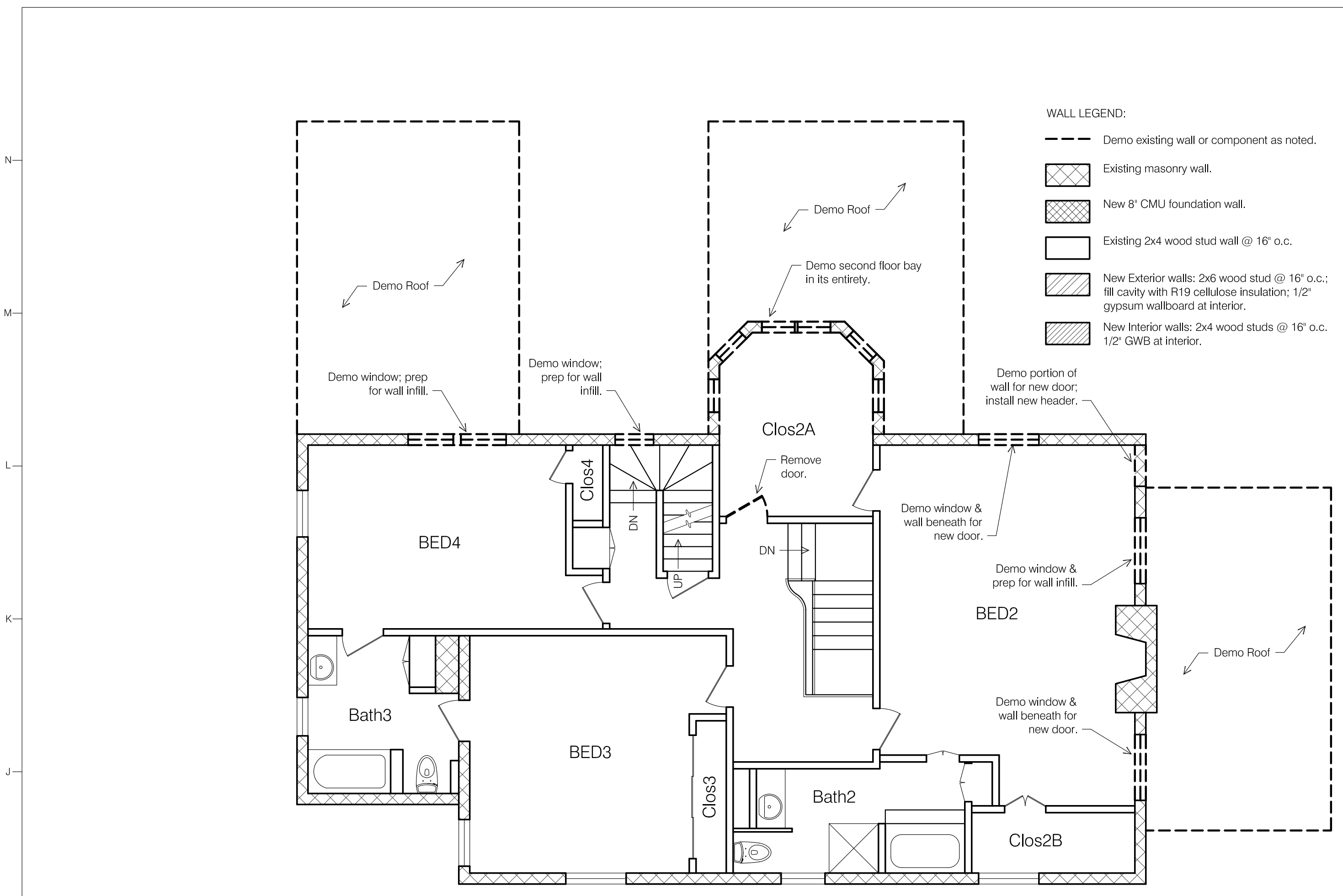
Rev. Date Description

key plan

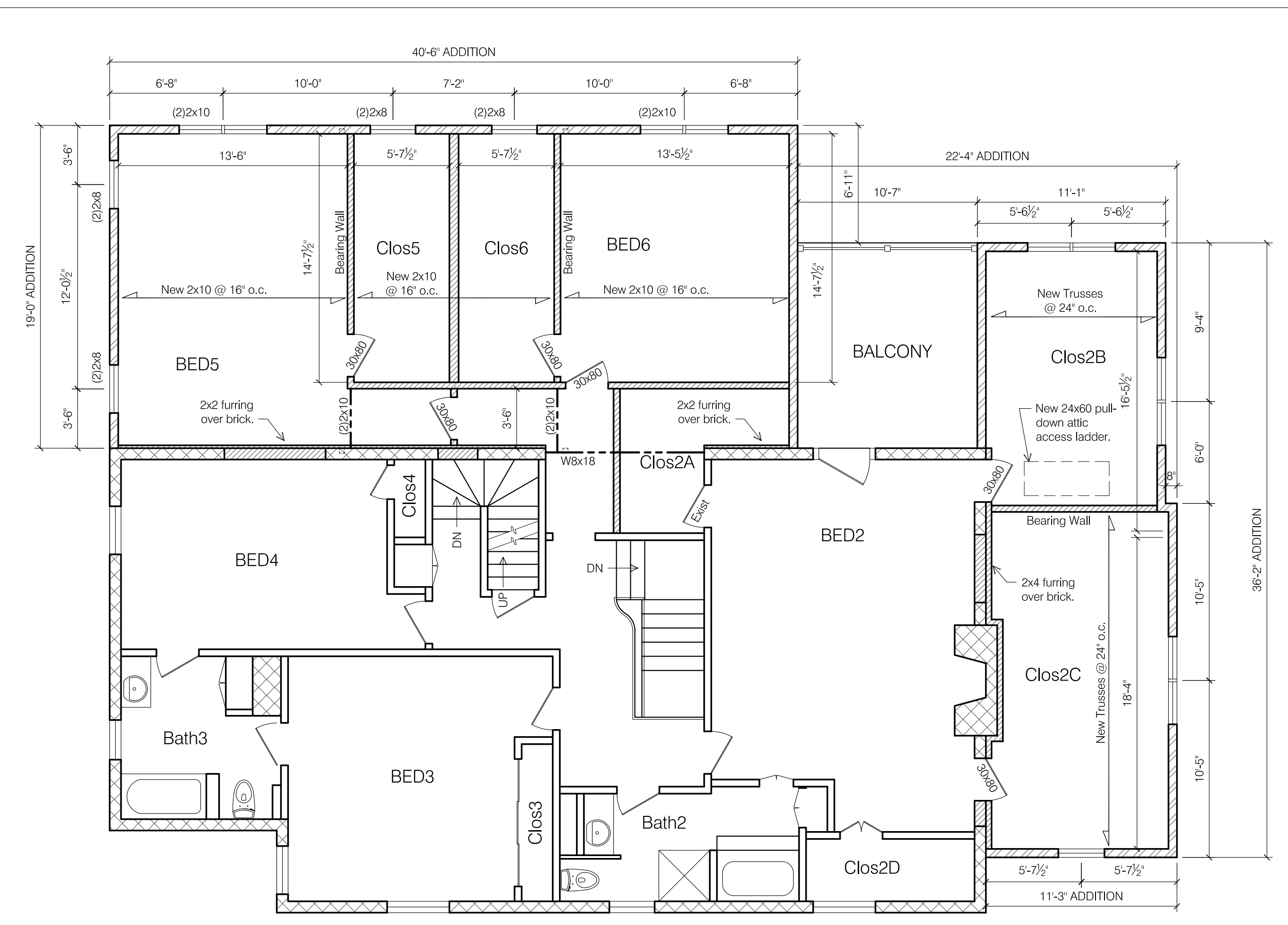
Issue Date: December 3, 2019
Phase:
Issued for: Bexley Architectural Review
Project Number: 112 SPA

