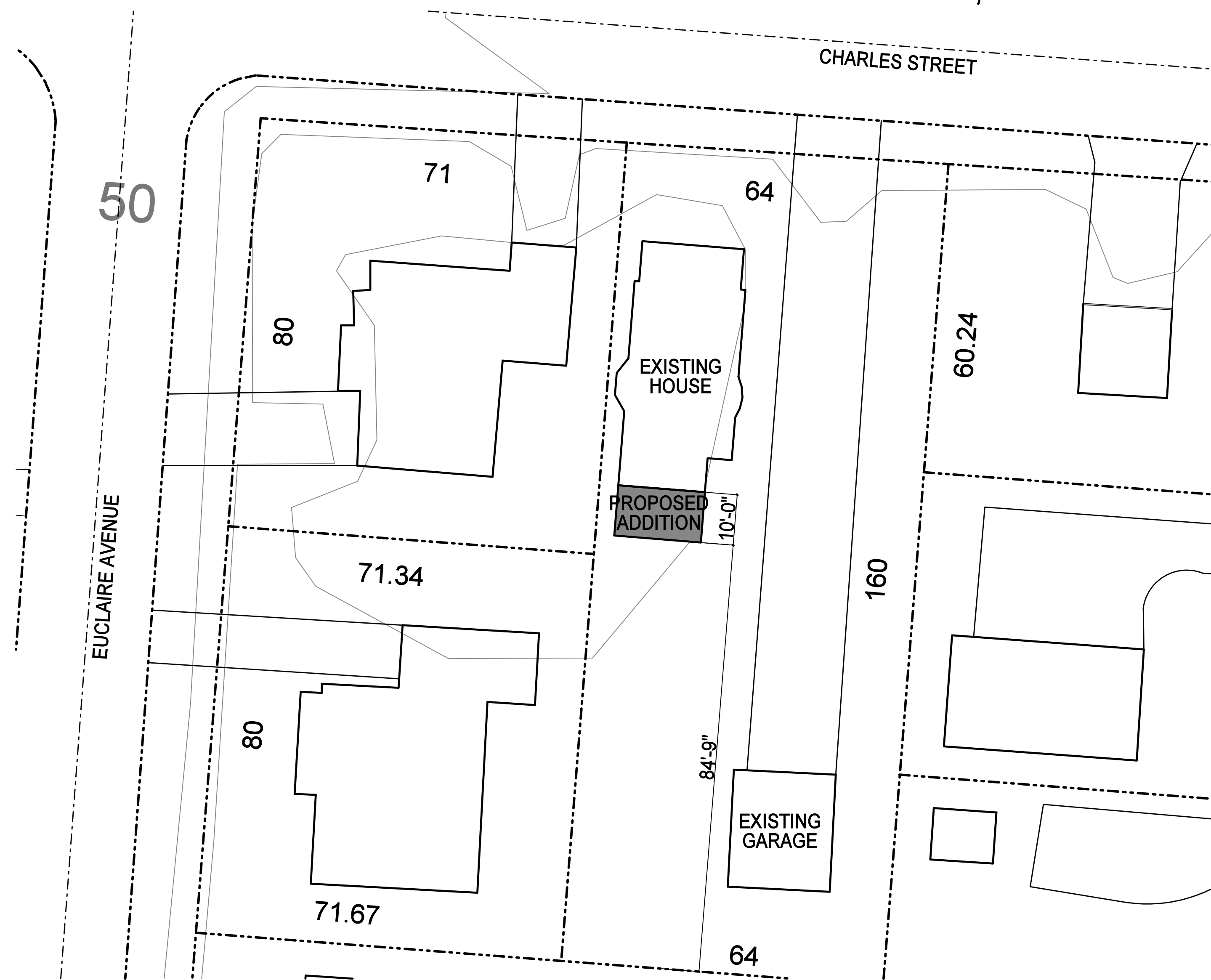


# KEISER DESIGN GROUP PROJECT # 2019-209

# COEY RESIDENCE REMODEL AND ADDITION

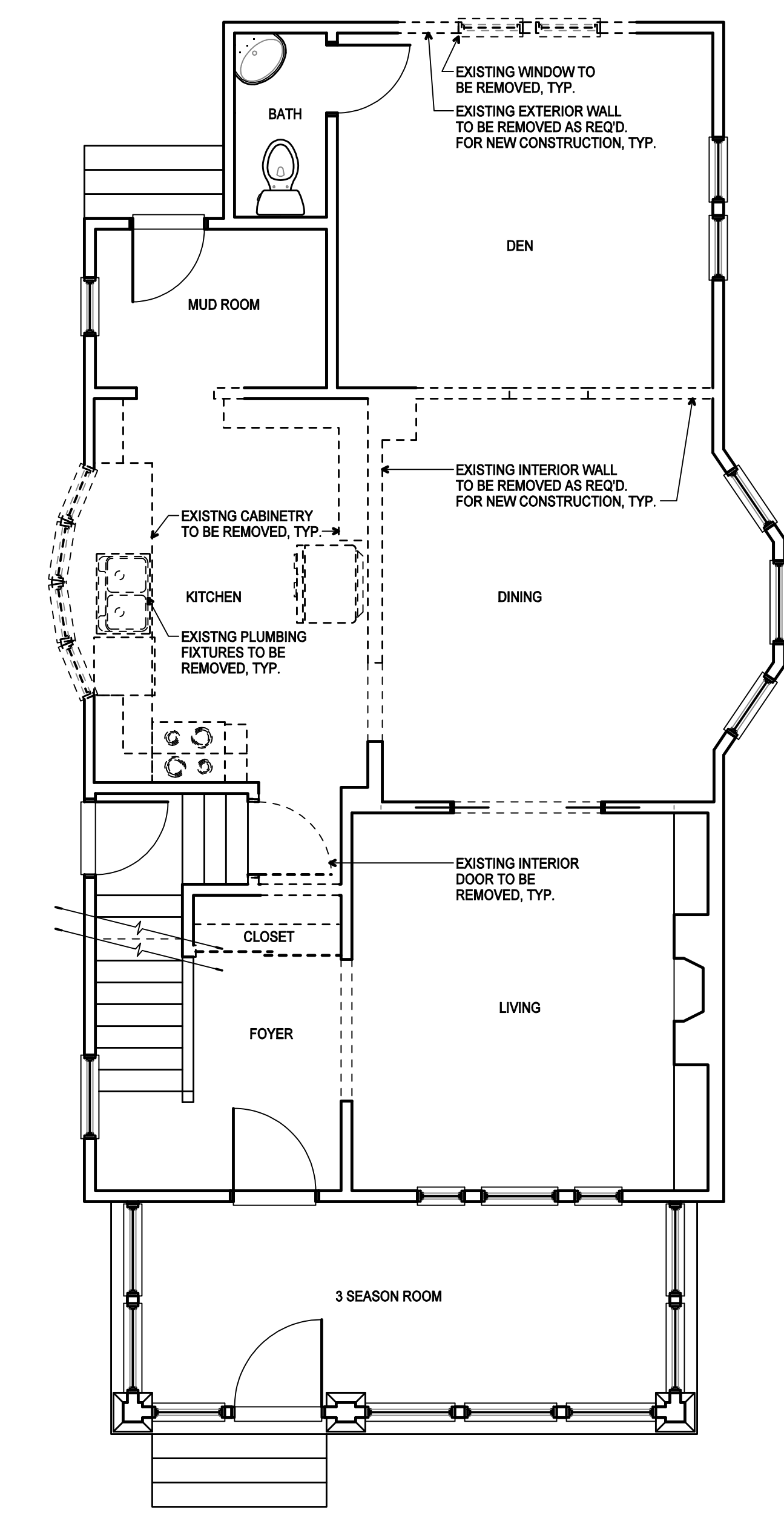
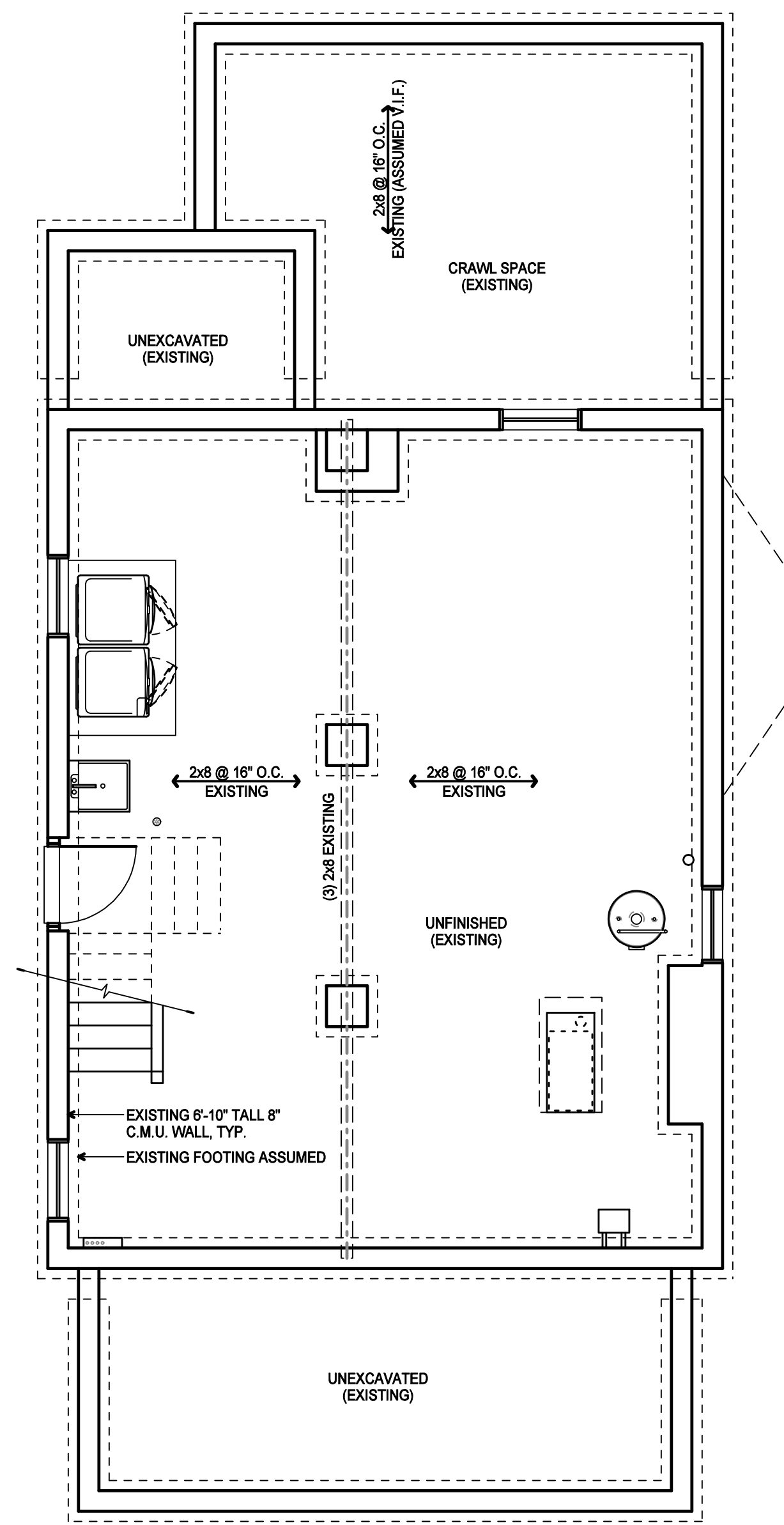
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ANY CHANGES TO THESE DRAWINGS MUST BE REPORTED TO KEISER DESIGN GROUP, INC. IMMEDIATELY IN WRITING. KEISER DESIGN GROUP, INC. ASSUMES NO RESPONSIBILITY FOR CHANGES TO THE DRAWINGS THAT ARE NOT REPORTED TO THE ARCHITECT.

BASEMENT PLAN	FIRST FLOOR PLAN	SECOND FLOOR PLAN	THIRD FLOOR PLAN	ROOF PLAN	DRAWING INDEX	TITLE								
					<p>A0-0 COVER SHEET                      D1-0 BASEMENT &amp; 1ST FLOOR PLAN-DEMOLITION                      D1-1 SECOND &amp; 3RD FLOOR PLAN - DEMOLITION                      D1-2 ROOF PLAN - DEMOLITION                      D2-1 EXTERIOR ELEVATIONS - DEMOLITION                      D2-2 EXTERIOR ELEVATIONS - DEMOLITION                      A1-0 BASMENT FLOOR PLAN - PROPOSED                      A1-1 FIRST &amp; 2ND FLOOR PLAN - PROPOSED                      A1-2 THIRD FLOOR &amp; ROOF PLAN- PROPOSED                      A2-1 PROPOSED EXTERIOR ELEVATIONS                      A3-1 WALL SECTIONS                      A3-2 STAIR SECTION / WALL BRACING                      METHOD CS-PF                      A4-1 GENERAL NOTES / STRUCTURAL NOTES / LIGHT AND VENT SCHEDULE                      A4-3 UL ASSEMBLY 305 DETAILS</p>	<p><b>KDG KEISER DESIGN GROUP</b></p> <p>800 Cross Pointe Road, Suite M I Gahanna, OH 43230                      Phone: 614.884.9999                      www.keiserdesigngroup.com</p> <p style="text-align: center;"> </p> <p>DANIEL L. KEISER, LICENSE #11548 EXPIRATION DATE: 12/31/2019</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="font-size: small;">KDG PROJECT # 2019-209</td> <td style="font-size: small;">SHEET NUMBER</td> </tr> <tr> <td style="text-align: center;"><b>COVER SHEET</b></td> <td style="text-align: center;"><b>A0-0</b></td> </tr> <tr> <td style="font-size: x-small;">SCALE: N.T.S.</td> <td></td> </tr> <tr> <td style="font-size: x-small;">CONSTRUCTION DOCUMENTS</td> <td style="font-size: x-small;">11.27.2019</td> </tr> </table>	KDG PROJECT # 2019-209	SHEET NUMBER	<b>COVER SHEET</b>	<b>A0-0</b>	SCALE: N.T.S.		CONSTRUCTION DOCUMENTS	11.27.2019
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COEY RESIDENCE REMODEL AND ADDITION  
2395 CHARLES STREET COLUMBUS, OH 43209



**DEMOLITION GENERAL NOTES**

1. PRIOR TO COMMENCING DEMOLITION, CONTRACTOR SHALL PERFORM WALK-THROUGH OF AREA WITH OWNER SO THAT OWNER MAY IDENTIFY ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER.
2. REMOVE EXISTING FLOORING AND BASE AS REQUIRED, PREP FLOOR FOR NEW FINISHES AND LEVELING IF NECESSARY.
3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL DEMOLITION NEEDS WITH MECHANICAL AND ELECTRICAL DOCUMENTS FOR REMOVAL OF ALL EXISTING LINES FOUND IN CASEWORK, MILLWORK, PLUMBING ITEMS, EQUIPMENT, ETC. BEING DELETED.
4. CONTRACTOR SHALL LIMIT REMOVAL AND DEMOLITION WORK TO THAT SPECIFICALLY IDENTIFIED IN DRAWINGS FOR INSTALLATION OF WORK. CONTRACTOR SHALL PROTECT EXISTING FINISHES FROM DAMAGE. ANY DAMAGE TO THE EXISTING FACILITY SHALL BE REPAIRED AND RESTORED TO MATCH ORIGINAL CONDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR REROUTING ANY EXISTING SERVICES THAT MAY BE EFFECTED BY CONSTRUCTION IN SUCH A MANNER THAT FULL CONTINUATION OF SERVICE SHALL BE MAINTAINED.
6. PATCH ALL EXISTING WALLS AS NECESSARY.

