

# 2200 E. Main Street

Bexley, OH 43209

## Mixed-Use

**PREPARED FOR:**  
Continental Real Estate Companies

150 E. Broad Street  
Columbus, OH 43215  
(614) 221-1800

Thursday, November 9, 2023  
(REVISED: NOVEMBER 22, 2023)

### LANDSCAPE ARCHITECT / PLANNER



330 W. SPRING STREET, SUITE 350  
COLUMBUS, OH 43215  
614.486.3343  
www.edgela.com



NORTH

VICINITY MAP

NOT TO SCALE

### INDEX OF DRAWINGS

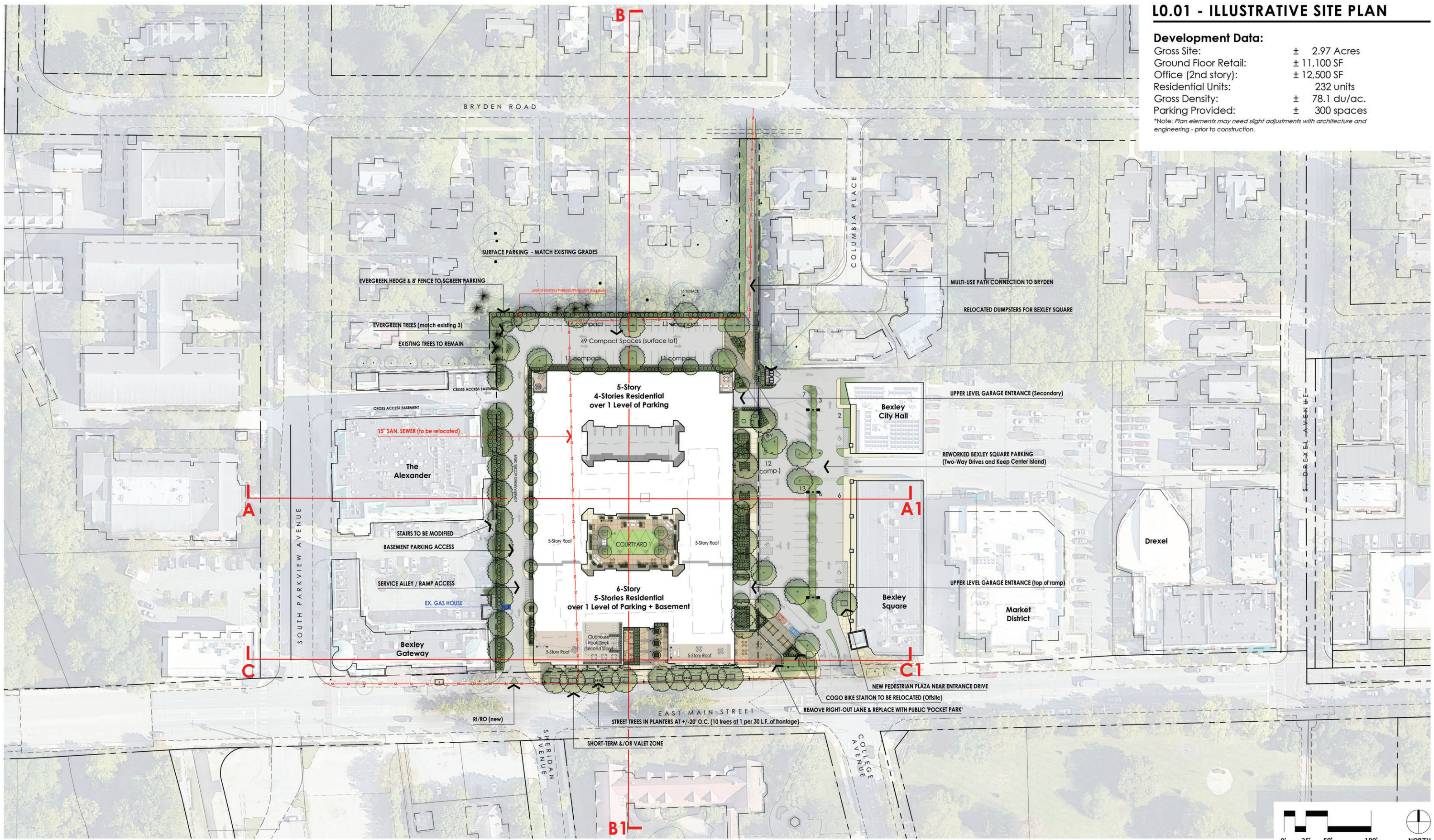
COVER	
ILLUSTRATIVE SITE PLAN	L0.01
STREETSCAPE PLAN	L0.02
ILLUSTRATIVE EVELATIONS	L0.03
ILLUSTRATIVE ELEVATIONS	L0.04
FULL SITE SECTIONS	L0.05
WEST BUFFER SITE SECTIONS	L0.06
WEST BUFFER RENDERINGS	L0.06A
WEST BUFFER RENDERINGS	L0.06B
WEST BUFFER RENDERINGS	L0.06C
NORTH BUFFER SITE SECTIONS	L0.07
SHADOW STUDY	L0.08A
SHADOW STUDY	L0.08B
SITE RENDERINGS	L0.09
SITE RENDERINGS	L0.10
EXISTING CONDITIONS PLAN	L1.00
SITE COVERAGE STUDY	L1.01
LANDSCAPE KEY PLAN	L2.00
LANDSCAPE PLAN	L2.01
LANDSCAPE PLAN	L2.02
LANDSCAPE ENLARGEMENT PLANS	L2.11
LANDSCAPE ENLARGEMENT PLANS	L2.12
PLANT LIST AND MAINTENANCE PLAN	L2.21
IRRIGATION PLAN	L2.31
LANDSCAPE DETAILS	L3.00
LANDSCAPE DETAILS	L3.01
SITE FURNISHINGS	L3.11
TENANT FURNISHINGS	L3.21
POCKET PARK INSPIRATION/IMAGERY	L3.31
POCKET PARK INSPIRATION/IMAGERY	L3.32

# L0.01 - ILLUSTRATIVE SITE PLAN

## Development Data:

Gross Site:	± 2.97 Acres
Ground Floor Retail:	± 11,100 SF
Office (2nd story):	± 12,500 SF
Residential Units:	232 units
Gross Density:	± 78.1 du/ac.
Parking Provided:	± 300 spaces

*\*Note: Plan elements may need slight adjustments with architecture and engineering - prior to construction.*



NOTE: This plan is Conceptual in nature. All dimensions and site layout are approximate and may change with final architecture and engineering.

