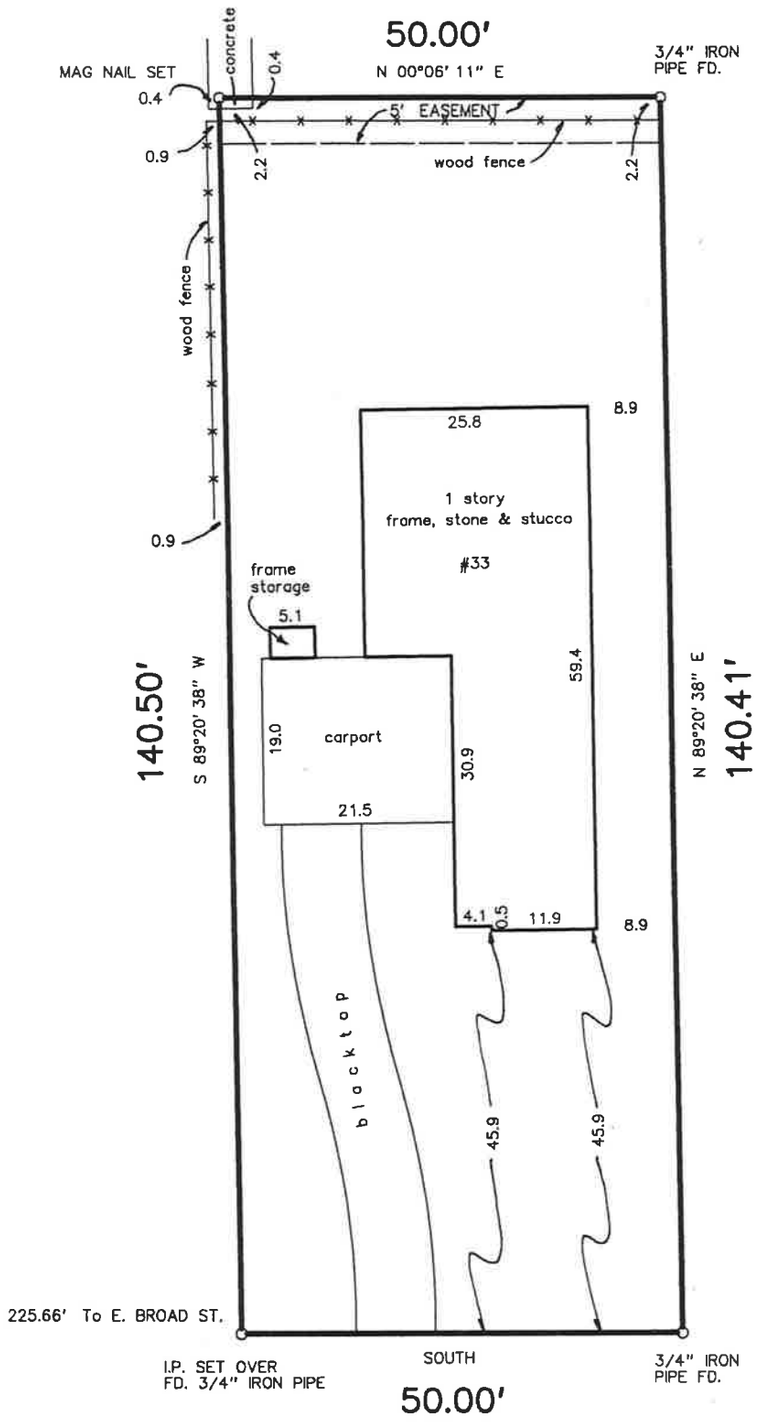
A Boundary Survey prepared for and certified to:

Paul Kaltenecker

Legal Description: Situated in The State of Ohio, County of Franklin, City of Bexley Being Lot 10 J.L. Davis' 1st Addition, Plat Book 17 Page 254

Posted Address: 33 N. Gould Road, Bexley, Ohio



20' 10' 0' 20'

Scale 1" = 20'
Date: 05/25/2012

N

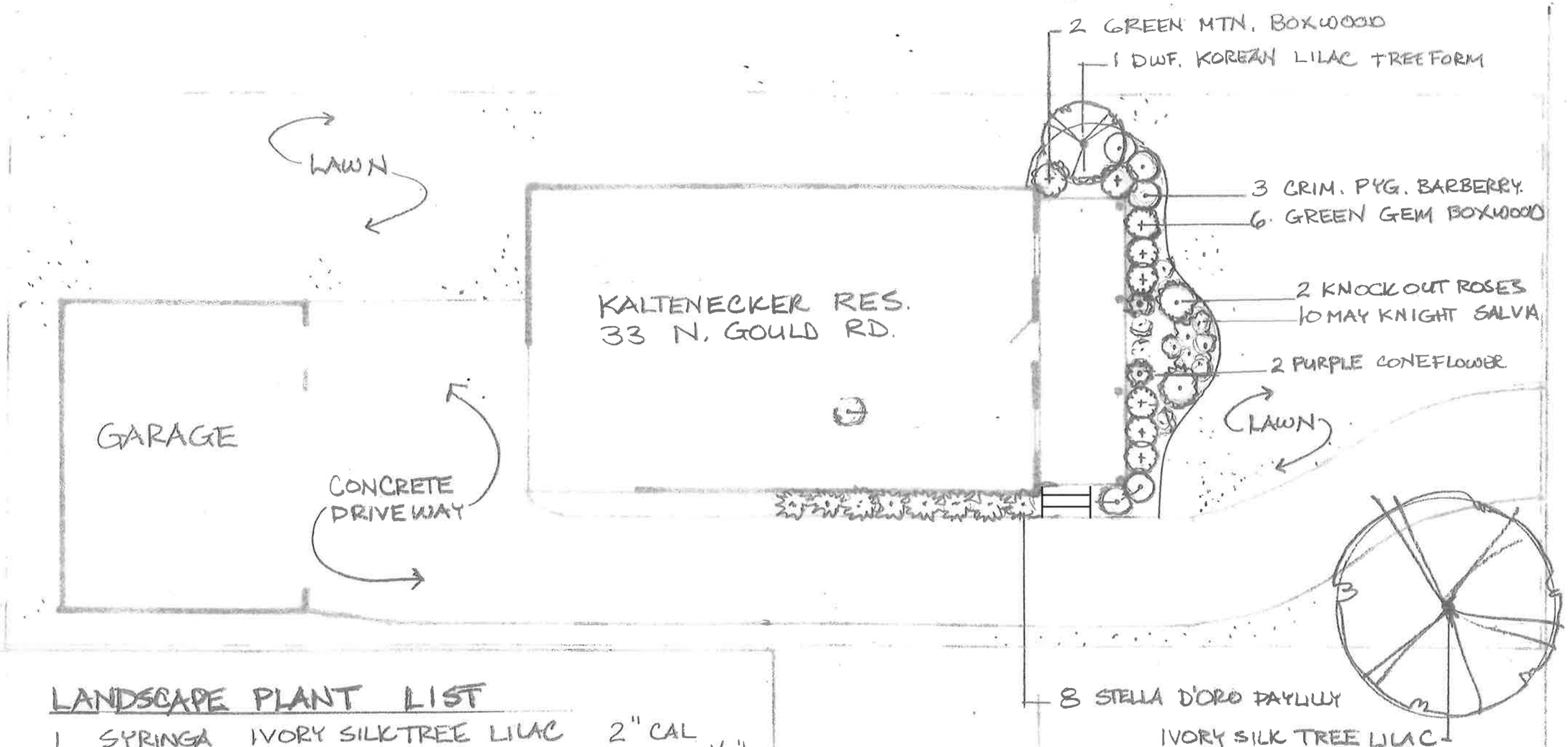
DEVELOPMENT INFORMATION

ZONING:	R6
TOTAL LAND AREA:	7020 SF
MAX BUILDING 35%:	2457 SF
EXISTING COVER:	
HOUSE:	1225 SF
CARPORT:	409 SF
SHED:	23 SF
TOTAL COVER:	1657 SF
MAX DEVELOP 60%:	4212 SF
BUILDING:	1657 SF
DRIVEWAY:	580 SF
TOTAL:	2237 SF

STATE OF OHIO
ALBERT J. MYERS
6879
REGISTERED PROFESSIONAL SURVEYOR

N GOULD ROAD 50'

FIGURE 1.



LANDSCAPE PLANT LIST

1	SYRINGA IVORY SILKTREE LILAC	2" CAL	
1	SYRINGA DWF. KOREAN LILAC TREEFORM	1½" CAL	
2	ROSA KNOCK OUT ROSES DOUBLE PINK	3 GAL.	
6	BERBERIS CRIMSON PYGMY BARBERRY	3 GAL	
2	BUXUS GREEN MOUNTAIN BOXWOOD	24-30"	
6	BUXUS GREEN GEM BOXWOOD	3 GAL	
2	ECHINACEA PURPLE CONEFLOWER	2 GAL	
10	SALVIA MAY KNIGHT SALVIA	1 GAL	
8	HEMEROCALIS STELLA D'ORO DAYLILLY	1 GAL	

KALTENECKER RESIDENCE
33 N. GOULD RD. BEXLEY, OH.
PAUL & LORI (614) 746-3575

NORTH SCALE 1"=10'-0" DRAWN BY S.G.E.

FIGURE 3

33 N. Gould. Paul and Lori Kaltenecker

Response to Tree and Public Garden Commission Checklist

- Existing Conditions Site Plan
    - See *Figure 1* for existing Hard Scape
    - There are no trees on site
    - There are no ornamental shrubs on site
    - There are no trees in the right of way, or within 10 feet of the boundary of the property limits
        - Ergo no need for a tree protection plan
    - No utility poles are located within the property boundary, a utility pole is located adjacent to the North/West corner
    - Neighbor to the South has a six foot privacy fence running approximately half of the length of the property, starting at the South/West corner of the lot, approximately 9 inches to their side of the lot line
    - Neighbor to the West has approximately 5 scrubs, two feet high and approximately two feet off the property line
    - No trees or shrubs will be removed
    - No significant elevation changes are planned on the property
    - The street has no Brick curbs or gutters
    - See attached photos
- Proposed New Site Plan
    - See *Figure 2* for site plan and hard scape
    - See *Figure 3* for proposed new landscape
    - As stated, no trees or utility poles exist on the property, or in the City Right of Way
    - No natural screening exist between neighboring lots, no significant elevation changes are planned for the property, no irrigation system is planned, and the property does not have brick curbs or gutters
    - Proposed landscape plan with new construction should excel over current conditions