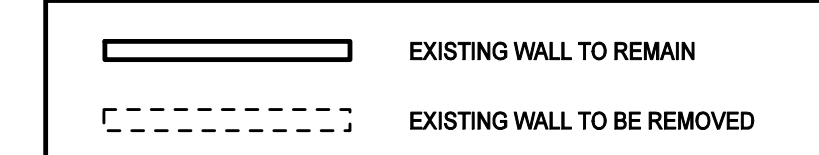
**DEMOLITION ELECTRICAL NOTES**

1. DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES LOCATED IN WALLS SCHEDULED FOR DEMOLITION, REMOVE WIRE AND CONDUIT TO LAST ACTIVE DEVICE.
2. ELECTRICAL DEVICES INDICATED IN WALLS TO REMAIN SHALL REMAIN ACTIVE, CONTRACTOR SHALL TRACE CIRCUITS AND ADJUST WIRING TO KEEP ACTIVE.
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4. ALL TELECOMMUNICATION WIRING TO DEVICES SCHEDULED FOR DEMOLITION SHALL BE REMOVED BACK TO SOURCE.
5. THE DEMOLITION CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIAL.

**DEMOLITION PLUMBING NOTES**

1. DISCONNECT AND REMOVE ALL PLUMBING FIXTURES LOCATED IN WALLS SCHEDULED FOR DEMOLITION, CAP WATER LINES AT SOURCE.
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**WALL LEGEND**



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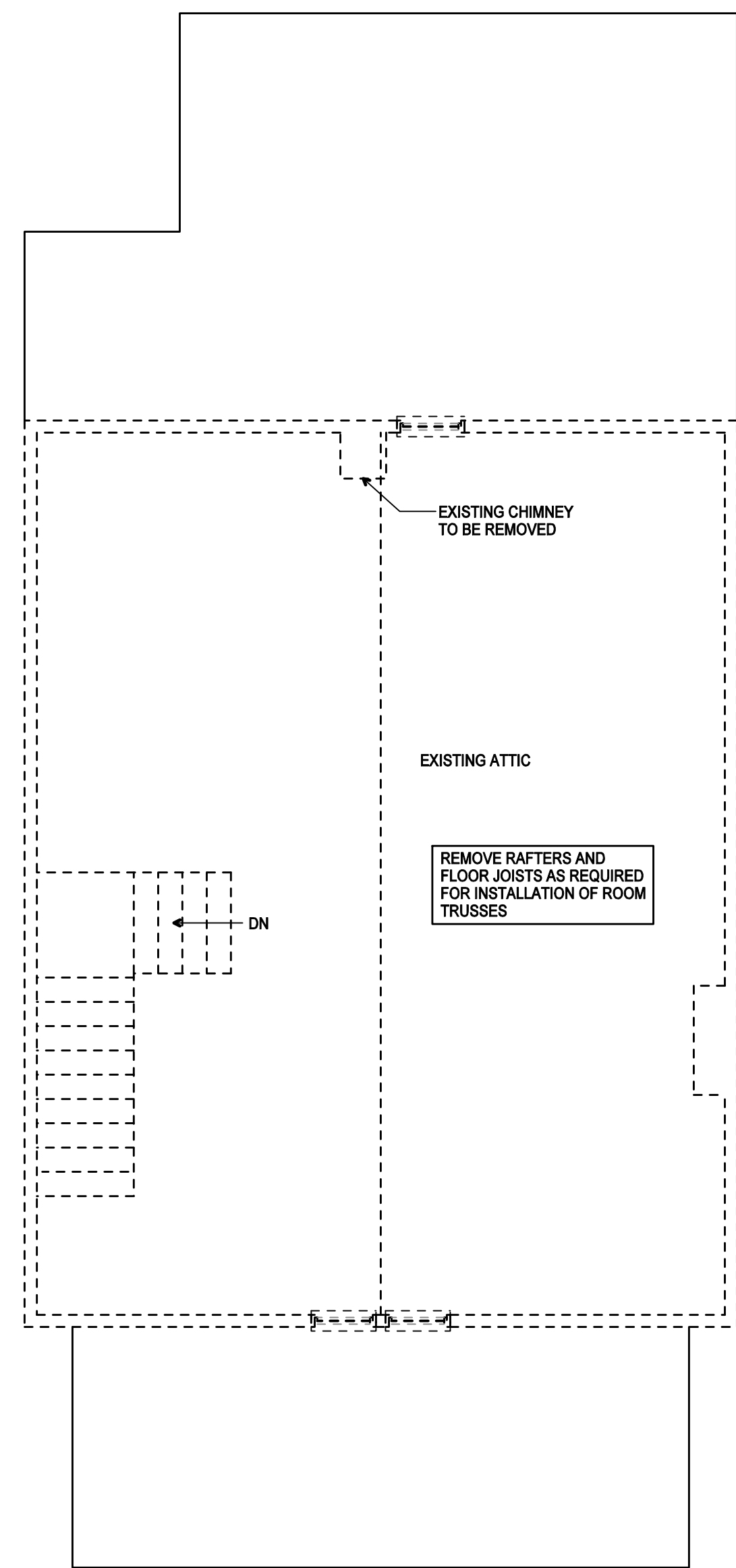
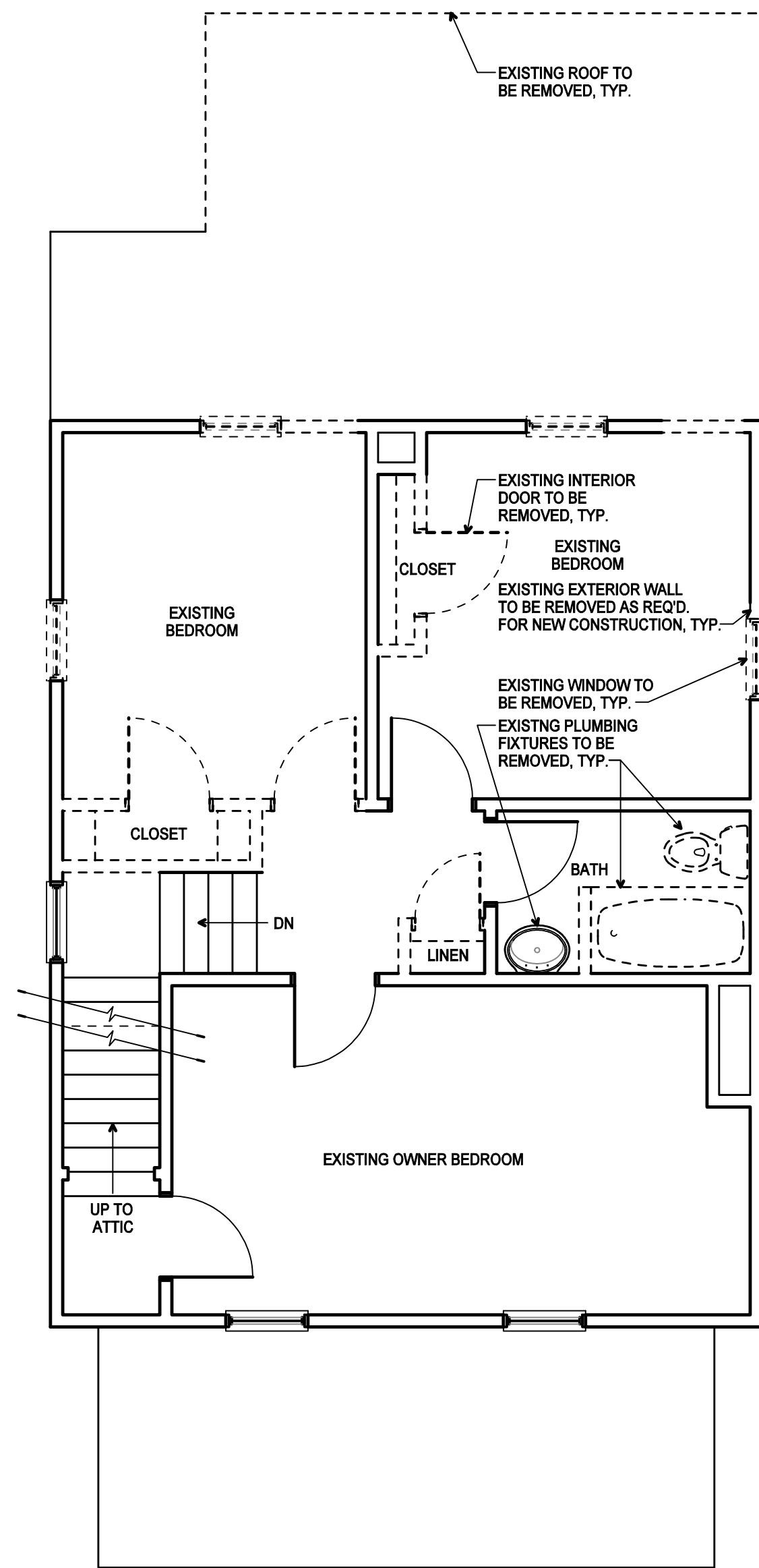
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2385 CHARLES STREET  
COLUMBUS, OHIO



800 Cross Pointe Road, Suite M 1 Gahanna, OH 43230  
 Phone: 614.864.9999  
 www.keiserdesigngroup.com

KDG PROJECT # 2019-209	SHEET NUMBER
<b>BASEMENT &amp; 1ST FLOOR PLAN - DEMOLITION</b> SCALE: 1/4" = 1'-0"	<b>D1-0</b>
CONSTRUCTION DOCUMENTS	11.27.2019



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**WALL LEGEND**

- EXISTING WALL TO REMAIN
- - - - - EXISTING WALL TO BE REMOVED

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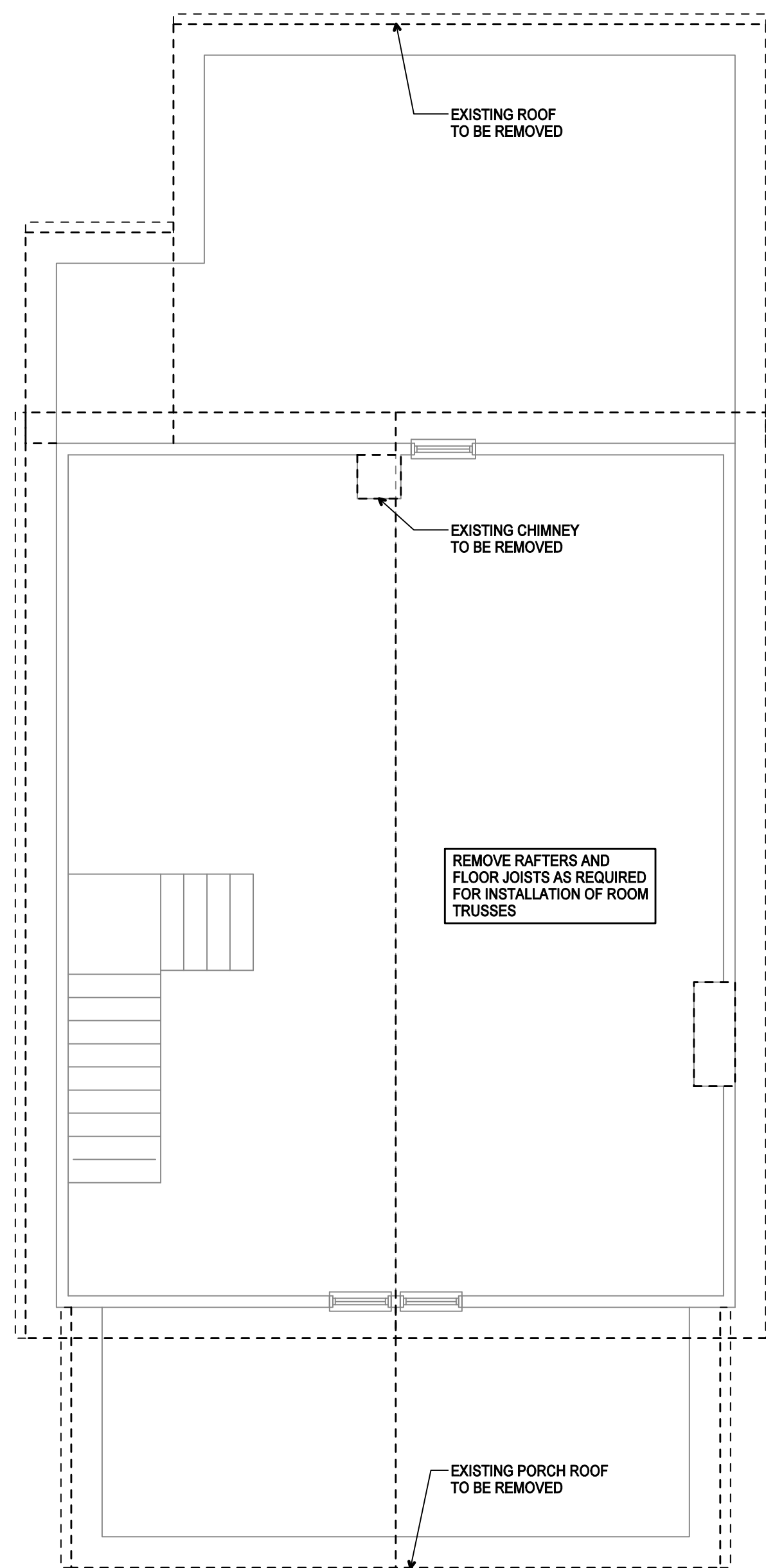
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KDG PROJECT # 2019-209	SHEET NUMBER
<b>SECOND &amp; THIRD FLOOR PLAN - DEMOLITION</b> SCALE: 1/4" = 1'-0"	<b>D1-1</b>
CONSTRUCTION DOCUMENTS	11.27.2019



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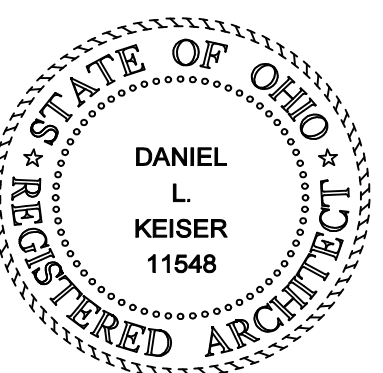
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**WALL LEGEND**