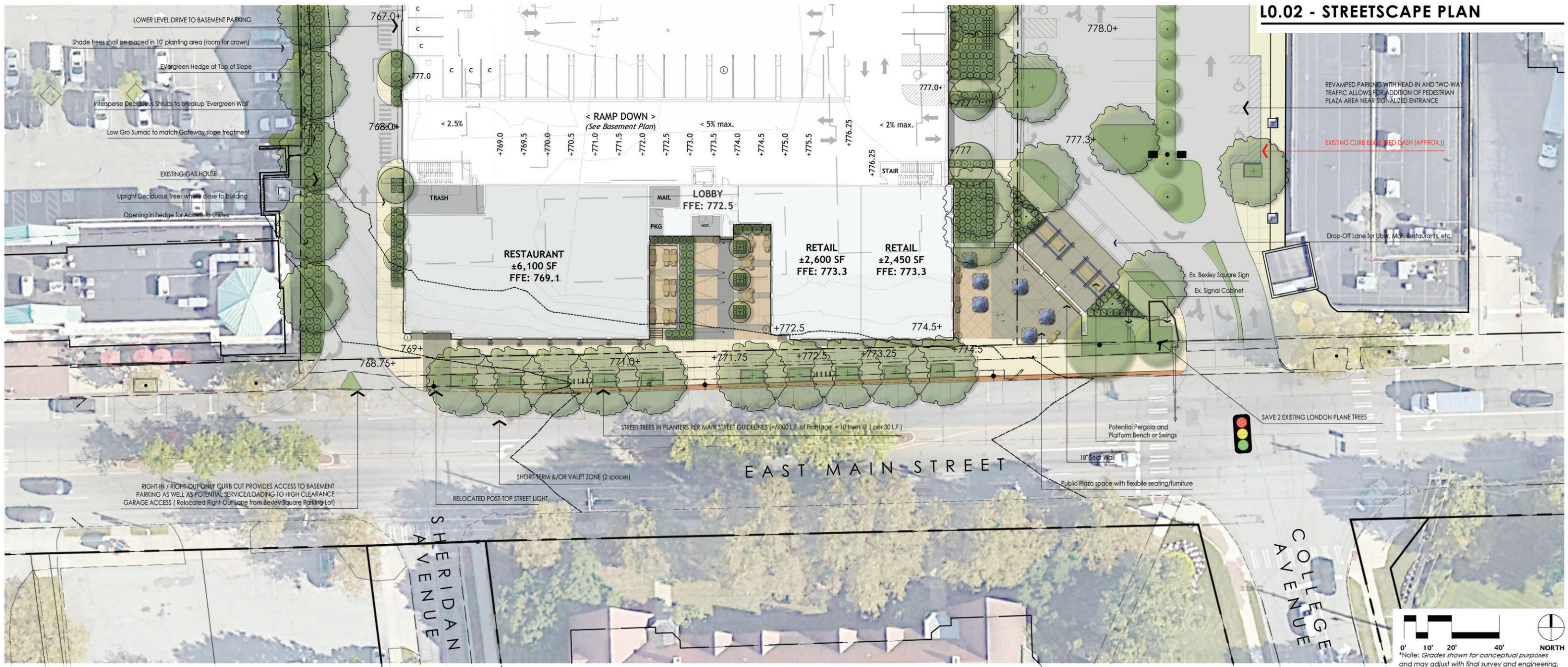


## SCHEMATIC DESIGN 2200 E. Main Street Bexley, OH

July 13, 2023 (rev.: 8.10.23, 9.8.23, 10.6.23, 10.26.23 - ARB. 91.8.23, 11.22.23)



**L0.02 - STREETScape PLAN**



NOTE: This plan is Conceptual in nature. All dimensions and site layout are approximate and may change with final architecture and engineering.