33 N GOULD RD HOUSE

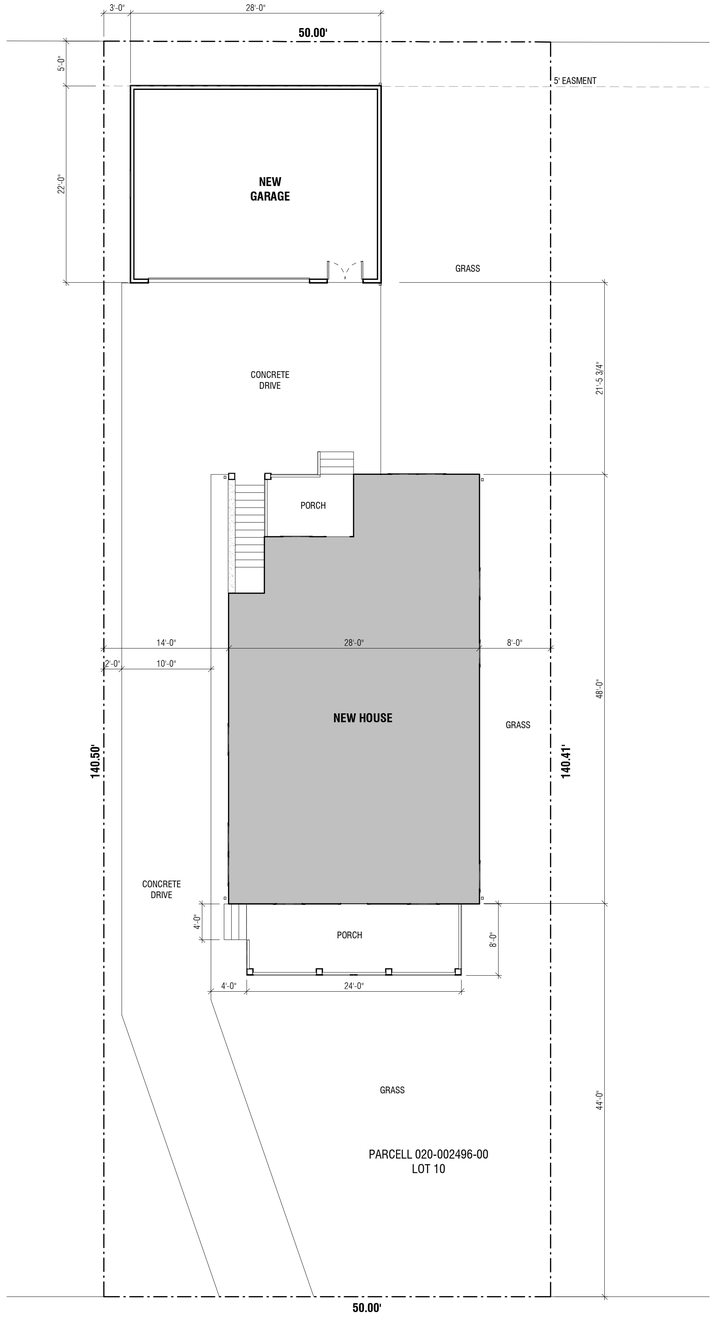
33 N Gould Rd Bexley, OH 43209

PERMIT SET

GENERAL CRITERIA

PROJECT	:	NEW HOUSE CONSTRUCTION
JURISDICTION	:	CITY OF BEXLEY BUILDING DEPARTMENT
BUILDING CODE	:	RCO 2019
BASEMENT:	:	1,026 SF
FIRST FLOOR:	:	1,140 SF
SECOND FLOOR:	:	962 SF
TOTAL HOUSE AREA:	:	**3,128 SF**
GARAGE AREA	:	307 SQ FT
PROJECT TYPE	:	NEW BUILD

SCOPE:
CONSTRUCTION OF NEW 2 - STORY HOUSE ON LOT WHERE OLD HOUSE IS BEING DEMOLISHED.



N GOULD ROAD 50'

1 site plan
SCALE 1/8" = 1'-0"

MICHAEL STINZIANO
Franklin County Auditor

MAP(GIS) Generated on 07/08/2024 at 12:23:24 PM

Parcel ID	Map Routing No	Owner	Location
02000249600	020N012A 05400	KALTENECKER PAUL A	33 GOULD RD N

GIS

Disclaimer

This drawing is prepared for the real property inventory within this county. It is compiled from recorded deeds, survey plats, and other public records and data. Users of this drawing are notified that the public primary information source should be consulted for verification of the information contained on this drawing. The county and the mapping companies assume no legal responsibilities for the information contained on this drawing. Please notify the Franklin County GIS Division of any discrepancies.

The information on this web site is prepared for the real property inventory within this county. Users of this data are notified that the public primary information source should be consulted for verification of the information contained on this site. The county and vendors assume no legal responsibilities for the information contained on this site. Please notify the Franklin County Auditor's Real Estate Division of any discrepancies.

NO.	SHEET TITLE	1	2	3	4	5	6	Current Revision Date
A0-0	COVER							
A-1	FLOOR PLANS							
A-2	ELEVATIONS							
A-3	ROOF PLAN & HOUSE SECTIONS							
A-4	FRAMING PLAN							
A-5	FRAMING PLANS							
A-6	SECTIONS & DETAILS							
A-7	GARAGE PLANS							
E-1	ELECTRICAL PLANS							
M-1	MECHANICAL PLAN							

GENERAL NOTES:

1. GC TO COORDINATE WITH OWNER ON INTERIOR FINISHES.

2. CONTRACTORS TO FIELD VERIFY FIELD CONDITIONS BEFORE START OF WORK AND NOTIFY GC AND OWNER IF ANY DISCREPENSIES ARE FOUND.

SET INFORMATION

DRAWING SET

- ☐ preliminary
- ☐ check
- ☐ bid
- ■ 11-20-2023 permit
- ☐ construction

PROJECT NUMBER

-

DRAWING SET

PERMIT SET

REVISIONS

SEAL

33 N GOULD RD HOUSE
33 N Gould Rd Bexley, OH 43209

OHIO HOME BUILDERS ASSOCIATION (OHBA)

CLIMATE ZONE 5, COMPLIANCE PATH #1

COMPONENT	REQUIRED	ACTUAL
EXTERIOR WALLS R-VALUE	R-15	R-15
CEILING R-VALUE	R-49	R-49
FENESTRATION U-FACTOR	U=0.32	U=0.32
SKYLIGHT U-FACTOR	U=0.60	-
FLOOR VALUE OVER UNCONDITIONED SPACE	30 (19 IF SUFFICIENT TO FILL CAVITY)	30
BASEMENT WALL VALUE (R-10 CONTINUOUS / R-13 CAVITY)	10 / 13 (MIN 4 FEET)	10 / 13 (MIN 4 FEET)
SLAB R-VALUE	10, 2 FEET	-
CRAWL SPACE R-VALUE (R-10 CONTINUOUS / R-13 CAVITY)	10 / 13	-
DUCT INSULATION R-VALUES OUTSIDE THERMAL ENVELOPE	SUPPLY R-8, OTHERS MIN. R-6	-
POST-CONSTRUCTION DUCT TIGHTNESS TESTING (RCO TABLE 1112.3.2.2(a)		
LEAKAGE TO OUTDOORS (PER 100 S.F. OF CONDITIONED FLOOR AREA)		LESS THAN OR EQUAL TO 6 CFM (2.83 L/s)
TOTAL LEAKAGE (PER 100 S.F. OF CONDITIONED FLOOR AREA)		LESS THAN OR EQUAL TO 9 CFM (4.24 L/s)
ROUGH-IN DUCT TIGHTNESS TESTING (RCO TABLE 1112.3.2.2(b) (DUCT TIGHTNESS TEST IS NOT REQUIRED IF THE AIR HANDLER AND ALL DUCTS ARE LOCATED WITHIN CONDITIONED SPACE)		
TOTAL LEAKAGE WITH AIR HANDLER INSTALLED (PER 100 S.F. OF CONDITIONED FLOOR AREA)		LESS THAN OR EQUAL TO 6 CFM (2.83 L/s)
TOTAL LEAKAGE WITHOUT AIR HANDLER INSTALLED (PER 100 S.F. OF CONDITIONED FLOOR AREA)		LESS THAN OR EQUAL TO 4 CFM (1.89 L/s)
MISC:		
CONTROLS	PROGRAMMABLE THERMOSTAT INITIALLY HEATING NO HIGHER THAN 70 F, COOLING NO LOWER THAN 78 F	
LIGHTING SYSTEMS	MINIMUM OF 90% PERMANENT LIGHTING HIGH-EFFICACY LAMPS	

ROOF PLAN NOTES

1. CONTRACTOR TO DETERMINE NUMBER, SIZE AND LOCATION OF DOWNSPOUTS PER CODE FOR PROPER ROOF DRAINAGE.

2. PROVIDE MINIMUM 22"x30" ATTIC ACCESS OPENING INTO ATTIC AREAS THAT HAVE A VERTICAL HEIGHT OF 30 INCHES OR GREATER OVER AN AREA OF NOT LESS THAN 30 SQUARE FEET. ATTIC ACCESS OPENINGS FROM CONDITIONED SPACES TO BE GASKETED. FOR AIR-PERMEABLE INSULATIONS IN VENTED ATTICS, A BAFFLE SHALL BE INSTALLED ADJACENT TO SOFFIT AND EAVE VENTS. BAFFLES SHALL MAINTAIN AN OPENING EQUAL OR GREATER THAN THE SIZE OF THE VENT. THE BAFFLE SHALL EXTEND OVER THE TOP OF THE ATTIC INSULATION MINIMUM 4" MEASURED VERTICALLY. BAFFLE TO BE A SOLID MATERIAL.

3. ROOFS TO HAVE A 1'-0" OVERHANG FROM OUTSIDE FACE OF EXTERIOR HEATHING TO OUTSIDE FACE OF FASCIA, U.N.O.

4. BLOCK ALL BEARING POINTS TO BEAM OR FOUNDATION.

5. ROOF SHEATHING SHALL BE SUPPORTED WITH BLOCKING OR EDGE CLIPPING WHEN RAFTERS OR TRUSSES ARE 24" O.C. OR GREATER

6. FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF.

7. PROVIDE ICE AND WATER SHIELD AT:
ALL VALLEYS, INTERSECTIONS OF ROOF PITCH CHANGES & ROOF ENETRATIONS FROM EDGE OF ROOF TO 24" PAST THE INSIDE FACE OF THE EXTERIOR WALL. WHERE ROOF PLANES INTERSECT VERT. WALLS (18" MIN. UP WALL AND ONTO ROOF).

8. ROOF VENT NFVA CALCULATION:
CONTINUOUS RIDGE VENT ASSUMED TO BE 18" NET FREE VENT AREA PER LINEAR FOOT OF RIDGE VENT. ROOF LOUVERS (HAT VENTS) ASSUMED TO BE 50" NET FREE VENT AREA PER INDIVIDUAL ROOF LOUVER. SHED VENT ASSUMED TO BE 9" NET FREE VENT AREA PER LINEAR FOOT OF VENT.

9. ROOFING TO BE:
DIMENSIONAL ASPHALT SHINGLES ON 15# FELT ON MIN 7/16" OSB SHEATHING ON ROOF TRUSSES OR RAFTERS @ 24" O.C. PROVIDE HURRICANE CLIPS.

FOUNDATION PLAN NOTES

1. ALL 8" FOUNDATION WALLS SHALL HAVE A MINIMUM 16" x 8" CONTINUOUS POURED CONCRETE FOOTING, SEE WALL SECTIONS.
2. CONTRACTOR TO VERIFY THAT ALL STRUCTURAL LOADS TRANSFER TO FOUNDATION
3. CEILING HEIGHTS IN BASEMENTS WITH HABITABLE SPACES OR HALLWAYS SHALL NOT BE LESS THAN 7'-0" CLEAR, EXCEPT UNDER BEAMS, DUCTS OR OTHER
4. ALL PREFABRICATED CONCRETE LINTELS AT FOOTING LEVEL CHANGES SHALL HAVE 8" MINIMUM BEARING AT EACH END.
5. REFER TO STRUCTURAL NOTES SHEET FOR GENERAL STRUCTURE INFORMATION

ATTIC VENTILATION

ATTIC VENTILATION:
ENCLOSED ATTICS AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY VENTILATING OPENINGS PROTECTED FROM THE ENTRANCE OF RAIN OR SNOW.

