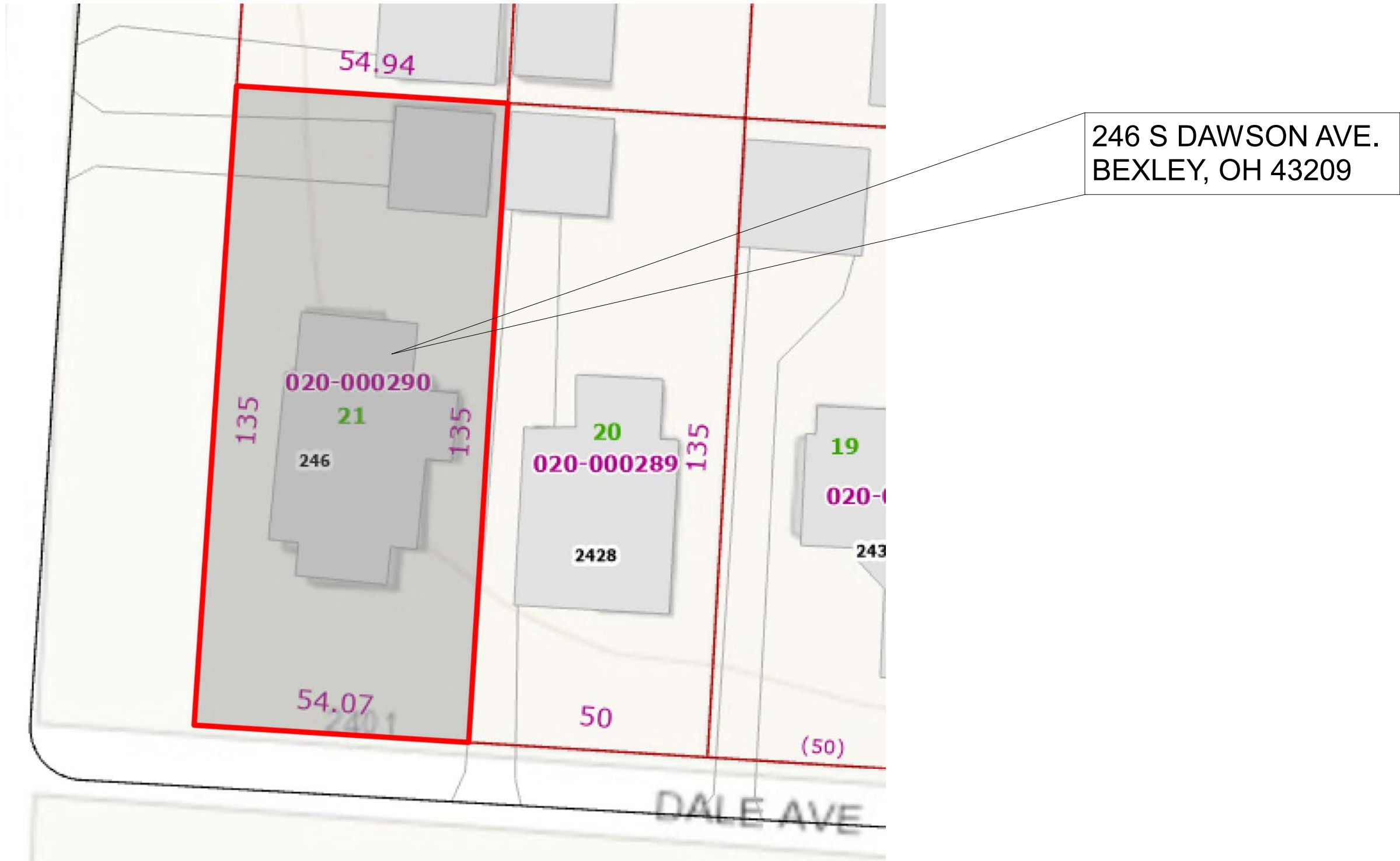


ARB/BZAP SUBMISSION 08.13.25

LOCATION PLAN



DRAWING INDEX

DRAWING INDEX	
Label	Title
G-00	COVER SHEET
EX-01	EXISTING PHOTOS
EX-02	EXISTING PHOTOS
EX-03	EXISTING SITE PLAN
EX-04	EXISTING PLANS
A1	PROPOSED SITE PLAN
A2	PLANS
A3	EXTERIOR ELEVATION
A4	EXTERIOR ELEVATION
A5	EXTERIOR ELEVATION
A6	3D VIEWS

SITE DATA

ADDRESS:	246 S DAWSON AVE BEXLEY, OH 43209
PARCEL NO.	020-000290
ZONING CLASSIFICATION	R-6

SCOPE OF WORK

CONSULTANTS:

