



# Architectural Review Board

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## Decision and Record of Action - July 11, 2024

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The City of Bexley's Architectural Review Board took the following action at this meeting:

Application Number: BZAP-24-19

Address: 261 N Stanwood

Applicant: Brenda Parker

Owner: Kelly and Christopher Rupp

**Request:** The applicant is seeking a recommendation to BZAP for a Certificate of Appropriateness for a partial first floor addition & second floor addition above existing breezeway & attached garage with variance requests from side yard setbacks.

**MOTION:** The motion to table this application to the August 8, 2024 ARB meeting was made by Mr. Heyer and seconded by Mr. Scott :

**VOTE:** All members voted in favor.

**RESULT:** The applicant was tabled to the August 8, 2024 ARB meeting.

**Staff Certification:** Recorded in the Official Journal this 11th day of July, 2024.

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Kathy Rose, Zoning Officer

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Karen Bokor, Design Consultant

cc: Applicant, File Copy





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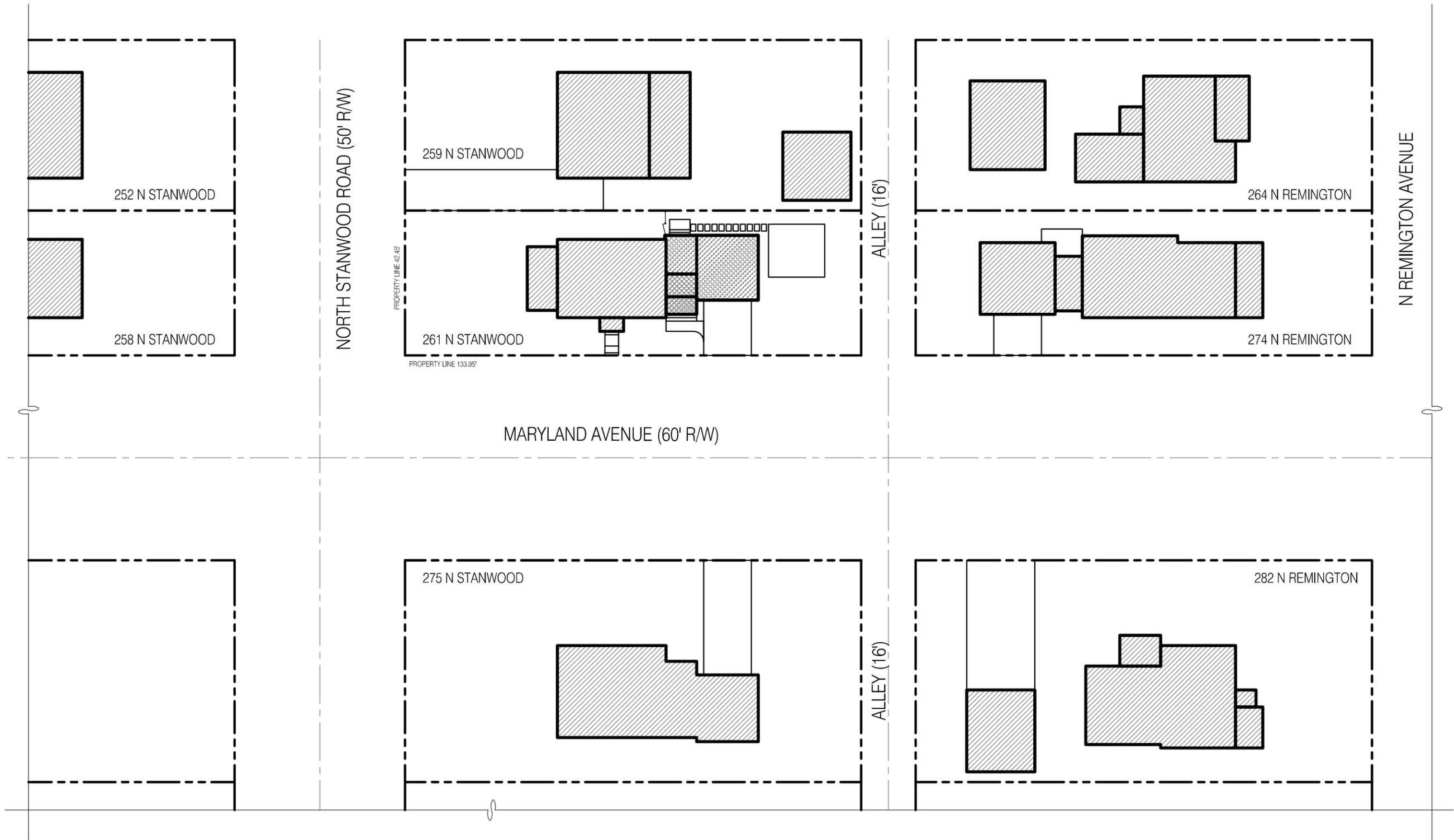


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RUPP RESIDENCE  
261 N STANWOOD ROAD  
BEXLEY, OHIO 43209

Bexley ARB

SCALE:  
As Noted  
PROJECT NO.:

DATE:  
May 24, 2024

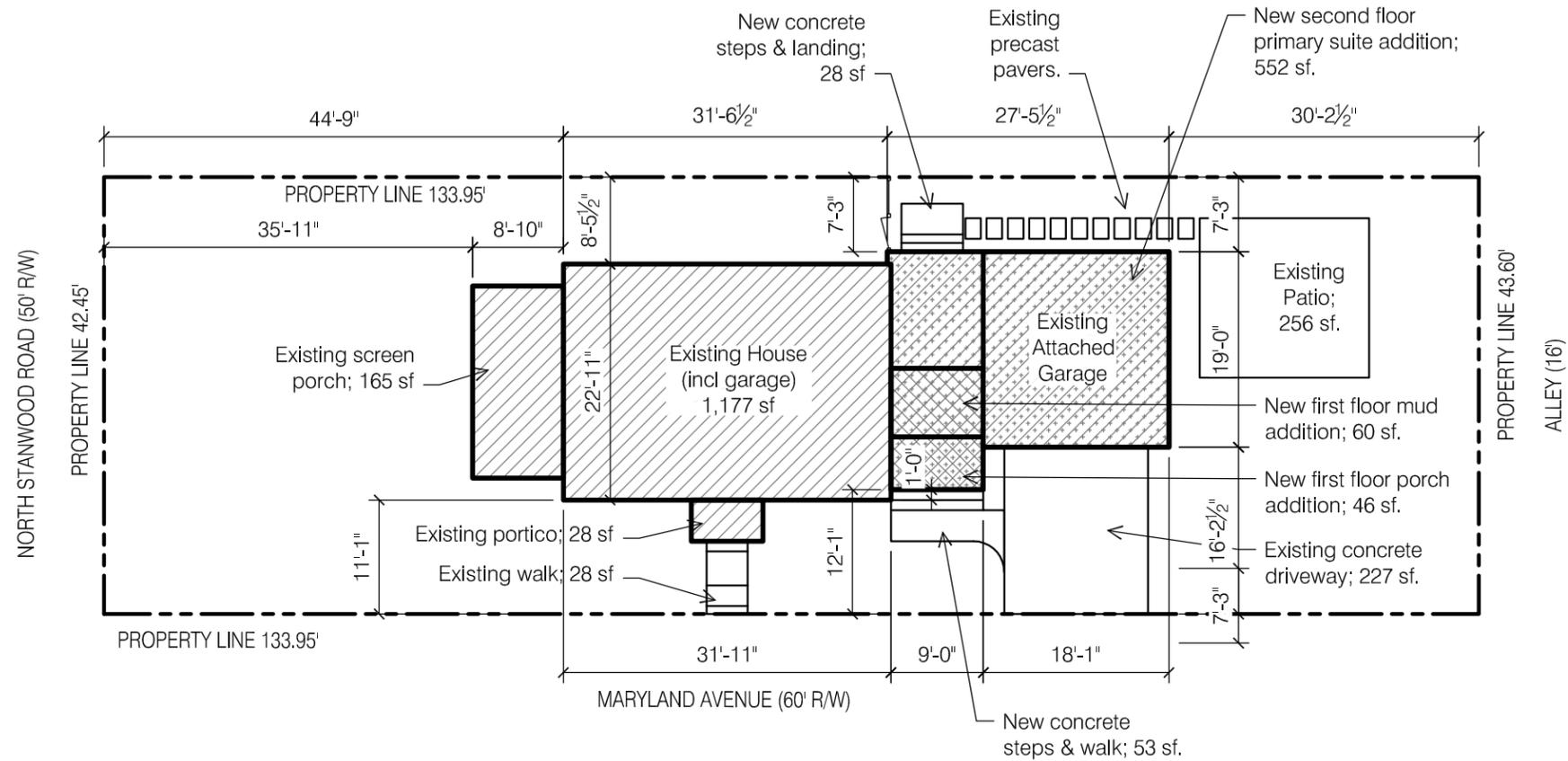
SHEET NO.

A0.1

SITE VICINITY PLAN

1 SITE VICINITY PLAN  
SCALE: 1" = 30'-0"





## GENERAL INFORMATION

Address: 261 N Stanwood Road  
Bexley, Ohio 43209  
Parcel: 020-001088-00

Scope of Project: The project consists of the construction of a new addition. The addition at the first floor is located at the north side of the existing hypen & consists of a new mudroom & new side porch. The addition at the second floor extends over the existing hypen, the new first floor addition, and the existing attached garage. The second floor addition includes a new primary suite.

First Floor Existing SF: 842 sf  
Mudroom Addition SF: 60 sf  
Total First Floor SF: 902 sf

Second Floor Existing SF: 731 sf  
Primary Suite Addition SF: 552 sf  
Total Second Floor SF: 1,292 sf

Total House SF: 2,194 sf

Zoning: Bexley R-6

Lot Area & Lot Width	Actual	Zoning Req't
Lot Area:	5,686 sf	
<b>Building Lot Coverage</b>		
Bldg Cov w/ Addition	1,476 sf (26%)	1,990 sf (35%) Meets Zoning
<b>Total Lot Coverage</b>		
Lot Cov w/ Addition	2,068 sf (36%)	3,411 sf (60%) Meets Zoning
<b>Setbacks</b>		
Side Setback South:	7'-3"	8'-0"
Side Setback North:	12'-1"	8'-0"
Rear Setback West:	30'-2"	25'-0"

## SHEET INDEX

A1.0	Site Plan & General Info	A3.1	Exterior Elevations
A2.1	First Floor Plans	A3.2	Exterior Elevations
A2.2	Second Floor Plans		

## DESIGN CRITERIA

Design Criteria:  
 Wind Speed = 115 mph  
 Seismic Category = A  
 Weathering = Severe  
 Frost Line Depth = 36"  
 Termite = Moderate to Heavy  
 Ice Barrier Underlayment = Yes, Required.  
 Floor Live Load = 40 psf  
 Snow Load Roof = 20 psf  
 Foundation Concrete Compressive Strength = 2,500  
 Slab Concrete Compressive Strength = 3,000; air-entrained 5%-7%