THE MINIMUM NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1 TO 150 OF THE AREA OF THE VENTILATED SPACE, EXCEPT THAT THE AREA MAY BE 1 TO 300 IF NOT LESS THAN 40% AND NOT MORE THAN 50% OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE ATTIC OR RAFTER SPACE.

UPPER VENTILATORS SHALL BE LOCATED NOT MORE THAN 3 FEET BELOW THE RIDGE OR HIGHEST POINT OF THE SPACE, MEASURED VERTICALLY. THE BALANCE OF THE REQUIRED VENTILATION PROVIDED SHALL BE LOCATED IN THE BOTTOM 1/3 OF THE ATTIC SPACE.

HOUSE ATTIC: 1,093.4 S.F.

SMOKE AND FIRE PROTECTION NOTES

1. SMOKE DETECTORS SHALL BE INSTALLED INSIDE EACH BEDROOM, OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH FLOOR, INCLUDING THE BASEMENT. THE SMOKE DETECTORS SHALL BE HARDWIRED WITH BATTERY BACKUP AND CONNECTED TOGETHER. ALL SMOKE ALARMS TO USE IONIZATION AND PHOTOELECTRIC TECHNOLOGY ON ALL LEVELS. SMOKE ALARMS OUTSIDE OF BEDROOMS TO USE PHOTOELECTRIC TECHNOLOGY

2. FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND BETWEEN STORIES AND ROOF

PLAN LEGEND

EXTERIOR WALLS:
2X4 STUD WALLS @ 16" O.C. WITH 1/2" DRYWALL INTERIOR SIDE AND 1/2" PLYWOOD SHEATHING WITH BUILDING WRAP AND SIDING ON EXTERIOR.

INTERIOR WALLS:
2X4 STUD WALLS @ 16" O.C. WITH 1/2" DRYWALL ON EXPOSED SIDES.

GENERAL PLAN NOTES

INTERIOR WALLS - TO BE FRAMED OUT WITH 2X4 WOOD STUDS @ 16" O.C. WITH 1/2" DRYWALL BOTH SIDES UNLESS FOR UTILITY CHASES.

FINISHES BY OWNER.

NEW INTERIOR WALLS ARE DIMENSIONED TO FACE OF STUD UNLESS NOTED OTHERWISE.

PROVIDE 1/2" (MINIMUM) GYPSUM WALL BOARD ON WALLS. PROVIDE MOISTURE-RESISTANT CEMENT BOARD AT ALL WET LOCATIONS. TUB/ SHOWER UNITS ARE INSTALLED AGAINST STUDS, GYPSUM BOARD EXTENDS TO IT.

VERIFY ROUGH-IN DIMENSIONS FOR ALL APPLIANCES & PLUMBING FIXTURES PRIOR TO FRAMING PARTITIONS, ORDERING CABINETRY OR FABRICATING MILLWORK.

PROVIDE 2x BLOCKING @ EXTERIOR WALLS FOR ALL SHEATHING OR GYPSUM WALL BOARD JOINTS THAT ARE NOT LOCATED AT A STUDS.

PROVIDE FIVE (5) FIXED SHELVES IN PANTRIES AND FIVE (5) ADJUSTABLE SHELVES IN LINEN CLOSETS. LINEN CLOSES IS ON 2ND FLOOR ADJACENT THE STAIRS.

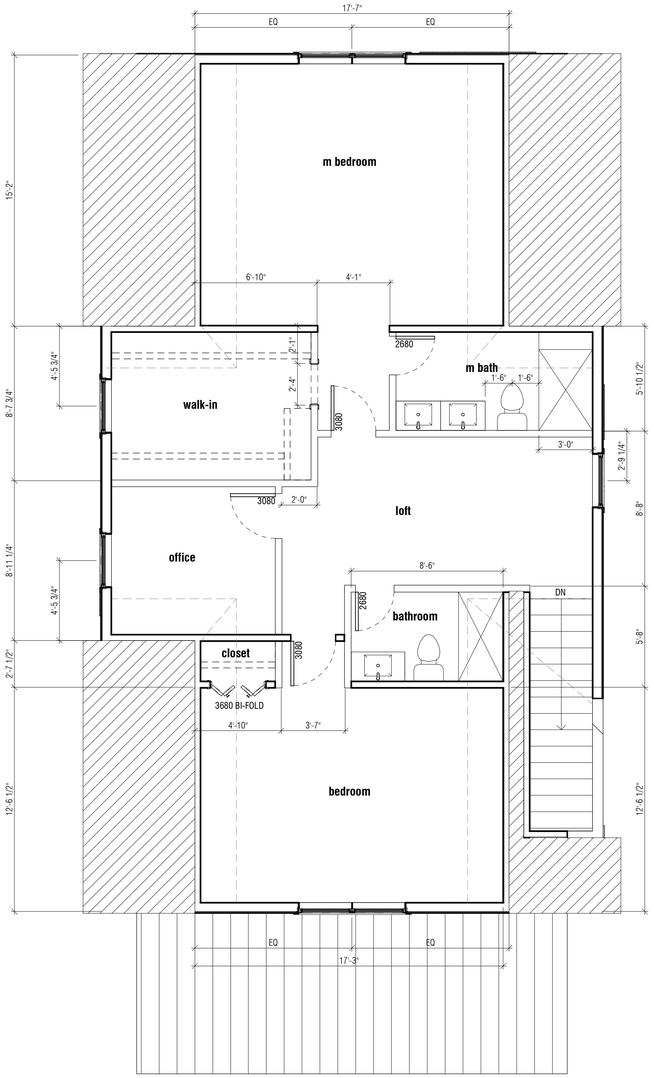
PROVIDE "IC RATED" LIGHT FIXTURES IN INSULATED CEILING SPACES.

ALL EXTERIOR DOORS TO BE WEATHER-STRIPPED.

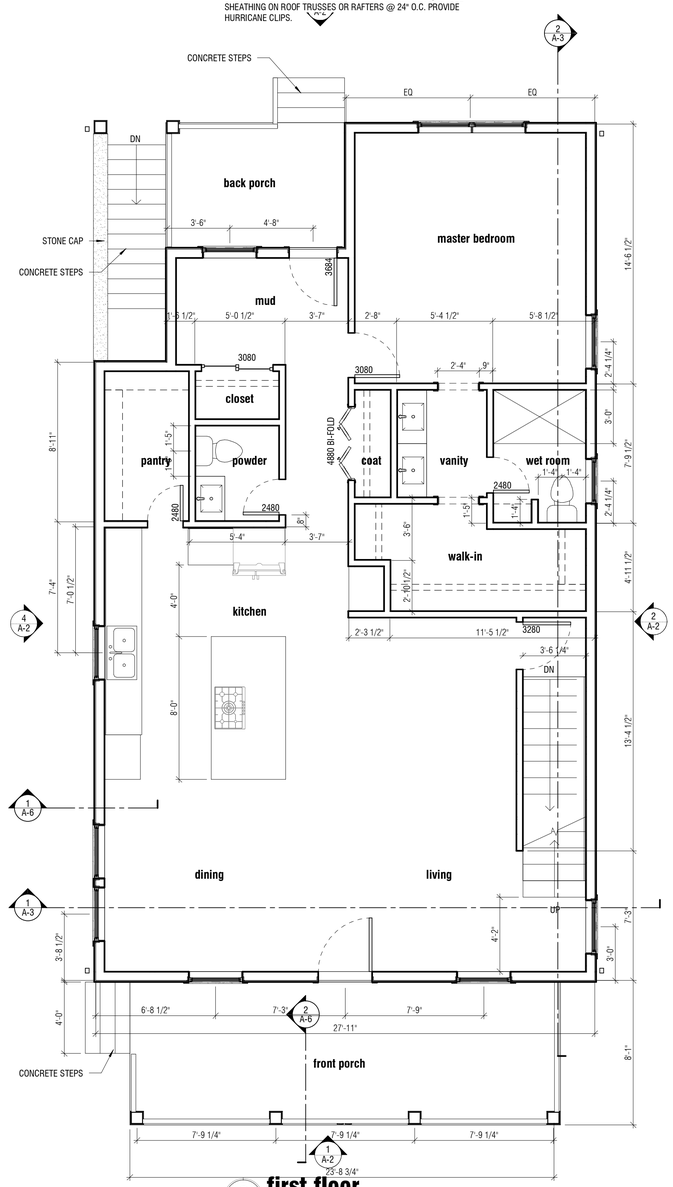
SMOKE DETECTORS TO BE HARDWIRED. HALLWAYS TO HAVE COMBINATION SMOKE DETECTOR/ CARBON MONOXIDE DETECTOR.

PROVIDE WALL OR FLOOR STOPS ON ALL DOORS

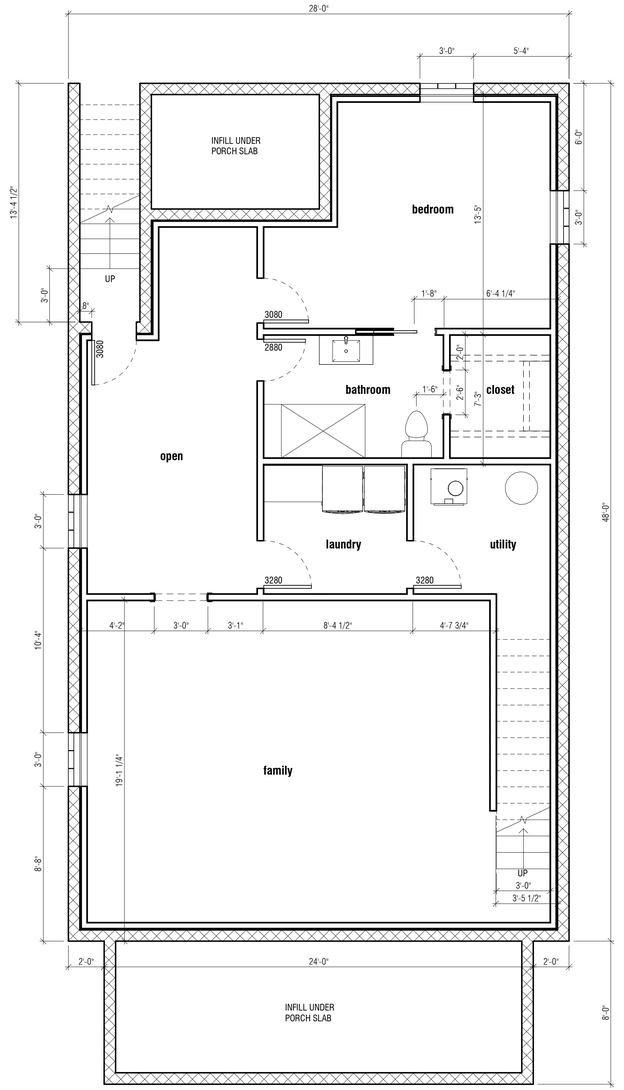
GARAGE WALLS OPPOSITE INTERIOR WALLS SHALL HAVE 5/8" TYPE 'X' DRYWALL AND BE FILLED WITH MIN. R13 INSULATION.