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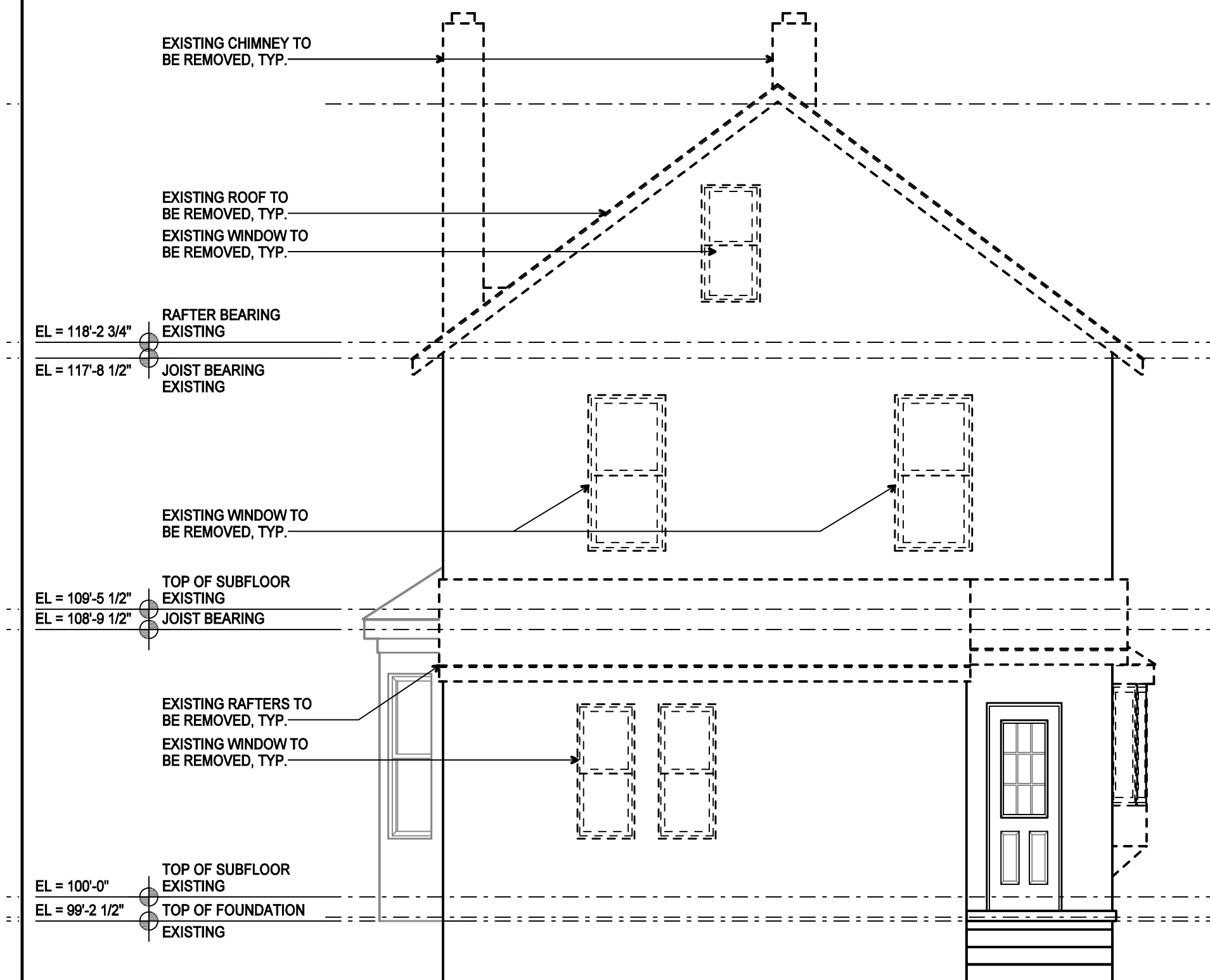
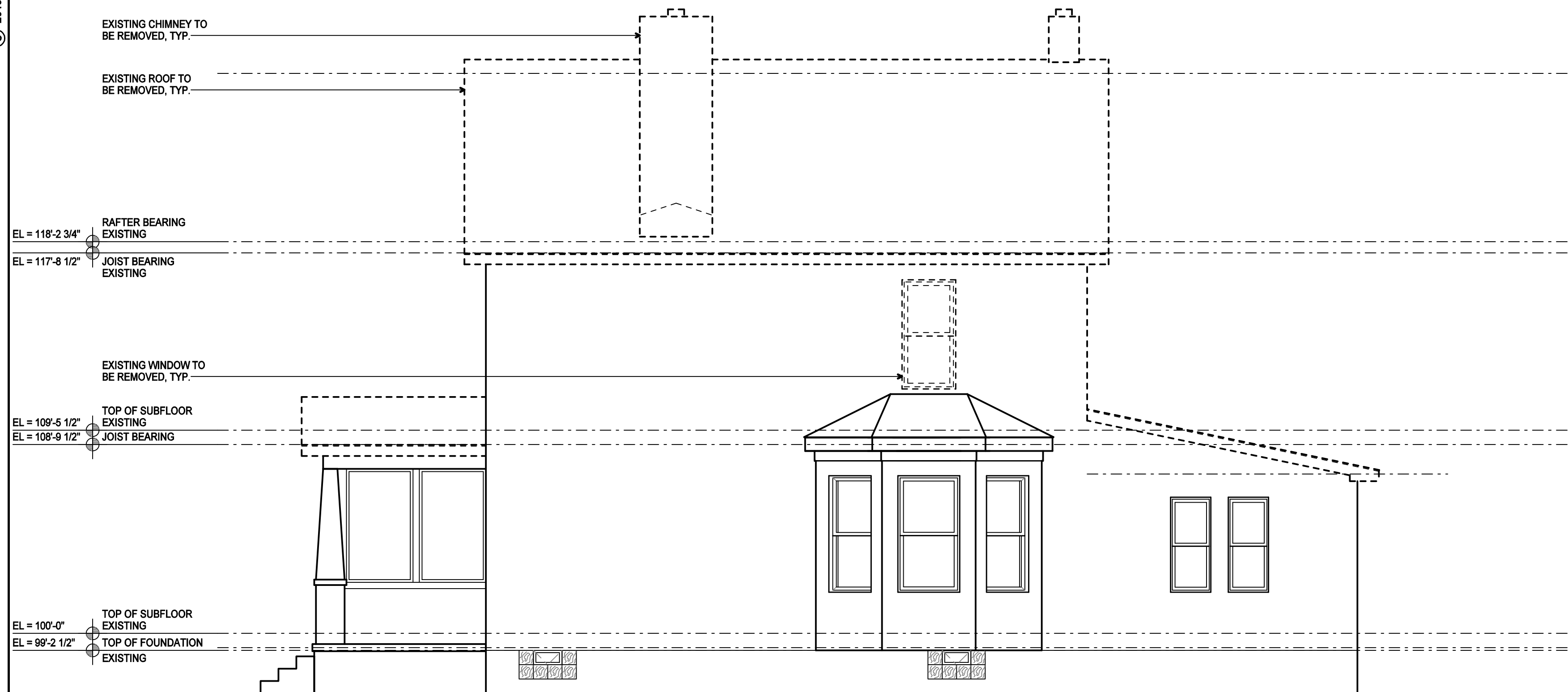
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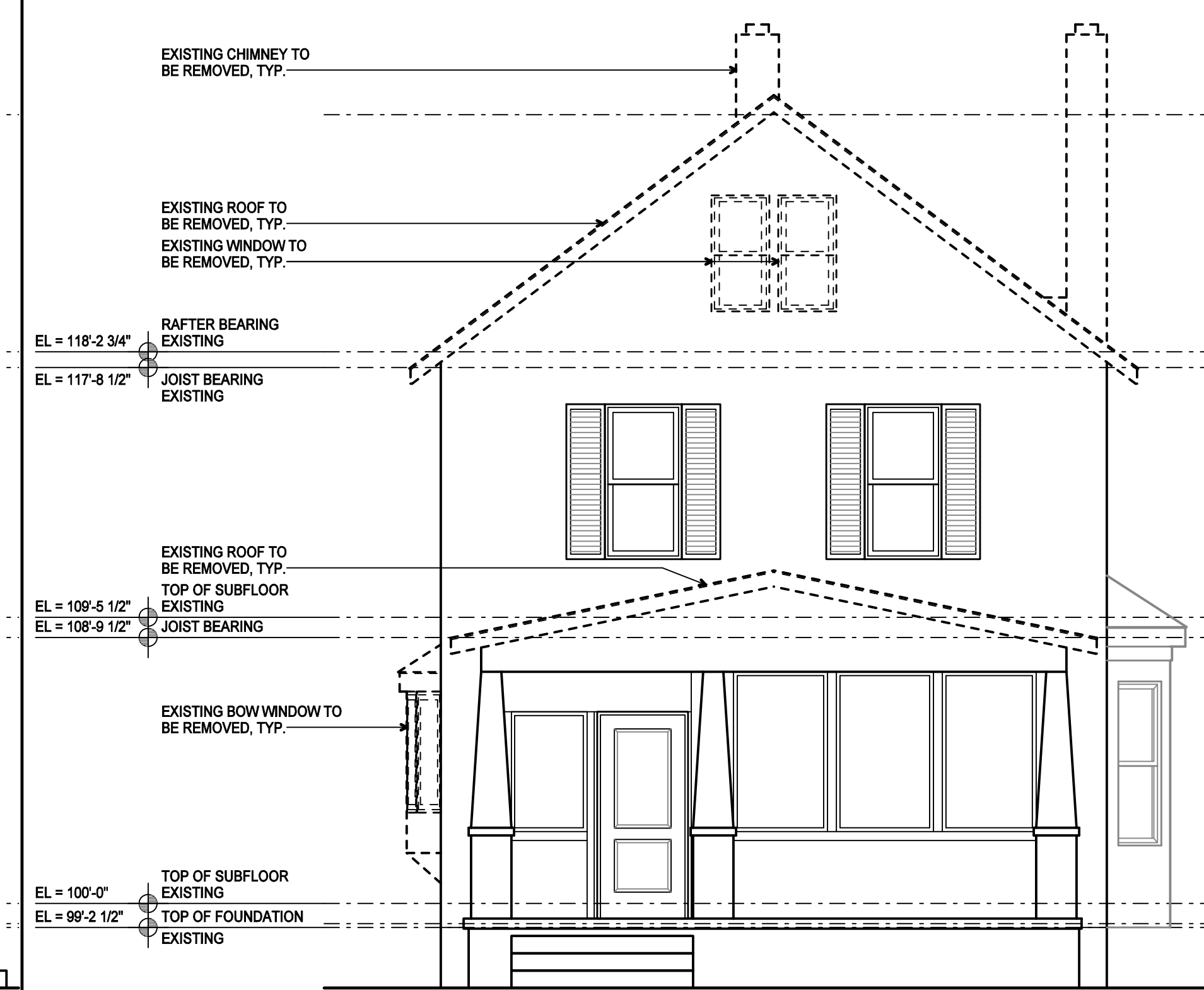
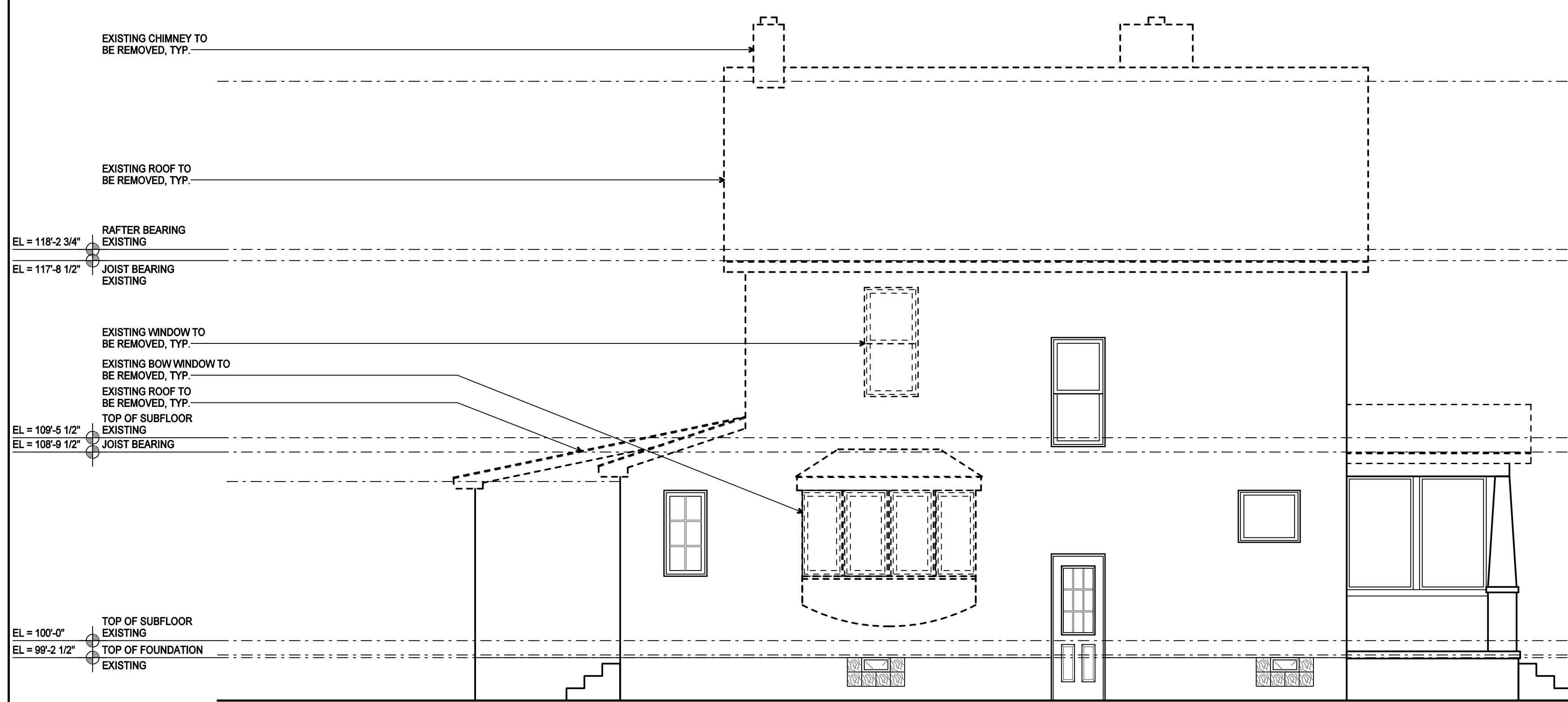
KDG PROJECT # 2019-209	SHEET NUMBER
SECOND & THIRD FLOOR PLAN - DEMOLITION SCALE: 1/4" = 1'-0"	<b>D1-2</b>
CONSTRUCTION DOCUMENTS	11.27.2019





3 RIGHT ELEVATION - DEMOLITION

4 REAR ELEVATION - DEMOLITION



1 LEFT ELEVATION - DEMOLITION

2 FRONT ELEVATION - DEMOLITION

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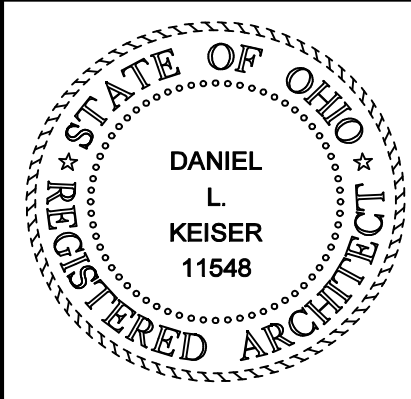
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ELEVATION LEGEND

- DIMENSIONAL SHINGLES (EXISTING TO REMAIN)
- BRICK VENEER (EXISTING TO REMAIN)
- VINYL SIDING (TO BE REMOVED)
- BOARD AND BATTEN SIDING (TO BE REMOVED)

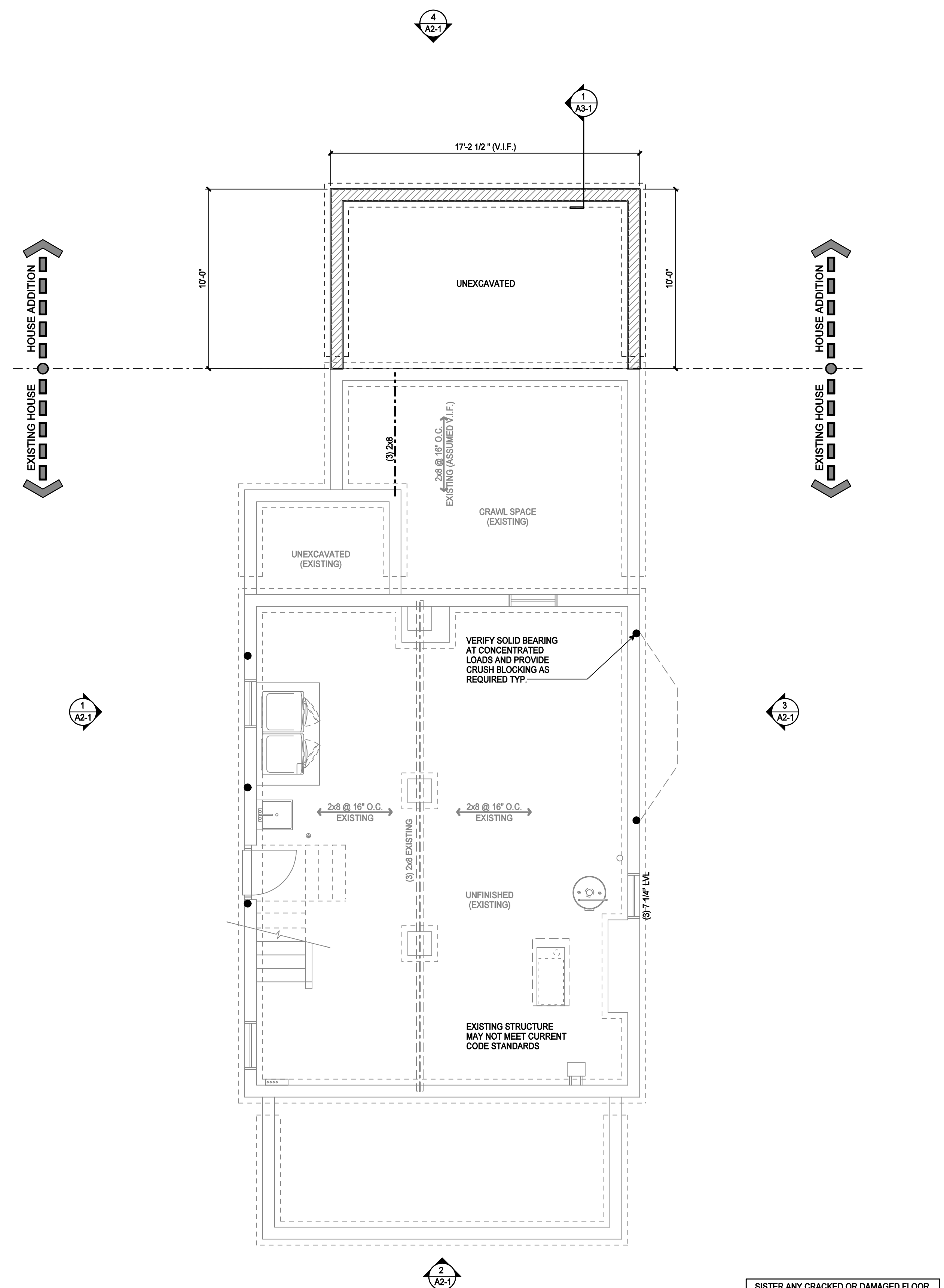
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KDG PROJECT # 2019-209	SHEET NUMBER
EXTERIOR ELEVATIONS - DEMOLITION	D2-1
CONSTRUCTION DOCUMENTS	11.27.2019



**FIRE RESISTANCE OF FLOORS:** FLOOR ASSEMBLIES, NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2" GYPSUM BOARD MEMBRANE OR A 5/8" WOOD STRUCTURAL PANEL MEMBRANE OR AN EQUIVALENT MATERIAL ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER WHICH COMPLIES WITH SECTION 302.14.