SECOND & THIRD FLOOR PLANS

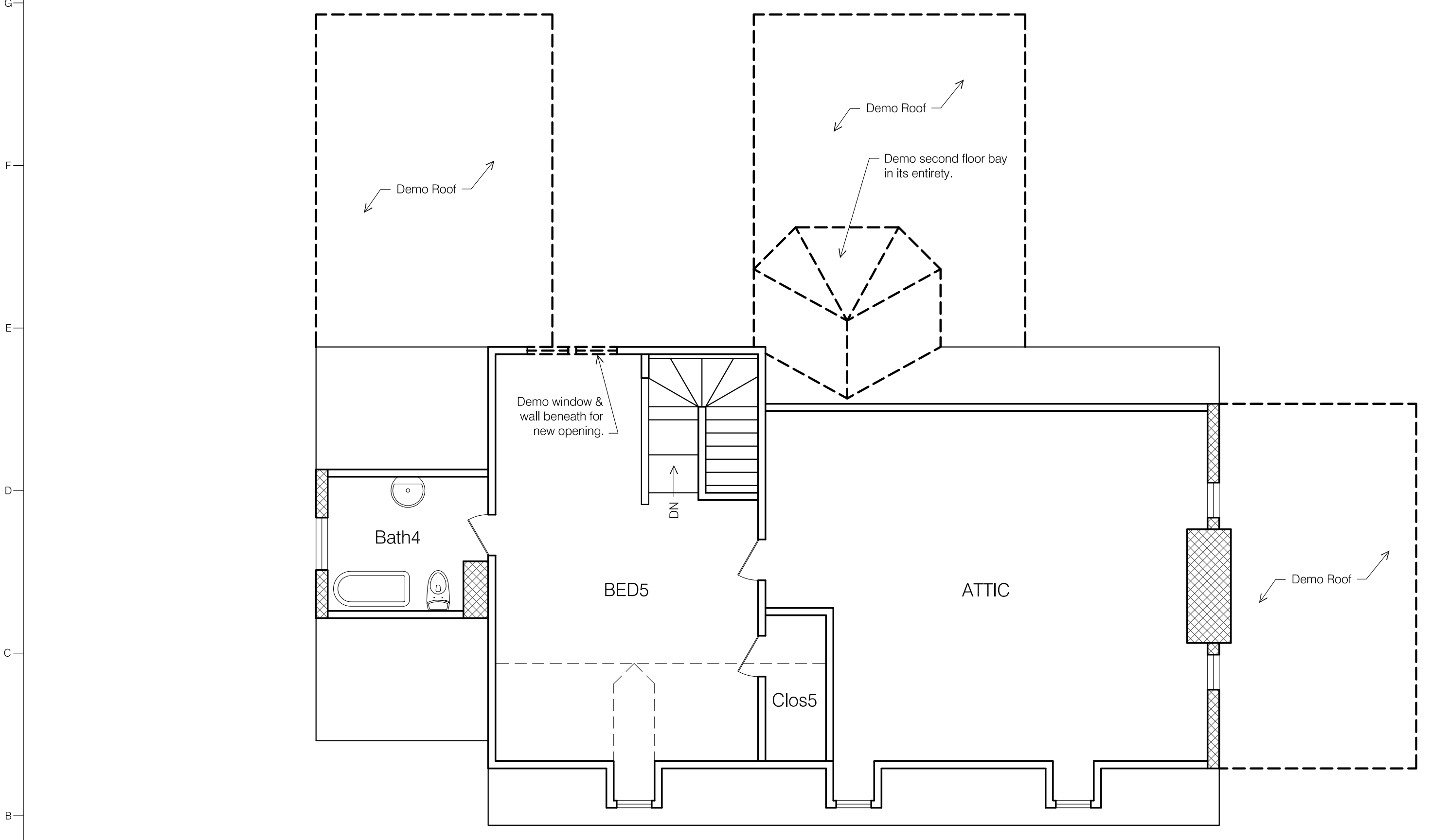
Sheet Number



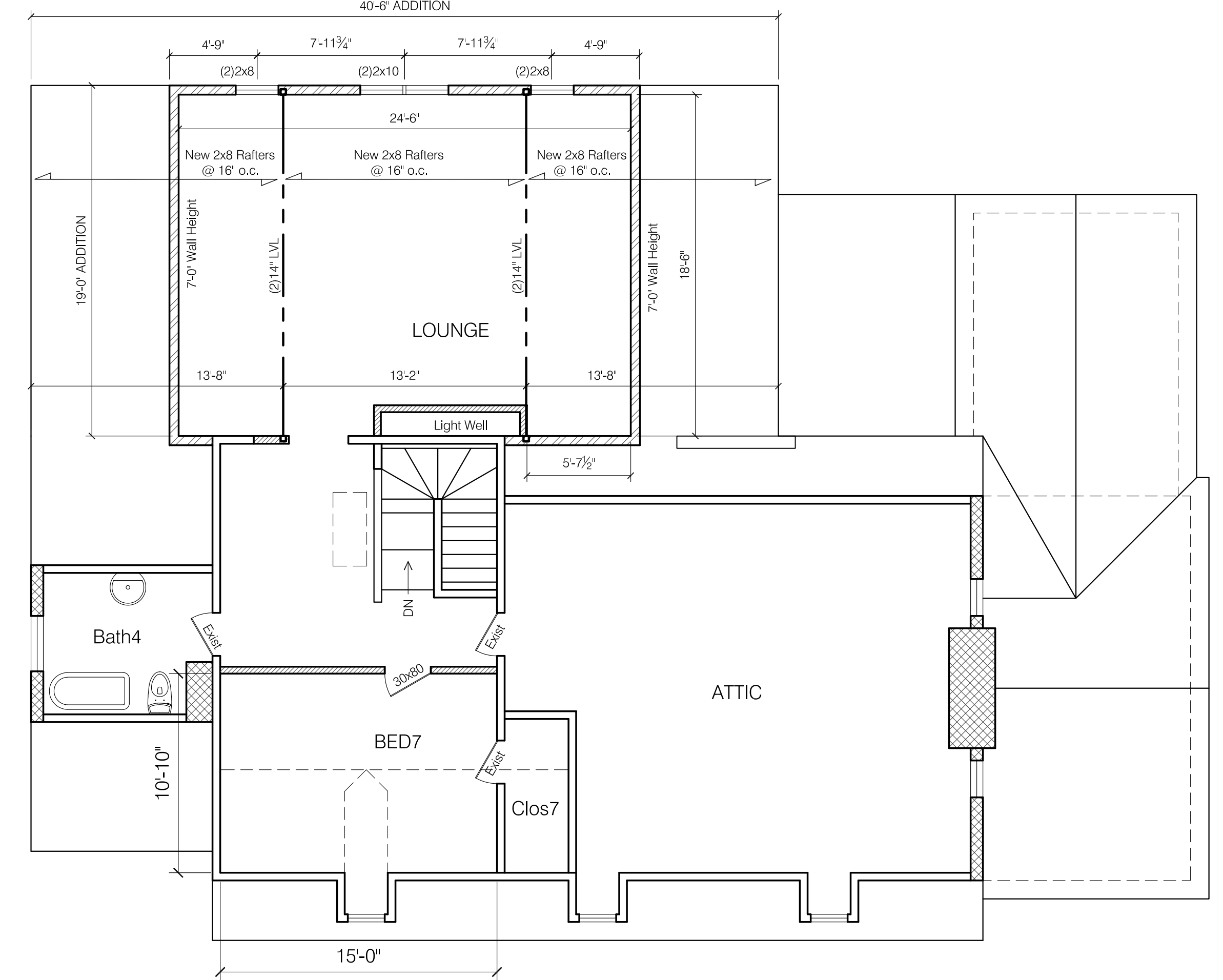
G5 SECOND FLOOR DEMO PLAN
SCALE: 3/16" = 1'-0"



G14 SECOND FLOOR NEW WORK PLAN
SCALE: 3/16" = 1'-0"



A5 THIRD FLOOR DEMO PLAN
SCALE: 3/16" = 1'-0"



A14 THIRD FLOOR NEW WORK PLAN
SCALE: 3/16" = 1'-0"



Owner:
Mendes Residence
112 S Parkview Avenue
Bexley, Ohio 43209

Architect:
Brenda Parker
930 Northwest Blvd.
Columbus, Ohio 43212
T: 614.586.5514

06/03/2019



Rev. Date: 06/03/2019

key plan

Issue Date: December 3, 2019

Phase:

Issued for: Bexley Architectural Review
Project Number: 112 SPA

Sheet No:

EXTERIOR ELEVATIONS

Sheet Number:

WINDOW & DOOR SCHEDULE	#	NOMENCLATURE	OPERATION	NOTES
112 S Parkview Drive	01	Single (Frame Size 2'-8" w x 4'-2" h)	DOUBLE HUNG	Master Suite
New Construction Windows are based on Marvin Elevate Wood-Ultrex windows. New Construction Doors are based on ThermoTru Fiberglass doors. Exterior & Interior Color: White. Glass: LoE-E-272 with Argon. Hardware Finish: Standard. Jamb Extension: Provide jamb extension for 6" wood stud at new construction walls. Verify all sizes in field prior to placing order.	02	Single (Frame Size 3'-0" w x 5'-0" h)	DOUBLE HUNG	Bed5/Clo5 & Bed6/Clo6
	03	Double (Frame Size 3'-0" w x 5'-0" h)	DOUBLE HUNG	Bed 5 & Bed 6 Meet Egress 5.7 sf
	04	Single (Frame Size 2'-4" w x 3'-0" h)	CASEMENT	Third Floor
	05	Double (Frame Size 2'-4" w x 4'-2" h)	DOUBLE HUNG	Master Suite & Third Floor
	11	Swing Door (2'-8" x 6'-8")	Swing Door	Mud Room - 3/4 Light Tempered labeled glass
	12	Swing Door w/ 12" Skylight (2'-8" x 6'-8")	Swing Door	Master Suite - 3/4 Light (6'6" verify opening width) Tempered labeled glass