**1 MAIN STREET ELEVATION**  
1" = 30'-0"



**2 EAST ELEVATION**  
1" = 30'-0"





**1 WEST ELEVATION**  
1" = 50'-0"

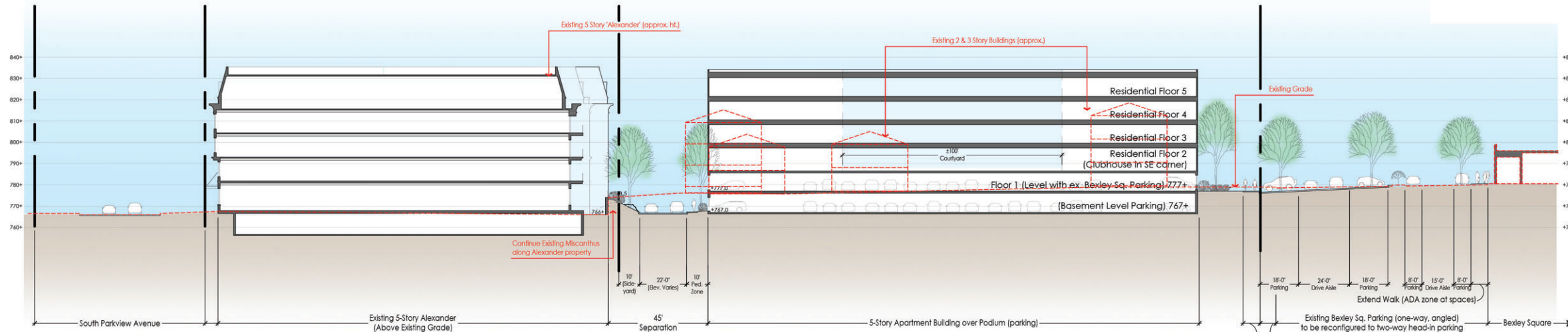


**2 WEST ELEVATION**  
1" = 30'-0"

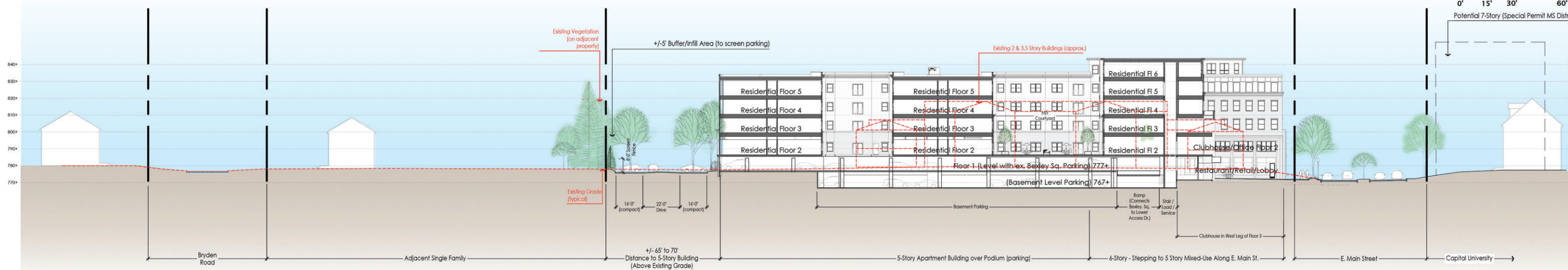


**3 NORTH ELEVATION**  
1" = 30'-0"

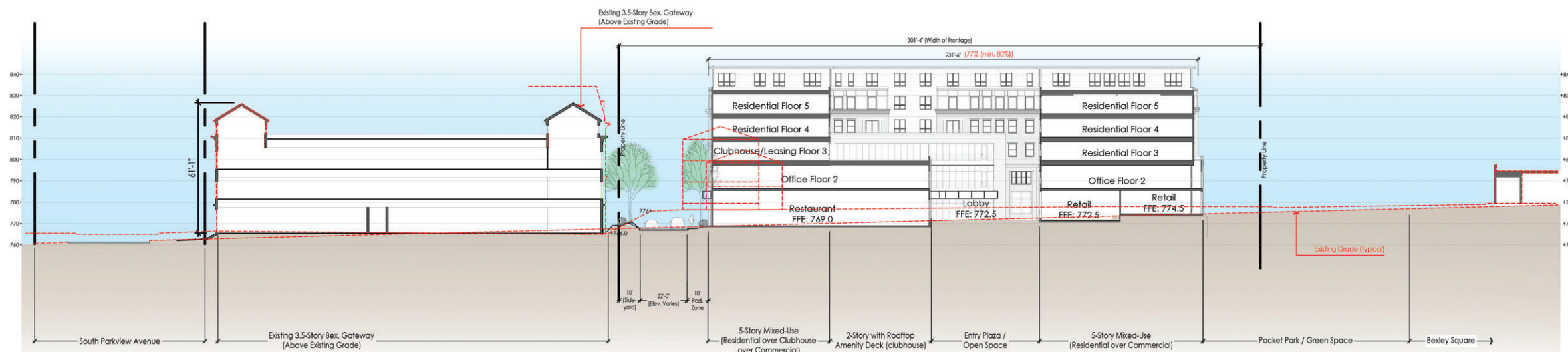




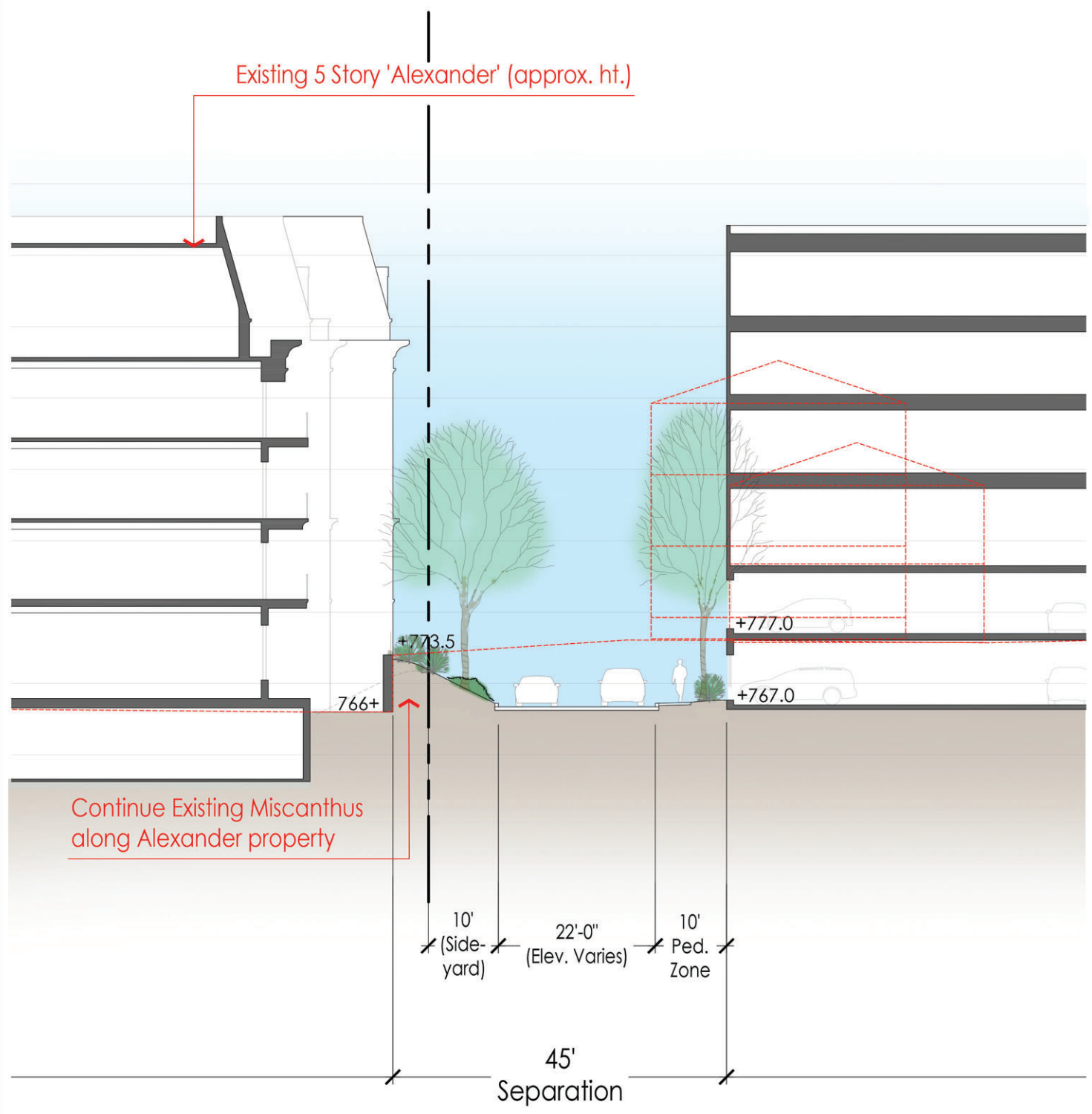
**TYPICAL CROSS-SECTION A-A1 (Looking North Through Middle of the Site)**



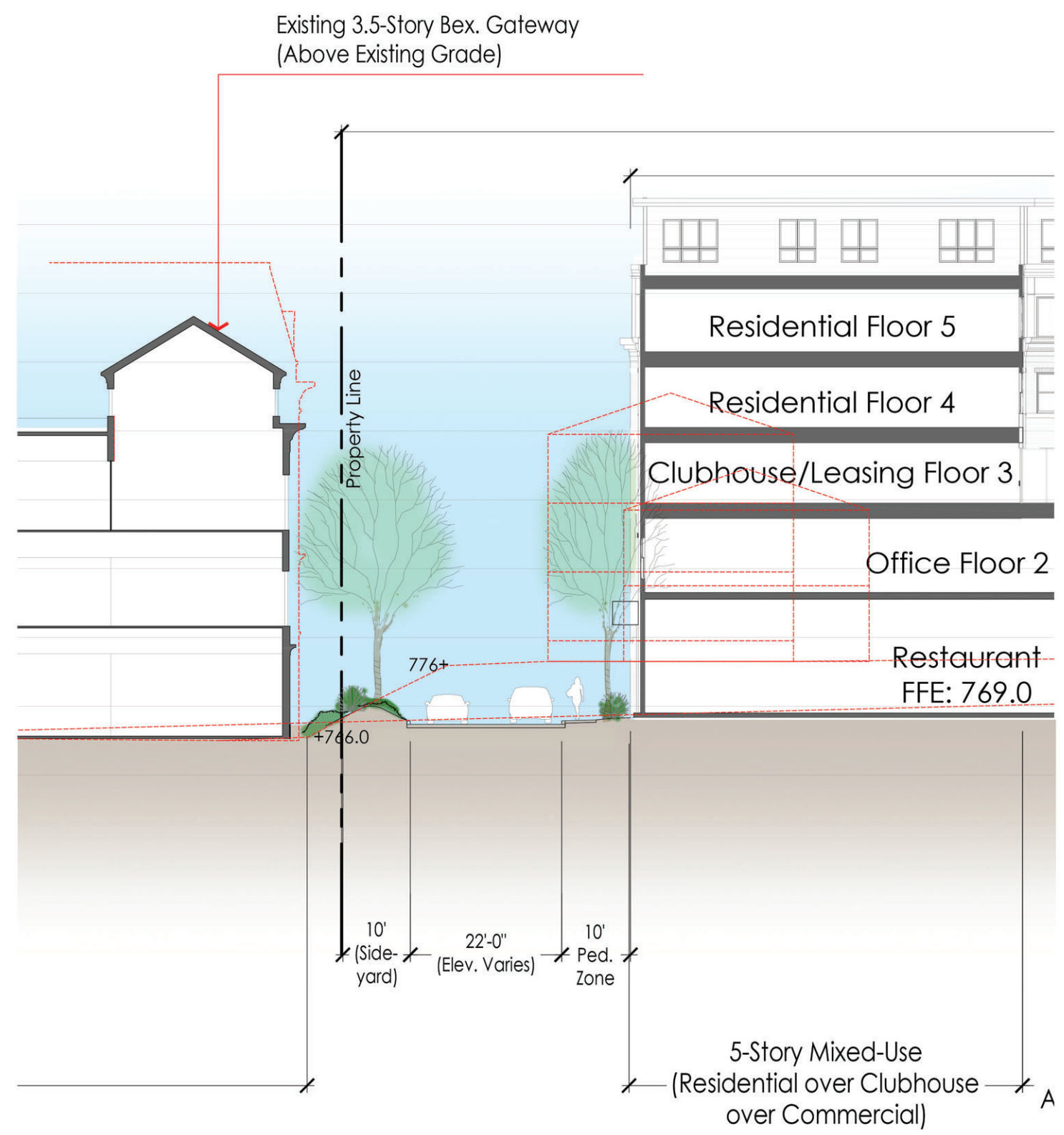
**TYPICAL CROSS-SECTION B-B1 (Looking East Through Middle of the Site)**