MARY AND MICHAEL
HECKLER
246 S DAWSON AVE.
BEXLEY, OH 43209

COVER SHEET

ARB/ BZAP
SUBMISSION 08.13.25

SCALE: AS NOTED

SHEET:
G-00

DEVELOPMENT INFORMATION FOR 246 S DAWSON AVE

ZONING DESIGNATION = R-6
TOTAL LAND AREA = 7,300 SF

MAXIMUM BUILDING COVER (35%) =2,555 SF

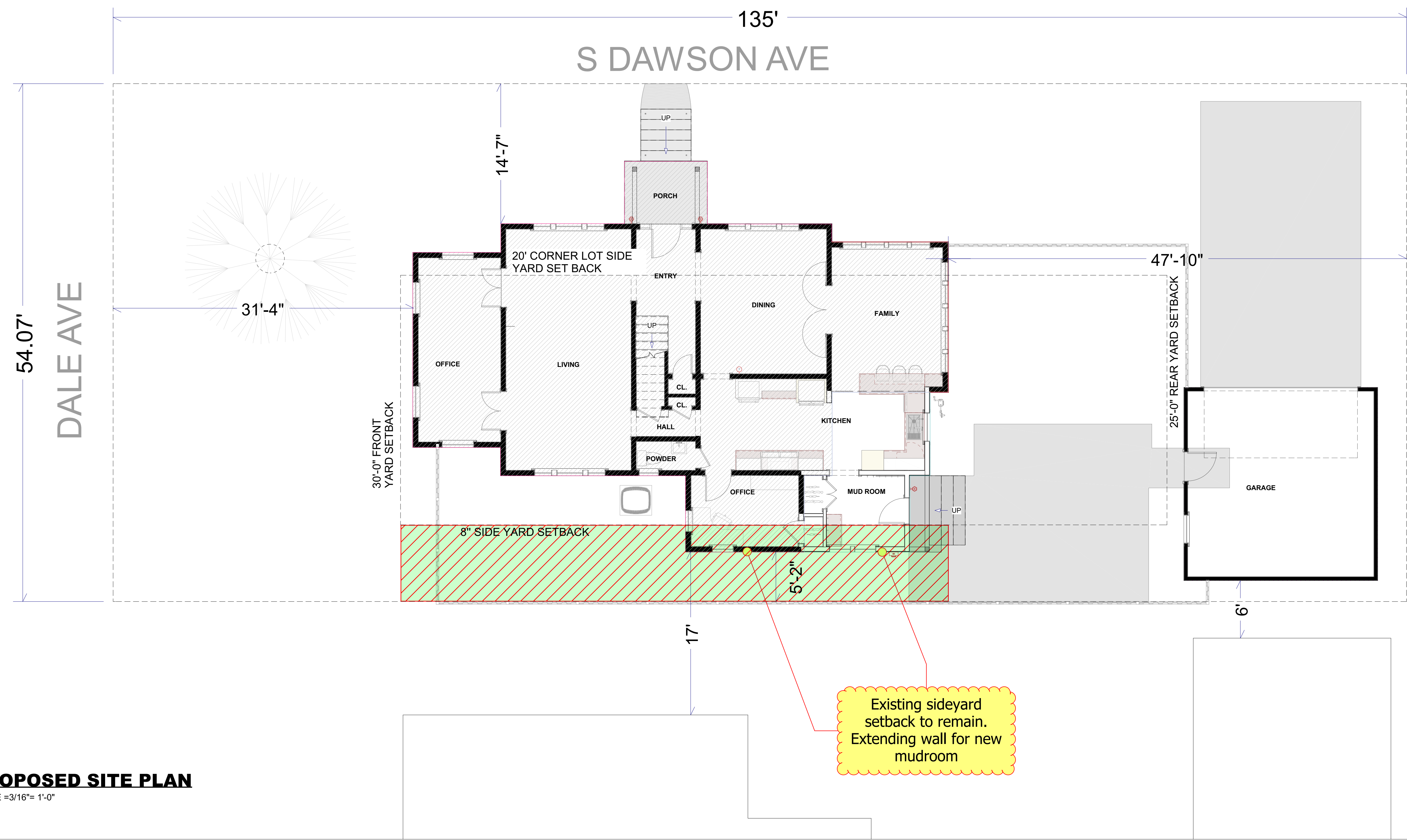
PROPOSED BUILDING COVER
EXISTING HOUSE =1,442 SF
ADDITION =177 SF
EXISTING GARAGE =408 SF

TOTAL BUILDING COVER (28%) =2,027 SF

PROPOSED DEVELOPMENT COVER

BUILDING COVER = 2,027 SF
EXISTING DRIVEWAY = 500 SF
EXISTING FRONT STEPS/ SIDEWALK = 33 SF
REAR PATIO/ STEPS = 465SF

TOTAL DEVELOPMENT COVER (41.4%) =3,025 SF



Existing sideyard setback to remain. Extending wall for new mudroom

PROPOSED SITE PLAN
SCALE =3/16"= 1'-0"

CONSULTANTS:

MARY AND MICHAEL
HECKLER
246 S DAWSON AVE.
BEXLEY, OH 43209

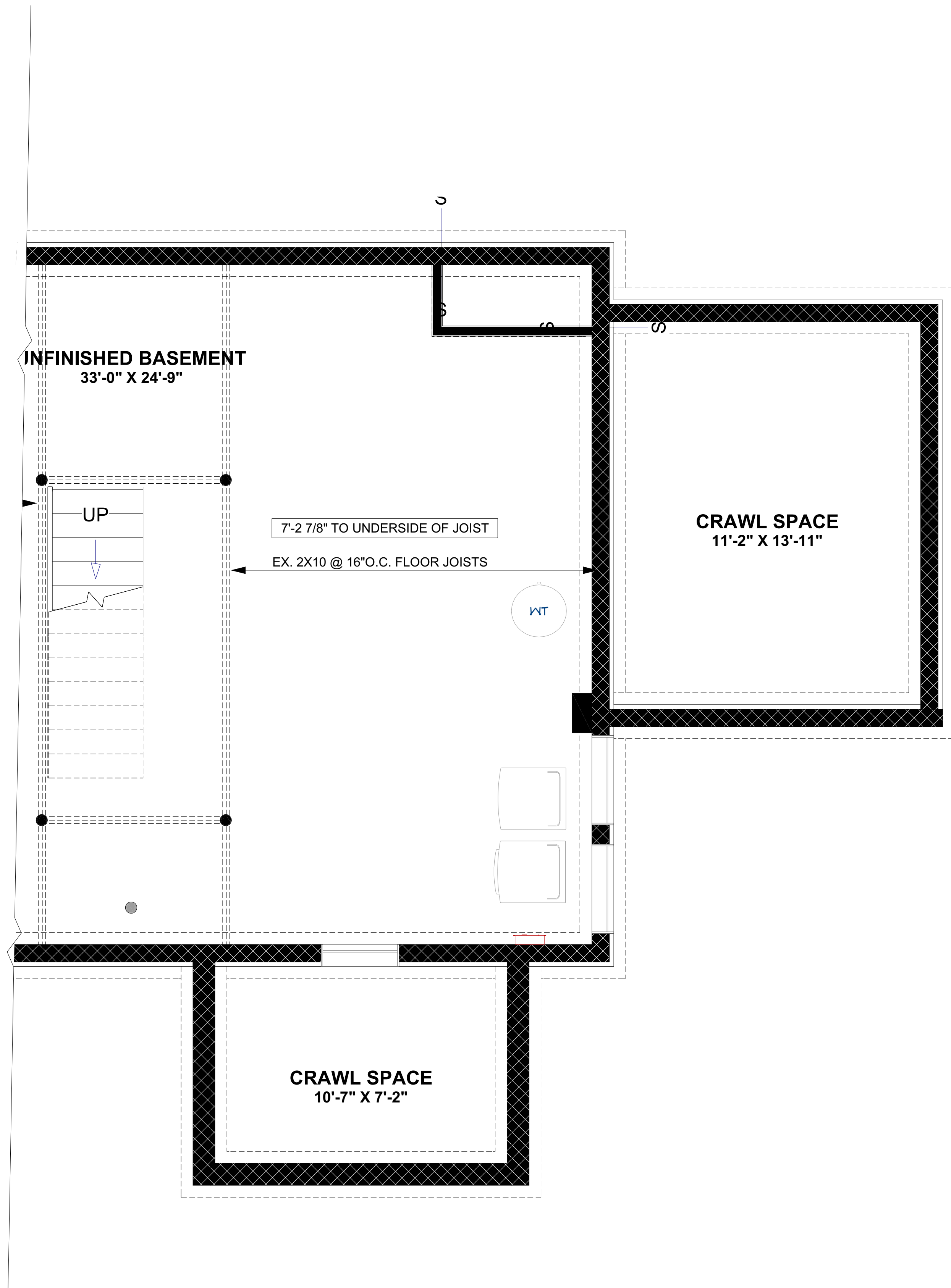
PROPOSED SITE PLAN

ARB/ BZAP
SUBMISSION 08.13.25

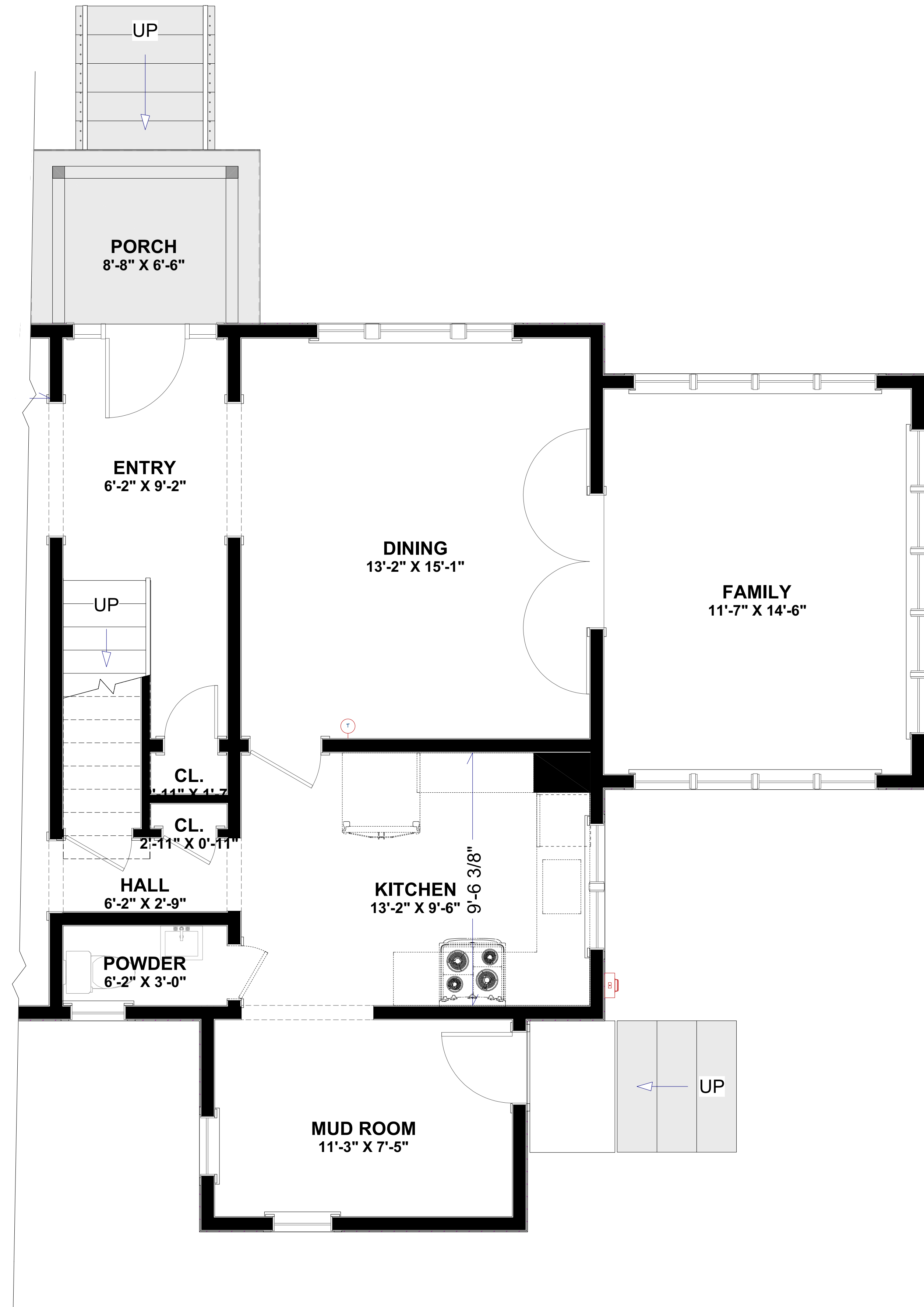
SCALE: AS NOTED

SHEET:

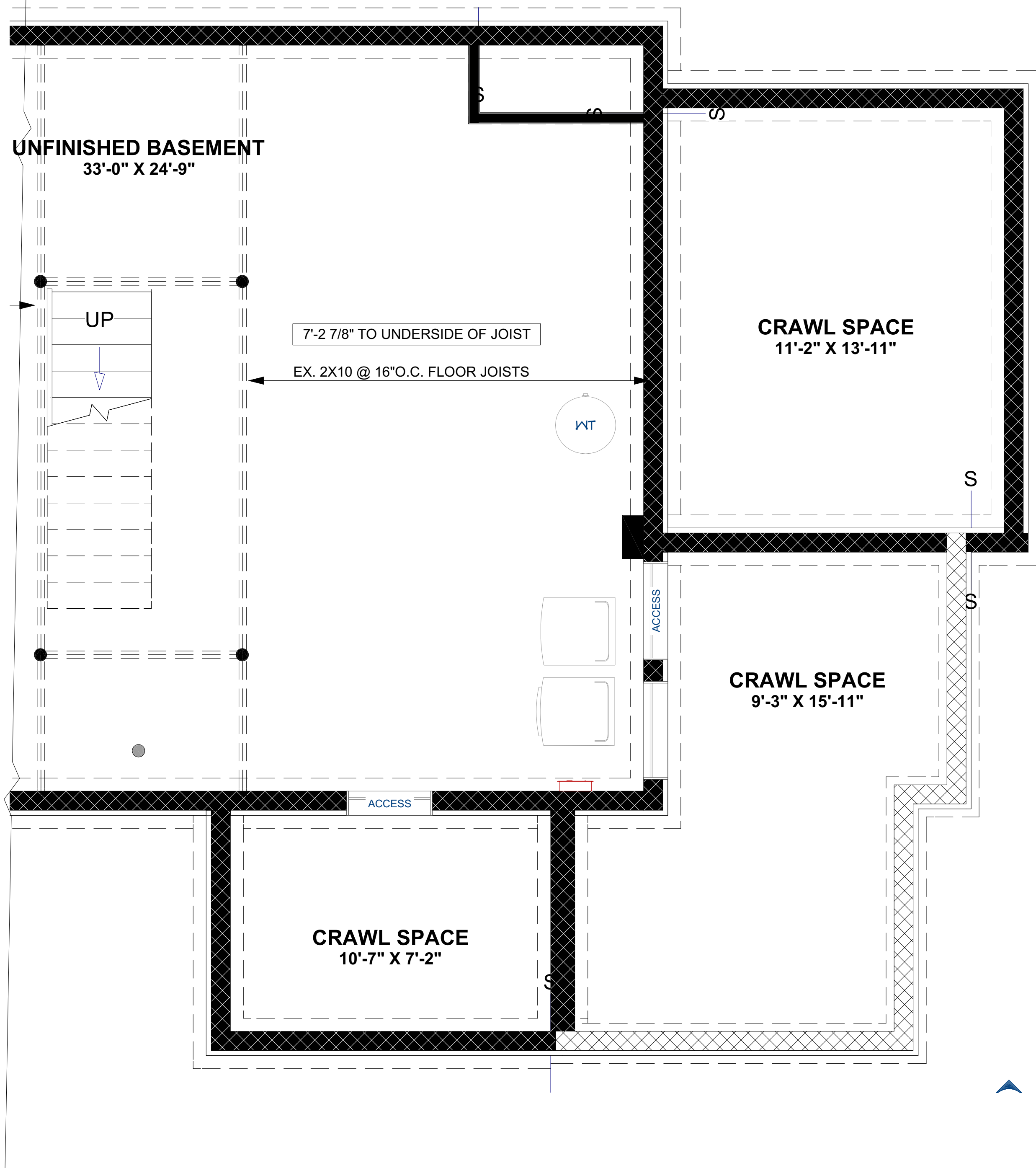
A1



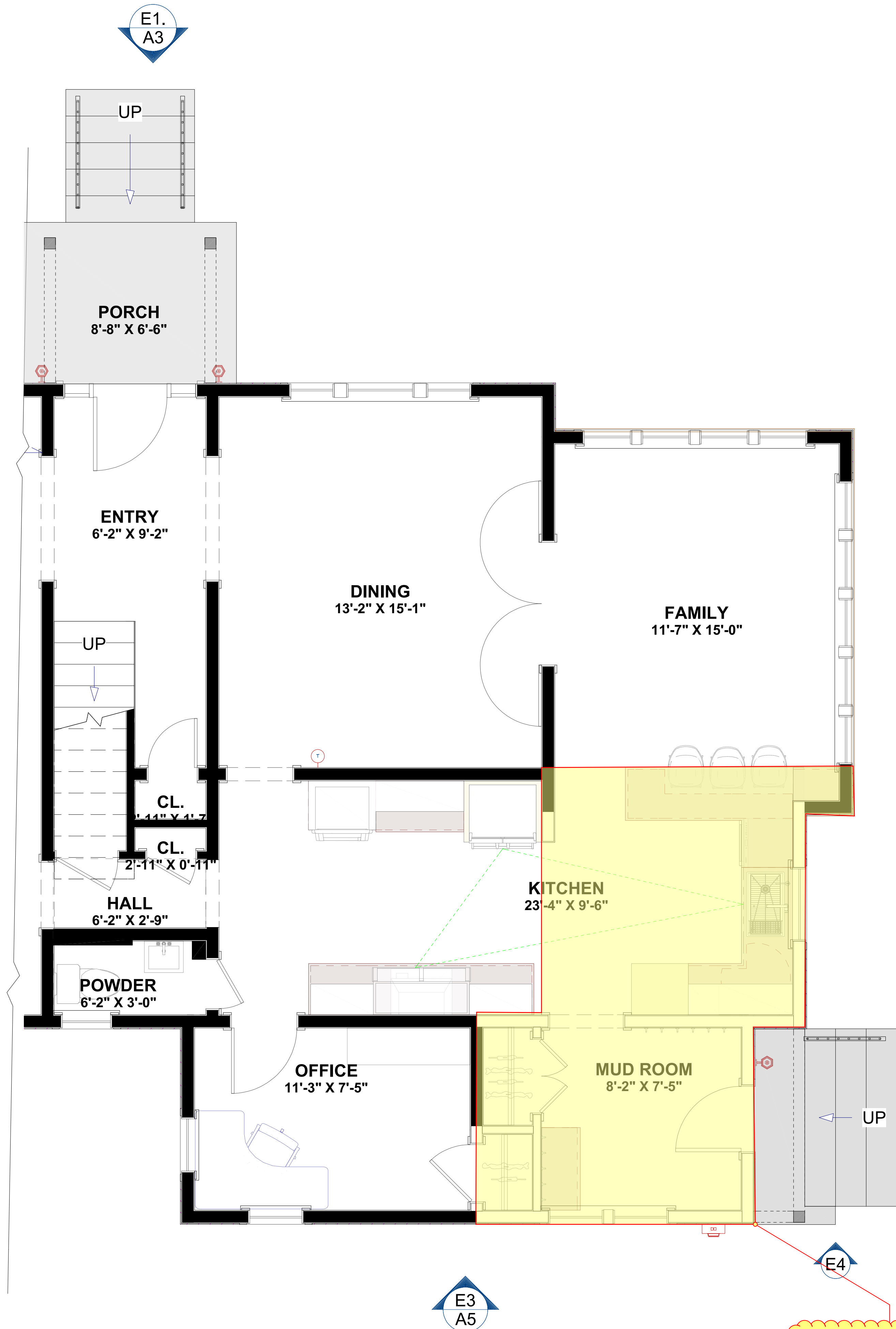
EXISTING BASEMENT PLAN
SCALE = 3/8" = 1'-0"



EXISTING FIRST FLOOR PLAN
SCALE = 3/8" = 1'-0"



BASEMENT PLAN
SCALE = 3/8" = 1'-0"



FIRST FLOOR PLAN
SCALE = 3/8" = 1'-0"

New addition



E1. FRONT ELEVATION
SCALE =3/8"= 1'-0"

EXTERIOR FINISH MATERIALS

LAP SIDING:
JAMES HARDIE FIBER CEMENT BOARD SMOOTH LAP SIDING 6" EXPOSURE PAINTED TO MATCH EXISTING

CORNER TRIM:
SMOOTH CEMENT BOARD CORNER TRIM MATCH EXISTING

NEW PORCH ROOF
BLACK STANDING SEAM METAL ROOF

COLUMNS AND BEAM
WHITE BORAL- MITER CORNERS ON NEW COLUMN (EX LOCATION AT PORCH) AND NEW BEAM, NEW COMPOSITE BASE AND CROWN MOLDING ON COLUMNS