3 **second floor**
SCALE 1/4" = 1'-0"



2 **first floor**
SCALE 1/4" = 1'-0"



1 **basement plan**
SCALE 1/4" = 1'-0"

33 N GOULD RD HOUSE

33 N Gould Rd Bexley, OH 43209

Drawings
- ☐ Preliminary
- ☐ Bid Set
- ☐ Permit Set
- ☐ Construction

Revisions

#	Date	Description
1		
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FLOOR PLANS

A-1

WINDOW NOTES:

1. WINDOWS TO BE TEMPERED ANY PLACE WITHIN 24" OF A DOOR JAMB.

2. WINDOWS TO BE TEMPERED WHEN BOTTOM EDGE IS LESS THAN 18" AFF.
   A. AND TOP EDGE IS GREATER THAN 36" AFF.
   B. AND GREATER THAN 9 SQ FT.
   C. AND WALKING SURFACE WITHIN 36".

3. WINDOWS TO BE TEMPERED WHEN ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY AT THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60" ABOVE THE NOSE OF THE TREAD.

WINDOW SCHEDULE

Type Mark	Width	Height	Comments	Count
01	3' - 0"	5' - 0"	7.5 SF CLEAR EGRESS > 6.7SF REQUIRED FOR BEDROOM EGRESS	13
02	3' - 0"	4' - 0"		3
03	3' - 0"	3' - 6"		1
04	3' - 0"	2' - 0"		4
05	2' - 6"	4' - 0"		2
06	3' - 0"	6' - 0"		2

4 south elevation
SCALE 1/4" = 1'-0"

3 west elevation
SCALE 1/4" = 1'-0"

2 north elevation
SCALE 1/4" = 1'-0"

1 east elevation
SCALE 1/4" = 1'-0"

33 N GOULD RD HOUSE

33 N Gould Rd Bexley, OH 43209

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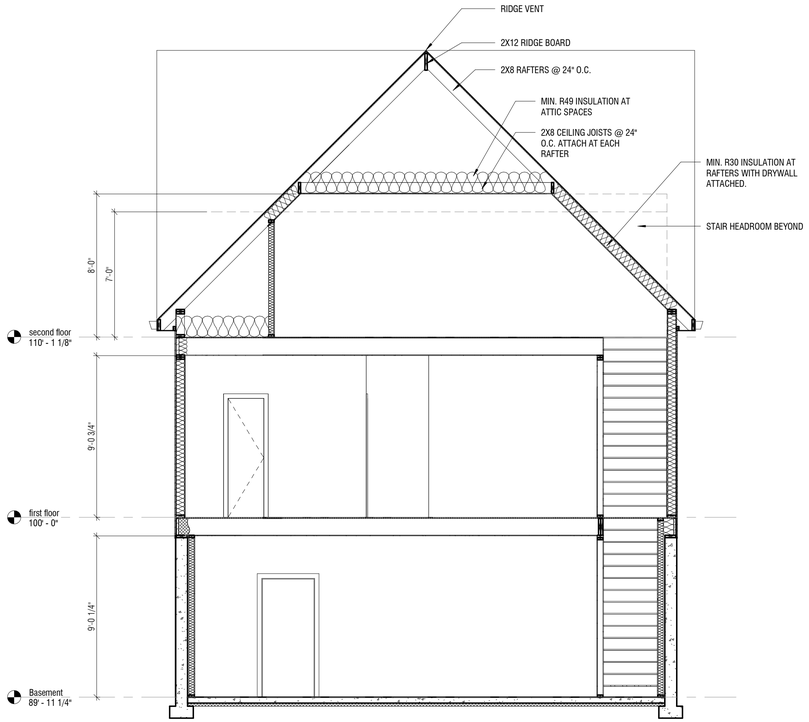
ELEVATIONS

A-2



1 house section
SCALE 1/4" = 1'-0"

STAIR NOTES:

1. HANDRAILS SHALL HAVE A HEIGHT OF 34" - 38" AND SHALL RUN CONTINUOUS THE FULL LENGTH OF THE STAIRS, AND SHALL EXTEND 6" BEYOND THE TOP AND BOTTOM RISER. AND RAIL ENDS SHALL BE RETURNED OR SHALL TERMINATE INTO A NEWEL POST. HANDRAILS PROJECTING FROM A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" BETWEEN THE WALL AND THE HANDRAIL. ANY OPEN SIDES SHALL HAVE BALUSTERS WITH LESS THAN 4" CLEAR SPACE BETWEEN. HANDRAIL TO BE NO LESS THAN 1 1/4" DIA. AND NO GREATER THAN 2" DIAMETER. GUARDRAILS SHALL BE PROVIDED WHEN FLOOR ELEVATION IS MORE THAN 36" ABOVE ADJACENT FLOOR OR GRADE

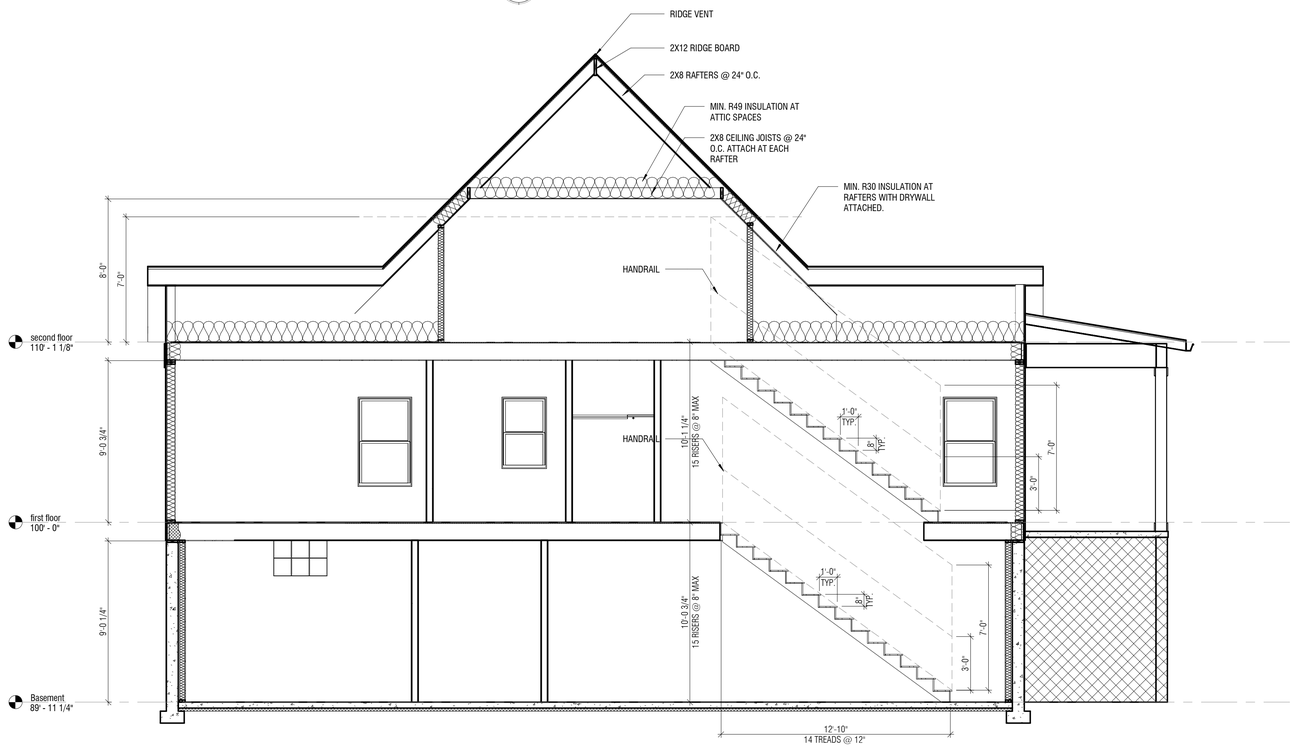
2. MAXIMUM RISER HEIGHT TO BE 8 1/4". THE RISER SHALL BE MEASURED VERTICALLY BETWEEN LANDING EDGES OF THE ADJACENT TREADS. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

3. MINIMUM TREAD DEPTH TO BE 9". THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8".

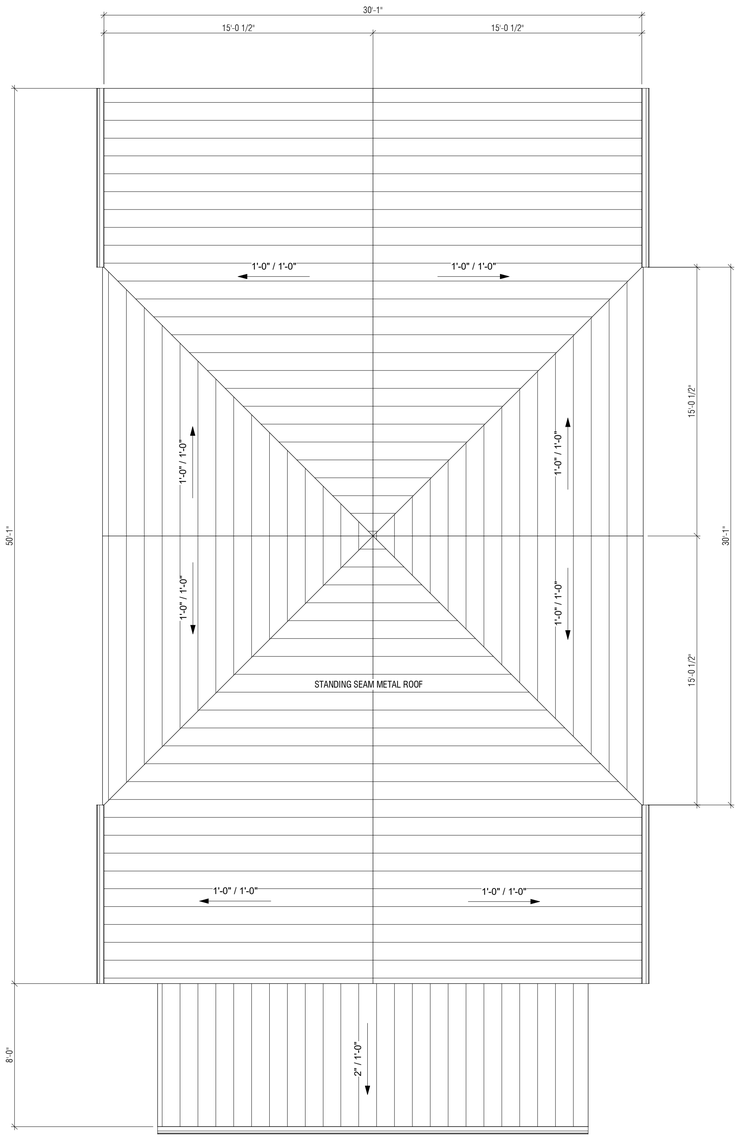
4. ALL NOSING TO BE A 1" PROTRUSION. THE RADIUS OF THE CURVATURE OF THE LEADING EDGE OF THE TREAD SHALL BE NO GREATER THAN 9/16". A NOSING NOT LESS THAN 3/4" BUT NOT MORE THAN 1 1/4" SHALL BE PROVIDED ON STAIRWAYS WITH SOLID RISERS. THE GREATEST NOSING PROJECTION SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" BETWEEN TWO STORIES, INCLUDING THE NOSING AT THE FLOORS AND LANDINGS. BEVELING OF NOSING SHALL NOT EXCEED 1/2". RISERS SHALL BE VERTICAL OR SLOPED FROM THE UNDERSIDE OF THE LEADING EDGE OF THE TREAD ABOVE AT AN ANGLE NOT MORE THAN 30 DEGREES FROM THE VERTICAL. OPEN RISERS ARE PERMITTED, PROVIDED THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4-INCH DIAMETER SPHERE.

5. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH A MEANS TO ILLUMINATE THE STAIR, INCLUDING THE LANDINGS AND TREADS. INTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF EACH LANDING IN THE STAIRWAY. FOR INTERIOR STAIRS THE ARTIFICIAL LIGHT SOURCES SHALL BE CAPABLE OF ILLUMINATING TREADS AND LANDINGS TO LEVELS NOT LESS THAN 1 FOOT-CANDLES (11 LUX) MEASURED AT THE CENTER OF THE TREADS AND LANDINGS. EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE TOP LANDING OF THE STAIRWAY. EXTERIOR STAIRWAYS PROVIDING ACCESS TO A BASEMENT FROM THE OUTSIDE GRADE LEVEL SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED IN THE IMMEDIATE VICINITY OF THE BOTTOM LANDING OF THE STAIRWAY.

6. ALL STAIRS, INTERIOR AND EXTERIOR, TO BE CONSTRUCTED WITH A MINIMUM OF (1) 2x12 STRINGER PER 16" OF WIDTH OF STAIR, AND A MINIMUM OF 3 STRINGERS PER STAIR, UNLESS ENGINEERED OTHERWISE. ALL STRINGERS TO BE SPACED EQUALLY.



2 house section 2
SCALE 1/4" = 1'-0"



3 roof plan
SCALE 1/4" = 1'-0"

33 N GOULD RD HOUSE

33 N Gould Rd Bexley, OH 43209

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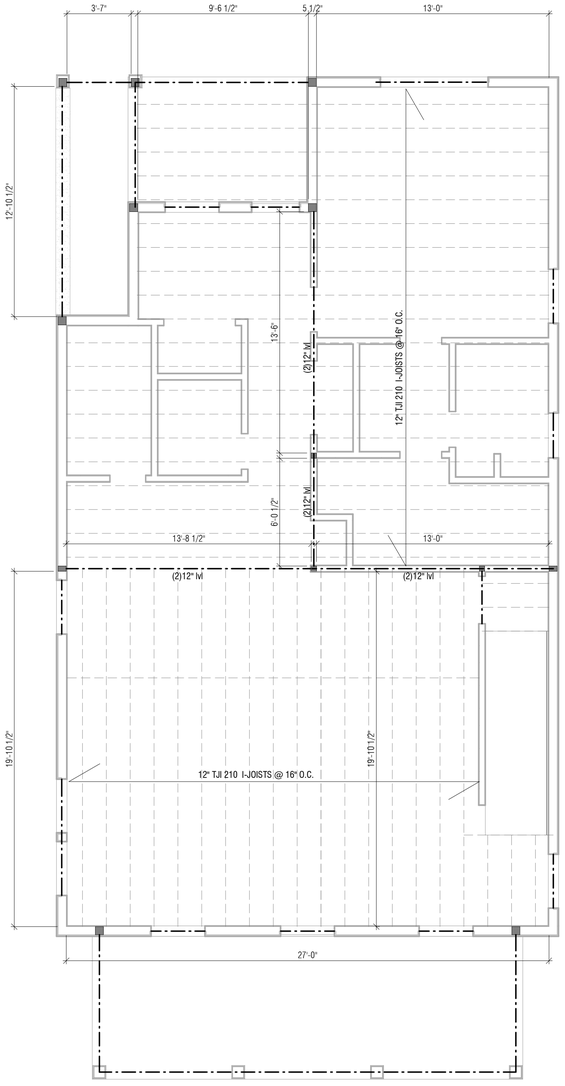
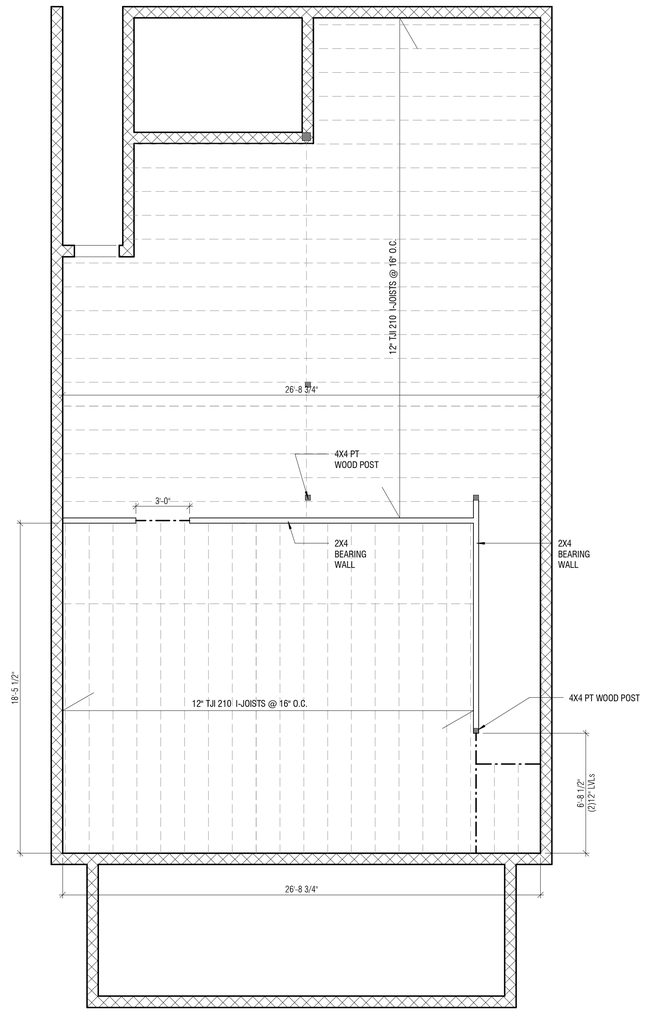
ROOF PLAN & HOUSE SECTIONS

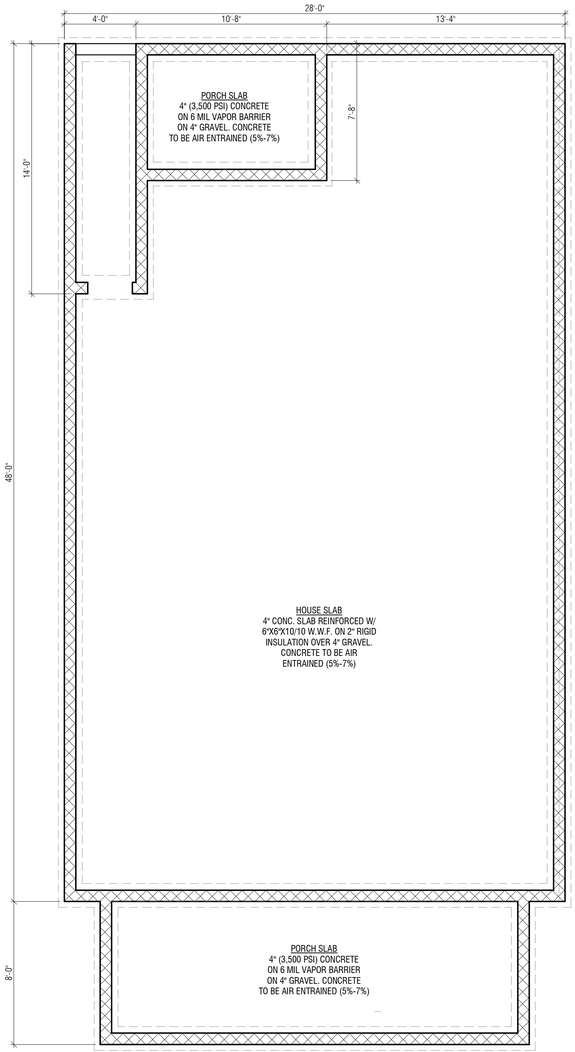
A-3



3 **seconf floor framing**
SCALE 1/4" = 1'-0"



2 **first floor framing**
SCALE 1/4" = 1'-0"



1 **foundation plan**
SCALE 1/4" = 1'-0"

FRAMING NOTES

FRAMING DIMENSIONS ARE TO INSIDE FACE OF LEDGE BOARD

ALL HEADERS AND BEAMS TO BEAR ON MINIMUM (1) KING STUD & (1) JACK STUD EACH SIDE OF OPENING, U.N.O.

HEADERS

3'-0" AND LESS (2) 2X6 #1 SPF

3'-1" TO 6'-0" (2) 2X8 #1 SPF

6'-1" TO 18'-0" (2) 2X12 #1 SPF

RAFTER NOTES

1. ALL RAFTERS SHALL BE NAILED TO CEILING JOISTS TO FORM A CONTINUOUS TIE BETWEEN EXTERIOR WALLS WHERE JOISTS ARE PARALLEL TO THE RAFTERS. WHERE RAFTERS ARE NOT PARALLEL, RAFTERS SHALL BE TIED WITH A RAFTER TIE WHICH SHALL BE LOCATED AS NEAR TO THE PLATE AS PRACTICAL. RAFTER TIES SHALL NOT BE SPACED MORE THAN 48" O.C.

2. RAFTERS SHALL BE FRAMED TO RIDGE BOARD, OR TO EACH OTHER, WITH GUSSET PLATES AS A TIE.

3. RIDGE BOARDS SHALL BE AT LEAST 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER. WHEN THE CUT END OF THE RAFTER EXCEEDS 11 1/4" THE RIDGE BOARD SHALL BE CONSTRUCTED OF A SOLID 2x12 WITH AN ADDITIONAL 2x FURRED TO THE BOTTOM EDGE OF THE 2x12.

4. VALLEY AND HIP RAFTERS SHALL NOT BE LESS THAN 2" NOMINAL THICKNESS AND NOT LESS IN DEPTH THAN THE CUT END OF THE RAFTER.

5.HIP AND VALLEY RAFTERS SHALL BE SUPPORTED AT THE RIDGE BY A BRACE TO A SUPPORTING PARTITION WALL, OR BE DESIGNED TO CARRY / DISTRIBUTE THE SPECIFIC LOAD AT THAT POINT.

CONCRETE NOTES

1. ALL CONCRETE USED FOR FOOTINGS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2500 PSI AFTER 28 DAYS.

2. ALL FOUNDATIONS / FOOTINGS SHALL BE PLACED ON UNDISTURBED SOIL 36 INCHES BELOW SURFACE GRADE OR AS REQUIRED BY LOCAL JURISDICTION'S FROST DEPTH.