CODED NOTES		
1	Existing brick to remain.	7
2	Existing slate roofing to remain.	8
3	New HardLap siding (5' exposure) w/ the following exterior trim: Corner Trim: Boral 5/4 x 4. Casing: Boral 5/4 x 4 at jamb, Boral 5/4 x 6 at head, Azek historic sill, & Boral 5/4 x 4 apron.	9
4	Fascia at Eave: Azek 1x8 (verify match existing) on 2x6 subfascia. Soffit: Exterior grade 3/8" plywood.	10
5	Belt Trim at Rear Addition: Boral 5/4 x 8 with Azek Water Table cap.	11
6	Thin brick (match existing color & texture) on concrete masonry unit foundation wall.	12
7	Fascia at Gable: Azek 1x8 + Azek 5" crown. Soffit: Exterior grade 3/8" plywood.	13
8	Belt Trim at Side Addition: Boral 5/4 x 8 with Azek 5" crown (verify match existing).	14
9	Covered Patio Beams: Boral 3/4 x 12 with Azek 53" crown.	15
10	Porch Columns: HB&G Permacast 10" fiberglass Square Recessed panel column with Colonial cap & base around 6x6 treated post.	16
11	New asphalt shingle roofing: Certainteed 3-tab, Slate Gray.	
12	5" Aluminum ogee gutter & 3" downspouts. Pipe downspouts to street in underground PVC.	
13	Paneled Siding: Hardpanel with Boral 5/4 x 2 trim & Azek Scotia 3/4" x 3/4" panel mould.	
14	Balcony: Decking: Timbertech Legacy. Ceiling: Paulownia bead board (painted). Guardrail: Timbertech Radiance Rail.	
15	Landing & Steps: Decking: Timbertech Legacy. Risers: Azek, PVC 1x8. Guardrail: Timbertech Radiance Rail.	
16	Mudroom Overhang (see detail): Roofing: EPDM membrane. Beams: (2)2x6 wrapped w/ Boral 3/4 x 8. Aluminum ogee gutter on Boral 3/4 x 6. Crown: Azek 4". Brackets: Cedar 4x4.	

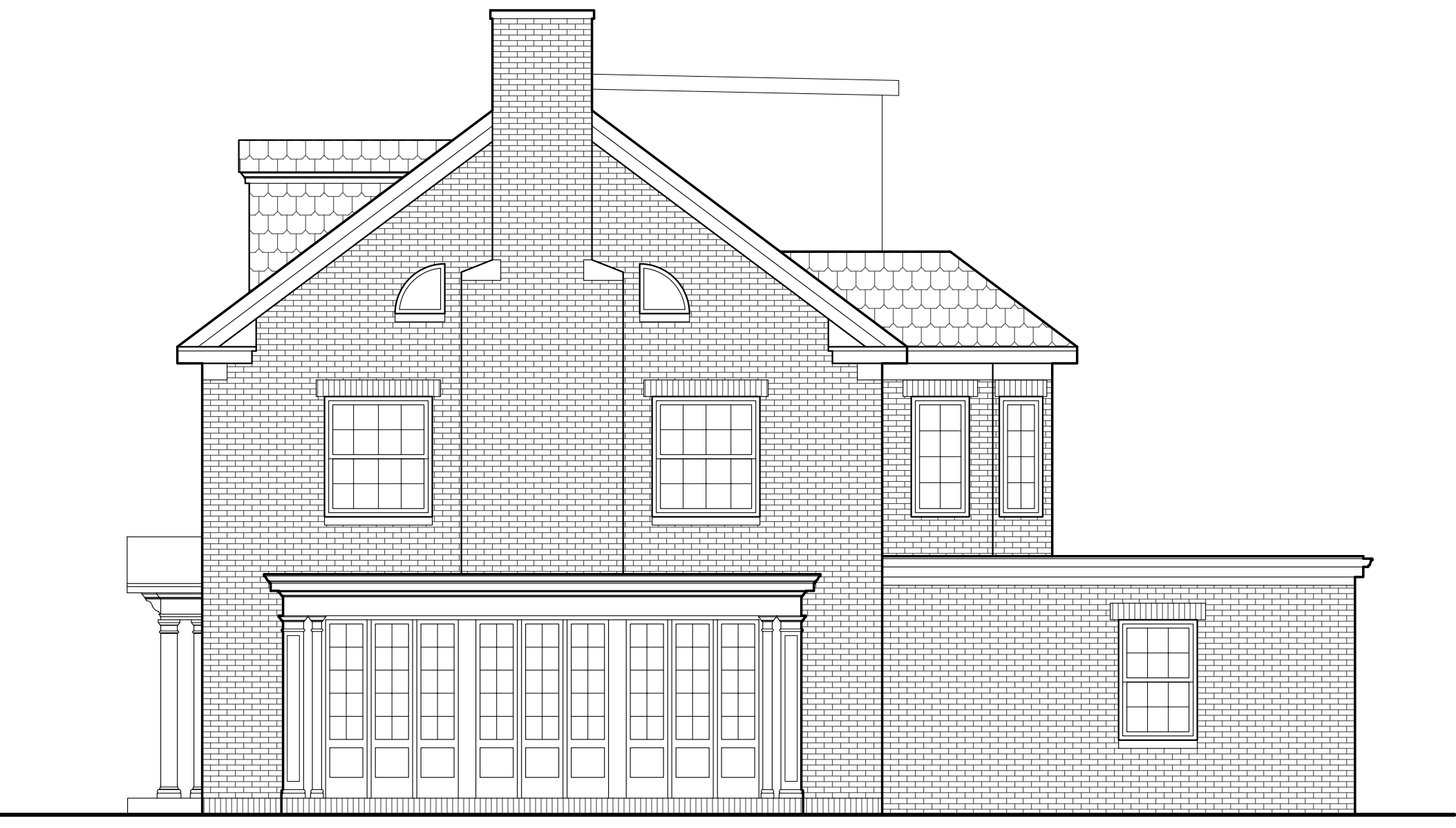
GENERAL NOTES
New siding, trim, & doors are to be primed & painted with (2) coats high-quality acrylic paint. Existing trim, windows, & doors are to be cleaned and painted with (2) coats of high-quality acrylic paint.



L3 ALTERNATE EAST ELEVATION
SCALE: 3/16" = 1'-0"
0 1 2 3 4



F6 EAST ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"
0 1 2 3 4 5



F13 SOUTH ELEVATION - EXISTING
SCALE: 3/16" = 1'-0"
0 1 2 3 4 5



A6 EAST ELEVATION - NEW WORK
SCALE: 3/16" = 1'-0"
0 1 2 3 4 5



A13 SOUTH ELEVATION - NEW WORK
SCALE: 3/16" = 1'-0"
0 1 2 3 4 5

N
M
L
K
J
H
G
F
E
D
C
B
A

2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20



112











OHIO
MENDES 5
FRANKLIN

MacDonald

Exhibit



PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, January 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

a. Application No.: ARB-19-22

Applicant: Urbanorder Architecture

Owner: Daniel Matthew Massey & Talley Wetlaufer

Location: 261 North Drexel

ARB Request: The applicant is seeking architectural review and approval to allow an enclosed structure between the principal structure and the 2-story Garage to be replaced with a new modified enclosed living space.