NEW WINDOWS
PELLA WHITE VINYL GBG WINDOWS OR EQUAL TO MATCH EXISTING

NEW FRONT DOOR, SIDE LIGHTS AND TRANSOM
NEW WOOD HALF LITE FRONT DOOR AND SIDE LIGHTS AND NEW TRANSOM

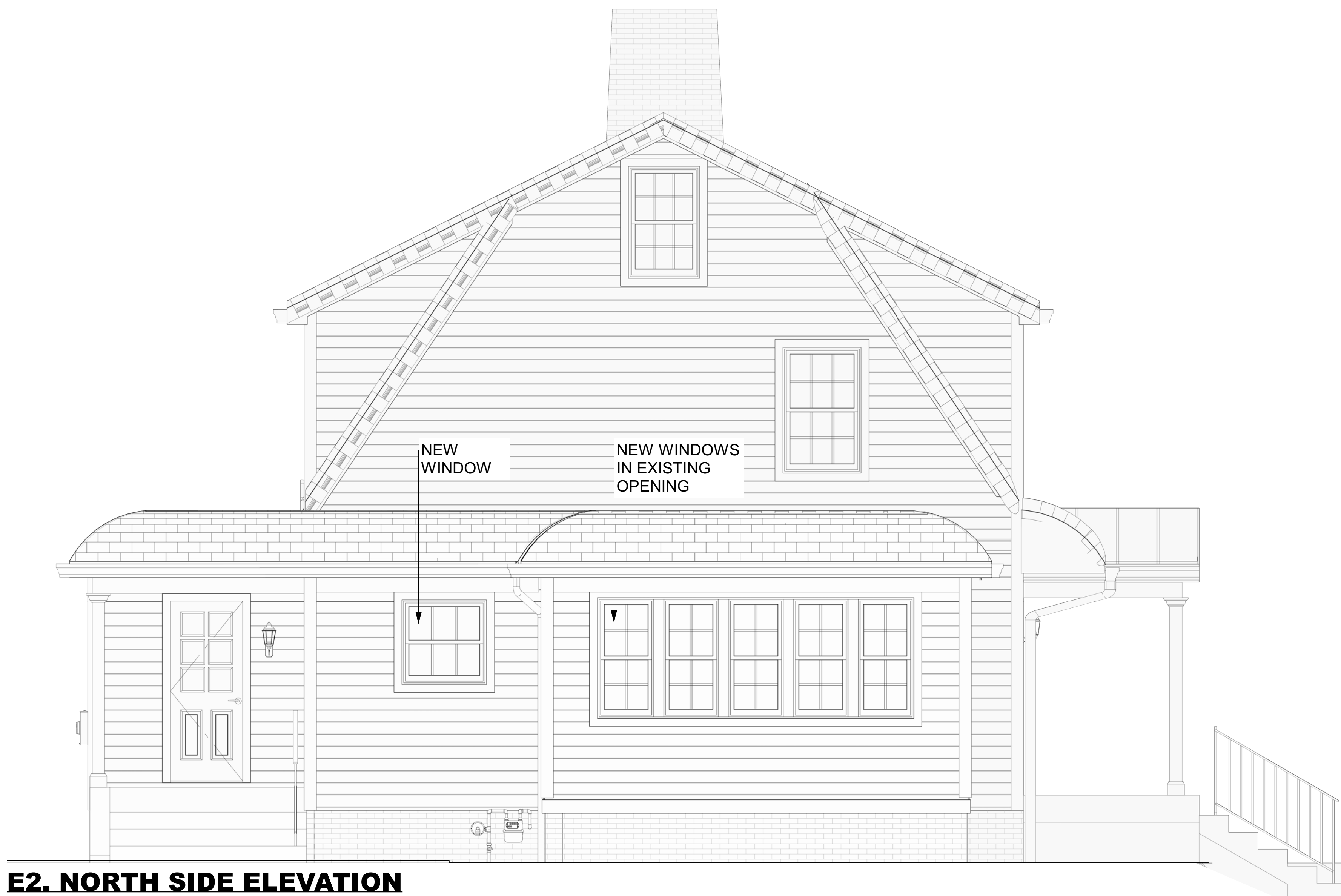
WINDOW AND DOOR TRIM:
HARDIE 5/4 X 3.5" SMOOTH TRIM , COLOR: WHITE(@ ALL LOCATIONS OF HOME WHERE NEW LAP SIDING INSTALLED)

HIP ROOF :
NEW DIMENSIONAL ASPHALT SHINGLE TO MATCH EXISTING COVE DETAILING

FLAT ROOF :
BLACK EPDM

GUTTERS:
6" WHITE OGEE

DOWNSPOUTS:
PAINTED TO MATCH TRIM



E2. NORTH SIDE ELEVATION

SCALE =3/8"= 1'-0"

EXTERIOR FINISH MATERIALS

LAP SIDING:

JAMES HARDIE FIBER CEMENT BOARD SMOOTH LAP SIDING 6" EXPOSURE PAINTED TO MATCH EXISTING

CORNER TRIM:

SMOOTH CEMENT BOARD CORNER TRIM MATCH EXISTING

NEW PORCH ROOF

BLACK STANDING SEAM METAL ROOF

COLUMNS AND BEAM

WHITE BORAL- MITER CORNERS ON NEW COLUMN (EX LOCATION AT PORCH) AND NEW BEAM, NEW COMPOSITE BASE AND CROWN MOLDING ON COLUMNS

NEW WINDOWS

PELLA WHITE VINYL GBG WINDOWS OR EQUAL TO MATCH EXISTING

NEW FRONT DOOR, SIDE LIGHTS AND TRANSOM

NEW WOOD HALF LITE FRONT DOOR AND SIDE LIGHTS AND NEW TRANSOM

WINDOW AND DOOR TRIM:

HARDIE 5/4 X 3.5" SMOOTH TRIM , COLOR: WHITE(@ ALL LOCATIONS OF HOME WHERE NEW LAP SIDING INSTALLED)

HIP ROOF :

NEW DIMENSIONAL ASPHALT SHINGLE TO MATCH EXISTING COVE DETAILING

FLAT ROOF :

BLACK EPDM

GUTTERS:

6" WHITE OGEE

DOWNSPOUTS:

PAINTED TO MATCH TRIM

CONSULTANTS:

MARY AND MICHAEL
HECKLER

246 S DAWSON AVE.
BEXLEY, OH 43209

EXTERIOR ELEVATION

ARB/ BZAP
SUBMISSION 08.13.25

SCALE: AS NOTED

SHEET:

A4

VALERIE HALAS
INTERIOR RENOVATIONS + ADDITIONS
design

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BEXLEY, OH. 43209
WWW.VHALASDESIGN.COM
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E3. REAR ELEVATION
SCALE =1/2"= 1'-0"