**EXCEPTIONS:**

- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTIONS 313.1.1 OR 313.2.1.
- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER AN UNDERFLOOR SPACE AS REFERENCED IN SECTION 408 WHICH IS NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
- PORTIONS OF FLOOR ASSEMBLIES CAN BE UNPROTECTED WHEN COMPLYING WITH THE FOLLOWING:
  1. THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS SHALL NOT EXCEED 80 SQUARE FEET PER STORY.
  2. FIRE BLOCKING IN ACCORDANCE WITH SECTION 302.11.1 SHALL BE INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
  3. WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH NOMINAL DIMENSIONS, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.

**BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION**

**MOST NEW CHEMICALS USED TO PRESSURE TREAT LUMBER HAVE BEEN FOUND TO BE INCOMPATIBLE WITH STANDARD GALVANIZED CONNECTORS, BOLTS AND SCREWS, AS WELL AS MANY PNEUMATIC NAIL PRODUCTS. WHEN SELECTING FASTENERS AND/OR CONNECTORS TO USE WITH TREATED LUMBER, PLEASE CHECK FOR CORROSIVE COMPATIBILITY ISSUES. WHEN USING STAINLESS STEEL OR 6-18S HOT DIPPED GALVANIZED METAL PRODUCTS, THE CONNECTORS AND FASTENERS MUST BE MADE OF THE SAME MATERIAL.**

**FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF**

**SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER**

**PROVIDE BLOCKING AT 24" O.C. AT JOIST PARALLEL TO FOUNDATION, TYP.**

**LVL DATA SHEETS MUST BE PROVIDED AT FRAMING INSPECTION.**

**ALL GLAZING IN THE FOLLOWING LOCATIONS SHALL BE TEMPERED:**

- GLAZING IN SWIMMING, SLIDING OR FIXED DOORS, INCLUDING FIXED PANELS AND SIDE LIGHTS.
- GLAZING FOR DOORS AND SURROUNDS OF WHIRLPOOLS, TUBS AND SHOWERS
- GLAZING WITHIN 24" OF ANY DOOR IN THE CLOSED POSITION.
- GLAZING WITHIN 18" OF THE FINISH FLOOR
- GLAZING IN RAILINGS
- GLAZING IN WALLS AND FENCES ENCLOSED A SWIMMING POOL WITH THE BOTTOM EDGE WITHIN 8" OF THE FLOOR.
- GLAZING ADJACENT TO TUBS & SHOWERS

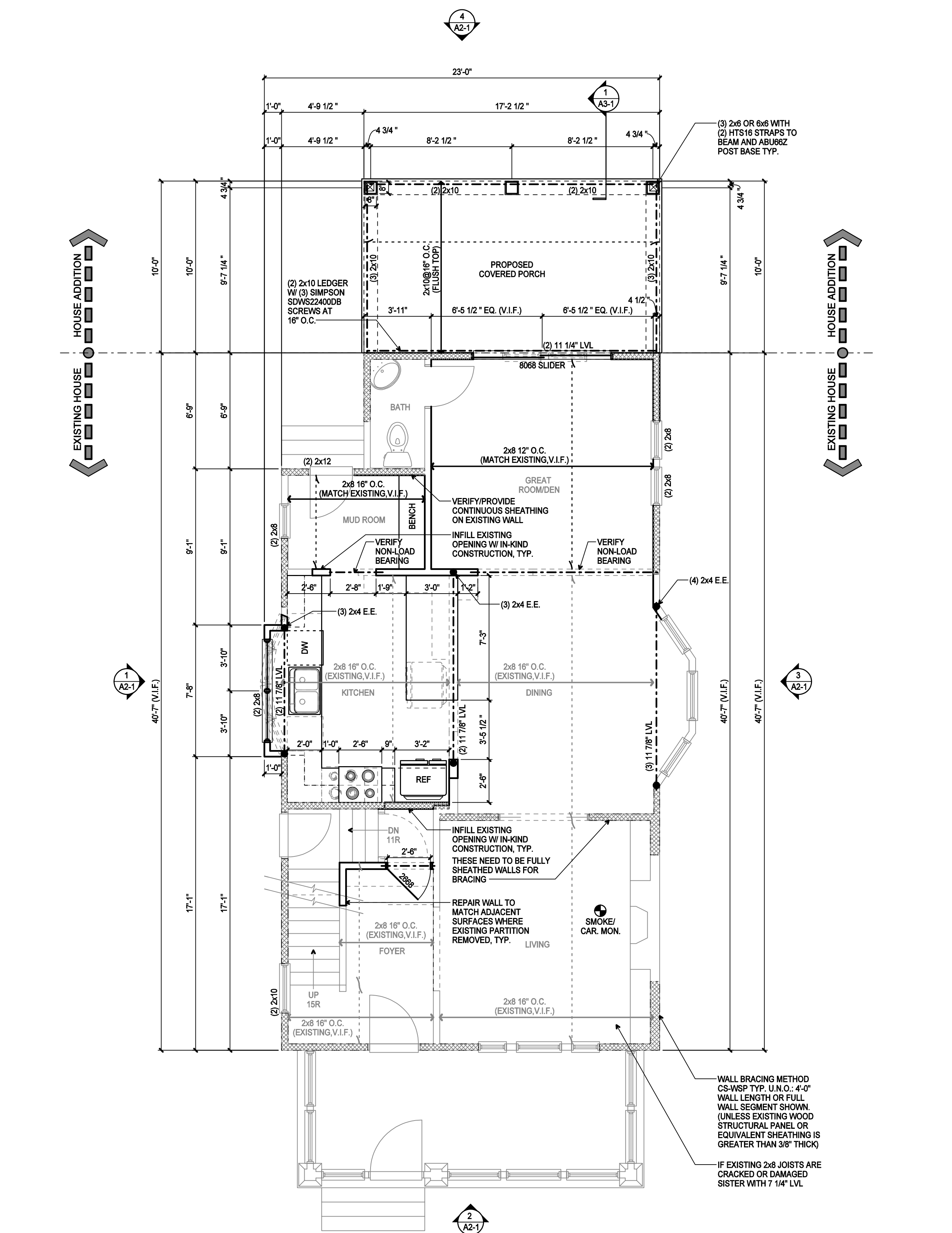
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**O.S.B. ROOF, WALL AND FLOOR SHEATHING: LEAVE 1/8" MINIMUM GAP ON EDGES AND AROUND OPENINGS TO ALLOW FOR EXPANSION AND CONTRACTION OF SHEATHING**

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**WALL LEGEND**

	NEW WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED



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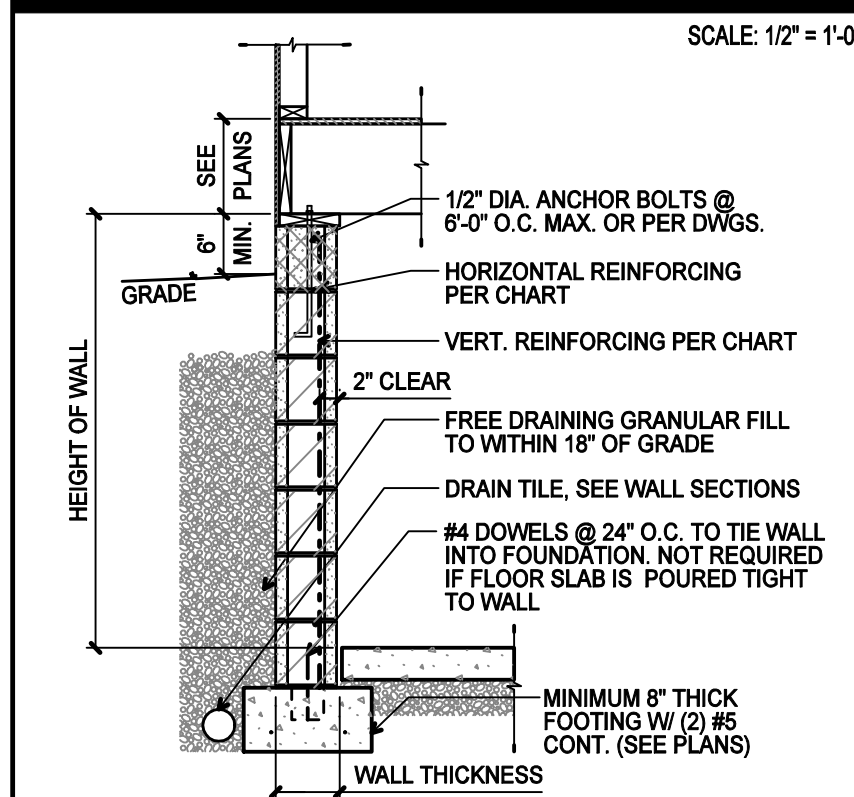
**WALL LEGEND**

	NEW WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

**FOUNDATION NOTES**

- ALL 8" FOUNDATION WALLS SHALL HAVE A MINIMUM 16" x 8" CONTINUOUS POURED CONCRETE FOOTING W/ (2) #5 CONT.
- ALL 12" FOUNDATION WALLS SHALL HAVE A MINIMUM 20" x 8" CONTINUOUS POURED CONCRETE FOOTING W/ (2) #5 CONT.
- REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION
- STEEL DIA. PIPE SIZES TO BE:  
3" DIA. = 2 1/8" (OUTSIDE DIA. = 3.5") & 4" DIA. = 2 3/4" (OUTSIDE DIA. = 4.5")
- BUILDER TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION.
- CEILING HEIGHTS IN BASEMENTS SHALL NOT BE LESS THAN 7'-6" CLEAR, EXCEPT UNDER BEAMS, DUCTS OR OTHER OBSTRUCTIONS WHERE THE CLEAR HEIGHT SHALL BE 6'-8" MINIMUM.
- ALL PREFABRICATED CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE 8" MINIMUM BEARING AT EACH END.
- WINDOW WELLS WITH A VERTICAL DEPTH OF 4" SHALL BE EQUIPPED WITH A PERMANENTLY AFFIXED LADDER OR STEPS USABLE WITH THE WINDOWS IN THE FULLY OPEN POSITION. LADDER OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 3" FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18" O.C. VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL.

**FOUNDATION WALL REINFORCING**



**FND. WALL DESIGN - CMU WALLS W/ GRANULAR BACKFILL**

REINFORCING 1/4" MIN. = 80,000 PSI  
MAXIMUM EQUIVALENT SOIL PRESSURE = 55 PSF

WALL MAX HEIGHT	WALL THICKNESS		
	8" WALL	10" WALL	12" WALL
7'-0"	#5 @ 48" O.C.	NONE	NONE
8'-0"	#5 @ 48" O.C.	#5 @ 48" O.C.	NONE
9'-0"	#5 @ 32" O.C.	#5 @ 32" O.C.	#5 @ 48" O.C.
10'-0"	#5 @ 24" O.C.	#5 @ 32" O.C.	#5 @ 40" O.C.

**FND. WALL DESIGN - CMU WALLS W/O GRANULAR BACKFILL**

REINFORCING 1/4" MIN. = 80,000 PSI  
MAXIMUM EQUIVALENT SOIL PRESSURE = 55 PSF

WALL MAX HEIGHT	WALL THICKNESS		
	8" WALL	10" WALL	12" WALL
7'-0"	#6 @ 48" O.C.	NONE	NONE
8'-0"	#6 @ 32" O.C.	#6 @ 48" O.C.	#6 @ 48" O.C.
9'-0"	#6 @ 24" O.C.	#5 @ 24" O.C.	#5 @ 40" O.C.
10'-0"	#6 @ 18" O.C.	#5 @ 24" O.C.	#5 @ 24" O.C.

**STRUCTURAL LEGEND**

- TRUSS / JOIST / RAFTER INDICATOR
  - HEADER / BEAM / DBL. JOIST (SEE PLAN FOR SIZE)
  - GIRDER TRUSS / SITE BUILT TRUSS (SEE PLAN)
  - CONCRETE FOOTER, 12" DEEP (SEE PLAN FOR SIZE)
  - STEEL COLUMN
  - STEEL BEAM
  - POINT LOAD LOCATION
  - LOAD BEARING WALL
  - DIRECTION OF ROOF PITCH
  - WALL BRACING METHOD CS-PF
  - WALL BRACING METHOD CS-WSP
- SEE SHEET A4-1 FOR STRUCTURAL NOTES