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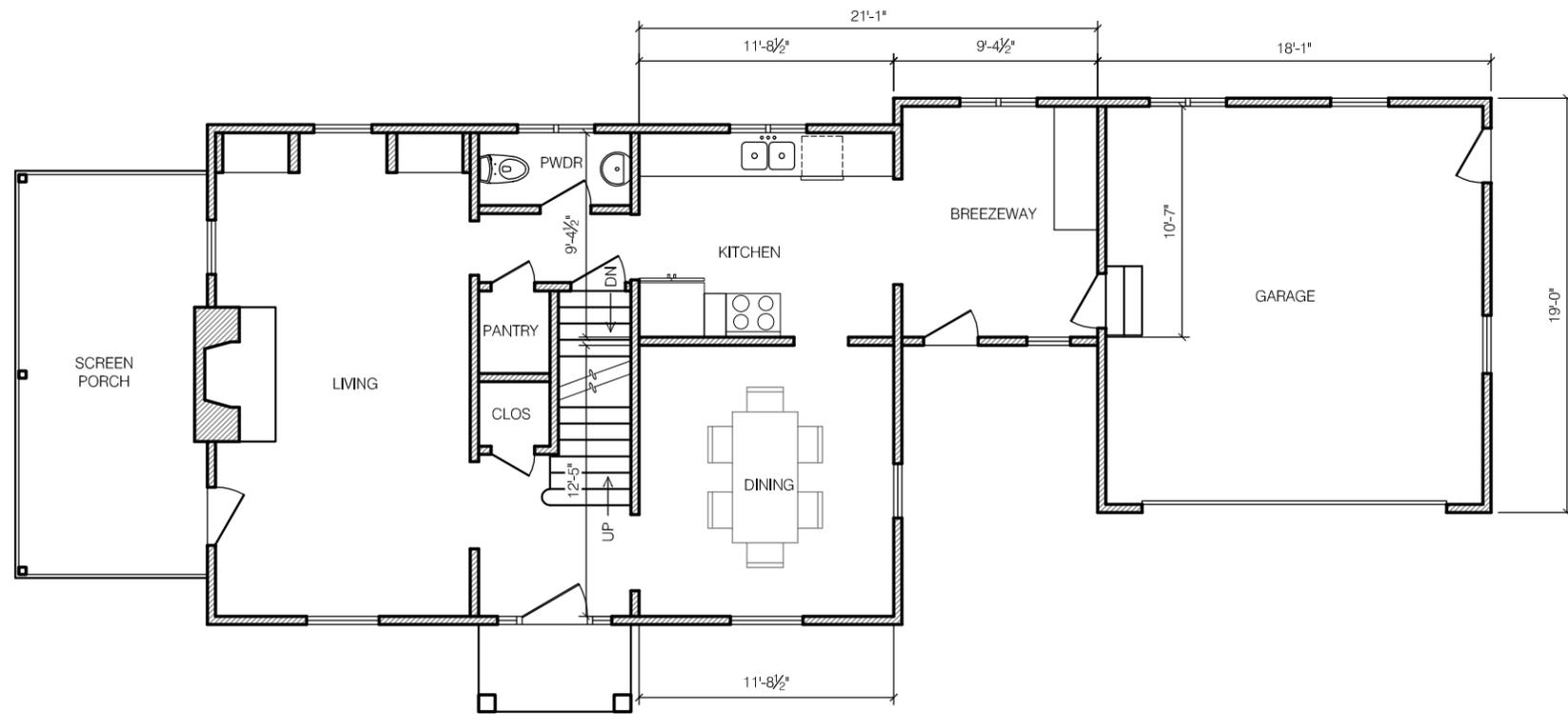
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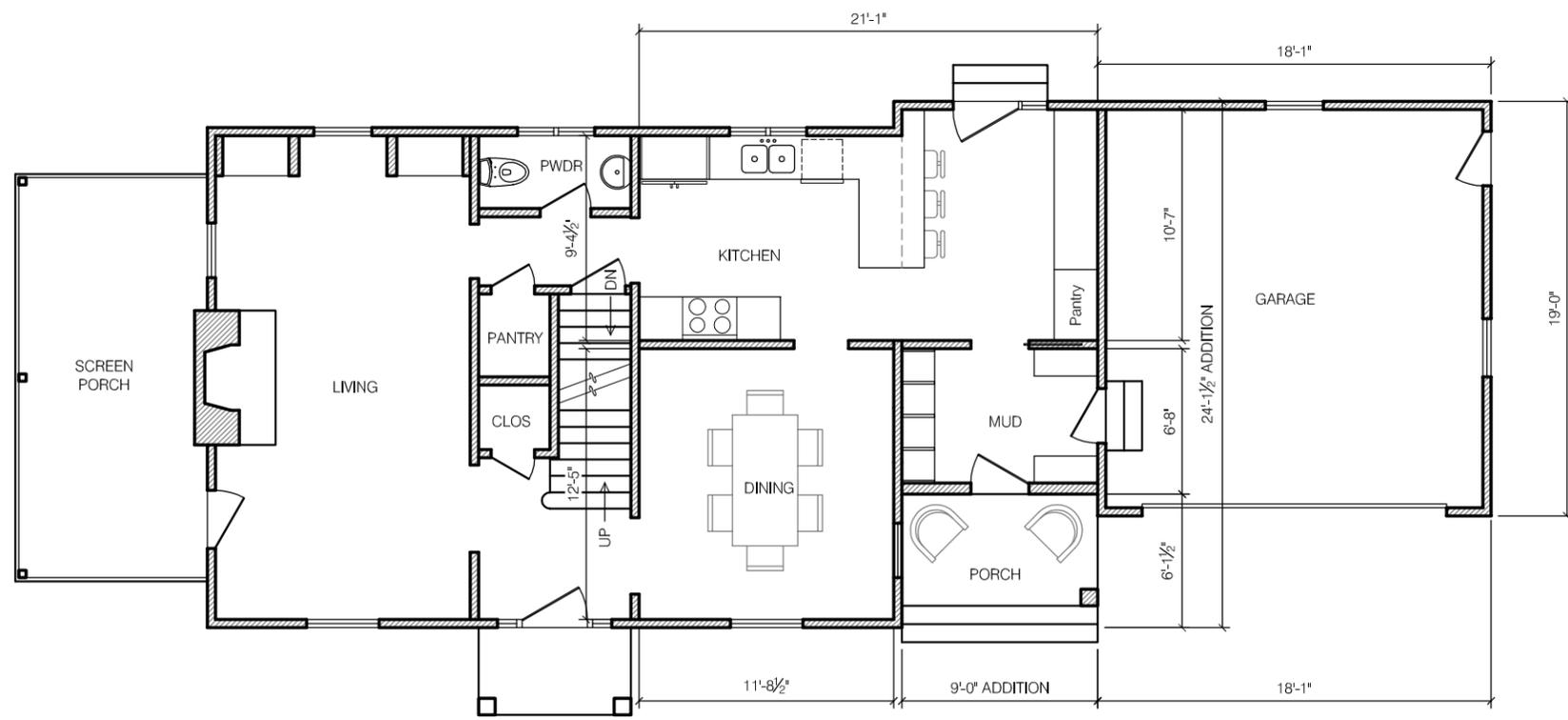
SHEET NO.