3. THE MINIMUM FOUNDATION / FOOTING WIDTH SHALL COMPLY WITH RECOMMENDATIONS FOUND IN RCO 403.1

DESIGN CRITERIA

GOVERNING CODE: RESIDENTIAL CODE OF OHIO 2019

WIND SPEED (V):	90 MPH (3 second gust)
IMPORTANCE FACTOR (1):	1.0
EXPOSURE CATEGORY:	C
INERNAL PRESSURE:	+0.18 (-0.18)
DESIGN WIND PRESSURE:	+13.0 PSF (-14.0 PSF)
DEAD LOAD:	15 PSF
LIVE LOAD:	40 PSF
GROUND SNOW LOAD (pg):	20 PSF
IMPORTANCE FACTOR (1):	1.0
EXPOSURE FACTOR (Ce):	0.9
THERMAL FACTOR (Ct):	1.0
ROOF LIVE LOAD:	20 PSF

33 N GOULD RD HOUSE

33 N Gould Rd Bexley, OH 43209

Drawings

- ☐ Preliminary
- ☐ Bid Set
- ☐ Permit Set
- ☐ Construction

Revisions

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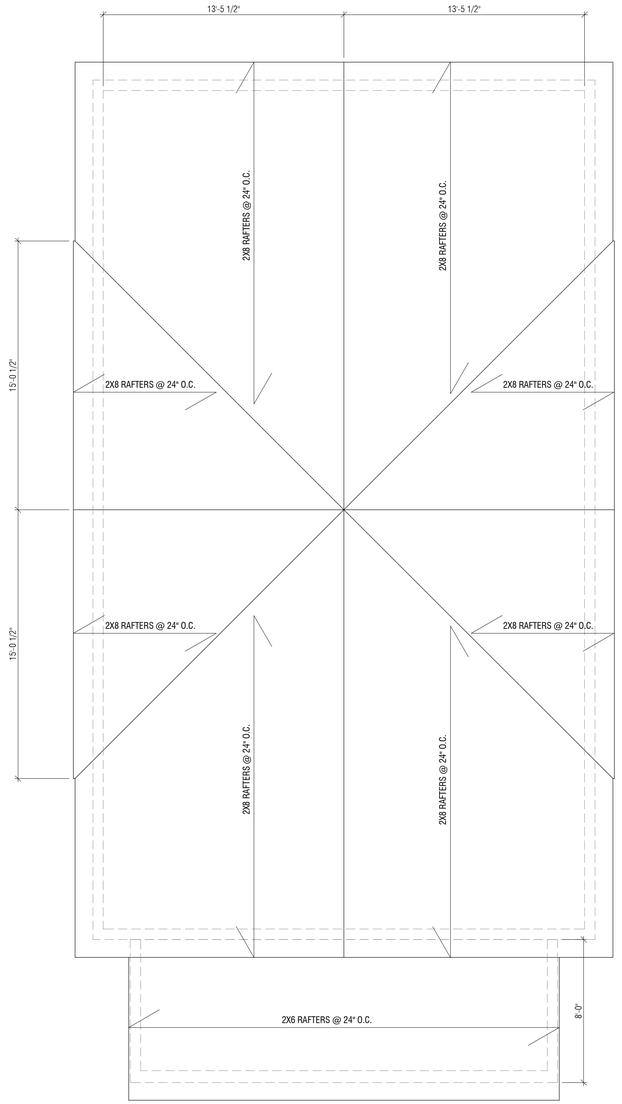
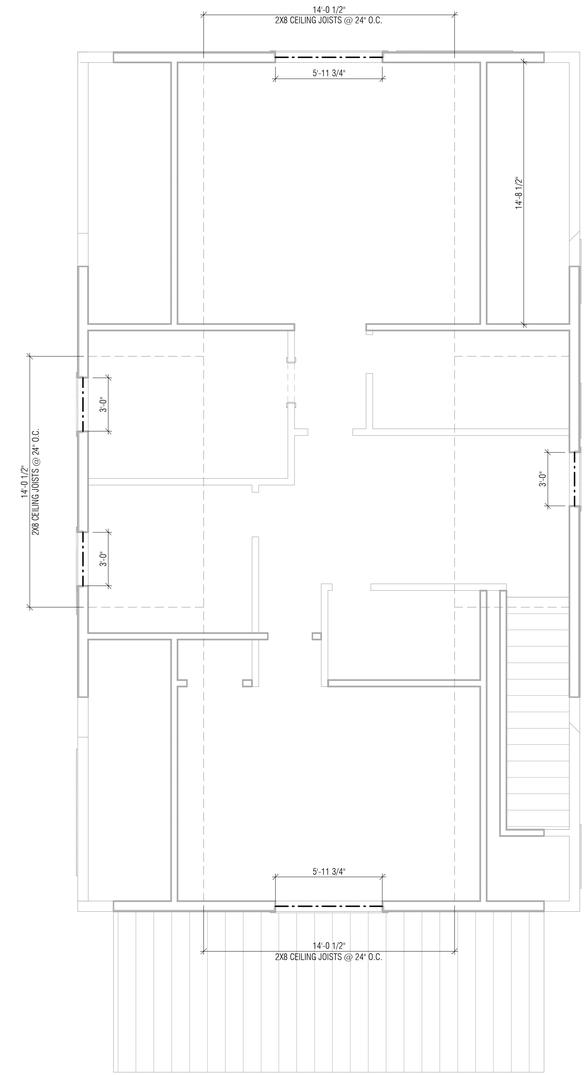
FRAMING PLAN

A-4



2 roof framing
SCALE 1/4" = 1'-0"



1 attic framing
SCALE 1/4" = 1'-0"

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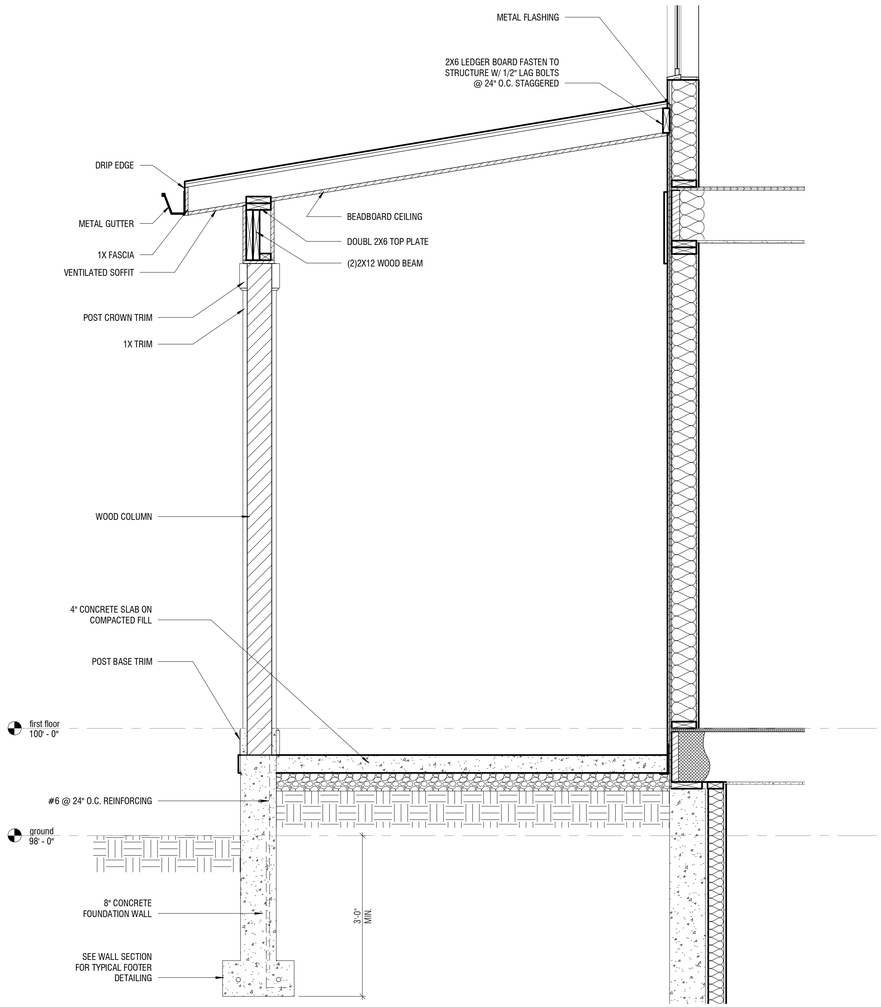
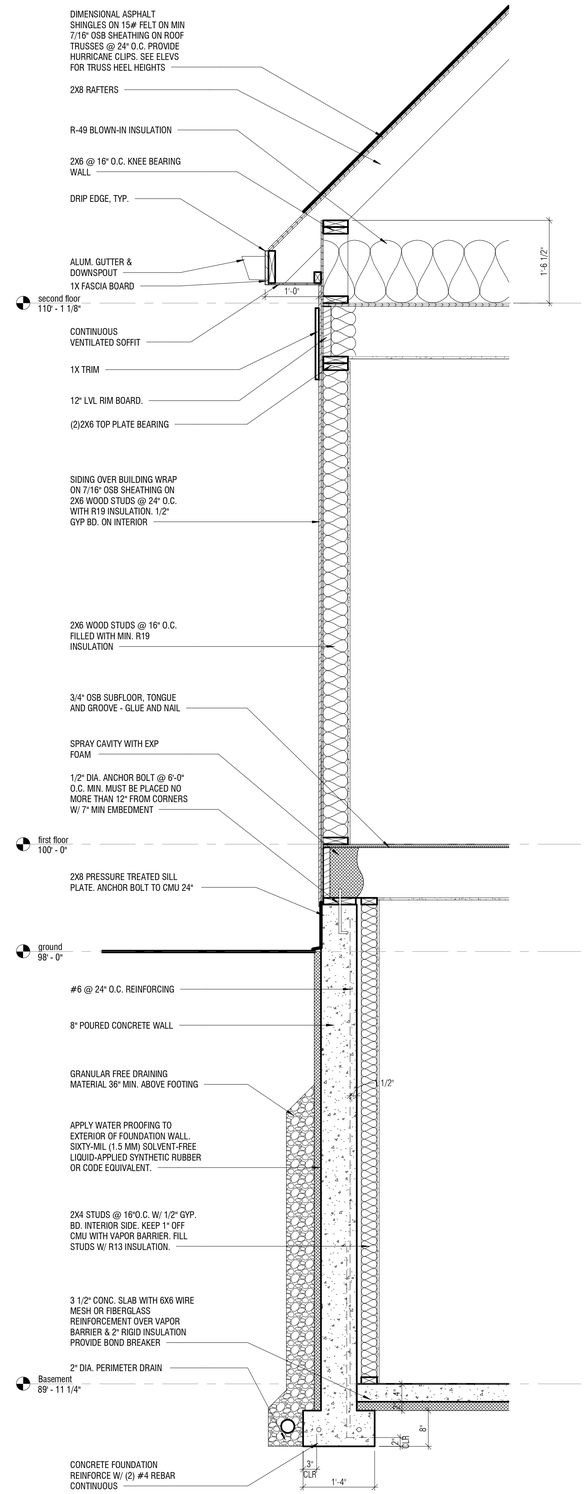
FRAMING PLANS

A-5



2 porch section
SCALE 3/4" = 1'-0"



1 wall section
SCALE 3/4" = 1'-0"

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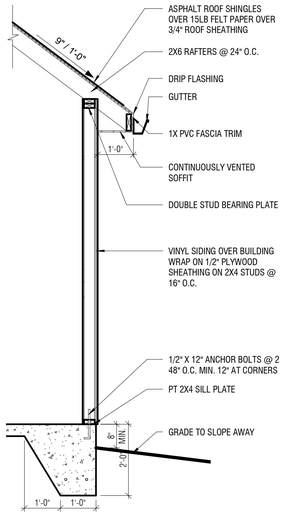
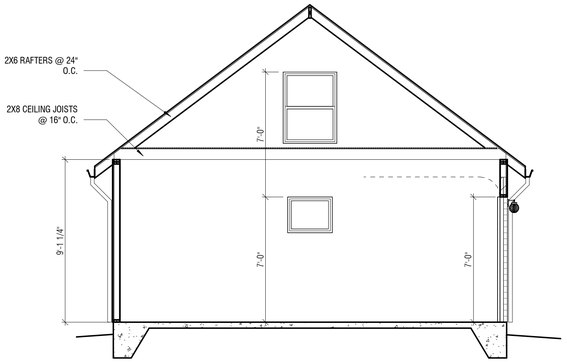
SECTIONS & DETAILS