#	DATE	ISSUED WITH / CHANGE DESCRIPTION

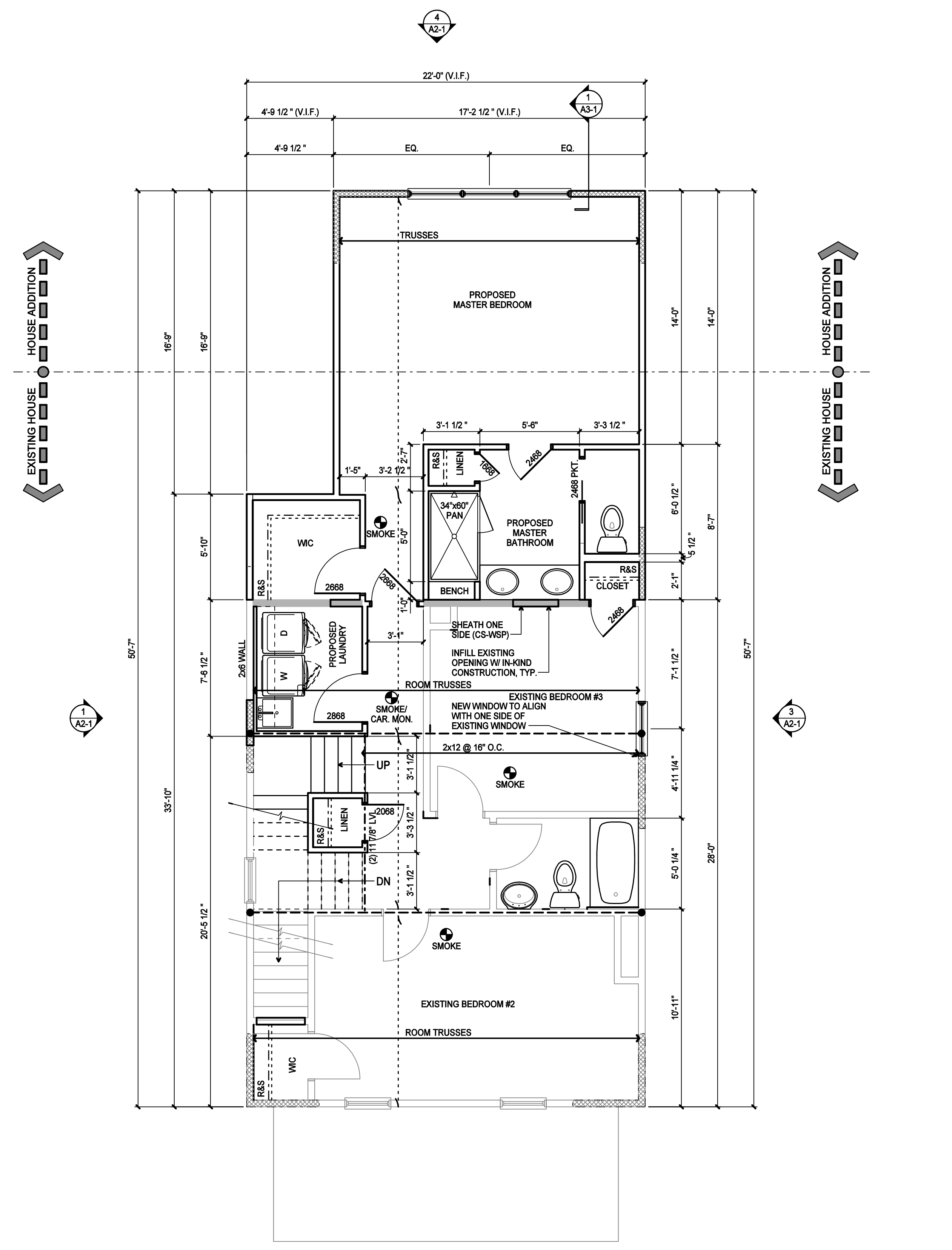
**COEY RESIDENCE REMODEL AND ADDITION**

2385 CHARLES STREET  
COLUMBUS, OHIO

**DANIEL L. KEISER**  
11548  
REGISTERED ARCHITECT



800 Cross Pointe Road, Suite M 1 Gahanna, OH 43230  
Phone: 614.489.9999  
www.keiserdesigngroup.com



**FIRE RESISTANCE OF FLOORS:** FLOOR ASSEMBLIES, NOT REQUIRED ELSEWHERE IN THIS CODE TO BE FIRE RESISTANCE RATED, SHALL BE PROVIDED WITH A 1/2" GYPSUM BOARD MEMBRANE OR A 5/8" WOOD STRUCTURAL PANEL MEMBRANE OR AN EQUIVALENT MATERIAL ON THE UNDERSIDE OF THE FLOOR FRAMING MEMBER WHICH COMPLIES WITH SECTION 302.14.

**EXCEPTIONS:**

- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER A SPACE PROTECTED BY AN AUTOMATIC SPRINKLER SYSTEM DESIGNED AND INSTALLED IN ACCORDANCE WITH SECTIONS 313.1.1 OR 313.2.1.
- FLOOR ASSEMBLIES LOCATED DIRECTLY OVER AN UNDERFLOOR SPACE AS REFERENCED IN SECTION 408 WHICH IS NOT INTENDED FOR STORAGE OR FUEL-FIRED APPLIANCES.
- PORTIONS OF FLOOR ASSEMBLIES CAN BE UNPROTECTED WHEN COMPLYING WITH THE FOLLOWING:
  - THE AGGREGATE AREA OF THE UNPROTECTED PORTIONS SHALL NOT EXCEED 80 SQUARE FEET PER STORY.
  - FIRE BLOCKING IN ACCORDANCE WITH SECTION 302.11.1 SHALL BE INSTALLED ALONG THE PERIMETER OF THE UNPROTECTED PORTION FROM THE REMAINDER OF THE FLOOR ASSEMBLY.
  - WOOD FLOOR ASSEMBLIES USING DIMENSION LUMBER OR STRUCTURAL COMPOSITE LUMBER EQUAL TO OR GREATER THAN 2-INCH BY 10-INCH NOMINAL DIMENSIONS, OR OTHER APPROVED FLOOR ASSEMBLIES DEMONSTRATING EQUIVALENT FIRE PERFORMANCE.

MOST NEW CHEMICALS USED TO PRESSURE TREAT LUMBER HAVE BEEN FOUND TO BE INCOMPATIBLE WITH STANDARD GALVANIZED CONNECTORS, BOLTS AND SCREWS, AS WELL AS MANY PNEUMATIC NAIL PRODUCTS. WHEN SELECTING FASTENERS AND/OR CONNECTORS TO USE WITH TREATED LUMBER, PLEASE CHECK FOR CORROSION COMPATIBILITY ISSUES. WHEN USING STAINLESS STEEL OR 6-18S HOT DIPPED GALVANIZED METAL PRODUCTS, THE CONNECTORS AND FASTENERS MUST BE MADE OF THE SAME MATERIAL.

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.

SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED TOGETHER WITH BATTERY BACKUP AND CONNECTED TOGETHER.

NOTE: FOR UNDERSIDE OF STAIR STORAGE, PROVIDE FIRE-STOPPING AT TOP AND BOTTOM OF STAIR STRINGER AND COMPLETELY DRYWALL THE UNDERSIDE WITH TYPE-X GYPSUM WALL BOARD.

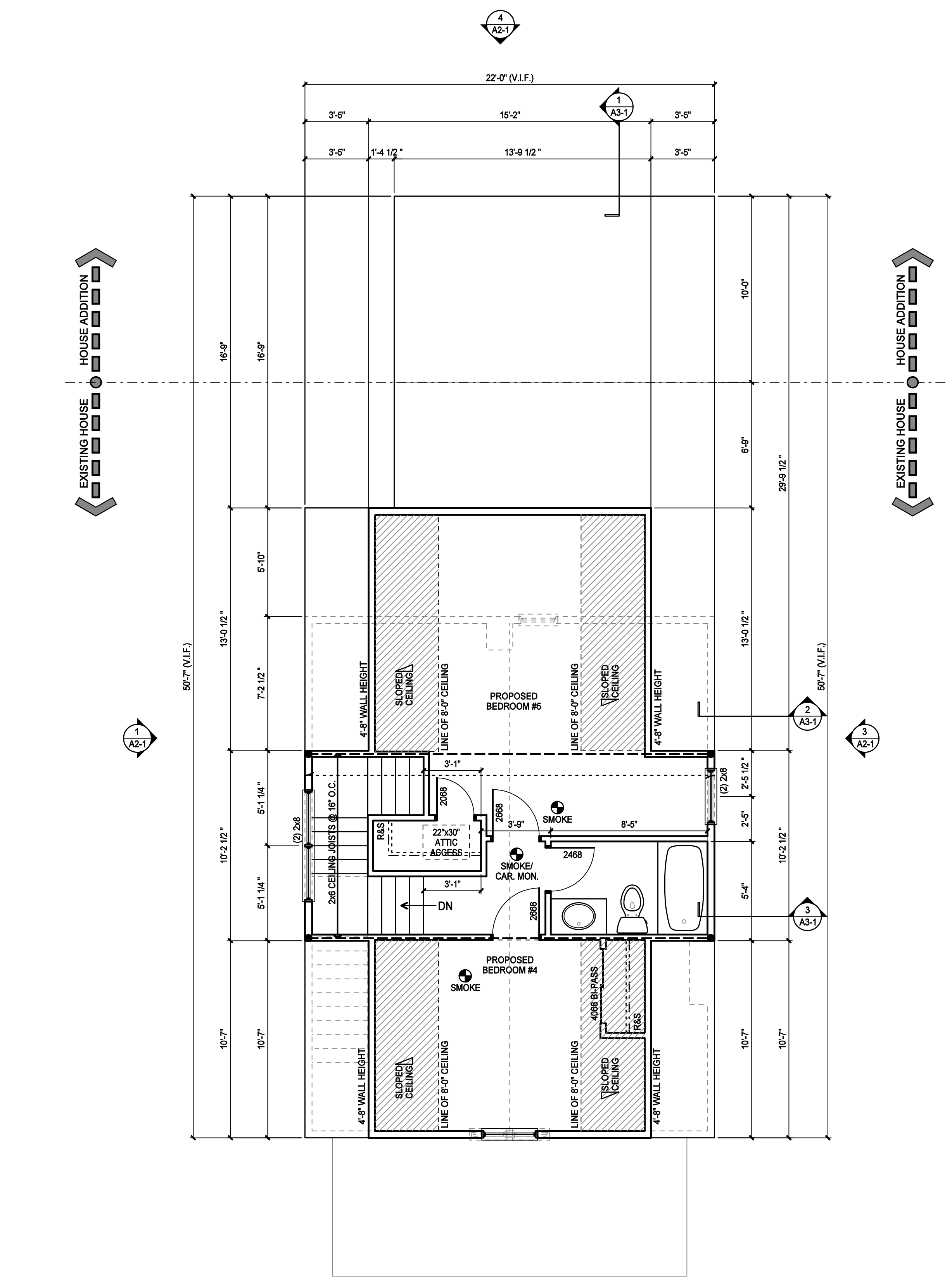
PROVIDE BLOCKING AT 24" O.C. AT JOIST PARALLEL TO FOUNDATION, TYP.

LVL DATA SHEETS MUST BE PROVIDED AT FRAMING INSPECTION.

SISTER ANY CRACKED OR DAMAGED FLOOR JOISTS, TYP.

IF ANY STRUCTURAL ELEMENTS ARE FOUND TO BE DAMAGED THAT ARE NOT COVERED BY THE EXTENTS OF THESE DOCUMENTS, CONTACT THE ARCHITECT IMMEDIATELY.

BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION



ALL GLAZING IN THE FOLLOWING LOCATIONS SHALL BE TEMPERED:

- GLAZING IN SWINGING, SLIDING OR FIXED DOORS, INCLUDING FIXED PANELS AND SIDE LIGHTS.
- GLAZING FOR DOORS AND SURROUNDS OF WHIRLPOOLS, TUBS AND SHOWERS.
- GLAZING WITHIN 24" OF ANY DOOR IN THE CLOSED POSITION.
- GLAZING WITHIN 18" OF THE FINISH FLOOR.
- GLAZING IN RAILINGS.
- GLAZING IN WALLS AND FENCES ENCLOSEING A SWIMMING POOL WITH THE BOTTOM EDGE WITHIN 8" OF THE FLOOR.
- GLAZING ADJACENT TO TUBS & SHOWERS.

LVL DATA SHEETS MUST BE PROVIDED AT FRAMING INSPECTION.

SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED TOGETHER WITH BATTERY BACKUP AND CONNECTED TOGETHER.

O.S.B. ROOF, WALL AND FLOOR SHEATHING: LEAVE 1/8" MINIMUM GAP ON EDGES AND AROUND OPENINGS TO ALLOW FOR EXPANSION AND CONTRACTION OF SHEATHING

FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF

**WALL LEGEND**

	NEW WALL
	EXISTING WALL TO REMAIN
	EXISTING WALL TO BE REMOVED

- FLOOR PLAN NOTES**
- ALL DOORS SHALL BE 6" FROM ADJACENT WALL UNLESS NOTED OTHERWISE. CLOSET DOORS TO BE CENTERED IN CLOSET U.N.O.
  - ALL EXTERIOR AND INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. U.N.O. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF SHEATHING.
  - A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22" x 30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OVER 30".
  - REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION.
  - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS. CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT SITE BEFORE BEGINNING CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED IMMEDIATELY TO KEISER DESIGN GROUP IN WRITING FOR JUSTIFICATION AND/OR CORRECTION BEFORE PROCEEDING WITH WORK. CONTRACTORS SHALL ASSUME RESPONSIBILITY FOR ERRORS THAT ARE NOT REPORTED.
  - ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
  - ALL WOOD, CONCRETE, AND STEEL MEMBERS SHALL MEET OR EXCEED ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE.
  - ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE OR MASONRY, OR IN DIRECT CONTACT WITH GROUND.
  - WALL STUDS SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF 2 STUDS AT EACH SIDE OF ALL OPENINGS.
  - ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS SHALL BE A MINIMUM OF 5.7 SQ. FT. WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
  - ALL ANGLE WALLS ARE 45 DEGREES U.N.O.

**STRUCTURAL LEGEND**

	TRUSS / JOIST / RAFTER INDICATOR
	HEADER / BEAM / DBL JOIST (SEE PLAN FOR SIZE)
	GIRDER TRUSS / SITE BUILT TRUSS (SEE PLAN)
	CONCRETE FOOTER, 12" DEEP (SEE PLAN FOR SIZE)
	STEEL COLUMN
	STEEL BEAM
	POINT LOAD LOCATION
	LOAD BEARING WALL
	DIRECTION OF ROOF PITCH
	WALL BRACING METHOD CS-PF
	WALL BRACING METHOD CS-WSP

SEE SHEET A4-1 FOR STRUCTURAL NOTES

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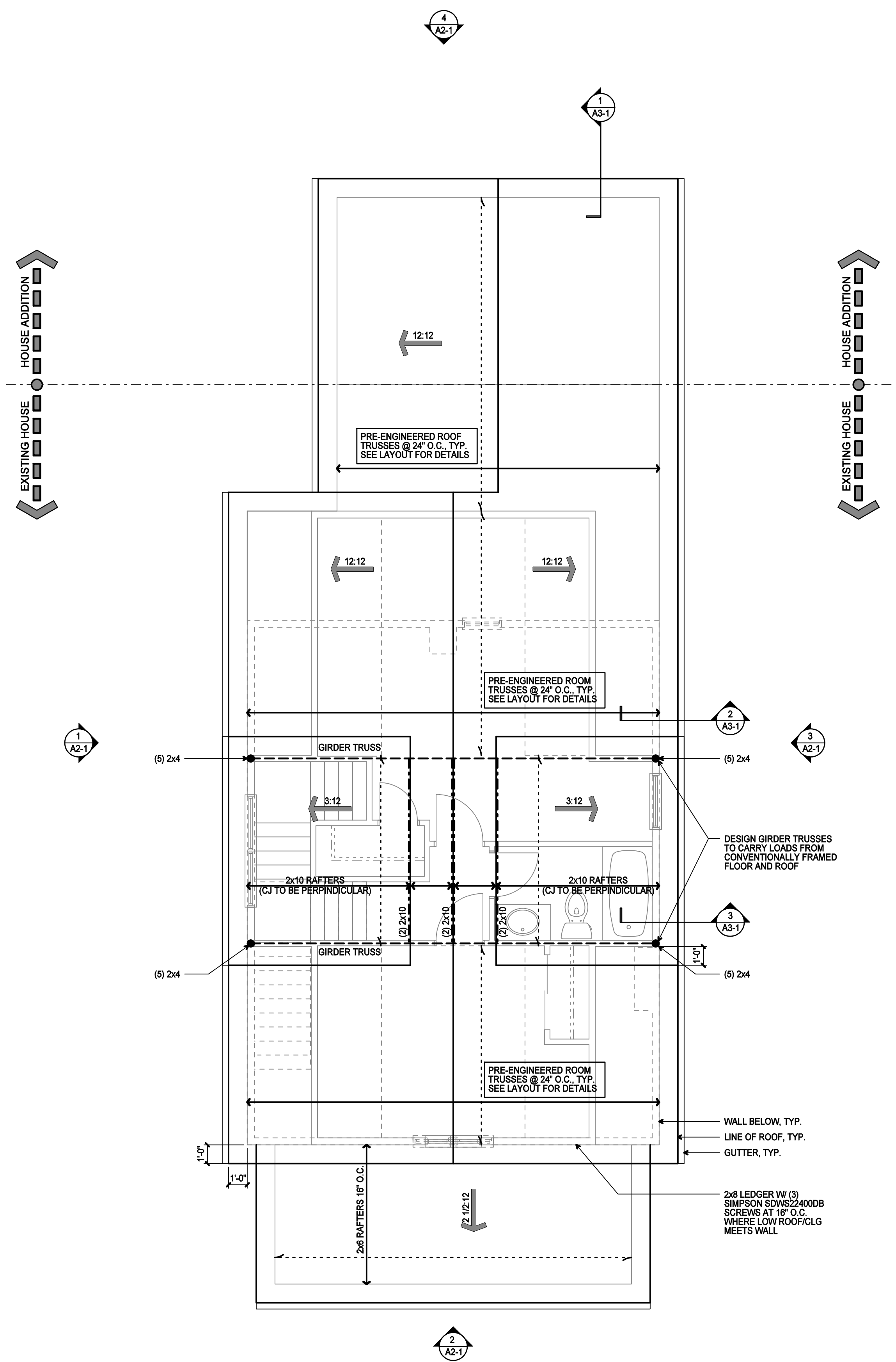
DANIEL L. KEISER  
11548  
REGISTERED ARCHITECT