A1.0

SITE PLAN & GENERAL INFO



1 FIRST FLOOR PLAN - EXISTING  
SCALE: 1/8" = 1'-0"  
0 2 4 8 16



2 FIRST FLOOR PLAN - W/ ADDITION  
SCALE: 1/8" = 1'-0"  
0 2 4 8 16

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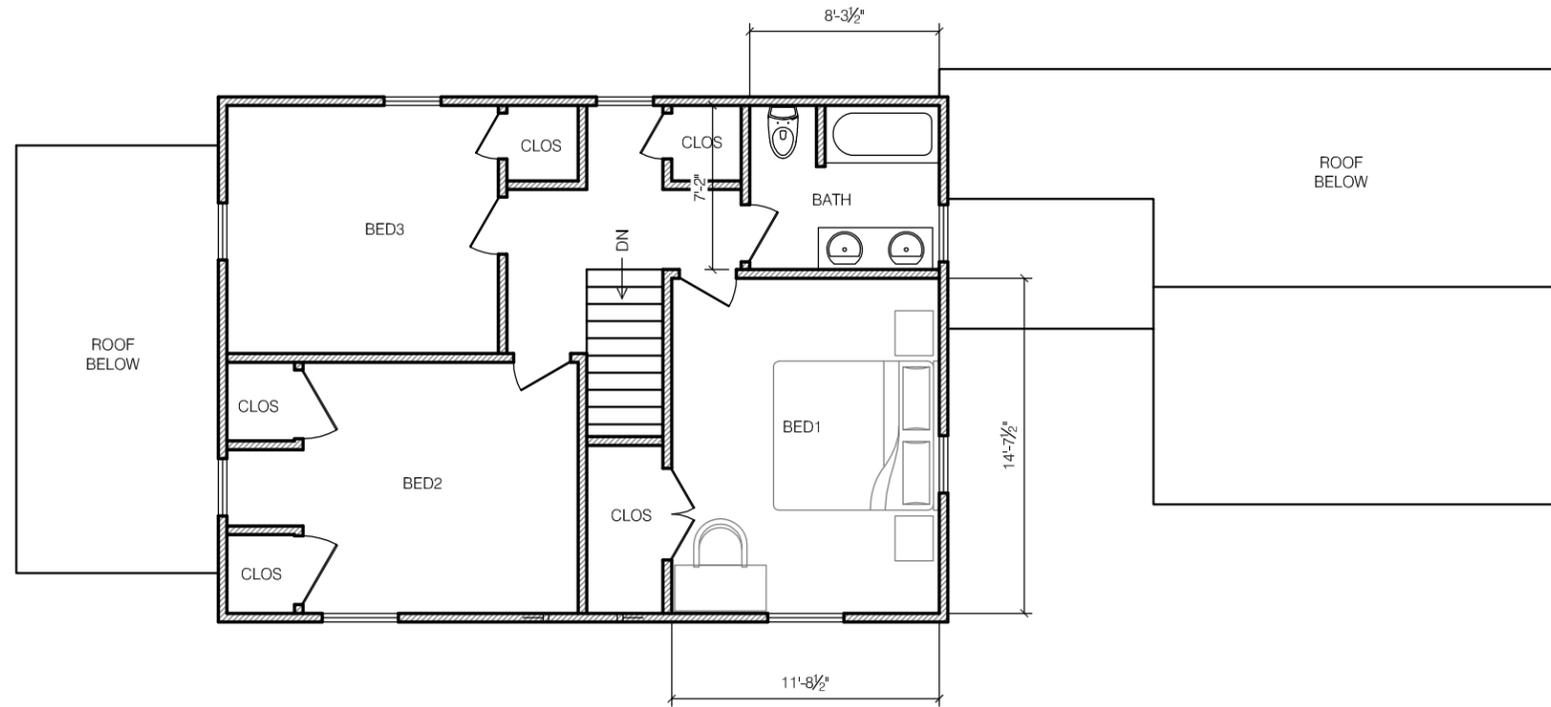
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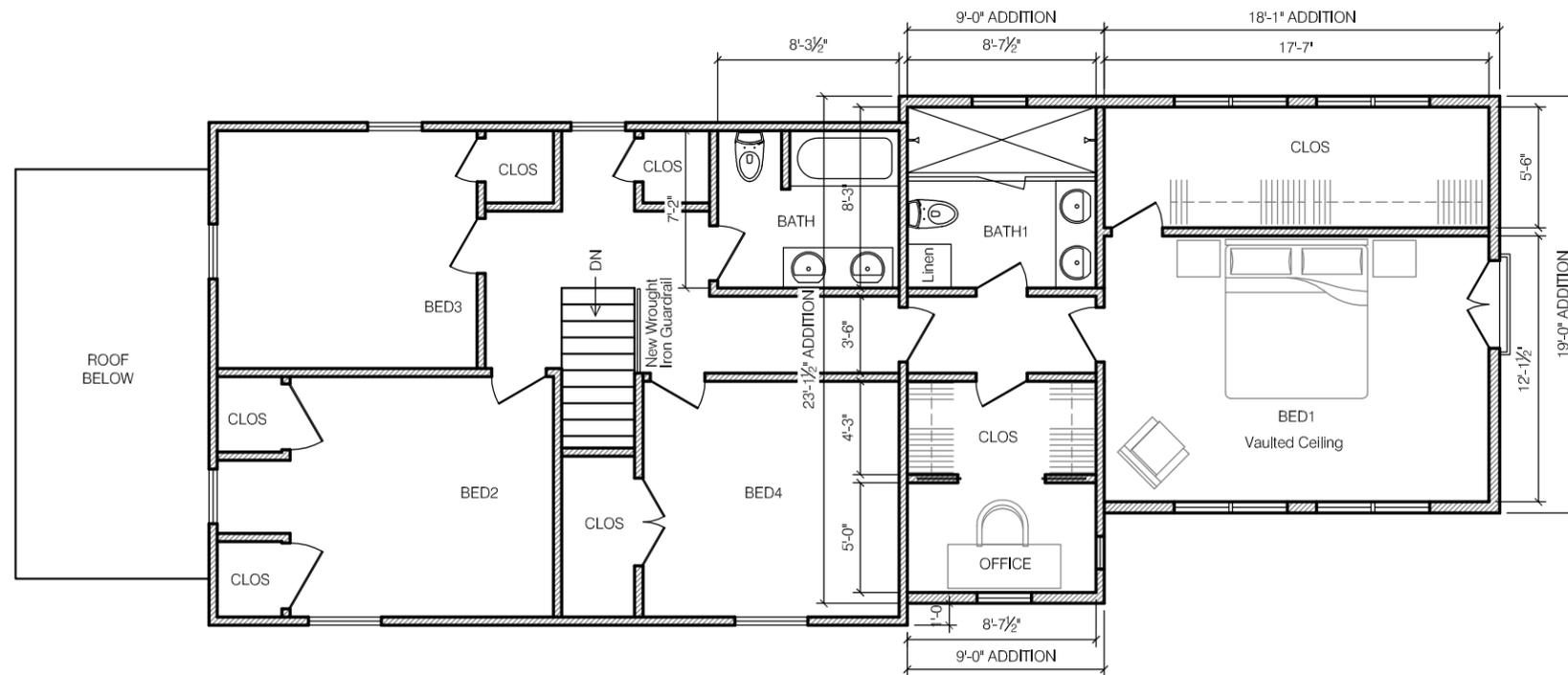
A2.1