A copy of this application is available for review in the Building Department office during the hours of 8:00 A.M. until 4:00 P.M. If you have any questions, please call the Bexley Building Department at 559-4240.

Mailed by: 12-26-2019

*(ARB) Architectural Review Board Application - Major Review (for Additions to Principal and Accessory structures and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.

Applicant

Steve Hurtt

614-299-9028

info@urbanorder.com

Location

261 DREXEL AV
Bexley, OH 43209

ARB-19-22

Status: Active

Submitted: Dec 05, 2019

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Rebuild a one story frame connector between the original house and carriage house. Add a new second floor window to north elevation and a new french door to south elevation. All other work is repair to match existing.

Architecture Review

true

Demolition

--

Planned Unit Dev

--

Rezoning

--

A.1: Attorney / Agent Information

Agent Name

urbanorder architecture

Agent Address

797 Summit Street

Agent Email

info@urbanorder.com

Agent Phone

614-299-9028

Property Owner Name

Daniel Matthew Massey & Talley Wettlaufer

Property Owner phone

--

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project

200000

Minor Architectural Review

--

Major Architectural Review

true

Variance Review - Fill out a BZAP Application instead.

--

Zoning

--

Zoning Review Type

--

Sign Review and Architectural Review for Commercial Projects

Review Type

--

--

Appeal of ARB decision to BZAP

Appeal of BZAP decision to City Council

--

--

B: Project Worksheet: Property Information

Occupancy Type

Zoning District

Residential

R-2

Use Classification

R-1 (25% Building and 40% Overall)

B: Project Worksheet: Lot Info

Width (ft)

Depth (ft)

183

310

Total Area (SF)

56829

B: Project Worksheet: Primary Structure Info

Existing Footprint (SF)

Proposed Addition (SF)

3243

243

Removing (SF)

Type of Structure

285

frame

Proposed New Primary Structure or Residence (SF)

Total Square Footage

--

5837

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)

Existing Footprint (SF)

Proposed Addition (SF)

--

--

New Structure Type

Ridge Height

--

--

Proposed New Structure (SF)

Is there a 2nd Floor

--

--

Total of all garage and accessory structures (SF)

Total building lot coverage (SF)

--

--

Total building lot coverage (% of lot)

Is this replacing an existing garage and/or accessory structure?

--

--

B: Project Worksheet: Hardscape**Existing Driveway (SF)**

--

Existing Patio (SF)

--

Existing Private Sidewalk (SF)

--

Proposed Additional Hardscape (SF)

--

Total Hardscape (SF)

--

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)**

3188

Total overall lot coverage (% of lot)

6

C.1 Architectural Review Worksheet: Roofing**Roofing**

true

Structure

House & Garage

Existing Roof Type

EPDM Rubber

New Roof Type

Metal

New Single Manufacturer

DMI

New Roof Style and Color

grey standing seam

C.1 Architectural Review Worksheet: Windows**Windows**

true

Structure

House or Principal Structure

Existing Window Type

Double Hung

Existing Window Materials

Wood

New Window Manufacturer

Marvin

New Window Style/Mat./Color

Bronze Alum Clad Wood

C.1 Architectural Review Worksheet: Doors**Doors**

true

Structure

House & Garage

Existing Entrance Door Type

Wood

Existing Garage Door Type

Wood

Door Finish

Painted

Proposed Door Type

Alum Clad Wood

Proposed Door Style**Proposed Door Color**

Full Lite

Bronze

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Existing Door Trim

Pine

Proposed New Door Trim

Alum Clad Wood

Existing Window Trim

Wood

Proposed New Window Trim

Alum clad wood

Trim Color(s)

bronze

Do the proposed changes affect the overhangs?

No

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

true

Existing Finishes

Stucco

Existing Finishes Manufacturer, Style, Color

Tan Stucco

Proposed Finishes

Stucco

Proposed Finishes Manufacturer, Style, Color

Tan Stucco

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

--

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

Attachments (4)



Photographs (required)
Dec 05, 2019

pdf **Architectural Plans which include Exterior Elevations and floor plans of existing and proposed**

Dec 05, 2019

pdf **Site Plan**

Dec 05, 2019

pdf **Permission for Agent to represent owner.**

Dec 05, 2019

Timeline

Zoning Officer

Status: Completed December 6th 2019, 4:07 pm

Assignee: Kathy Rose

Kathy Rose December 6th 2019, 4:06:20 pm

Steve - We are very excited to see some TLC for this old Beauty!!!

Payment

Status: Paid December 10th 2019, 10:52 am

Steve Hurtt December 5th 2019, 4:33:48 pm

Can we drop off a check when we drop off the hard copy of this application?

Jordan Cavallaro December 6th 2019, 9:01:59 am

Yes. Make check payable to City of Bexley.

Design Planning Consultant

Status: In Progress

Assignee: Karen Bokor

Kathy Rose December 6th 2019, 4:11:48 pm

Karen: This house has sat for sale for a long time. The new owner is starting to move forward on remodeling. I think the Board may want to have a conversation with any other ideas they may be kicking around. It was once discussed as a possible demo project, but it has way too much charm to see that happen. We are happy to see this needed repairs get started.