**TYPICAL CROSS-SECTION C-C1 (Looking North Through East Main Street Frontage)**



1 TYPICAL CROSS-SECTION A-A1 (Looking North Through Middle of the Site) Scale: 1" = 10'



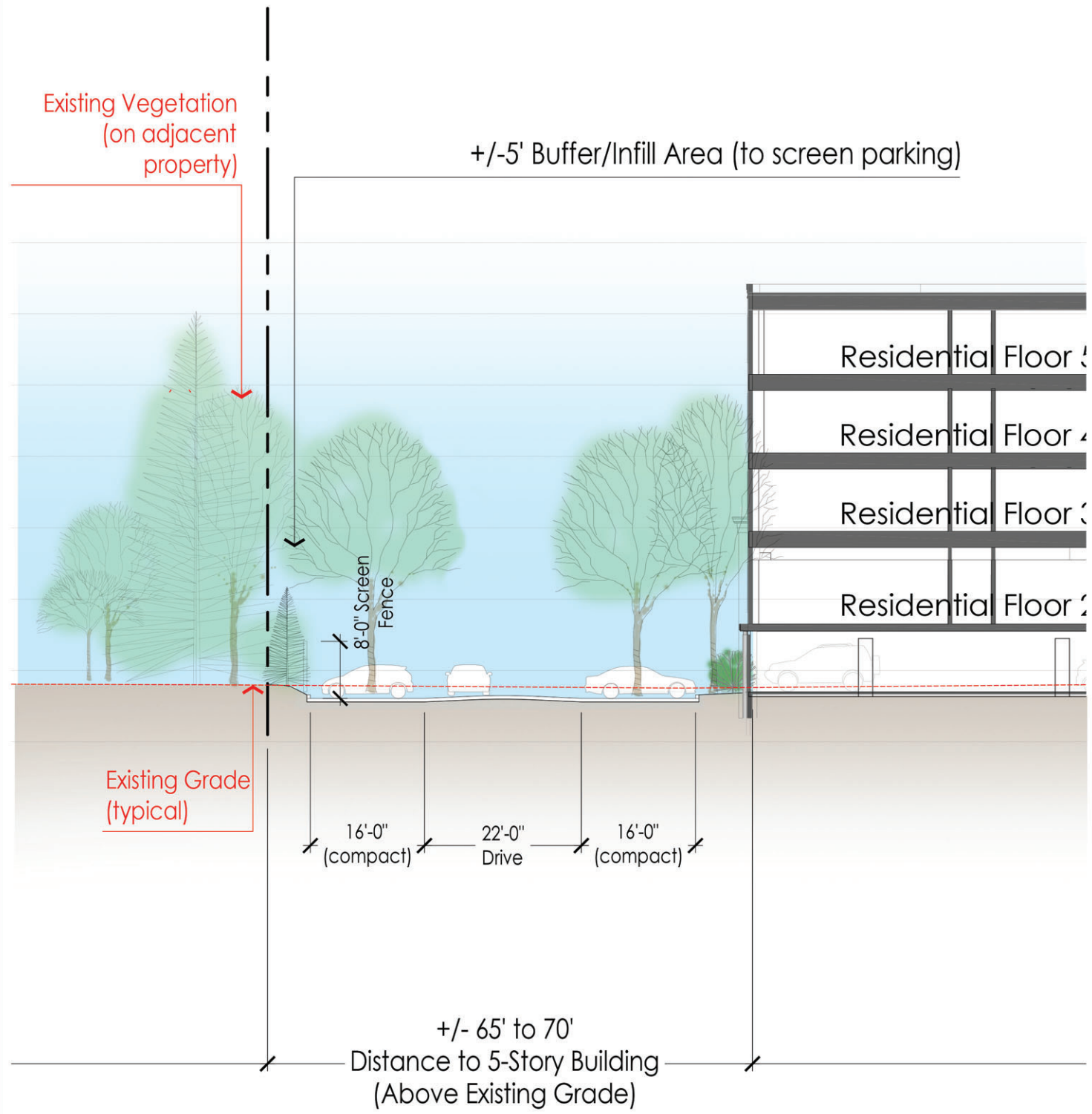
2 TYPICAL CROSS-SECTION C-C1 (Looking North Through East Main Street Frontage) Scale: 1" = 10'











1 TYPICAL CROSS-SECTION B-B1 (Looking East Through Middle of the Site)

Scale: 1" = 10'

0' 5' 10' 20'