FIRST FLOOR PLANS



1 SECOND FLOOR PLAN - EXISTING  
 SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN - W/ ADDITION  
 SCALE: 1/8" = 1'-0"

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SHEET NO.

A2.2



SECOND FLOOR PLANS

**EXTERIOR MATERIAL NOTES**

**SIDING:**  
 Aluminum siding, 8" exposure, white (to match existing).  
 Trim to consist of:  
 Casing: Aluminum-wrapped 5/4" x 4".  
 Gable Fascia: Aluminum-wrapped 1x8.  
 Eave Fascia: Aluminum-wrapped 1x6.

**ROOFING:**  
 Asphalt shingle roofing to match existing.

**SOFFIT:**  
 2" Continuous linear soffit vent.

**GUTTERS:**  
 5" Aluminum ogee gutter & 3" downspouts. Utilize existing underground storm piping.

**FOUNDATION:**  
 Concrete masonry units, smooth.

**WINDOWS:**  
 New windows to be Marvin Essential fiberglass windows (white) to be similar to existing windows.

**DOORS:**  
 New doors to be Marvin Essential fiberglass patio doors; full light.

**LANDING/STAIRS:**  
 Decking: Timbertech Terrain.  
 Risers: Azek PVC 1x8.  
 Guardrails: Timbertech Radiance Rail.  
 Skirting: Timbertech Terrain fascia.

**GARAGE OVERHANG:**  
 Custom overhang with standing seam metal roofing. Hardi Soffit at ceiling. All components to be smooth finish.



1 NORTH ELEVATION - EXISTING  
 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - W/ ADDITION  
 SCALE: 1/8" = 1'-0"

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SHEET NO.

A3.1

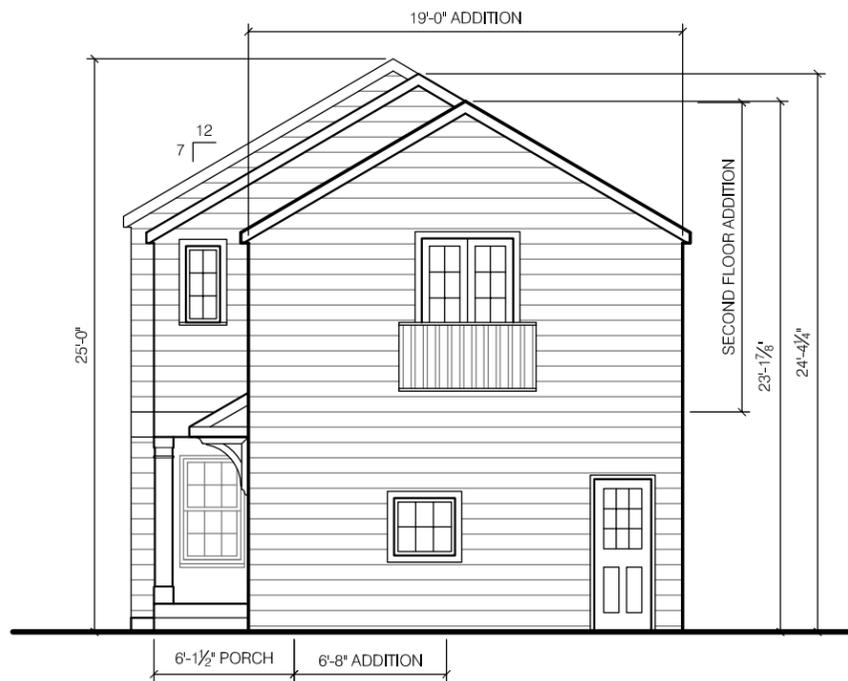
EXTERIOR ELEVATIONS



1 WEST ELEVATION - EXISTING  
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION - EXISTING  
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION - W/ ADDITION  
SCALE: 1/8" = 1'-0"