800 Cross Pointe Road, Suite M 1 Gahanna, OH 43230  
Phone: 614.699.9999  
www.keiserdesigngroup.com

KDG PROJECT # 2019-209	SHEET NUMBER
SECOND AND THIRD FLOOR PLAN - PROPOSED SCALE: 1/4" = 1'-0"	<b>A1-1</b>
CONSTRUCTION DOCUMENTS	11.27.2019





ROOF VENT NFVA CALCULATION:  
 CONTINUOUS RIDGE VENT ASSUMED TO BE 18" NET FREE VENT AREA PER LINEAR FOOT OF RIDGE VENT.  
 ROOF LOUVERS (HAT VENTS) ASSUMED TO BE 50" NET FREE VENT AREA PER INDIVIDUAL ROOF LOUVER.  
 CATHEDRAL VENT (SHED VENT) ASSUMED TO BE 9" NET FREE VENT AREA PER LINEAR FOOT OF VENT.  
 UNDEREAVE VENT ASSUMED TO BE 9" NET FREE VENT PER LINEAR FOOT OF VENT (CONTINUOUS), 28" NET FREE AREA PER VENT (16"x4")

THE THICKNESS OF BLOWN OR SPRAYED ROOF / CEILING INSULATION (FIBERGLASS OR CELLULOSE) SHALL BE WRITTEN IN INCHES (MM) ON MARKERS THAT ARE INSTALLED AT LEAST ONE FOR EVERY 300 SQUARE FEET (28 M<sup>2</sup>) THROUGHOUT THE ATTIC SPACE. THE MARKERS SHALL BE AFFIXED TO THE TRUSSES OR JOISTS AND MARKED WITH THE MIN. INITIAL INSTALLED THICKNESS WITH NUMBERS A MIN. OF 1 INCH (25MM) IN HEIGHT. EACH MARKER SHALL FACE THE ATTIC ACCESS OPENING. SPRAY POLYURETHANE FOAM THICKNESS AND INSTALLED R-VALUE SHALL BE LISTED ON CERTIFICATION PROVIDED BY THE INSULATION INSTALLER.

ATTIC VENTILATION (RCO SECTION 806): ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED FROM THE ENTRANCE OF RAIN OR SNOW. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED AT LEAST 50% AND NOT MORE THAN 80% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

1,033 S.F. / 300 = 3.44 / 2 = 1.72 SF OF FREE FLOW REQUIRED IN UPPER 1/3 OF ROOF AND 1.72 SF OF FREE FLOW REQUIRED AT EAVES. PROVIDE RIDGE VENTS OR ROOF AND SOFFIT VENTS.

BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION

CONTRACTOR TO PROVIDE TRUSS DATA AND TRUSS LAYOUT ON SITE AT FRAMING INSPECTION

ROOF SHEATHING SHALL BE SUPPORTED WITH BLOCKING OR EDGE CLIPPING WHEN RAFTERS OR TRUSSES ARE 24" O.C. OR GREATER

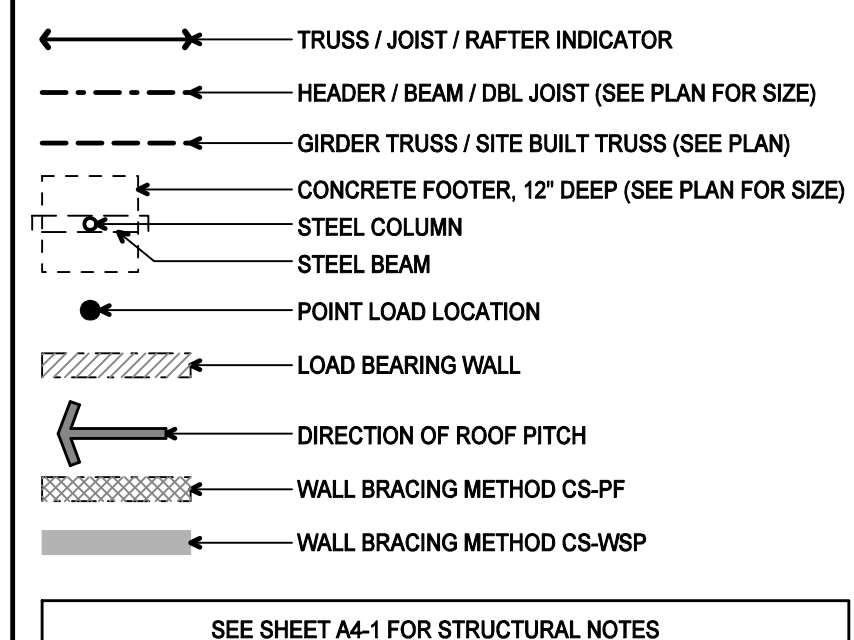
PROVIDE ICE AND WATER SHIELD AT:  
 1. ALL VALLEYS AND ROOF PENETRATIONS.  
 2. 3' TALL HORIZONTALLY EXTENDING FROM THE BOTTOM OF THE ROOF.  
 3. WHERE ROOF PLANES INTERSECT VERTICAL WALLS (18" MIN UP WALL AND ONTO ROOF.)

OVERLAY FRAMING @ 24" O.C.  
 0'-0" - 6'-0" SPAN = 2x4s  
 6'-0" - 9'-0" SPAN = 2x6s  
 9'-0" - 12'-0" SPAN = 2x8s  
 12'-0" - 15'-0" SPAN = 2 x 10s  
 15'-0" - 18'-0" SPAN = 2 x 12s

FLOOR PLAN NOTES

- ALL DOORS SHALL BE 6" FROM ADJACENT WALL UNLESS NOTED OTHERWISE. CLOSET DOORS TO BE CENTERED IN CLOSET U.N.O.
- ALL EXTERIOR AND INTERIOR STUD WALLS TO BE 2x4 STUDS @ 16" O.C. U.N.O. ALL DIMENSIONS TO INTERIOR WALLS ARE TO FACE OF STUD. DIMENSIONS TO EXTERIOR WALLS ARE TO FACE OF SHEATHING
- A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22" x 30" SHALL BE PROVIDED TO ANY ATTIC AREA HAVING A CLEAR HEIGHT OVER 30"
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- ALL DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. CONTRACTOR SHALL ENSURE COMPATIBILITY OF THE BUILDING WITH ALL SITE REQUIREMENTS.
- ALL WOOD, CONCRETE, AND STEEL MEMBERS SHALL MEET OR EXCEED ALL NATIONAL, STATE, AND LOCAL BUILDING CODES WHERE APPLICABLE
- ALL WOOD IN LOCATIONS SUBJECT TO TERMITE DECAY SHALL BE PRESSURE TREATED (CCA) OR BE OF AN APPROVED DECAY RESISTANT SPECIES. THIS INCLUDES, BUT IS NOT LIMITED TO, ALL EXTERIOR DECKS, SILLS AND SLEEPERS ON CONCRETE OR MASONRY, OR IN DIRECT CONTACT WITH GROUND.
- WALL STUDS SHALL BE ONE PIECE FULL HEIGHT. PROVIDE A MINIMUM OF 2 STUDS AT EACH SIDE OF ALL OPENINGS.
- ALL BEDROOM WINDOWS SHALL MEET CODE REQUIREMENTS FOR EGRESS. EGRESS CLEAR OPENINGS SHALL BE A MINIMUM OF 5.7 SQ. FT. WITH A MINIMUM CLEAR OPENING HEIGHT OF 24" AND A MINIMUM CLEAR OPENING WIDTH OF 20". SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FINISH FLOOR.
- ALL ANGLE WALLS ARE 45 DEGREES U.N.O.

STRUCTURAL LEGEND



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**COEY RESIDENCE REMODEL AND ADDITION**  
 2385 CHARLES STREET  
 COLUMBUS, OHIO

**DANIEL L. KEISER**  
 11548  
 REGISTERED ARCHITECT

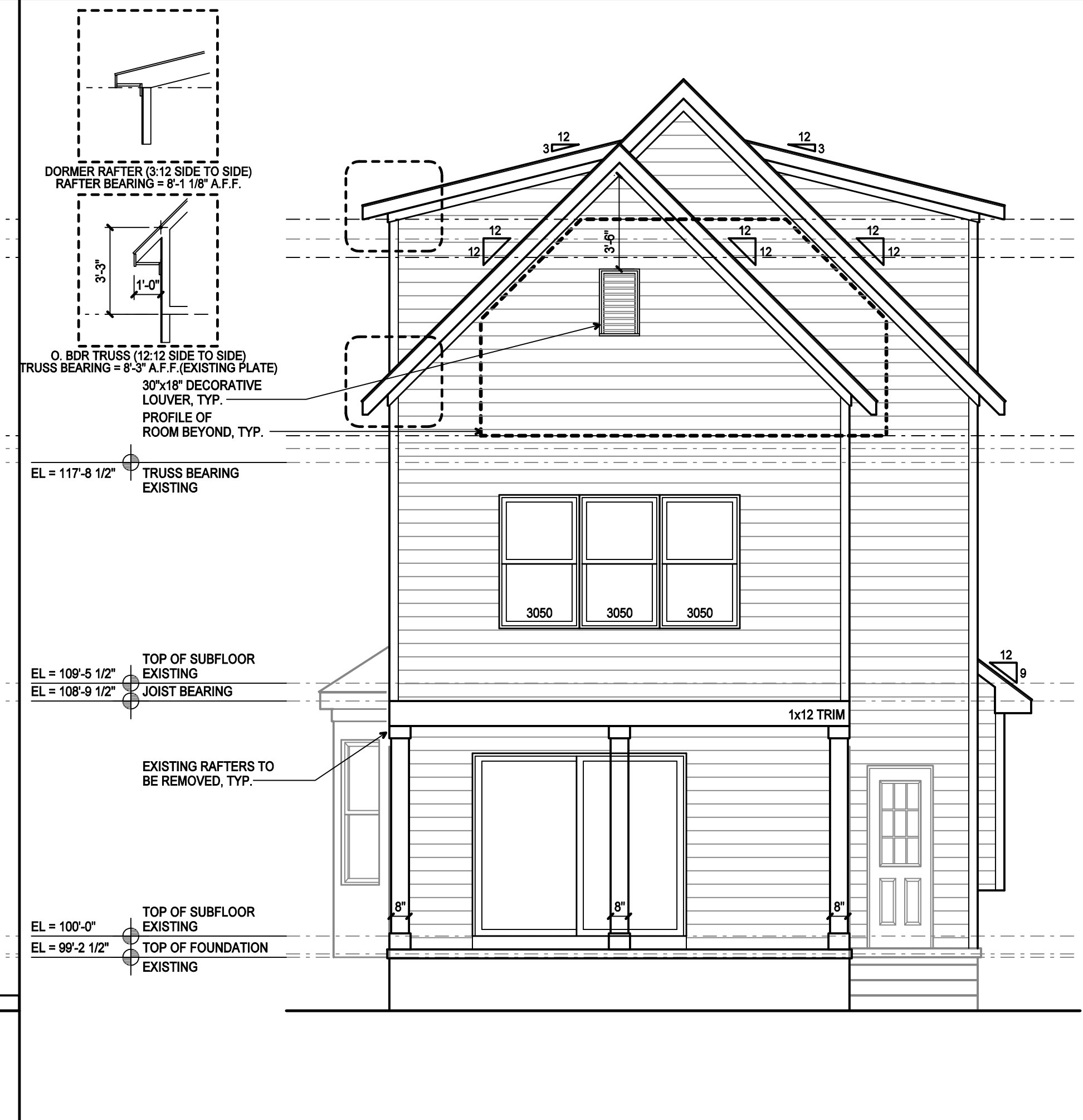


800 Cross Pointe Road, Suite M | Gahanna, OH 43230  
 Phone: 614.864.9999  
 www.keiserdesigngroup.com

KDG PROJECT # 2019-209	SHEET NUMBER
ROOF PLAN - PROPOSED	<b>A1-2</b>
SCALE: 1/4" = 1'-0"	
CONSTRUCTION DOCUMENTS	11.27.2019



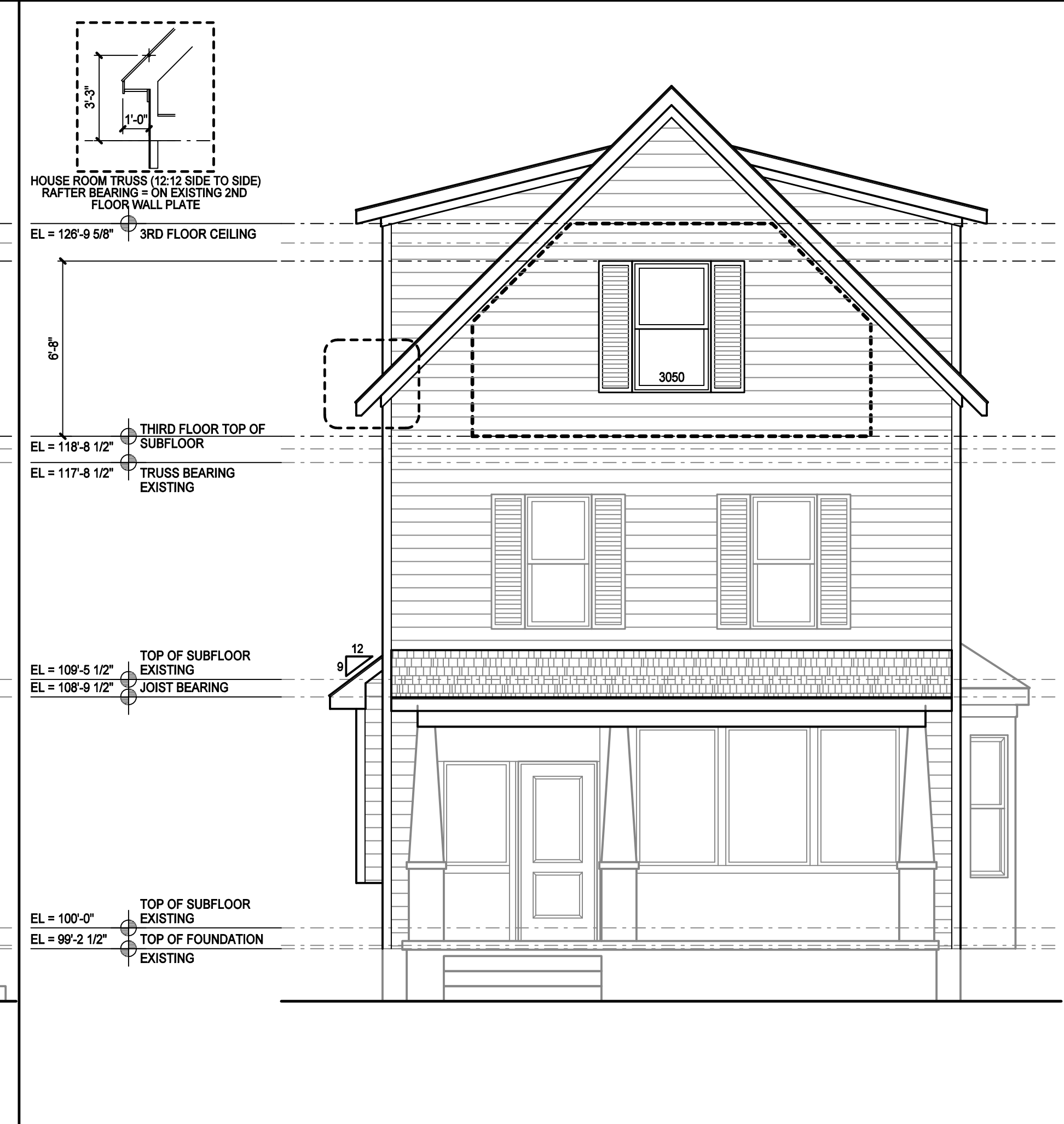
3 RIGHT ELEVATION - PROPOSED



4 REAR ELEVATION - PROPOSED



1 LEFT ELEVATION - PROPOSED



2 FRONT ELEVATION - PROPOSED

DEMOLITION GENERAL NOTES

1. PRIOR TO COMMENCING DEMOLITION, CONTRACTOR SHALL PERFORM WALK-THROUGH OF AREA WITH OWNER SO THAT OWNER MAY IDENTIFY ITEMS TO BE SALVAGED AND TURNED OVER TO THE OWNER.
2. REMOVE EXISTING FLOORING AND BASE AS REQUIRED, PREP FLOOR FOR NEW FINISHES AND LEVELING IF NECESSARY.
3. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE ALL DEMOLITION NEEDS WITH MECHANICAL AND ELECTRICAL DOCUMENTS FOR REMOVAL OF ALL EXISTING LINES FOUND IN CASEWORK, MILLWORK, PLUMBING ITEMS, EQUIPMENT, ETC. BEING DELETED.
4. CONTRACTOR SHALL LIMIT REMOVAL AND DEMOLITION WORK TO THAT SPECIFICALLY IDENTIFIED IN DRAWINGS FOR INSTALLATION OF WORK. CONTRACTOR SHALL PROTECT EXISTING FINISHES FROM DAMAGE. ANY DAMAGE TO THE EXISTING FACILITY SHALL BE REPAIRED AND RESTORED TO MATCH ORIGINAL CONDITION.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ROUTING ANY EXISTING SERVICES THAT MAY BE EFFECTED BY CONSTRUCTION IN SUCH A MANNER THAT FULL CONTINUATION OF SERVICE SHALL BE MAINTAINED.
6. PATCH ALL EXISTING WALLS AS NECESSARY.