EXTERIOR FINISH MATERIALS

LAP SIDING:
JAMES HARDIE FIBER CEMENT BOARD SMOOTH LAP SIDING 6" EXPOSURE PAINTED TO MATCH EXISTING

CORNER TRIM:
SMOOTH CEMENT BOARD CORNER TRIM MATCH EXISTING

NEW PORCH ROOF
BLACK STANDING SEAM METAL ROOF

COLUMNS AND BEAM
WHITE BORAL- MITER CORNERS ON NEW COLUMN (EX LOCATION AT PORCH) AND NEW BEAM, NEW COMPOSITE BASE AND CROWN MOLDING ON COLUMNS

NEW WINDOWS
PELLA WHITE VINYL GBG WINDOWS OR EQUAL TO MATCH EXISTING

NEW FRONT DOOR, SIDE LIGHTS AND TRANSOM
NEW WOOD HALF LITE FRONT DOOR AND SIDE LIGHTS AND NEW TRANSOM

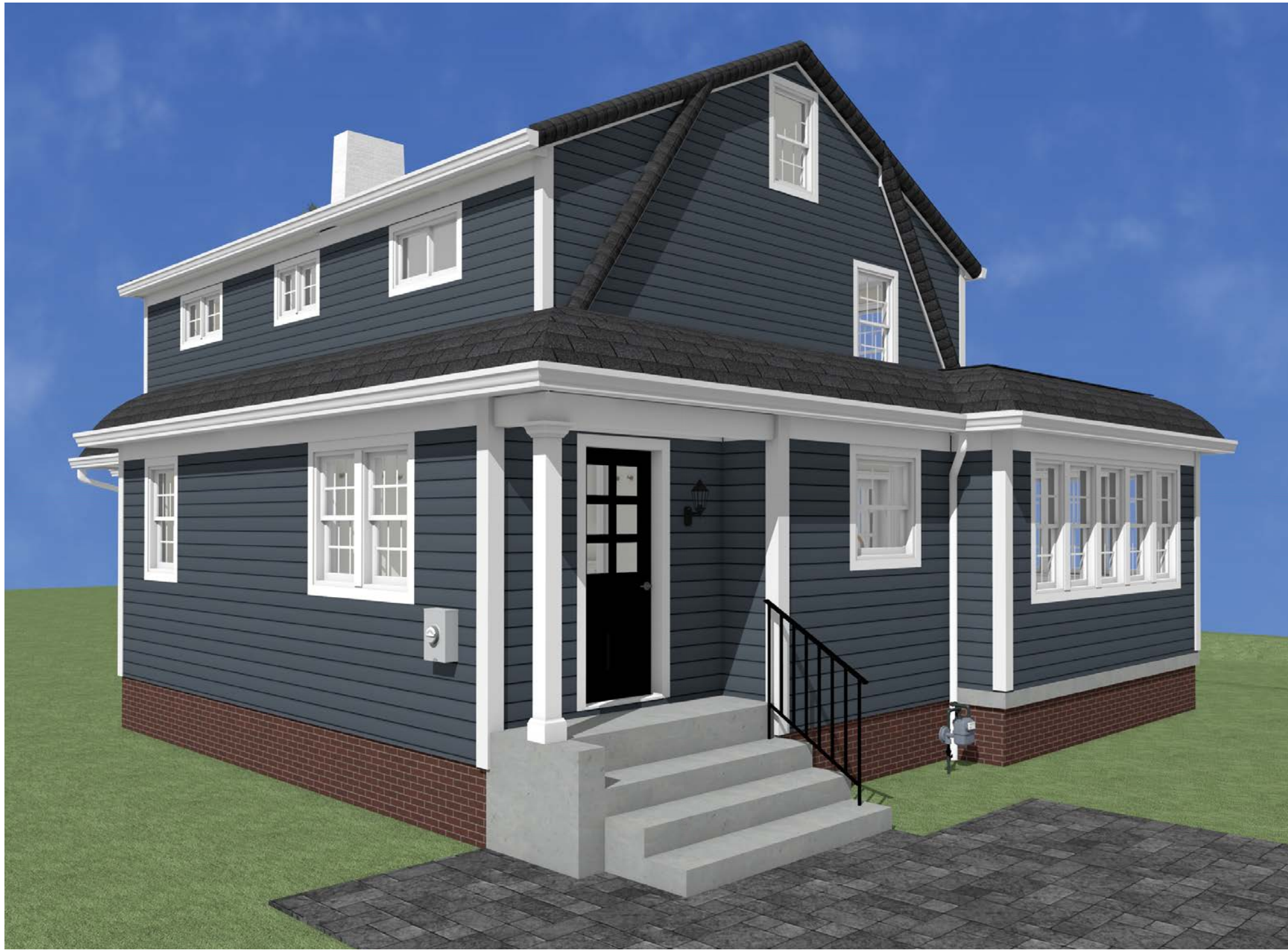
WINDOW AND DOOR TRIM:
HARDIE 5/4 X 3.5" SMOOTH TRIM , COLOR: WHITE(@ ALL LOCATIONS OF HOME WHERE NEW LAP SIDING INSTALLED)

HIP ROOF :
NEW DIMENSIONAL ASPHALT SHINGLE TO MATCH EXISTING COVE DETAILING

FLAT ROOF :
BLACK EPDM

GUTTERS:
6" WHITE OGEE

DOWNSPOUTS:
PAINTED TO MATCH TRIM



CONSULTANTS:

**MARY AND MICHAEL
HECKLER**
246 S DAWSON AVE.
BEXLEY, OH 43209

3D VIEWS

ARB/ BZAP
SUBMISSION 08.13.25

SCALE: AS NOTED

SHEET:
A6



FRONT (WEST)