4 SOUTH ELEVATION - W/ ADDITION  
SCALE: 1/8" = 1'-0"

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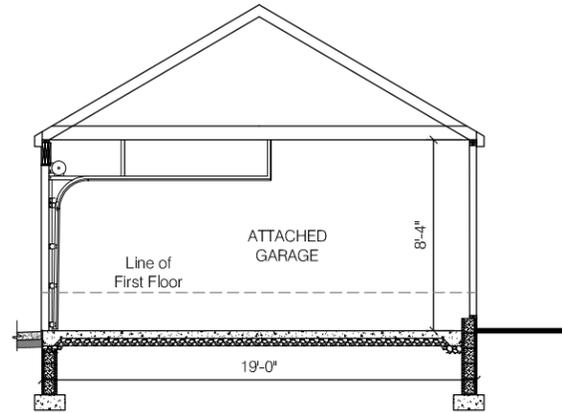
Bexley ARB

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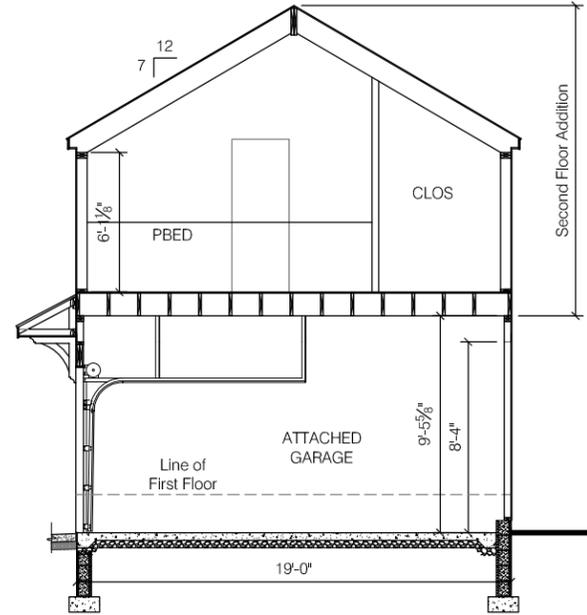
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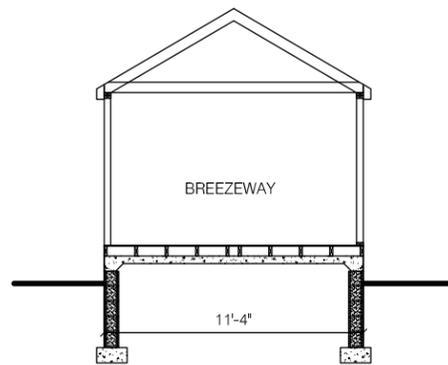
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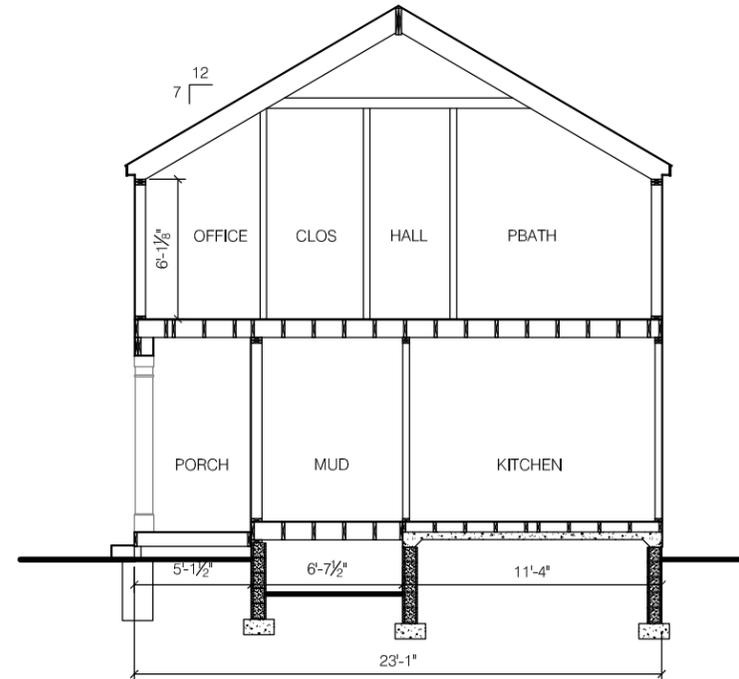
1 SECTION AT GARAGE - EXISTING  
 SCALE: 1/8" = 1'-0"



2 SECTION AT GARAGE - EXISTING  
 SCALE: 1/8" = 1'-0"



3 SECTION AT HYPHEN - EXISTING  
 SCALE: 1/8" = 1'-0"



4 SECTION AT HYPHEN - EXISTING  
 SCALE: 1/8" = 1'-0"

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SHEET NO.

A3.3

OVERALL SECTIONS



A two-story white house with dark shutters and a gabled roof. The house features a chimney, a small front porch, and a concrete driveway leading to a white garage door. The house is surrounded by lush greenery and trees.