Kathy Rose December 17th 2019, 10:54:49 am

This will be placed on the January 9th, 2020 ARB Agenda

Architectural Review Board

Status: In Progress

Board of Zoning and Planning

Status: In Progress

City Council

Status: In Progress

Tree Commission

Status: In Progress

Arborist

Status: In Progress



020-001264

020-002110

020-000330

020-002407

020-002200

020-003601

BOSTON AVE

BOSTON AVE

020-003734

020-003016

020-002754

N DREXEL AVE

020-003738

020-004870

N COLUMBIA AVE

020-004484

020-002708

020-000568

DENVER AVE

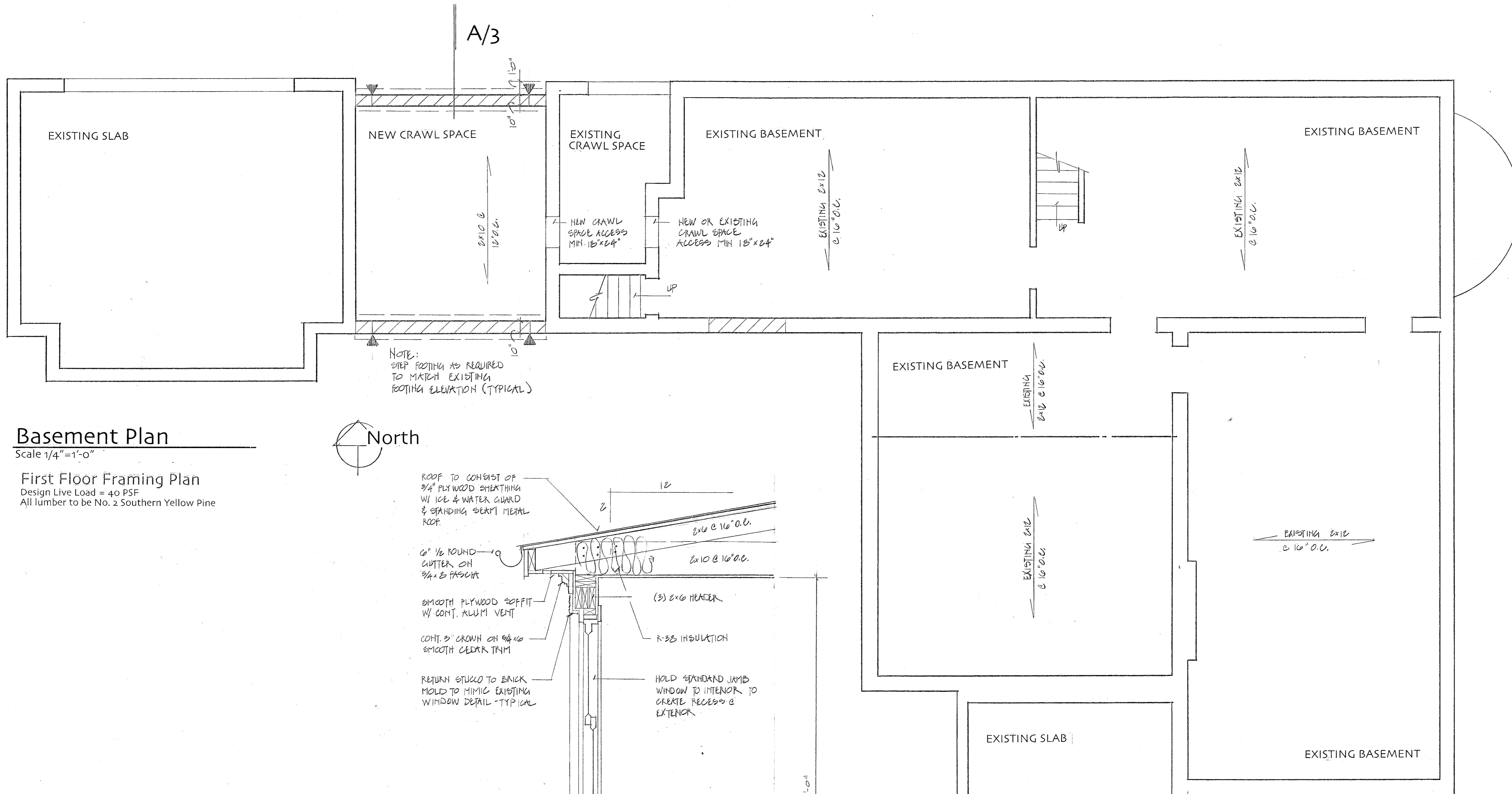
020-002199

020-002171

020-004114

020-002402

020-001764

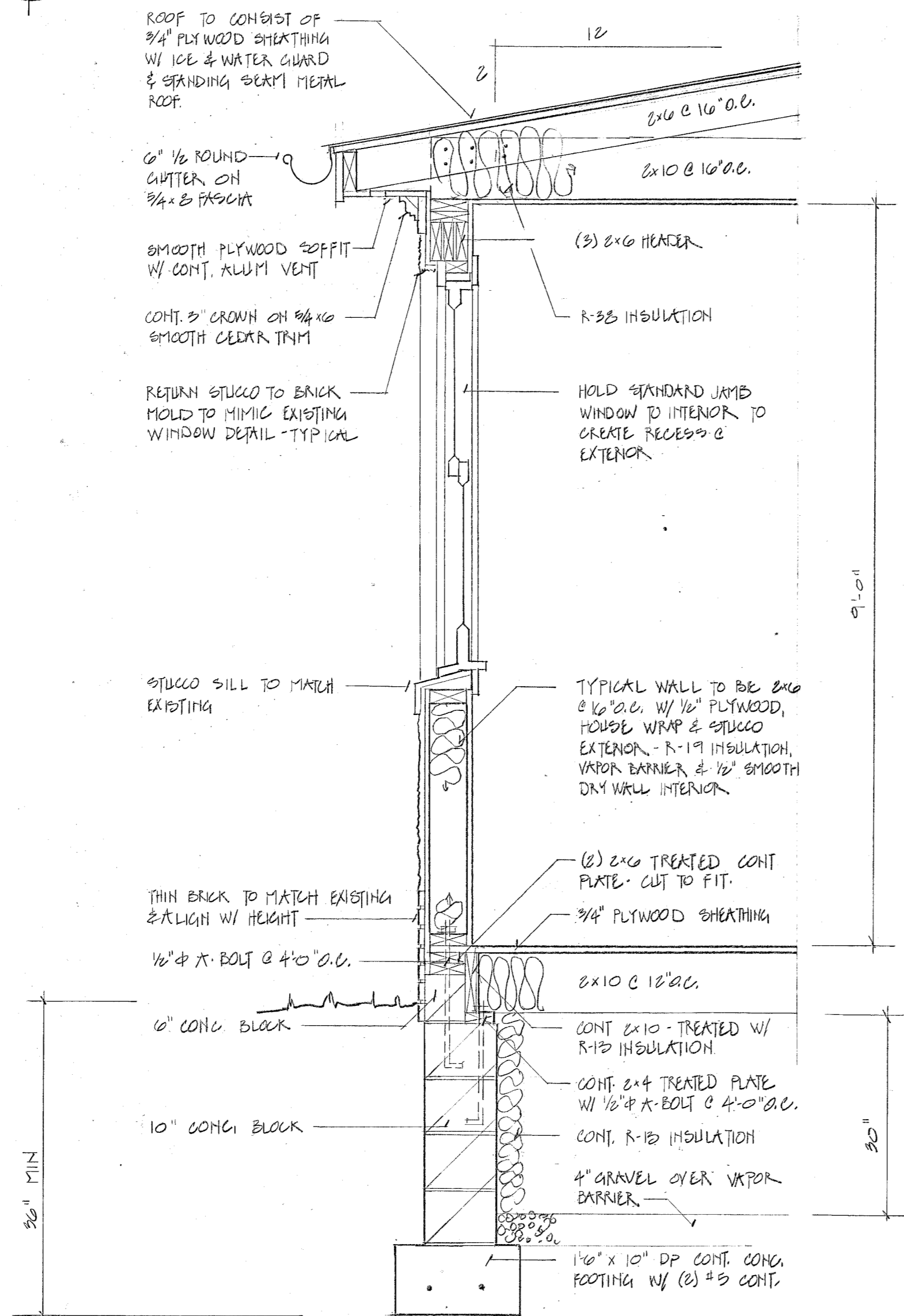


Basement Plan

Scale 1/4"=1'-0"

First Floor Framing Plan