NORTH



EAST



SOUTH

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design

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BEXLEY, OH 43209

EXISTING PHOTOS

ARB/ BZAP
SUBMISSION 08.13.25

SCALE: AS NOTED

SHEET:
EX-01



NORTH/ EAST



SOUTH/ EAST

EXISTING DEVELOPMENT INFORMATION FOR 246 S DAWSON AVE

ZONING DESIGNATION = R-6
TOTAL LAND AREA = 7,300 SF

MAXIMUM BUILDING COVER (35%) =2,555 SF

PROPOSED BUILDING COVER

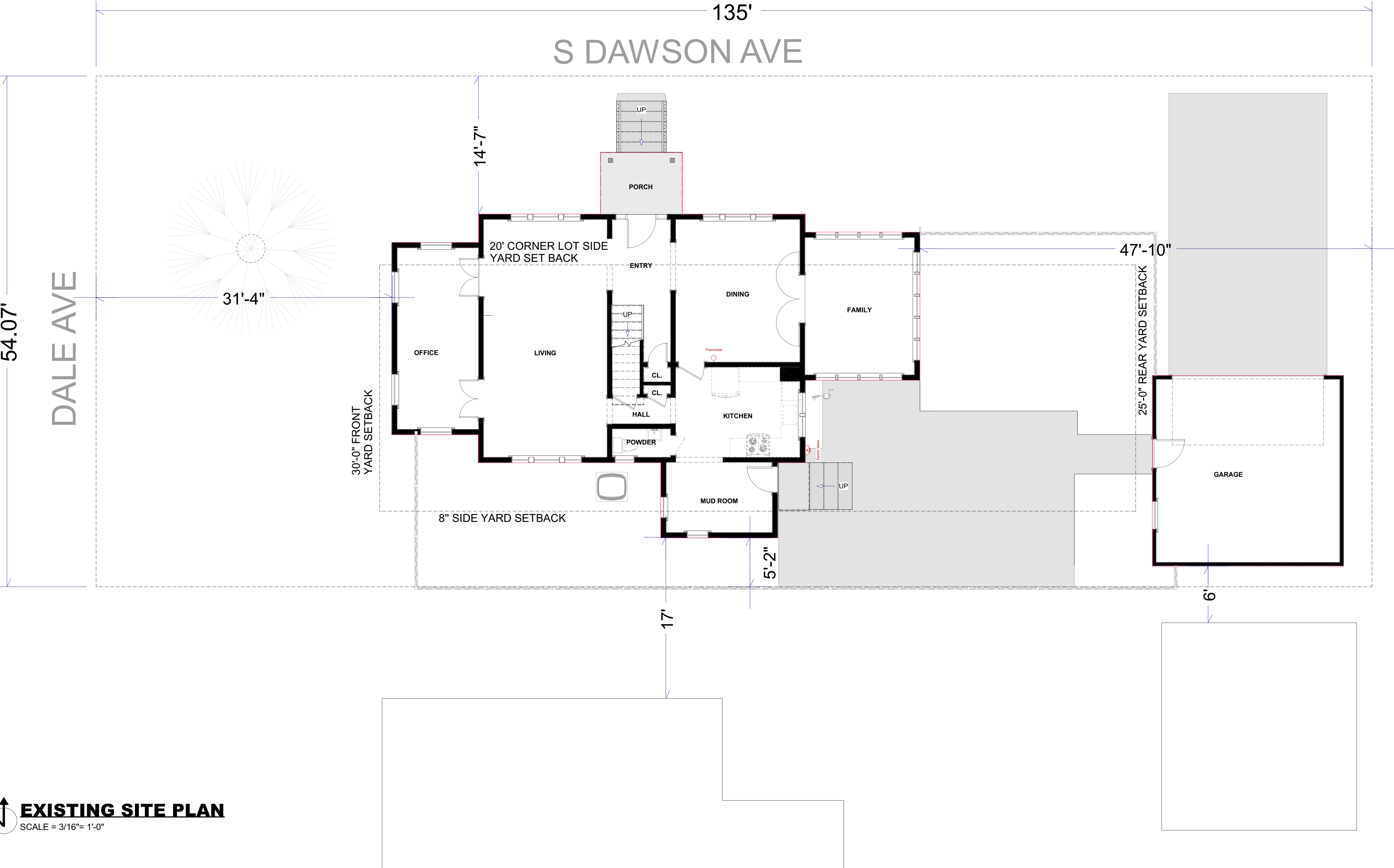
EXISTING HOUSE =1,442 SF
EXISTING GARAGE =408 SF

TOTAL BUILDING COVER (25%) = 1,850 SF

PROPOSED DEVELOPMENT COVER

BUILDING COVER = 1850 SF
EXISTING DRIVEWAY = 500 SF
EXISTING FRONT STEPS/ SIDEWALK = 33 SF
EXISTING REAR PATIO/ STEPS = 629SF

TOTAL DEVELOPMENT COVER (41.3%) =3,012 SF



EXISTING SITE PLAN
SCALE = 3/16"= 1'-0"

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INTERIOR RENOVATIONS + ADDITIONS
design

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www.valeriehalasdesign.com
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CONSULTANTS:

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HECKLER
246 S DAWSON AVE.
BEXLEY, OH 43209