A blue SUV parked in the driveway. The car is a Subaru Ascent, as indicated by the badge on the rear. The license plate is visible and reads "HWT 3986".

A wooden fence with planters on top, located in the foreground. The fence is made of light-colored wood and has several planters containing flowers.



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# EXTERIOR ELEVATIONS - SCHEME 1



1 NORTH ELEVATION - SCHEME1  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16



2 WEST ELEVATION - SCHEME1  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16



3 SOUTH ELEVATION - SCHEME1  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16

**EXTERIOR MATERIAL NOTES**

**SIDING:**  
 Aluminum siding, 8" exposure, white (to match existing).  
 Trim to consist of:  
 Casing: Aluminum-wrapped 5/4" x 4".  
 Gable Fascia: Aluminum-wrapped 1x8.  
 Eave Fascia: Aluminum-wrapped 1x6.

**ROOFING:**  
 Asphalt shingle roofing to match existing.

**SOFFIT:**  
 2" Continuous linear soffit vent.

**GUTTERS:**  
 5" Aluminum ogee gutter & 3" downspouts. Utilize existing underground storm piping.

**FOUNDATION:**  
 Concrete masonry units, smooth.

**WINDOWS:**  
 New windows to be Marvin Essential fiberglass windows (white) to be similar to existing windows.

**DOORS:**  
 New doors to be Marvin Essential fiberglass patio doors; full light.

**LANDING/STAIRS:**  
 Decking: Timbertech Terrain.  
 Risers: Azek PVC 1x8.  
 Skirting: Timbertech Terrain fascia.

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Bexley ARB

SCALE:  
 As Noted

PROJECT NO.:

DATE:  
 August 19, 2024

SHEET NO.

A3.1

EXTERIOR ELEVATIONS

# EXTERIOR ELEVATIONS - SCHEME2A



1 NORTH ELEVATION - SCHEME2A  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16



2 WEST ELEVATION - SCHEME2A  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16



3 SOUTH ELEVATION - SCHEME2A  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16

**EXTERIOR MATERIAL NOTES**

**SIDING:**  
 Aluminum siding, 8" exposure, white (to match existing).  
 Trim to consist of:  
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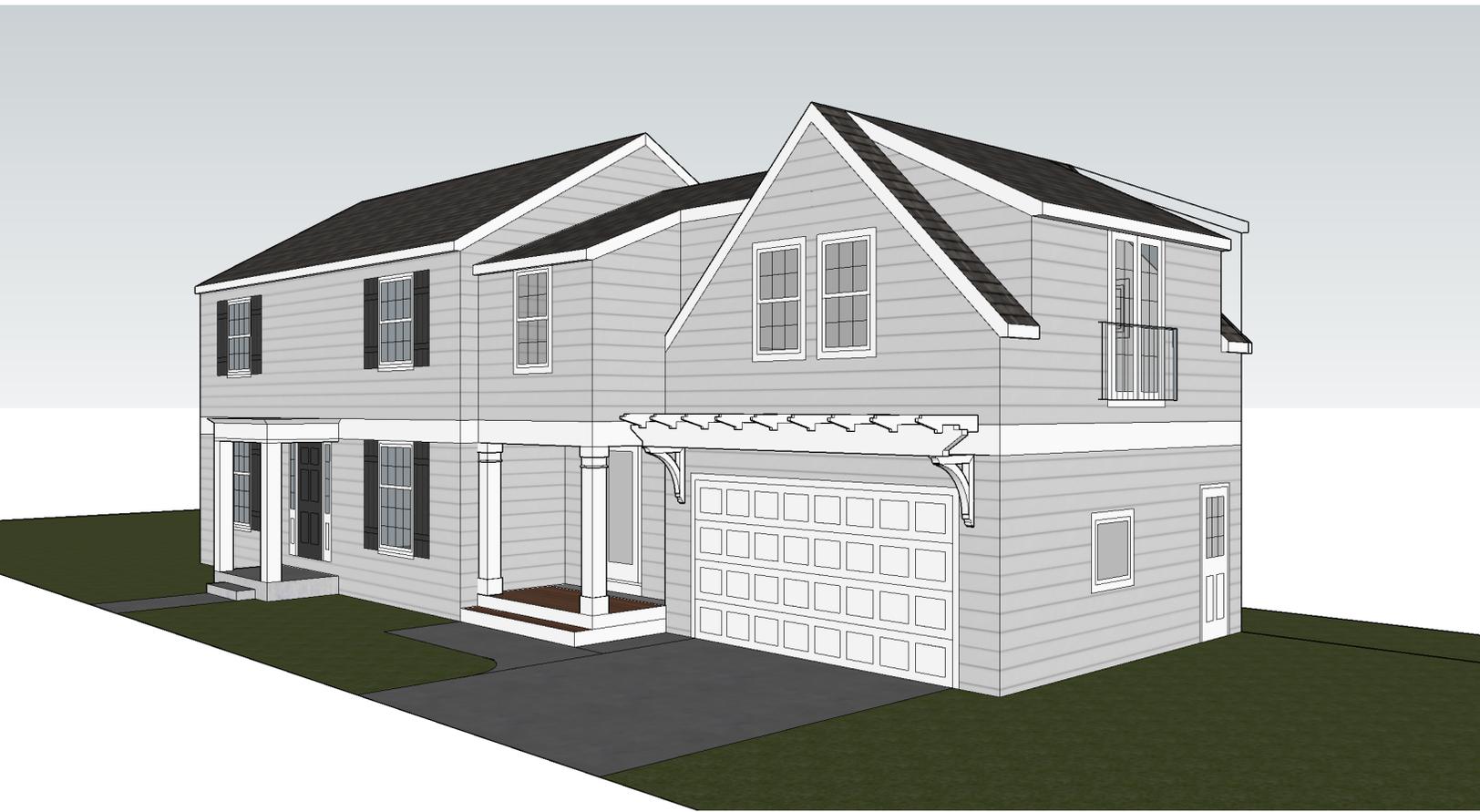
Bexley ARB  
 SCALE:  
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 SHEET NO.