APR 21



JUN 21



AUG 21



DEC 21



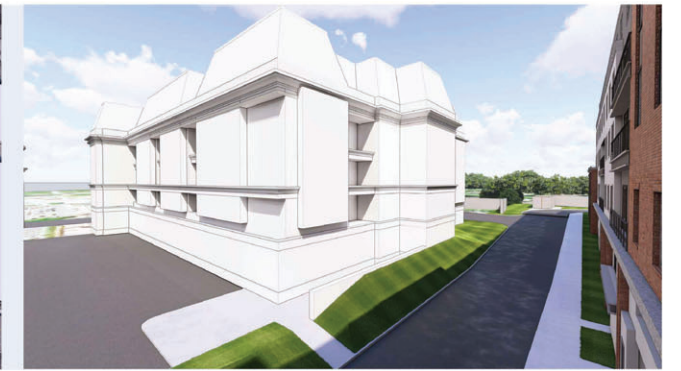
10 AM

12 PM

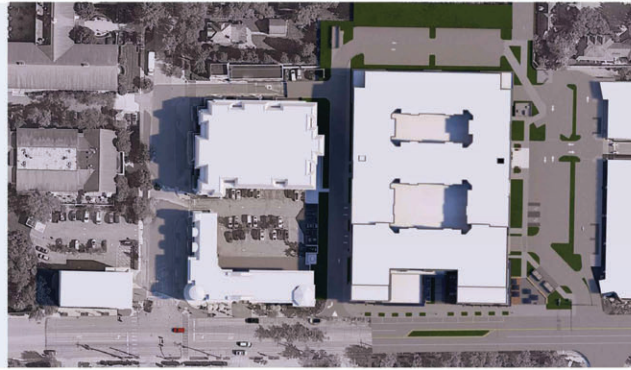
2 PM

4 PM

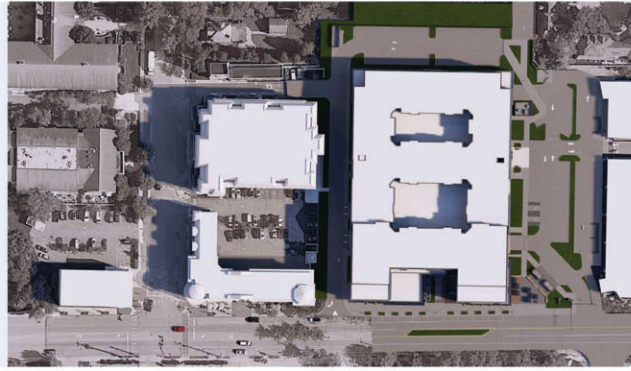
APR 21



JUN 21



AUG 21



DEC 21

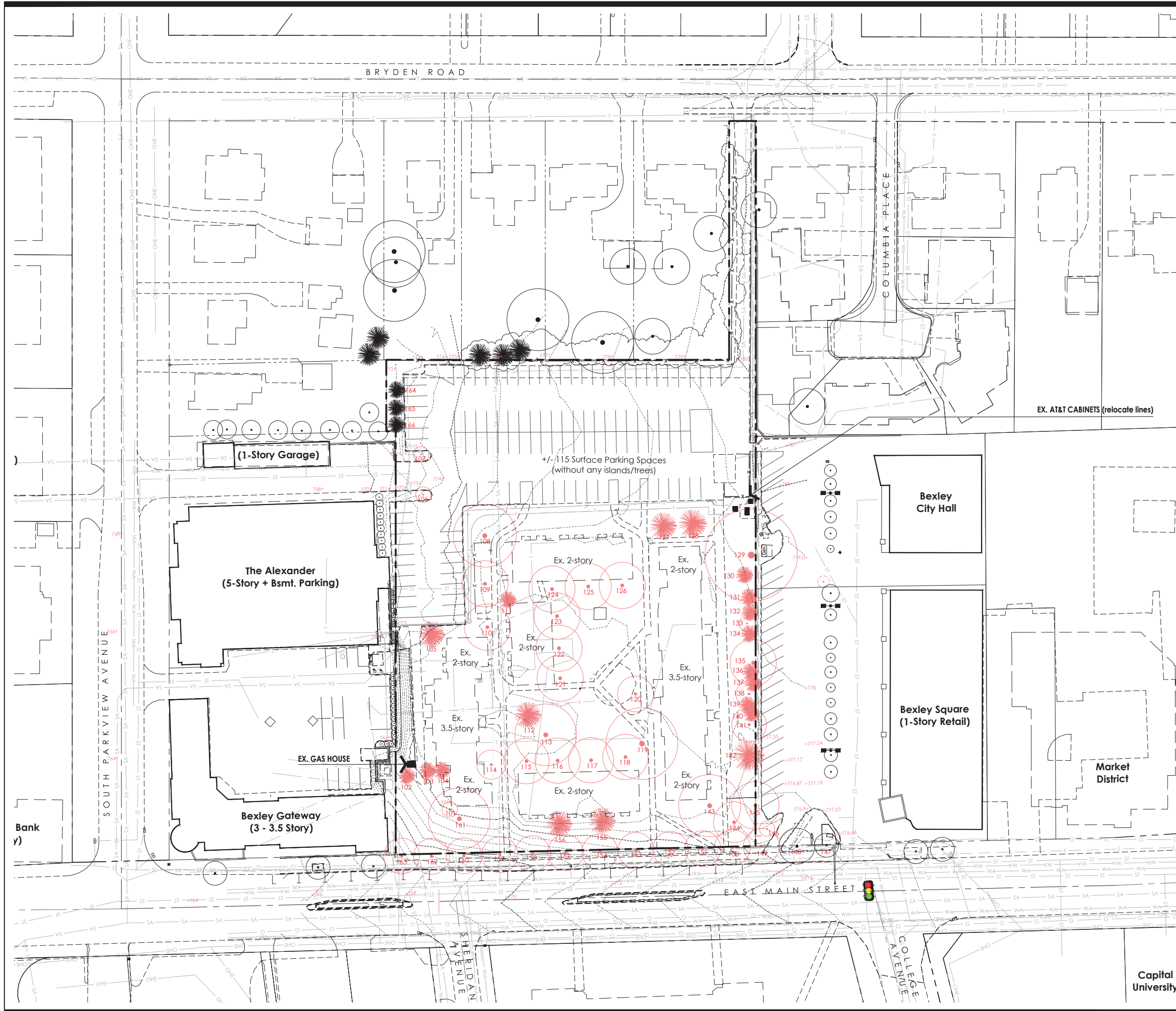


10 AM

12 PM







Tree	Type	Size (dbh) (inches)	Condition	Notes
101	Black Locust	2	poor	multiple trunks +/- 2' from building
102	White Pine	8		
103	White Pine	10		
104	Canadian Hemlock	10		w/in 2' of building
105	Norway Spruce	17		
106	Pear	2.5		
107	Pear	2.5		
108	Honey Locust	18		
109	Honey Locust	16		
110	Lacebark Elm	30		
111	Canadian Hemlock	7		
112	Norway Spruce	8		
113	Lacebark Elm	24		
114	Flowering Dogwood	5		
115	Honey Locust	18		
116	Honey Locust	16		
117	Honey Locust	24		
118	Honey Locust	18		
119	Lacebark Elm	30		
120	Norway Maple	12		
121	Honey Locust	17		
122	Honey Locust	16		
123	Honey Locust	16		
124	Honey Locust	16		
125	Honey Locust	15		
126	Honey Locust	17		
127	White Pine	12		
128	White Pine	17		
129	American? Elm	32		
130	White Pine	9		
131	White Pine	10		
132	White Pine	9		
133	Red Maple	4		
134	White Pine	8		
135	Norway Maple	22		
136	White Pine	6		
137	White Pine	9		
138	Red Maple	6		
139	White Pine	9		
140	White Pine	7		
141	Red Maple	10		
142	White Pine	14		
143	Honey Locust	20		
144	Lacebark Elm	16		
145	Norway Maple	22		
146	Crabapple	4	Off Site	
147	London Planetree	6	Off Site	- Potential to save with plaza de
148	London Planetree	12	Off Site	- Potential to save with plaza de
149	London Planetree	16	Off Site	
150	London Planetree	8	Leaning	
151	London Planetree	12		
152	London Planetree	16	Fork in leader	
153	London Planetree	15		
154	London Planetree	10		
155	Norway Spruce	13		
156	Norway Spruce	14		
157	London Planetree	12		
158	London Planetree	14	Leaning	
159	London Planetree	14		
160	London Planetree	12		
161	Lacebark Elm	24		
162	London Planetree	9		
163	London Planetree	12		
164	White Spruce?	6	To be saved	
165	White Spruce?	6	To be saved	
166	White Spruce?	6	To be saved	

Subtotal inches surveyed:	858
4 Less off site:	38
3 Less preserved:	18
1 Less poor condition:	2
<b>58 Total Trees removed</b>	
<b>Total inches removed from site:</b>	<b>800</b>
19 Less Evergreen (small canopy):	197
<b>39 Deciduous Trees removed</b>	
<b>Total Inches of deciduous:</b>	<b>603</b>