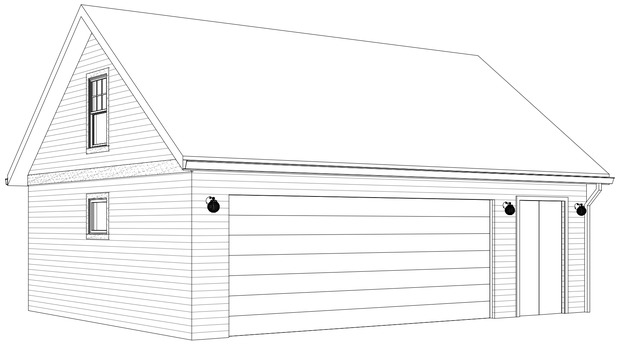
A-6

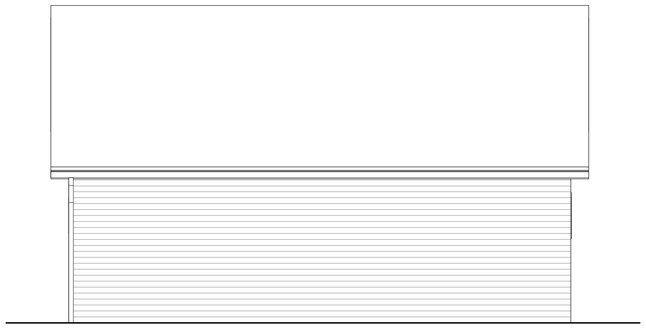


9 garage section
SCALE 1/2" = 1'-0"

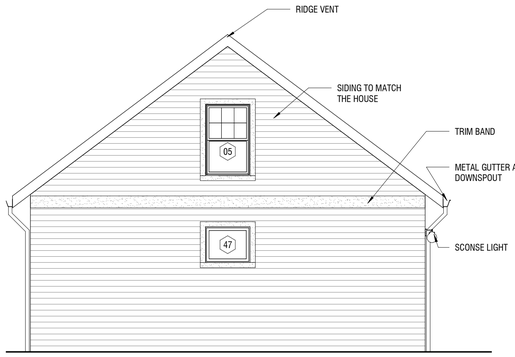


6 garage
SCALE 1/4" = 1'-0"

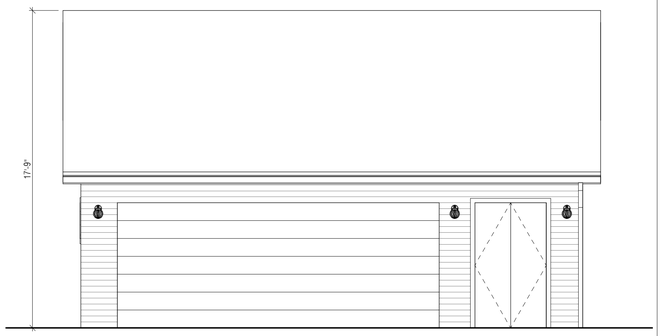




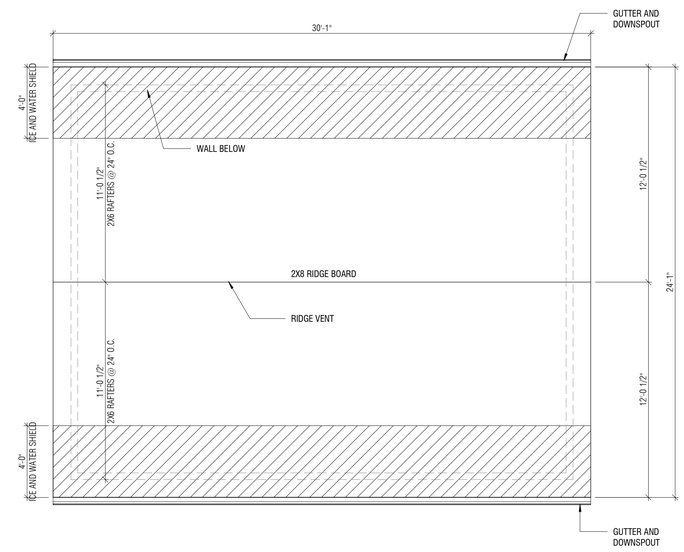
7 garage back
SCALE 1/4" = 1'-0"



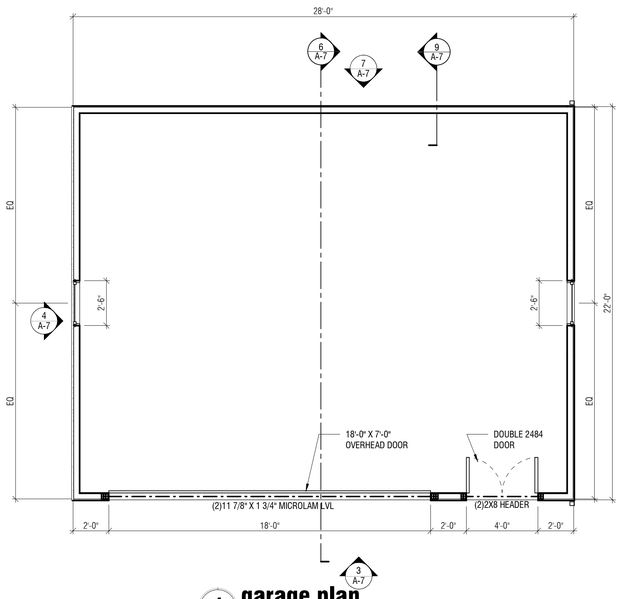
4 garage side
SCALE 1/4" = 1'-0"



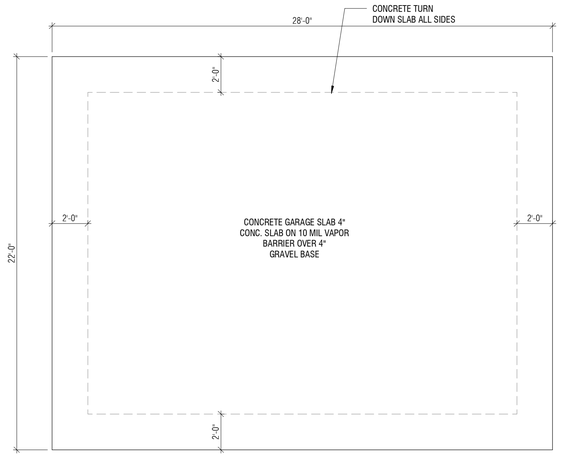
3 garage front
SCALE 1/4" = 1'-0"



2 garage roof
SCALE 1/4" = 1'-0"



1 garage plan
SCALE 1/4" = 1'-0"



8 garage slab plan
SCALE 1/4" = 1'-0"

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GARAGE PLANS

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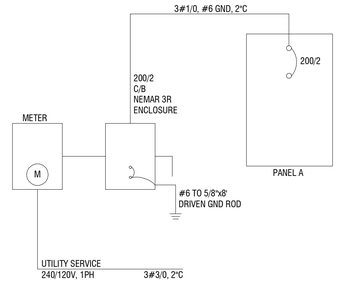


Riser diagram

ELECTRICAL NOTES

1. NEW ELECTRICAL SERVICE TO BE 200 AMP.

2. ALL WORK SHALL MEET OR EXCEED ALL CURRENT NEC STANDARDS.

3. ALL RECEPTACLES NOT OTHERWISE NOTED TO HAVE GFCI PROTECTION ARE TO BE ARC FAULT PROTECTED AND TAMPER-PROOF

4. ALL BATHROOM RECEPTACLES SHALL BE GFCI RECEPTACLES ALL RECEPTACLES IN THE KITCHEN MOUNTED AT COUNTERTOP HEIGHT ARE TO HAVE GFCI PROTECTION.

5. ALL SMOKE DETECTORS SHALL BE 120 VOLT WITH AUDIBLE ALARM AND BATTERY BACKUP AND SHALL BE ELECTRONICALLY INTERCONNECTED SO THAT DETECTION OF SMOKE BY ANY DETECTOR SHALL GO INTO ALARM. SMOKE DETECTORS SHALL BE BRK CAT. $4120B.

6. CARBON MONOXIDE DETECTORS TO BE HARDWIRED AND INTERCONNECTED WITH BATTERY BACKUP.

7. PROVIDE 120/240 V STOVE RECEPTACLE. THIS RECEPTACLE MUST BE PROVIDED WITH A GROUNDED CONDUCTOR AND AN EQUIPMENT GROUNDING CONDUCTOR PER NEC.

8. PROVIDE 220 DRYER RECEPTACLE. THIS RECEPTACLE MUST BE PROVIDED WITH A GROUNDED CONDUCTOR AND AN EQUIPMENT GROUNDING CONDUCTOR PER NEC. PROVIDE A DUPLEX RECEPTACLE FOR WASHER. MOUNT BOTH RECEPTACLES AT 30" A.F.F. TO BOTTOM OF RECEPTACLES.

9. INSTALL WALL OUTLETS WITH THE BOTTOM OUTLET AT LEAST 18" A.F.F.

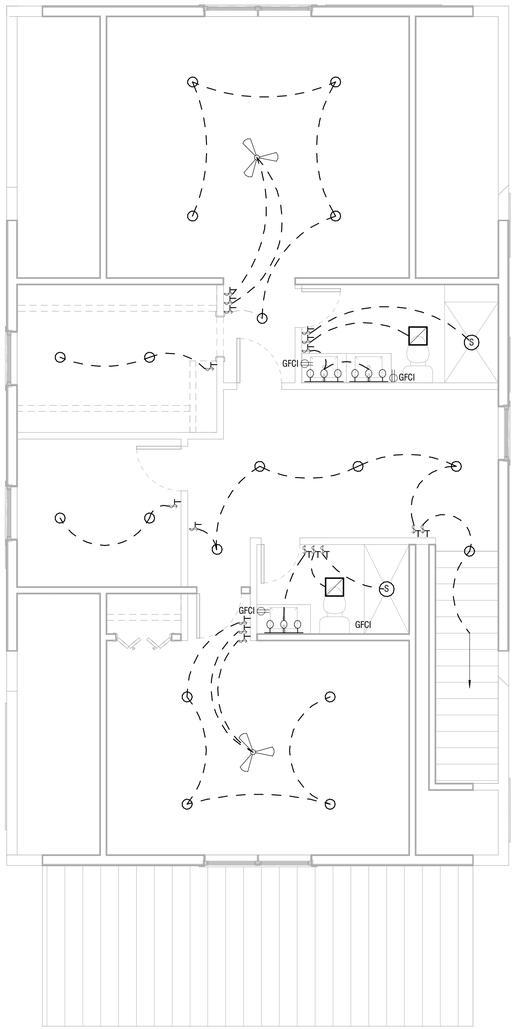
10. INSTALL WALL SWITCHES WITH THE SWITCH ITSELF BEING NO HIGHER THAN 42" A.F.F.