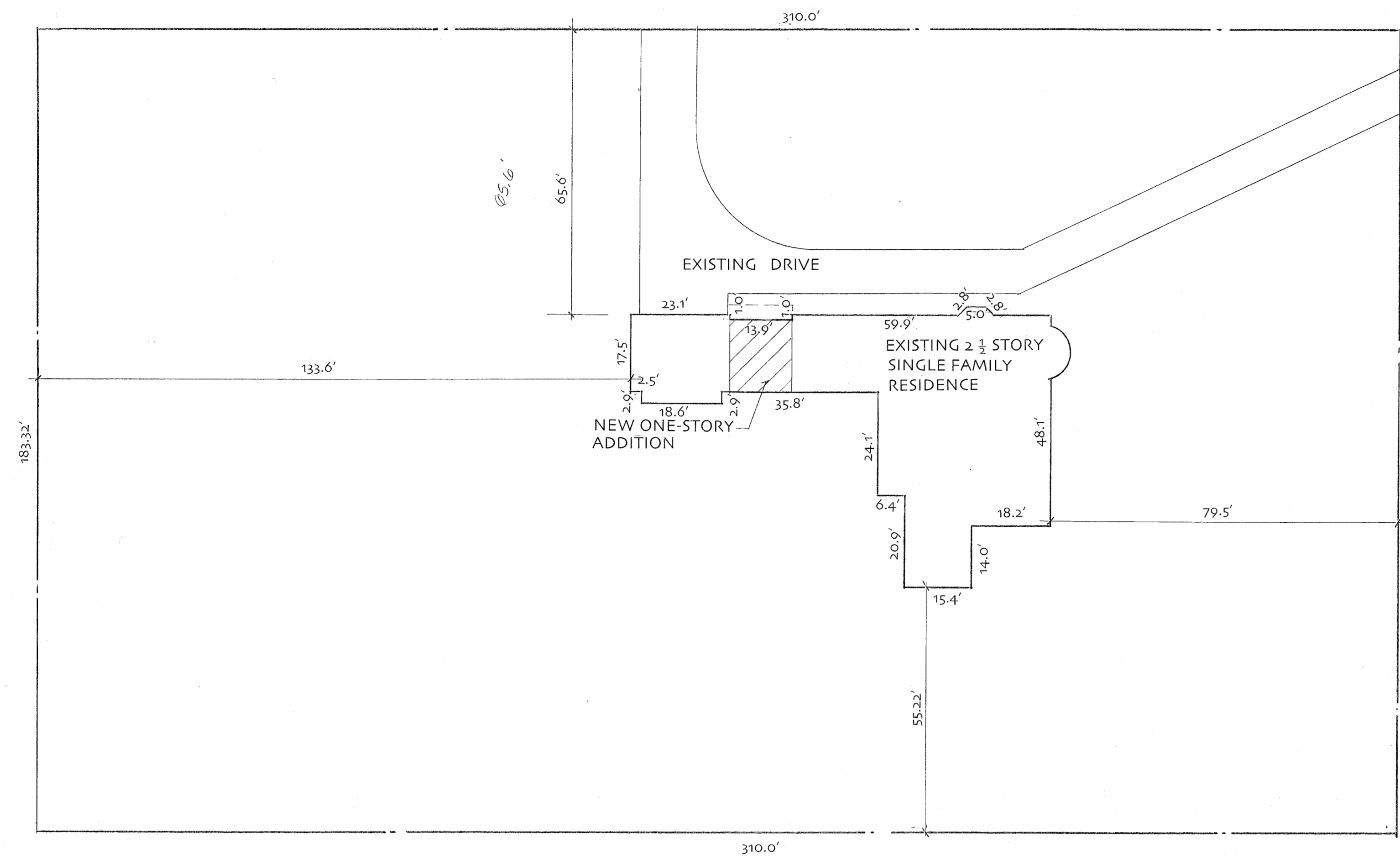
Design Live Load = 40 PSF
All Lumber to be No. 2 Southern Yellow Pine



A Wall Section

Scale 3/4"=1'-0"

BOSTON AVE 80'



DREXEL AVE 80'

Window & Door Schedule

The following windows are based on Marvin units with primed wood interior and aluminum-clad exterior. See specific unit. Exterior color to be Bronze-verify with owners. Provide interior hardware as selected by owner and full screens on operable units. Verify all rough opening sizes and quantities with manufacturer. Verify egress requirements for applicable units. Head heights to match existing unless noted otherwise. Exterior casing and sill to match original. Return stucco to exterior casing to match original.