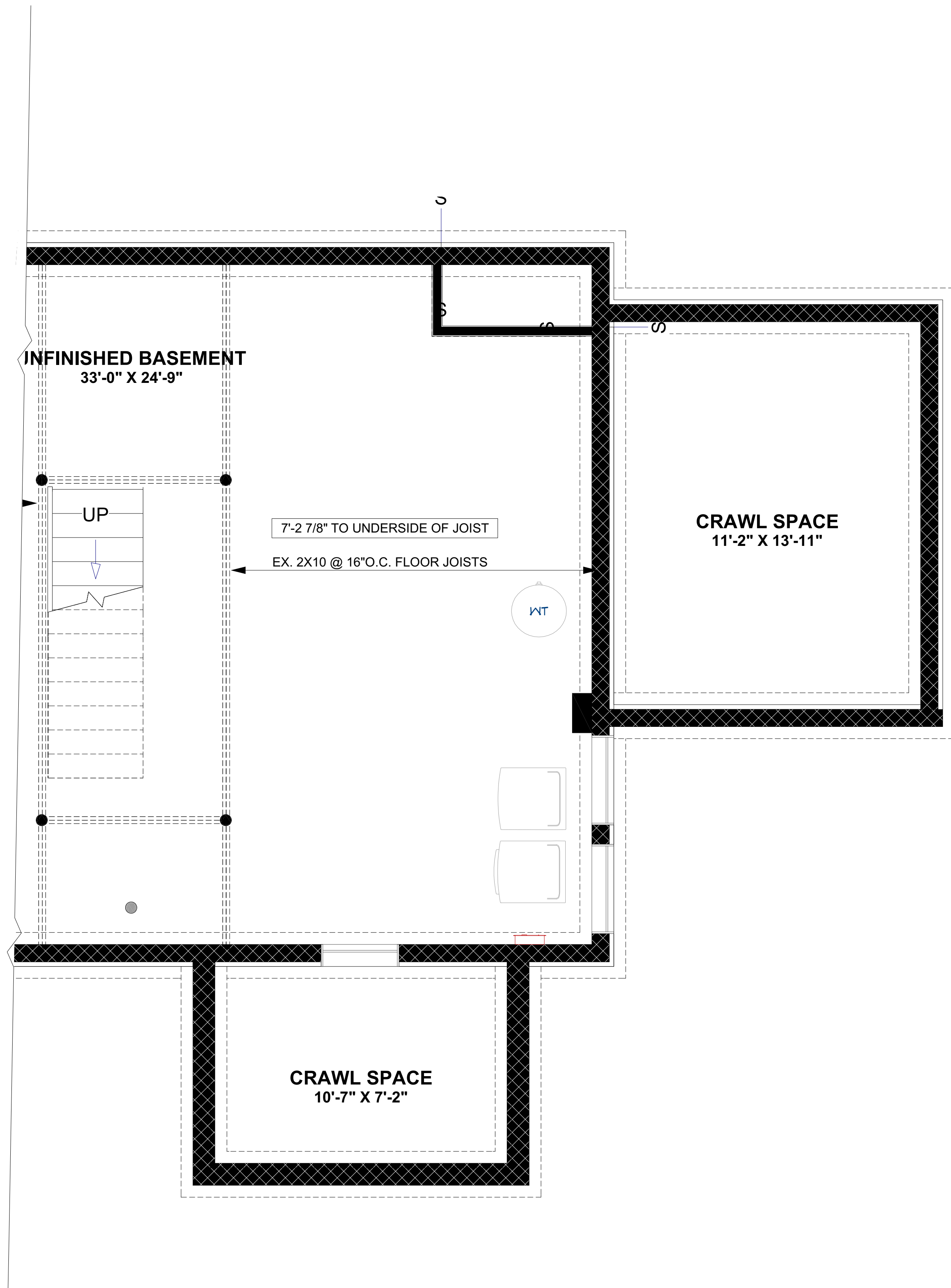
EXISTING SITE PLAN

ARB/ BZAP
SUBMISSION 08.13.25

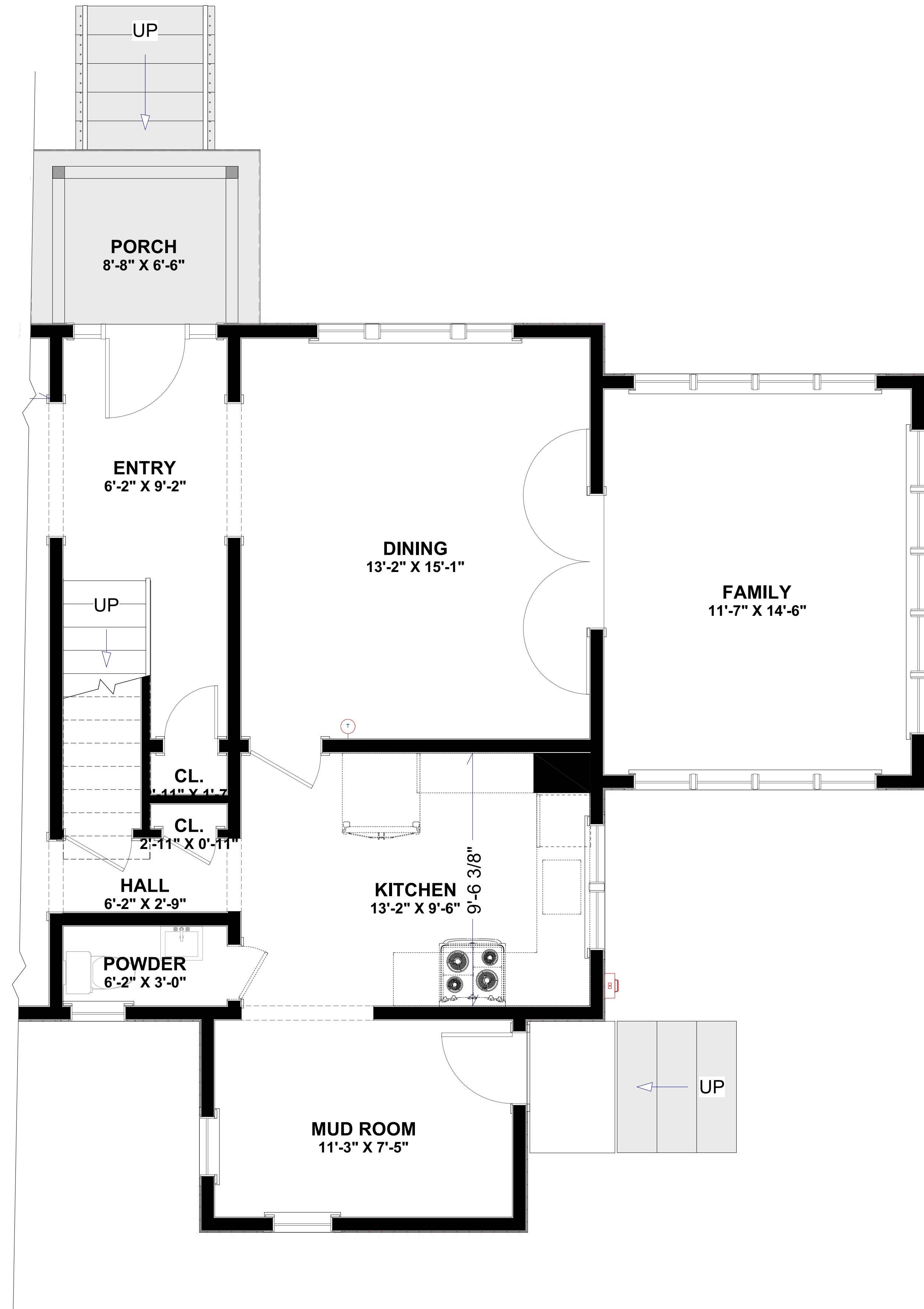
SCALE: AS NOTED

SHEET:

EX-03



EXISTING BASEMENT PLAN
SCALE = 3/8" = 1'-0"



EXISTING FIRST FLOOR PLAN
SCALE = 3/8" = 1'-0"



CONSULTANTS:

MARY AND MICHAEL
HECKLER
246 S DAWSON AVE.
BEXLEY, OH 43209

FRANKLIN AUDITOR MAP

ARB/ BZAP
SUBMISSION 08.13.25

SCALE: AS NOTED

SHEET:



PERMISSION FOR AGENT TO REPRESENT OWNER

08.13.25

CITY OF BEXLEY
BUILDING & ZONING DEPARTMENT
2242 E MAIN STREET
BEXLEY, OH 43209

RE: HECKLER RESIDENCE
246 S DAWSON AVENUE
BEXLEY OH, 43209

As owner of the above referenced property, I give my permission for Valerie Halas of Valerie Halas Design to apply on my behalf to the City of Bexley Architectural Review Board and Board of Zoning Appeals, if necessary. I also agree to any conditions of approval that result as a part of the approval process.

Sincerely,

SIGNATURE

DATE

INTERIOR RENOVATIONS + ADDITIONS

WWW.VALERIEHALASDESIGN.COM

VALERIEHALASDESIGN@YAHOO.COM

614.400.1460