11. INSTALL THERMOSTAT NO HIGHER THAN 48" A.F.F.

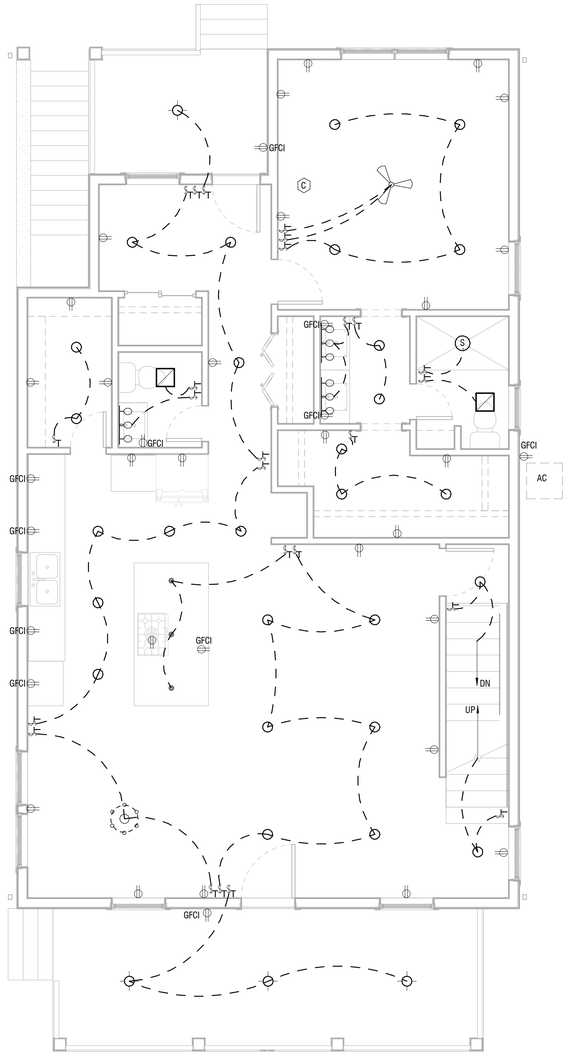
12. PROVIDE RECEPTACLE BELOW SINK FOR DISHWASHER AND GARBAGE DISPOSAL.

SYMBOL LEGEND

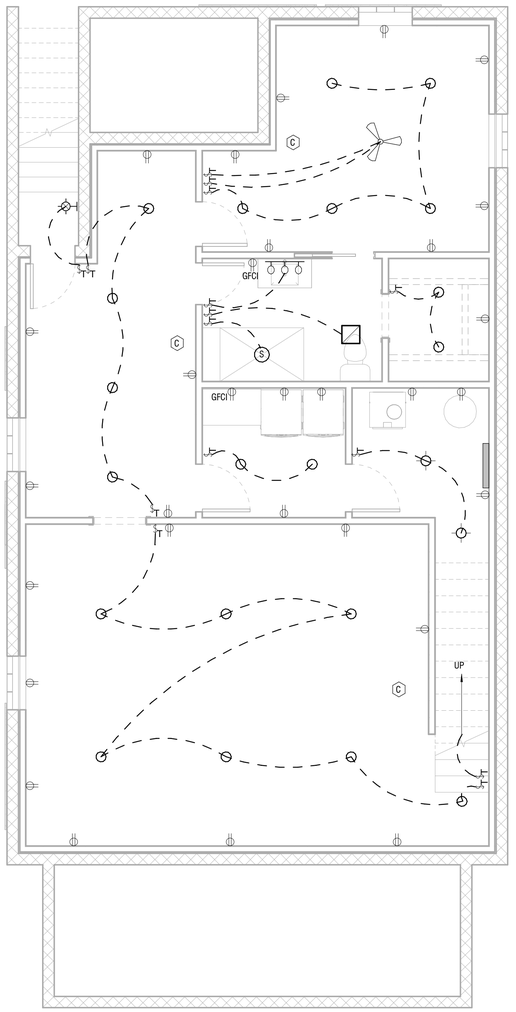
- RECESSED CAN 6"
- CEILING LIGHT
- FLOOD LIGHT / DAWN TO DUSK
- 1/2 SWITCHED DUPLEX RECEPTACLE
- COMBO CARBON DIOXIDE / SMOKE DETECTOR
- LIGHT SWITCH
- EXHAUST FAN
- VANITY LIGHT
- CHANDELIER
- SHOWER LIGHT
- FAN / LIGHT
- THERMOSTAT
- PENDANT LIGHT
- ELECTRICAL PANEL



3 **second floor electrical**
SCALE 1/4" = 1'-0"



2 **first floor electrical**
SCALE 1/4" = 1'-0"



1 **basement electrical**
SCALE 1/4" = 1'-0"

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ELECTRICAL PLANS

E-1

PLUMBING NOTES

1. ALL PLUMBING TO BE INSTALLED PER CURRENT CODE.

2. ALL PLUMBING SHALL BE RUN ON INTERIOR SIDE OF CONDITIONED SPACES.

3. OWNER TO SELECT FINISHES AND FIXTURES. COORDINATE WITH OWNER AND SELECTED FIXTURES ON EXACT LOCATIONS OF PLUMBING.

4. SHOWER VALVE (SV) TO BE INSTALLED FOR SHOWER.

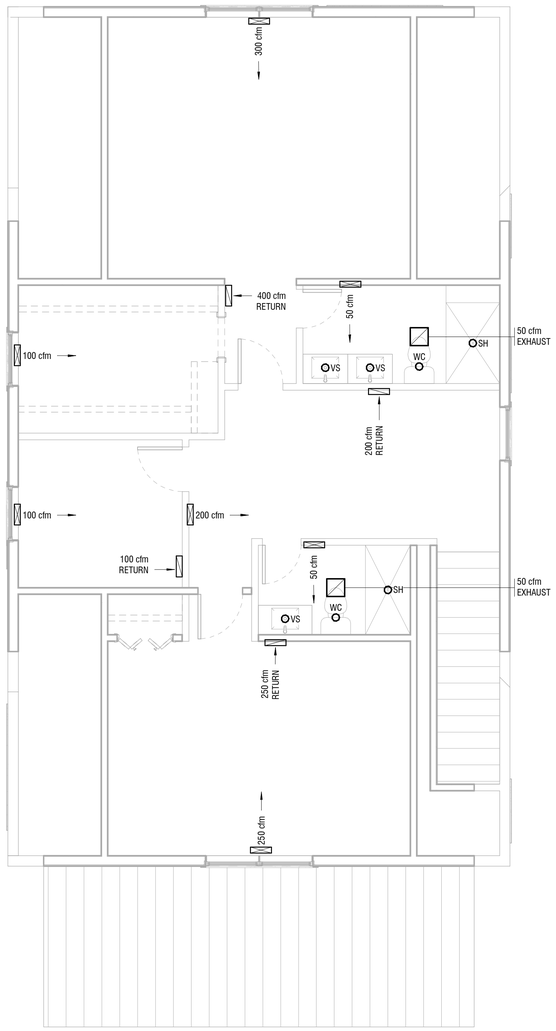
WC = WATER CLOSET
VS = VANITY SINK
KS = KITCHEN SINK
WB = WASHER BOX
SH = SHOWER
TUB = BATH TUB
DW = DISHWASHER
V = VENT

HVAC NOTES

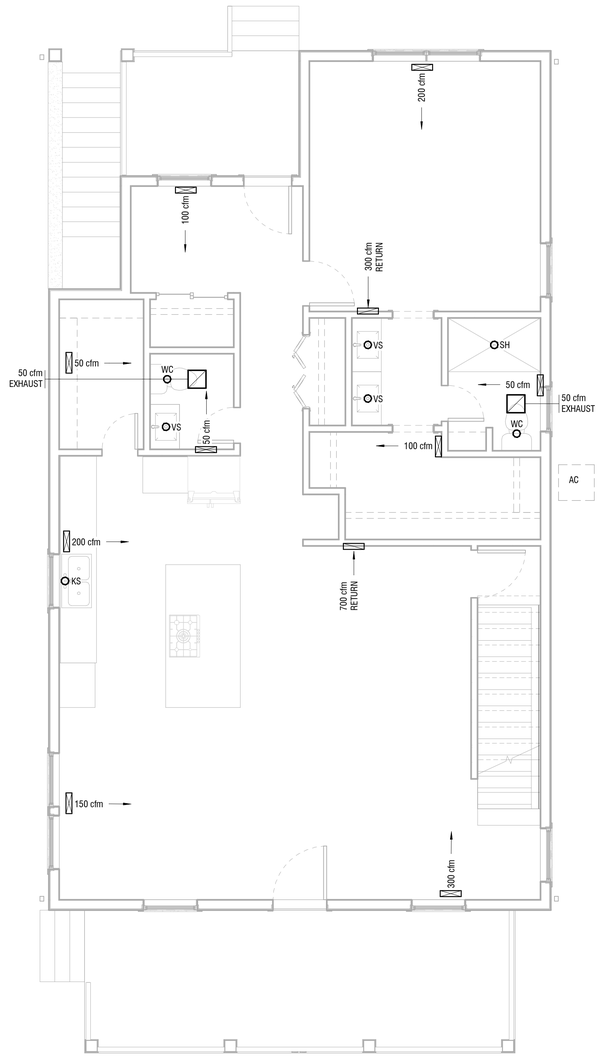
1. ALL HVAC EQUIPMENT AND DUCTWORK SHALL COMPLY WITH CURRENT BUILDING CODES.

2. HVAC CONTRACTOR TO PROVIDE MANUFACTURER SPEC FOR MAXIMUM EQUIVALENT LENGTH IN REGARDS TO EQUIPMENT VENTING.

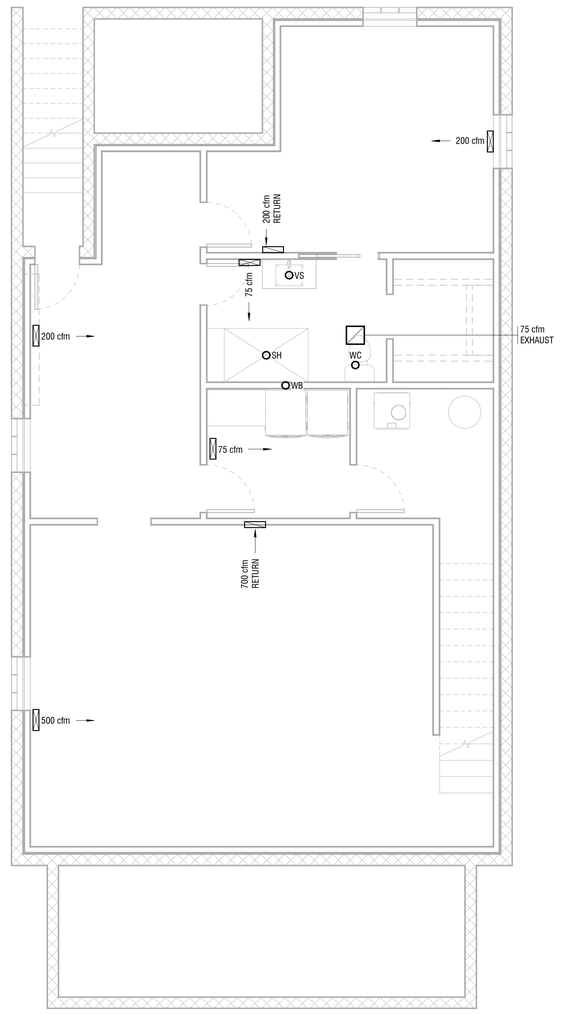
EXHAUST FAN
SUPPLY
RETURN
THERMOSTAT
TIE-INTO EXISTING



3 **second floor mechanical**
SCALE 1/4" = 1'-0"



2 **first floor mechanical**
SCALE 1/4" = 1'-0"



1 **basement mechanical**
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MECHANICAL PLAN

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