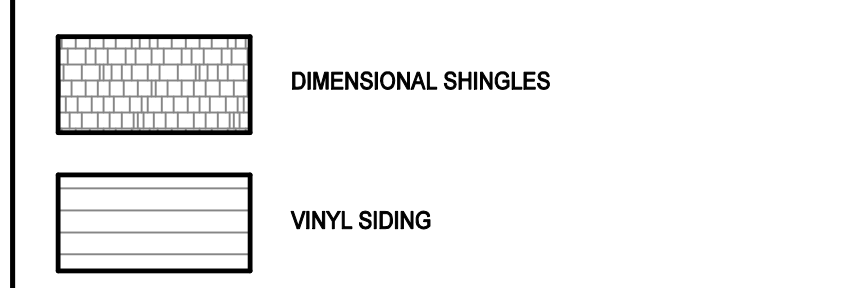
DEMOLITION ELECTRICAL NOTES

1. DISCONNECT AND REMOVE ALL ELECTRICAL DEVICES LOCATED IN WALLS SCHEDULED FOR DEMOLITION, REMOVE WIRE AND CONDUIT TO LAST ACTIVE DEVICE.
2. ELECTRICAL DEVICES INDICATED IN WALLS TO REMAIN SHALL REMAIN ACTIVE, CONTRACTOR SHALL TRACE CIRCUITS AND ADJUST WIRING TO KEEP ACTIVE.
3. DISCONNECT AND REMOVE ALL EXISTING LIGHTING IN AREAS SCHEDULED FOR DEMOLITION, FLUORESCENT FIXTURES SHALL BE PROPERLY DISPOSED INCLUDING FLUORESCENT LAMPS AND BALLASTS.
4. ALL TELECOMMUNICATION WIRING TO DEVICES SCHEDULED FOR DEMOLITION SHALL BE REMOVED BACK TO SOURCE.
5. THE DEMOLITION CONTRACTOR SHALL PROPERLY DISPOSE OF ALL MATERIAL.

DEMOLITION PLUMBING NOTES

1. DISCONNECT AND REMOVE ALL PLUMBING FIXTURES LOCATED IN WALLS SCHEDULED FOR DEMOLITION, CAP WATER LINES AT SOURCE.
2. SANITARY CONNECTIONS SHALL BE REMOVED BACK AT ACTIVE SOURCE OR CLEAN OUT.
3. PLUMBING FIXTURES SHALL BE DISPOSED OF PROPERLY.

ELEVATION LEGEND



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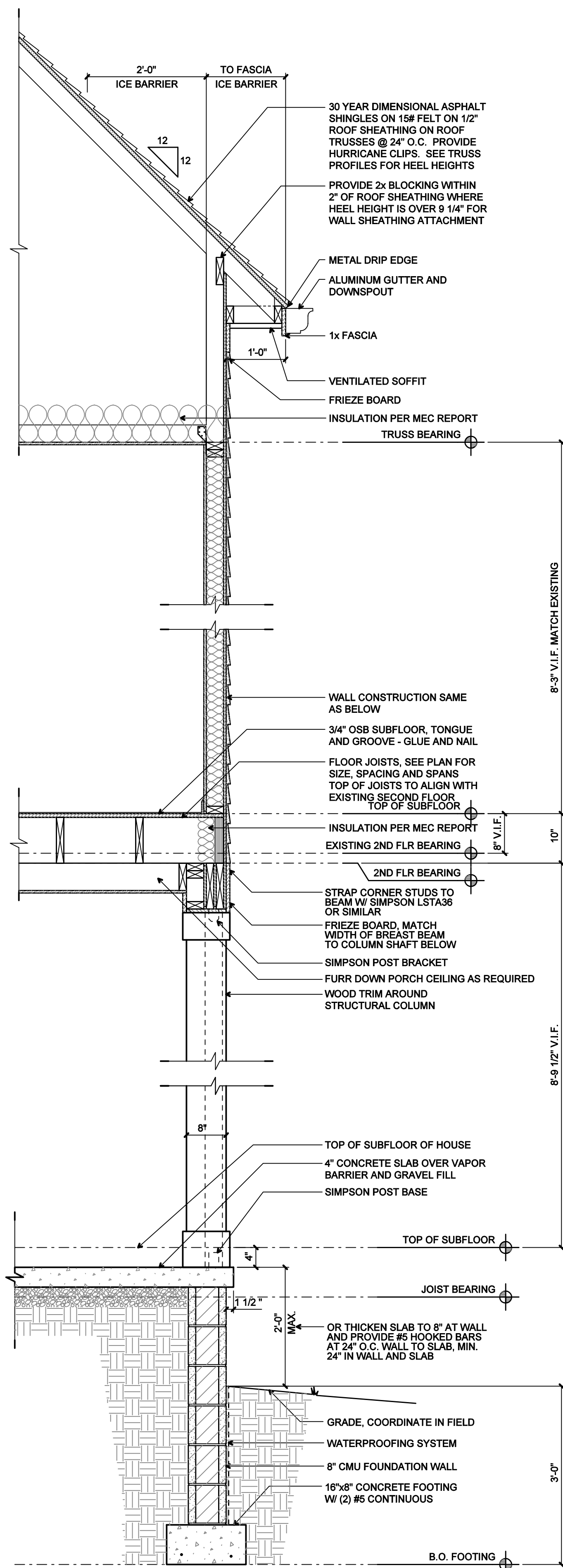
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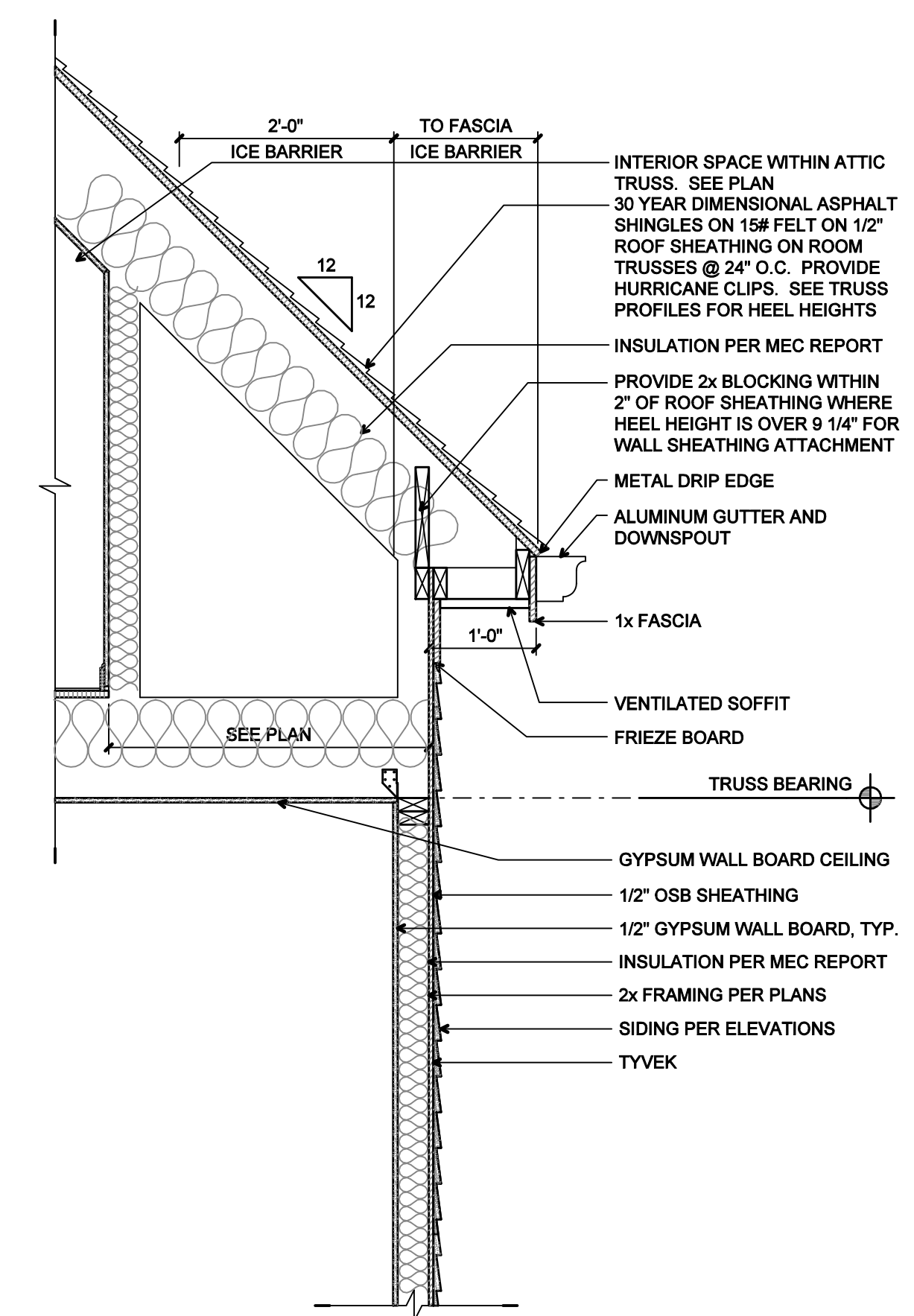
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KDG PROJECT # 2019-209	SHEET NUMBER
EXTERIOR ELEVATIONS - PROPOSED	A2-1
CONSTRUCTION DOCUMENTS	11.27.2019



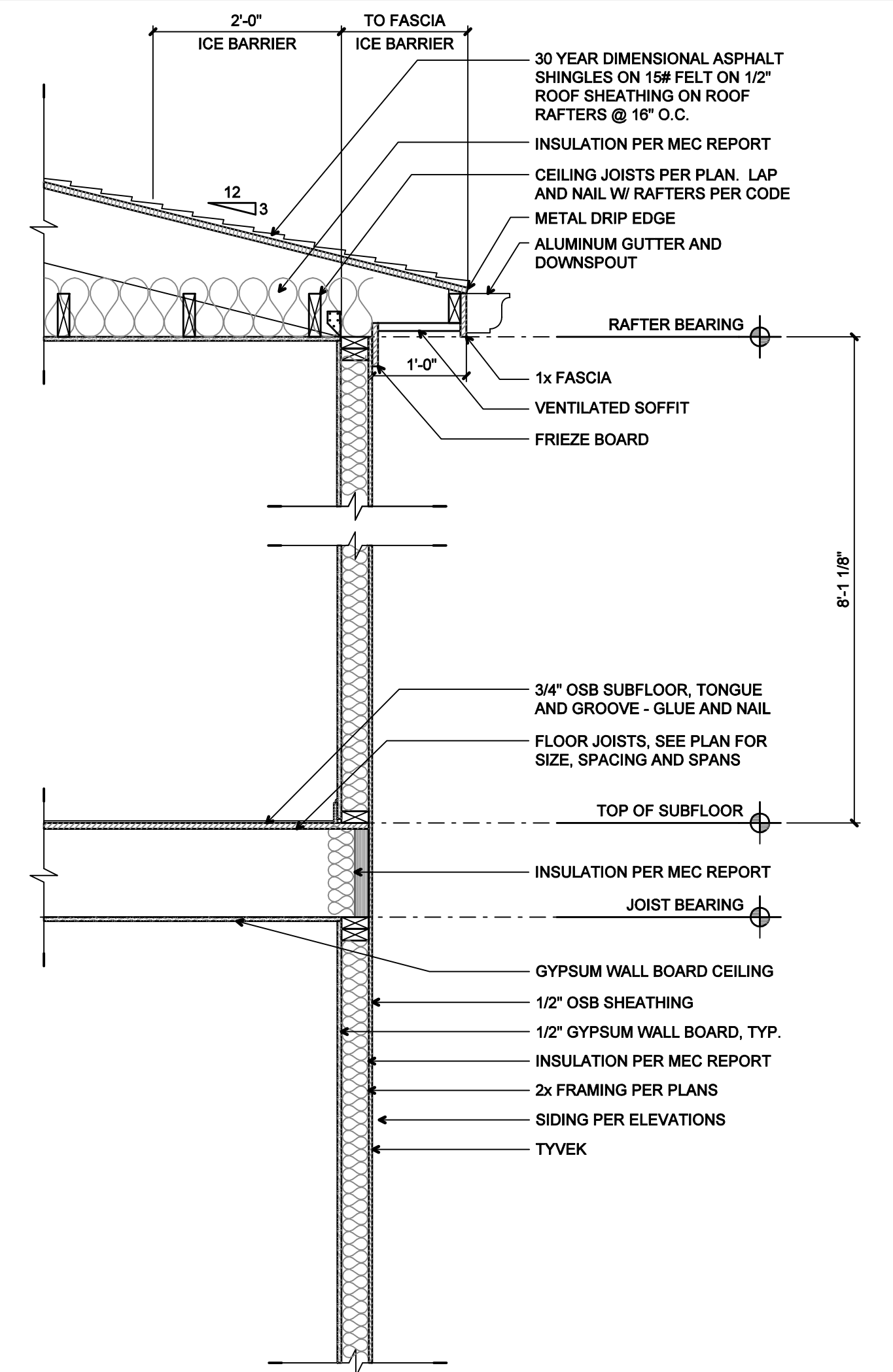
IF WALL SECTION IS WITHIN 5'-0" OF THE LOT LINE, WALL SECTION TO BE FIRE RATED PER UL305, SEE A4-3 FOR DETAILS