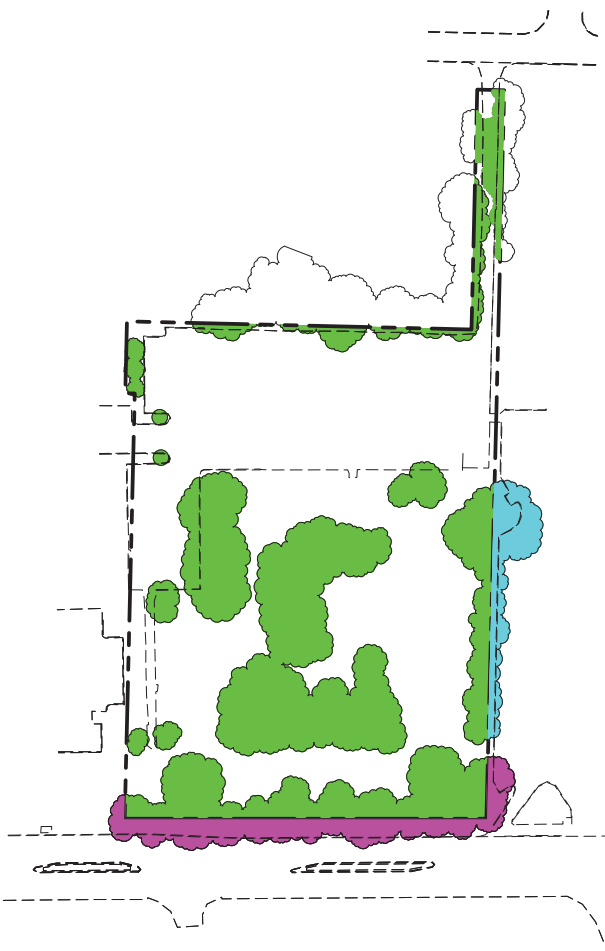
Capital University





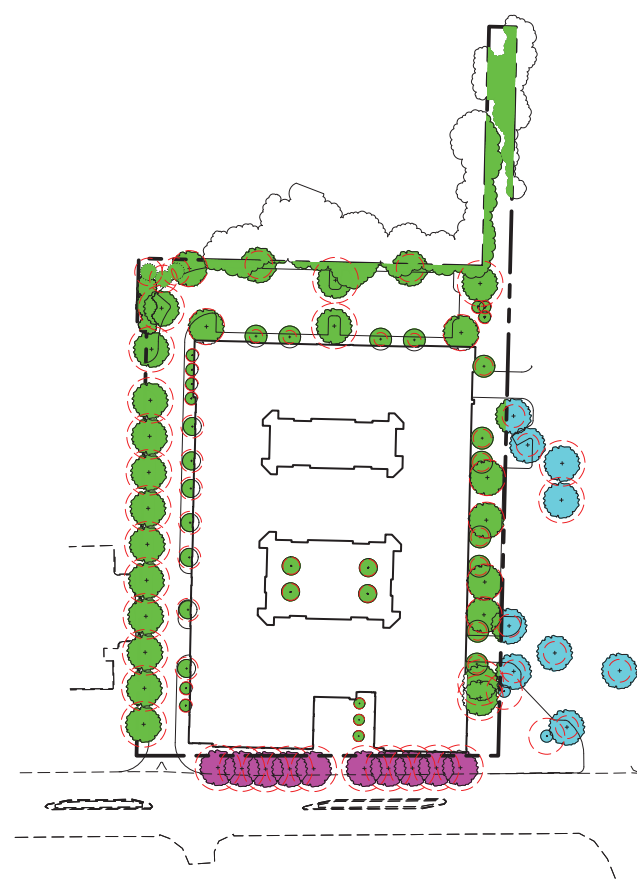
**EXISTING TREE CANOPY**

TOTAL SITE AREA: ±128,805.43 SF			
KEY	ITEM	AREA	TOTAL COVERAGE
■	ON-SITE CANOPY AREA	±47,223.20 SF (37%)	±47,223.20 SF (37%)
■	CITY PARCEL CANOPY AREA	±3,784.60 SF	±51,007.80 SF
■	E. MAIN ST. CANOPY AREA	±6,981.06 SF	±57,988.86 SF
<b>TOTAL EXISTING TREE COVERAGE PER PLANT SYMBOL</b>			<b>±57,988.86 SF</b>



**PROPOSED TREE CANOPY**

TOTAL SITE AREA: ±128,805.43 SF					
TOTAL PROPOSED MATURE TREE COVERAGE					
KEY	ITEM	AREA	DIFFERENCE	REPLACEMENT	TOTAL COVERAGE
■	ON-SITE CANOPY AREA	±33,581.40 SF (26%)	-13,641.80 SF	33,581.40 SF (71%)	±33,581.40 SF (26%)
■	CITY PARCEL CANOPY AREA	±5,102.89 SF (4%)	1,318.29 SF	34,899.69 SF (68%)	±38,684.29 SF (30%)
■	E. MAIN ST. CANOPY AREA	±7,653.97 SF (6%)	672.91 SF	35,572.60 SF (61%)	±46,338.26 SF (36%)
<b>TOTAL PROPOSED MATURE TREE COVERAGE: ±46,338.26 SF (36%) - DIFFERENCE OF -11,650.60 SF (80%)</b>					



**NOTES:**

- PROPOSED TREES (GREEN) ALONG WEST PROPERTY LINE RECEIVE FULL CREDIT FOR OFF-SITE CANOPY AS THE EXISTING CONDITION DOES NOT HAVE ANY TREES.
- SYMBOL REPRESENTS 75% OF MATURE TREE CANOPY.

**RESULTS:**

BASED ON PROPOSED MATURE CANOPY:

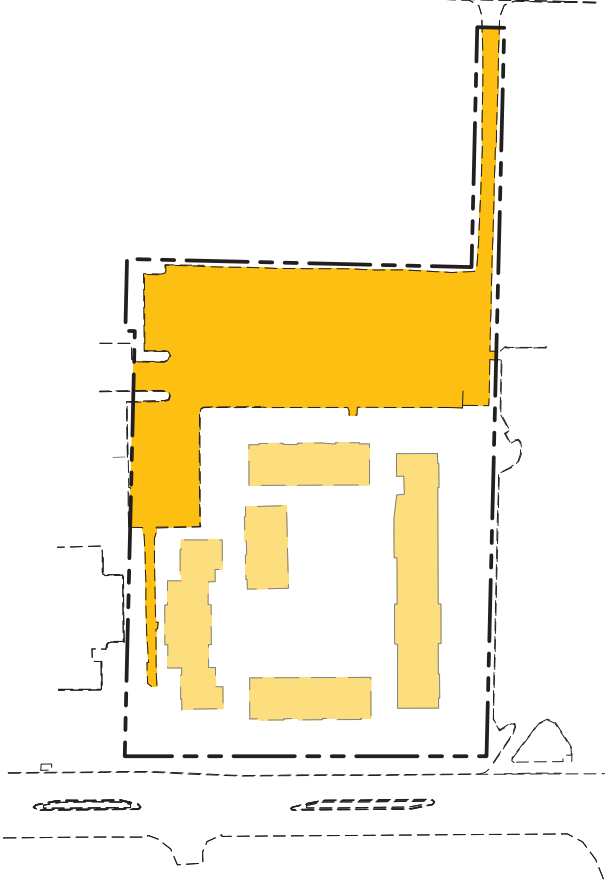
- ON-SITE COVERAGE IS ±29% SHORT OF REPLACING EXISTING COVERAGE.  
47,223.20 SF  
-33,581.40 SF  
13,641.80 SF (7 TREES AT 50' SPREAD)
- PROPOSED CANOPY COVERAGE IS ±7% SHORT OF THE CITY OF BEXLEY GOAL OF 40%.  
51,522.17 SF (40% OF SITE)  
-33,581.40 SF  
17,940.77 SF (9 TREES AT 50' SPREAD)
- PROPOSED BUILDING = 50% OF SITE.