A3.2A

EXTERIOR ELEVATIONS

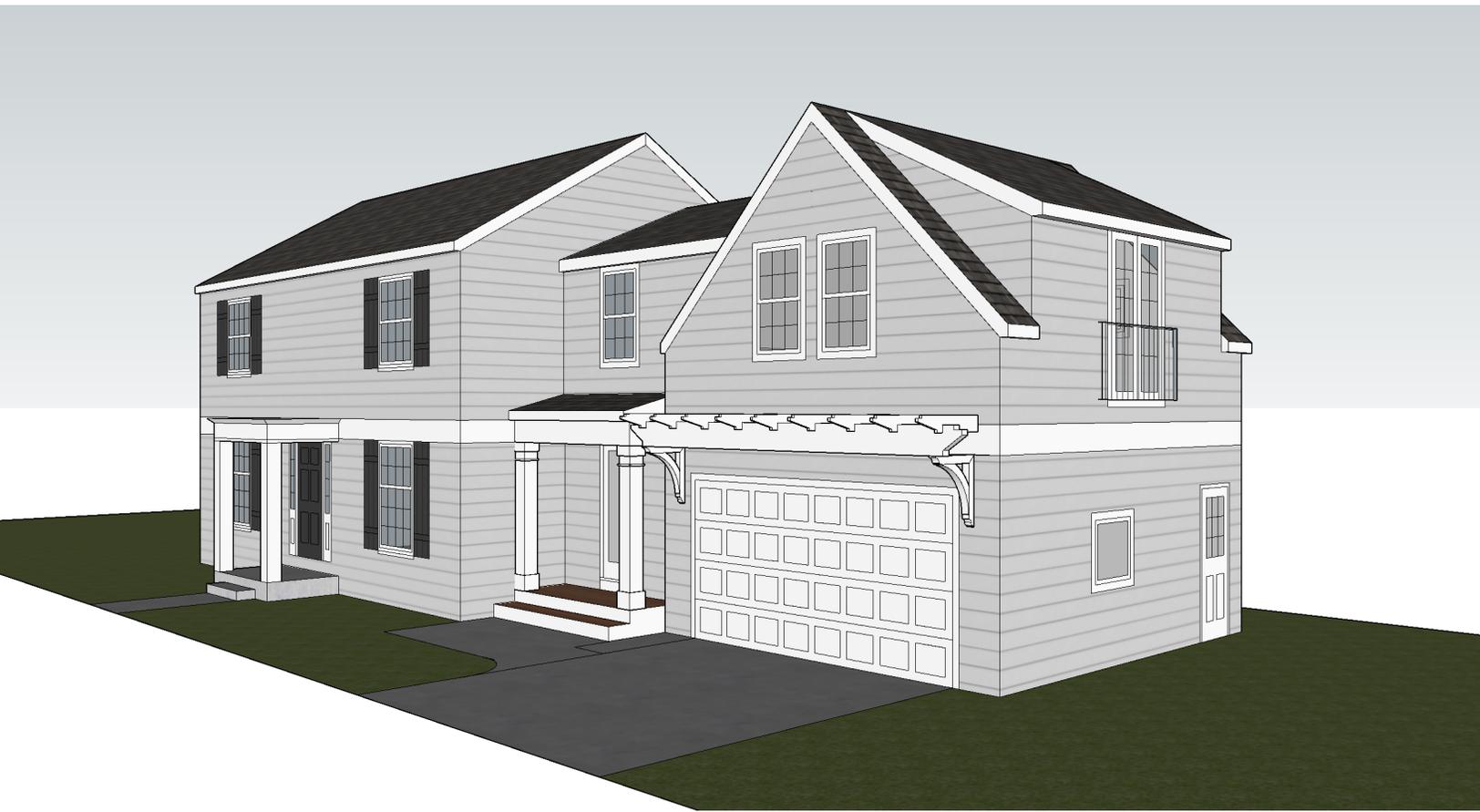
















# EXTERIOR ELEVATIONS - SCHEME2B



1 NORTH ELEVATION - SCHEME2B  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16



2 WEST ELEVATION - SCHEME2B  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16



3 SOUTH ELEVATION - SCHEME2B  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16

## EXTERIOR MATERIAL NOTES

**SIDING:**  
 Aluminum siding, 8" exposure, white (to match existing).  
 Trim to consist of:  
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 Eave Fascia: Aluminum-wrapped 1x6.

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**FOUNDATION:**  
 Concrete masonry units, smooth.

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**DOORS:**  
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**LANDING/STAIRS:**  
 Decking: Timbertech Terrain.  
 Risers: Azek PVC 1x8.  
 Skirting: Timbertech Terrain fascia.

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Bexley ARB

SCALE:  
 As Noted

PROJECT NO.:

DATE:  
 August 19, 2024

SHEET NO.

A3.2B

EXTERIOR ELEVATIONS

# EXTERIOR ELEVATIONS - SCHEME3



1 NORTH ELEVATION - SCHEME3  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16



2 WEST ELEVATION - SCHEME3  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16



3 SOUTH ELEVATION - SCHEME3  
 SCALE: 3/32" = 1'-0"  
 0 2 4 8 16

**EXTERIOR MATERIAL NOTES**

**SIDING:**  
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 Risers: Azek PVC 1x8.  
 Skirting: Timbertech Terrain fascia.

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Bexley ARB

SCALE:  
 As Noted

PROJECT NO.:

DATE:  
 August 6, 2024

SHEET NO.

A3.3

EXTERIOR ELEVATIONS