3 PORCH/OWNERS BEDROOM WALL SECTION

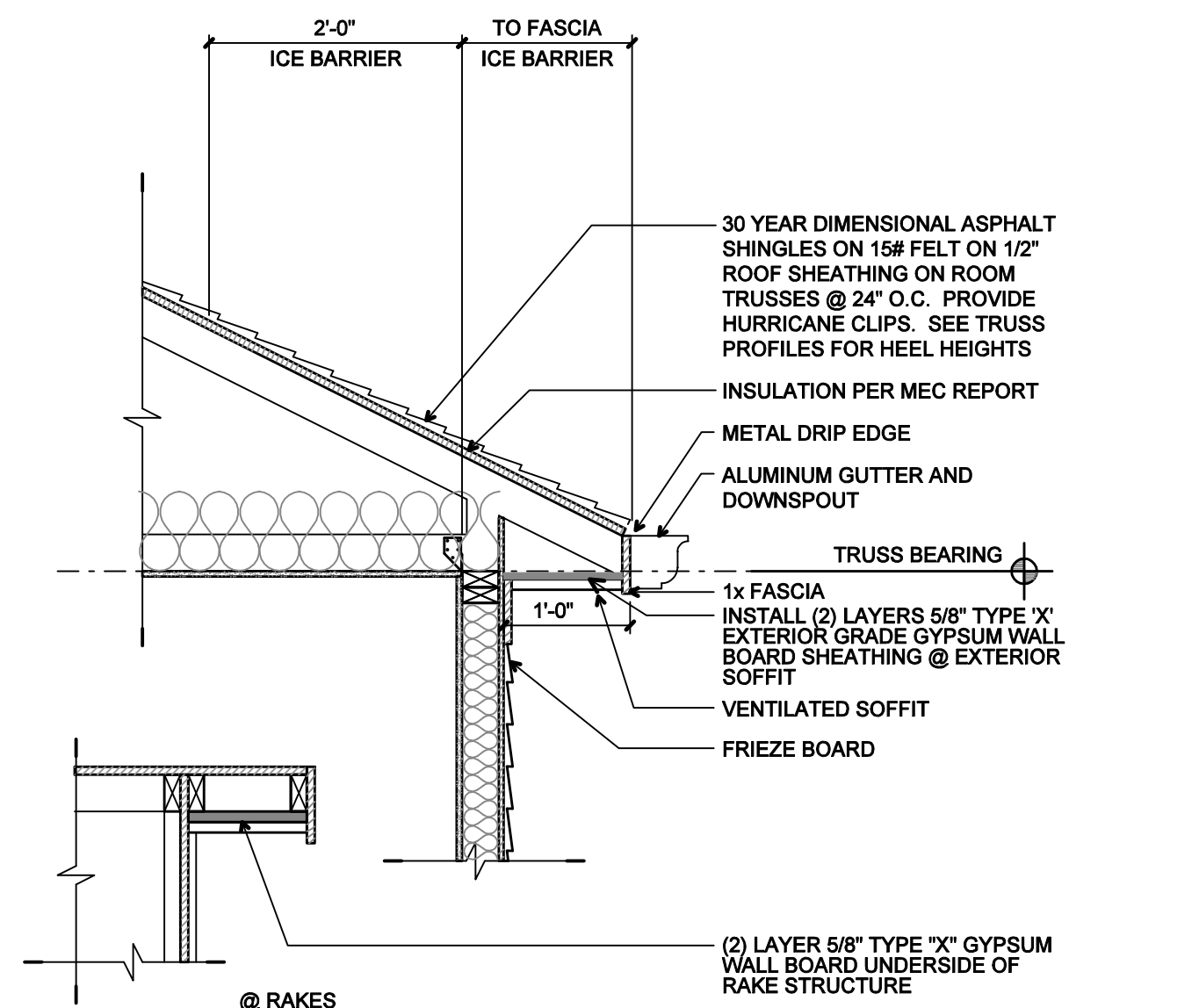


2 TYPICAL WALL SECTION AT ROOM TRUSSES

4 NOT USED



1 DORMER WALL SECTION



3 FIRE RATED SOFFIT AS REQUIRED PER UL305

WALL SECTION NOTES

- ALL MATERIALS ARE TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS, INDUSTRY STANDARD AND APPLICABLE CODES.
- SEE TRUSS / RAFTER PROFILES FOR TRUSS AND RAFTER BEARING HEIGHTS.
- ANY CONFLICTS WITH MATERIALS AND INSTALLATION SHOULD BE REPORTED TO KEISER DESIGN GROUP, INC. IMMEDIATELY IN WRITING FOR CORRECTION OR CLARIFICATION.
- GRADE TO SLOPE 8' MIN. FOR THE FIRST 10' AWAY FROM THE BUILDING.
- APPROVED CORROSION-RESISTIVE FLASHING SHALL BE PROVIDED IN THE EXTERIOR WALL ENVELOPE IN SUCH A MANNER AS TO PREVENT ENTRY OF WATER INTO THE WALL CAVITY OR PREVENTION OF WATER TO THE BUILDING STRUCTURAL FRAMING COMPONENTS. THE FLASHING SHALL EXTEND TO THE SURFACE OF THE EXTERIOR WALL FINISH AND SHALL BE INSTALLED TO PREVENT WATER FROM RE-ENTERING THE EXTERIOR WALL ENVELOPE. APPROVED CORROSION-RESISTIVE FLASHINGS SHALL BE INSTALLED AT ALL OF THE FOLLOWING LOCATIONS:
  - AT TOP OF ALL EXTERIOR DOOR AND WINDOW OPENINGS IN SUCH A MANNER AS TO BE LEAK-PROOF.
  - AT THE INTERSECTION OF CHIMNEYS OR OTHER MASONRY CONSTRUCTION WITH FRAME OR STUCCO WALLS, W/ PROJECTING LIPS, UNDER AND AT THE ENDS OF MASONRY, WOOD OR METAL COPINGS AND SILLS.
  - WHERE EXTERIOR PORCHES, DECKS OR STAIRS ATTACH TO A WALL OF FLOOR ASSEMBLY OF WOOD FRAME CONSTRUCTION.
  - AT ALL WALL AND ROOF INTERSECTIONS.
- WEEP SCREEDS - A MINIMUM 0.019-INCH (0.48 MM) (NO. 26 GALVANIZED SHEET GAGE), CORROSION-RESISTANT WEEP SCREED OR PLASTIC WEEP SCREED, WITH A MINIMUM VERTICAL ATTACHMENT FLANGE OF 3 1/2 INCHES (89 MM) SHALL BE PROVIDED AT OR BELOW THE FOUNDATION PLATE LINE ON EXTERIOR STUD WALLS IN ACCORDANCE WITH ASTM C926. THE WEEP SCREED SHALL BE PLACED A MINIMUM OF 4 INCHES (102 MM) ABOVE THE EARTH OR 2 INCHES (51 MM) ABOVE PAVED AREAS AND SHALL BE OF A TYPE THAT WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. THE WEATHER-RESISTANT BARRIER SHALL LAP THE ATTACHMENT FLANGE. THE EXTERIOR LATH SHALL COVER AND TERMINATE ON THE ATTACHMENT FLANGE OF THE WEEP SCREED.

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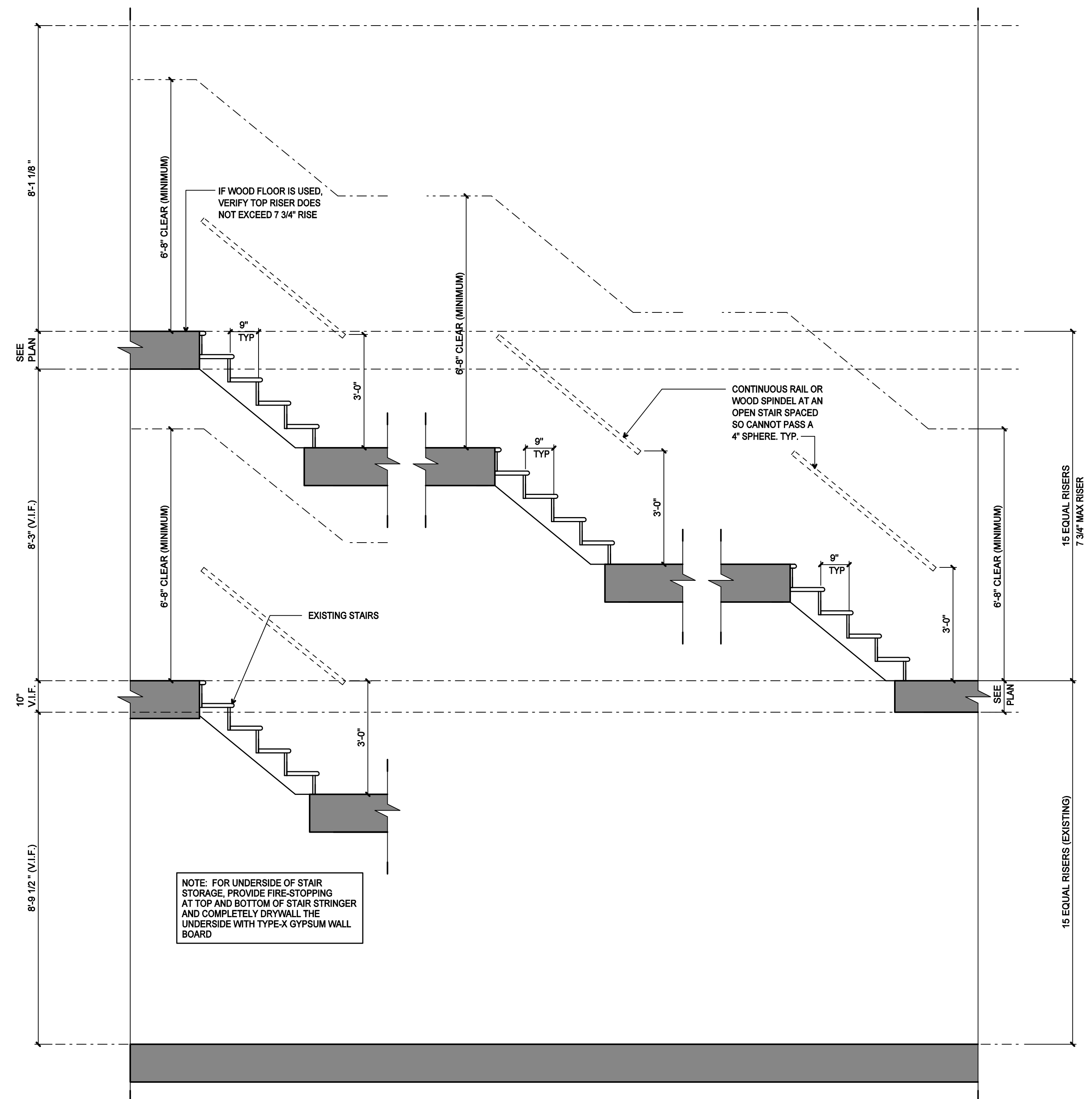
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800 Cross Pointe Road, Suite M 1 Gahanna, OH 43230  
 Phone: 614.864.8999  
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KDG PROJECT # 2019-209	SHEET NUMBER
WALL SECTIONS SCALE: 3/4" = 1'-0"	<b>A3-1</b>
CONSTRUCTION DOCUMENTS	11.27.2019



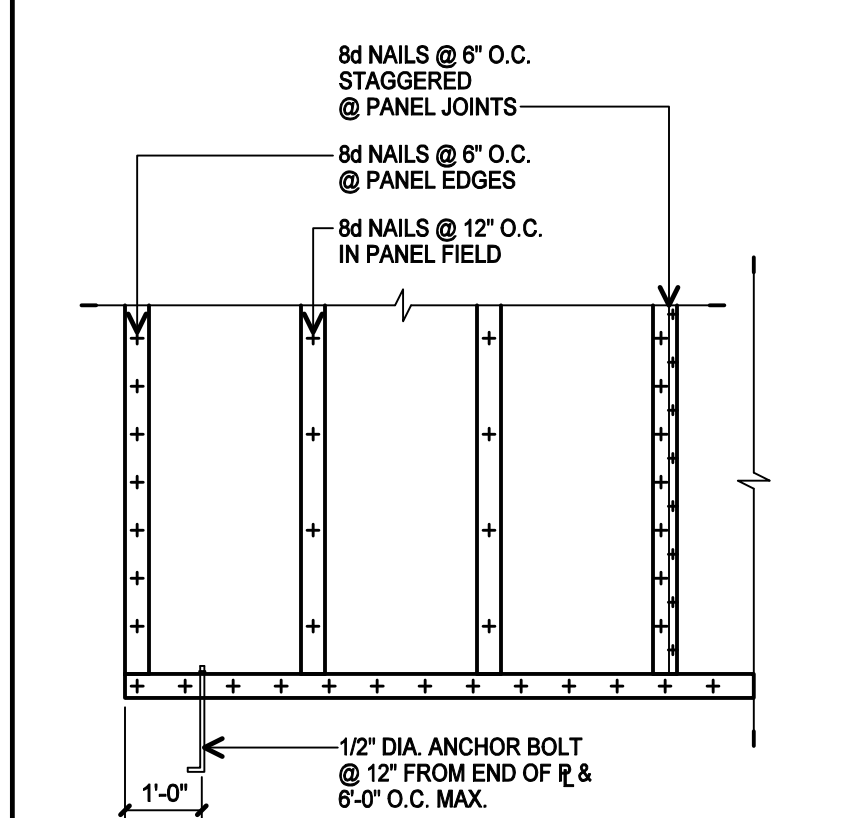


NOTE: FOR UNDERSIDE OF STAIR STORAGE, PROVIDE FIRE-STOPPING AT TOP AND BOTTOM OF STAIR STRINGER AND COMPLETELY DRYWALL THE UNDERSIDE WITH TYPE-X GYPSUM WALL BOARD

**STAIR SECTION NOTES**

- HANDRAILS SHALL HAVE A HEIGHT OF 34" - 38", AND SHALL RUN CONTINUOUS THE FULL LENGTH OF THE STAIRS, AND SHALL EXTEND 6" BEYOND THE TOP AND BOTTOM RISER. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN A NEVEL POST. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. ANY OPEN SIDES SHALL HAVE BALUSTERS WITH LESS THAN 4" CLEAR BETWEEN.
- MAXIMUM RISER HEIGHT TO BE 8 1/4".
- MINIMUM TREAD DEPTH TO BE 9".
- NOISING TO BE 1" PROTRUSION
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIR, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING AT THE TOP AND BOTTOM OF THE STAIR. EXTERIOR STAIRS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIR. THE CONTROL FOR ARTIFICIAL LIGHT SOURCE(S) FOR AN INTERIOR STAIRWAY SHALL BE ACCESSIBLE AT THE TOP AND BOTTOM OF EACH STAIR WITHOUT TRAVERSING ANY STEP OF THE STAIR. THE ILLUMINATION OF EXTERIOR STAIRS SHALL BE CONTROLLED FROM INSIDE THE DWELLING UNIT UNLESS CONTINUOUSLY ILLUMINATED OR AUTOMATICALLY ACTIVATED.

**BRACED WALL DETAIL**



TYPICAL BRACED WALL SHEATHING ATTACHMENT

**WALL BRACING DESIGN CRITERIA**

EXTERIOR BRACED WALL PANEL (ALL EXTERIOR WALLS)  
CONTINUOUS SHEATHING, MINIMUM 7/16" OSB OR PLYWOOD PER CODE:  
METHOD CS-WSP PER TABLE 602.10.4 ATTACHED PER TABLE 602.3(3) WITH 1/2" GYPSUM BOARD ON OPPOSITE SIDE OF WALL ATTACHED PER TABLE 702.3.5.

TABLE 602.10.1.3 - BRACED WALL LINE SPACING 60 FT MAX WITH 3:1 DIAPHRAGM WIDTH TO DEPTH RATIO

SECTION 602.10.4.2 - CONTINUOUS SHEATHING METHODS

TABLE 602.10.5 - MINIMUM LENGTH OF BRACED WALL PANELS

INTERIOR BRACED WALL PANEL (IF NOTED ON PLANS)  
GYPSUM WALL BOARD FASTENED BOTH SIDES PER CODE:  
METHOD GB PER TABLE 602.10.4 - 1/2" GYPSUM BOARD WITH 7" O.C. FIELD AND EDGE NAILING

TABLE 602.10.4 - MINIMUM 48" LENGTHS OF PANELS

#	DATE	ISSUED WITH / CHANGE DESCRIPTION

**COEY  
RESIDENCE  
REMODEL  
AND  
ADDITION**

2385 CHARLES STREET  
COLUMBUS, OHIO



800 Cross Pointe Road, Suite M 1 Gahanna, OH 43230  
Phone: 614.864.8999  
www.keiserdesigngroup.com

KDG PROJECT # 2019-209	SHEET NUMBER
STAIR SECTIONS / WALL BRACING METHOD CS-PF	<b>A3-2</b>
CONSTRUCTION DOCUMENTS	11.27.2019