**NOTES:**

- THE 10 LONDON PLANE TREES ARE OFF-SITE AND IN R.O.W. ARE NOT COUNTED IN THE ABOVE CALCULATIONS.
- THE 9 LARGE SHADE TREES IN BEXLEY SQUARE (CITY PARCEL) ARE NOT COUNTED IN THE ABOVE CALCULATIONS.

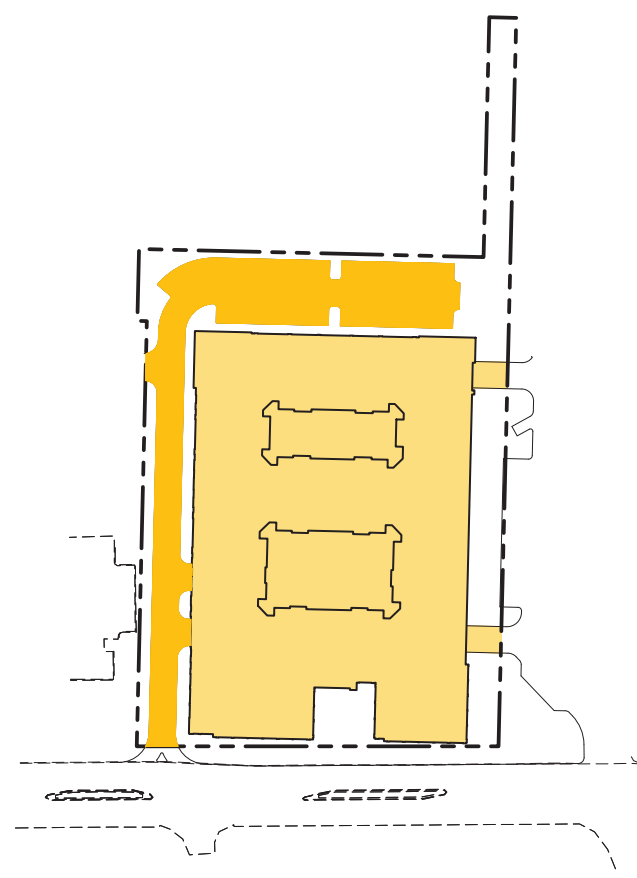
**EXISTING BUILDING AND PAVEMENT**

TOTAL SITE AREA: ±128,805.43 SF			
KEY	ITEM	AREA	TOTAL AREA
■	BUILDING COVERAGE	±21,668.61 SF (17%)	±21,668.61 SF (17%)
■	VEHICULAR PAVEMENT COVERAGE	±42,174.58 SF (33%)	±63,843.19 SF (50%)
<b>TOTAL EXISTING BUILDING AND PAVEMENT COVERAGE</b>			<b>±63,843.19 SF (50%)</b>



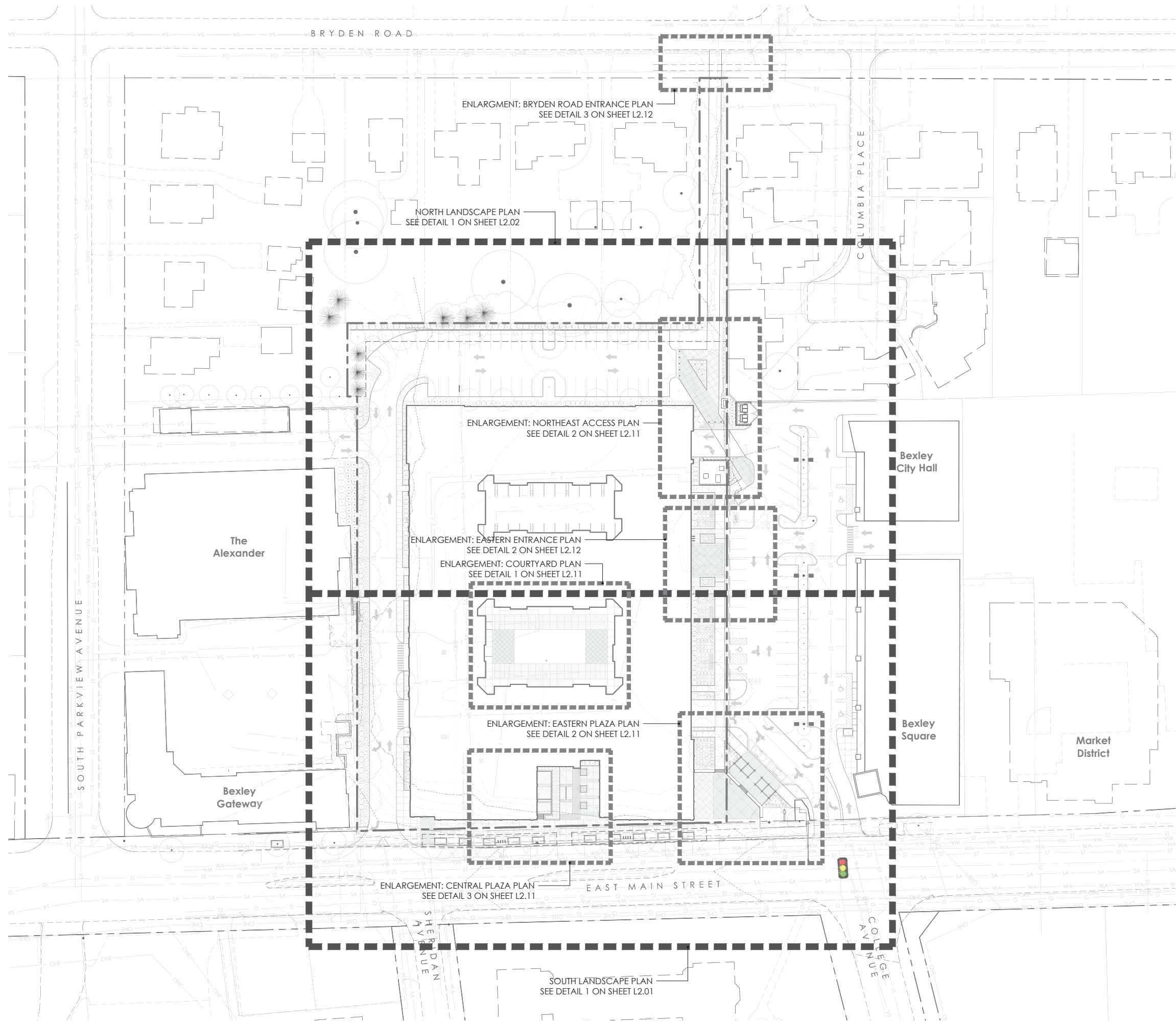
**PROPOSED BUILDING AND PAVEMENT**

TOTAL SITE AREA: ±128,805.43 SF			
KEY	ITEM	AREA	TOTAL AREA
■	BUILDING COVERAGE	±63,757.52 SF (49%)	±63,757.52 SF (49%)
■	VEHICULAR PAVEMENT COVERAGE	±22,197.75 SF (17%)	±85,955.27 SF (66%)
<b>TOTAL PROPOSED BUILDING AND PAVEMENT COVERAGE</b>			<b>±85,955.27 SF (66%)</b>



**NOTES:**

- INCREASING GREEN AREA WITHIN CITY LOT.