- A CUDH-NG 1622 4/4 SDL Clad double hung RO 1'-10 1/4" X 4'-4"
- B CUDH-NG 2024 4/4 SDL Clad double hung RO 2'-2 3/4" X 4'-8"

Exterior Doors

- C Clad Ultimate Swinging French Door 3070 15 lite SDL RO 3'-2 7/16" X 7'-2 1/2"
- D Clad Ultimate Swinging French Door 5070 15 lite SDL RO 5'-1 5/8" X 7'-2 1/2"
- E Custom 2'-8" X 6'-8" 3/4 12 lite with single panel below mahogany door. Provide sidelights with panels below and round topped transom to fit existing opening. Transom to be sash set in frame. Provide shop drawings to owner and architect for approval. Prime and paint.



Partial South Elevation

Scale 1/8"=1'-0"

Site Plan

Scale 1" = 20'-0"



Project Information

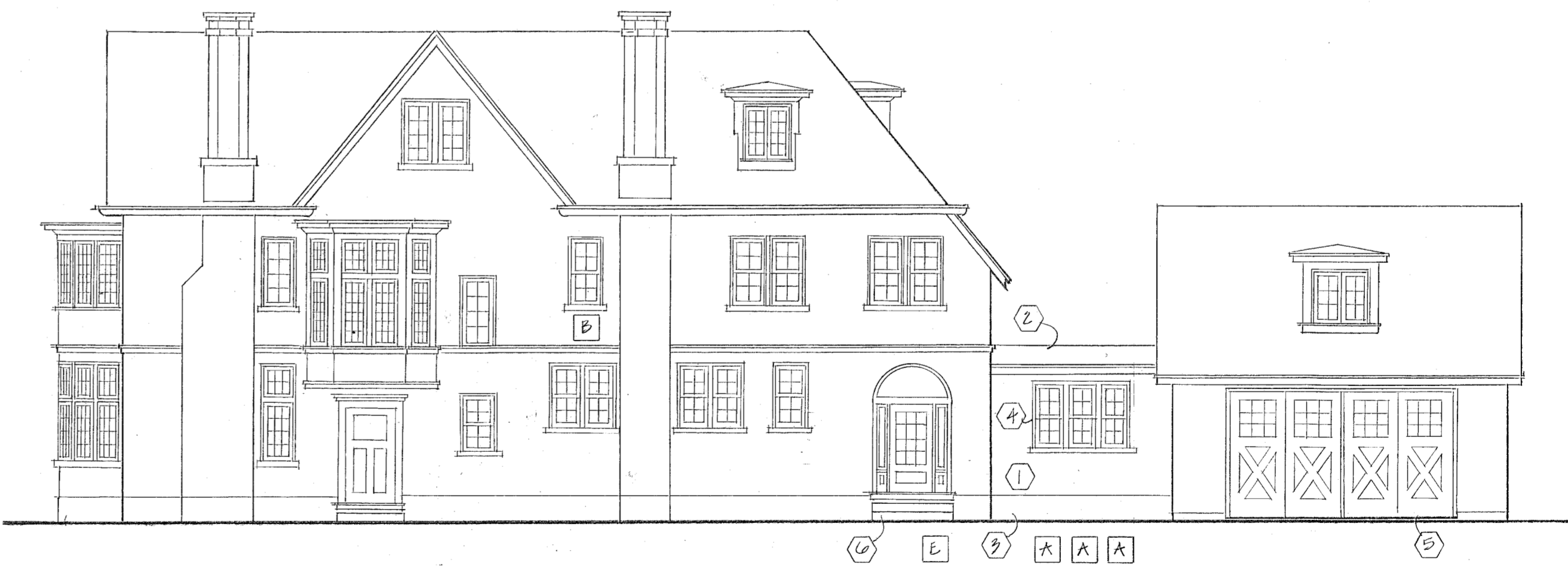
The scope of this project involves the removal of an existing garage, adding a new one story addition, and interior alterations. The new addition will be within the footprint of the existing structure.

Zoning Information

Parcel Number	020-003016-00	
Existing Zoning	R-2 Intermediate Density	
Flood Zone	OUT	
Use	Existing Single Family Dwelling	Proposed No Change
Lot Size	56,829.2 SQ FT (183.32' X 310.0')	
Lot Coverage	3,243 SQ FT (5.7%)	3,188 SQ FT (5.6%)
Setbacks		
North	62.6'	65.6'
South	55.22'	No Change
East	79.5'	No Change
West	133.6'	No Change

General Notes

- A- The Contractor is to check and verify all dimensions and site conditions, and report any errors or omissions to the Architect prior to the start of construction. Use written dimensions, do not scale drawings, as distortion can occur through the printing process. The existing drawings are based on measurements taken on May 24, 2019.
- B- The Architect is responsible only for the items shown in the drawings. The contractor is to conform to all applicable codes, ordinances and approved construction practices for all items not detailed or otherwise indicated.
- C- The General Contractor is responsible for the design and installation of all plumbing, HVAC and Electrical systems. These systems shall be designed and installed in conformance with all applicable code requirements and acceptable engineering practices.
- D- The house is to be structurally sound when completed. It is the General Contractor's responsibility to provide proper bracing during construction and to provide a safe working environment during construction.
- E- The house is to be water tight when completed. It is the General Contractor's responsibility to provide all waterproofing, flashing, weep holes and caulking required to prevent moisture penetration.
- F- No work shall begin until the utility companies have located and marked all underground utilities and disconnected any utilities that may potentially be a hazard.



North Elevation

Scale 1/8"=1'-0"

General Elevation Notes

- A Repair any missing or deteriorated roof flashing. Existing asphalt shingle roof to remain.
- B Repair existing soffits, fascia, and gutters as required to match existing.
- C Power wash and repair all existing stucco exterior to match existing. Prime and paint, verify colors with owners.
- D Repair existing windows as possible. New windows to be installed to match size, profile and function of existing windows. Refer to window and door schedule for new windows to be installed.
- E Scrape, prime and paint all existing exterior wood trim including existing windows and doors. Verify colors with owners.

Specific Elevation Notes

- 1 Remove existing frame one story garage infill. Replace with new frame addition with stucco exterior to match existing.
- 2 New roof to be 2/12 standing seam metal. New gutters to be half round to match existing. Downspout location to be verified with architect and owners and match existing.
- 3 Install thin brick at foundation to match and align with existing.
- 4 New window casing and sill to match existing. Return stucco to face of new casing.
- 5 Repair existing garage doors. Install automatic opener for swing out carriage doors.
- 6 Install new limestone steps at new doors. Tread depth to be 12", maximum riser to be 8".