- GENERAL NOTES**
1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
  2. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
  3. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
  4. ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD MULCH BED WITH SMOOTH/CONTINUOUS SHOVEL/DUG EDGE WHEN NOT BOUND BY PAVEMENT.
  5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
  6. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
  7. CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION.
  8. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
  9. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
  10. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR BID QUANTITIES AS REQUIRED BY THE PLAN.
  11. WHERE TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY OWNERS REPRESENTATIVE TO ADJUST TREE LOCATIONS.
  12. PLANT LIST AND LANDSCAPE MAINTENANCE PLAN LOCATED ON SHEET L2.21.



BEXLEY, OHIO  
**2200 E. MAIN STREET**

**LANDSCAPE KEY PLAN**

**OWNER:**  
CONTINENTAL  
Continental Real Estate Companies  
150 E. Broad Street  
Columbus, OH 43215

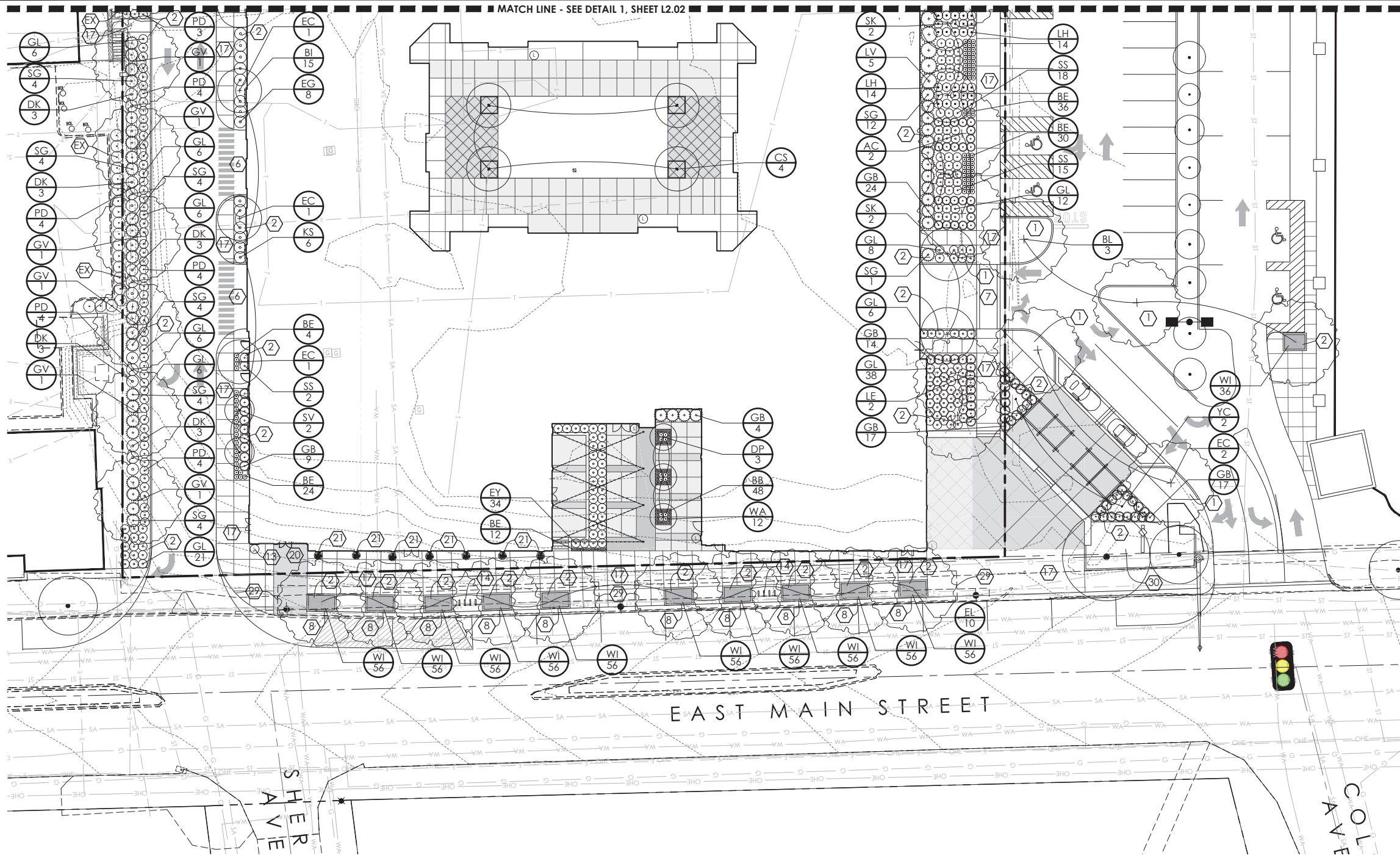
**LANDSCAPE ARCHITECT:**  
**EDGE**  
The EDGE Group, Inc.  
330 W. Spring Street  
Suite 330  
Columbus, OH 43215  
614-486-3343

Issue Date:  
Nov. 22, 2023  
Job #21159

SHEET  
**L2.00**

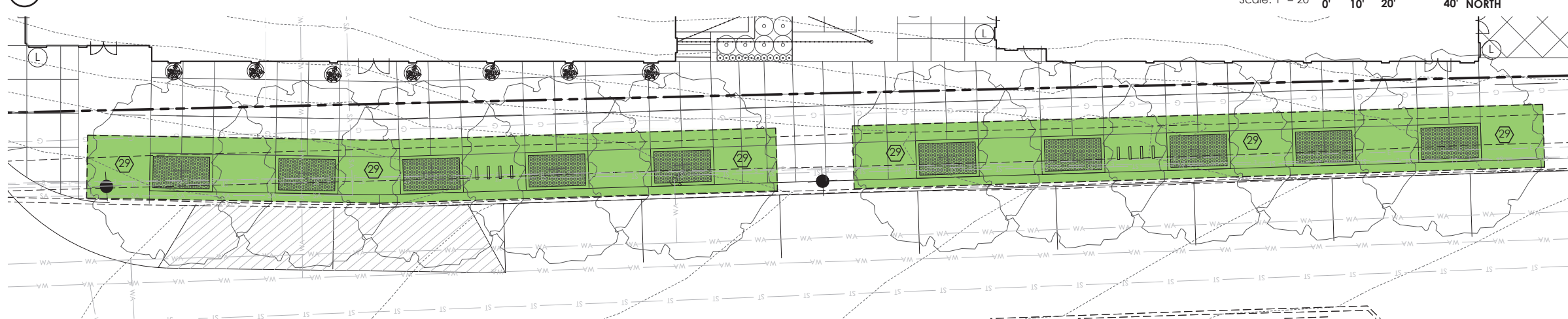


MATCH LINE - SEE DETAIL 1, SHEET L2.02



1 SOUTH LANDSCAPE PLAN

Scale: 1" = 20' 0' 10' 20' 40' NORTH



2 STRUCTURAL SOIL LOCATION PLAN

Scale: 1" = 10' 0' 5' 10' 20' NORTH

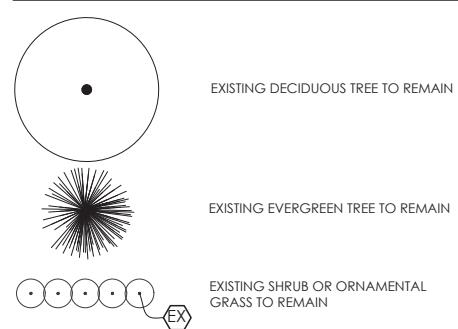
GENERAL NOTES

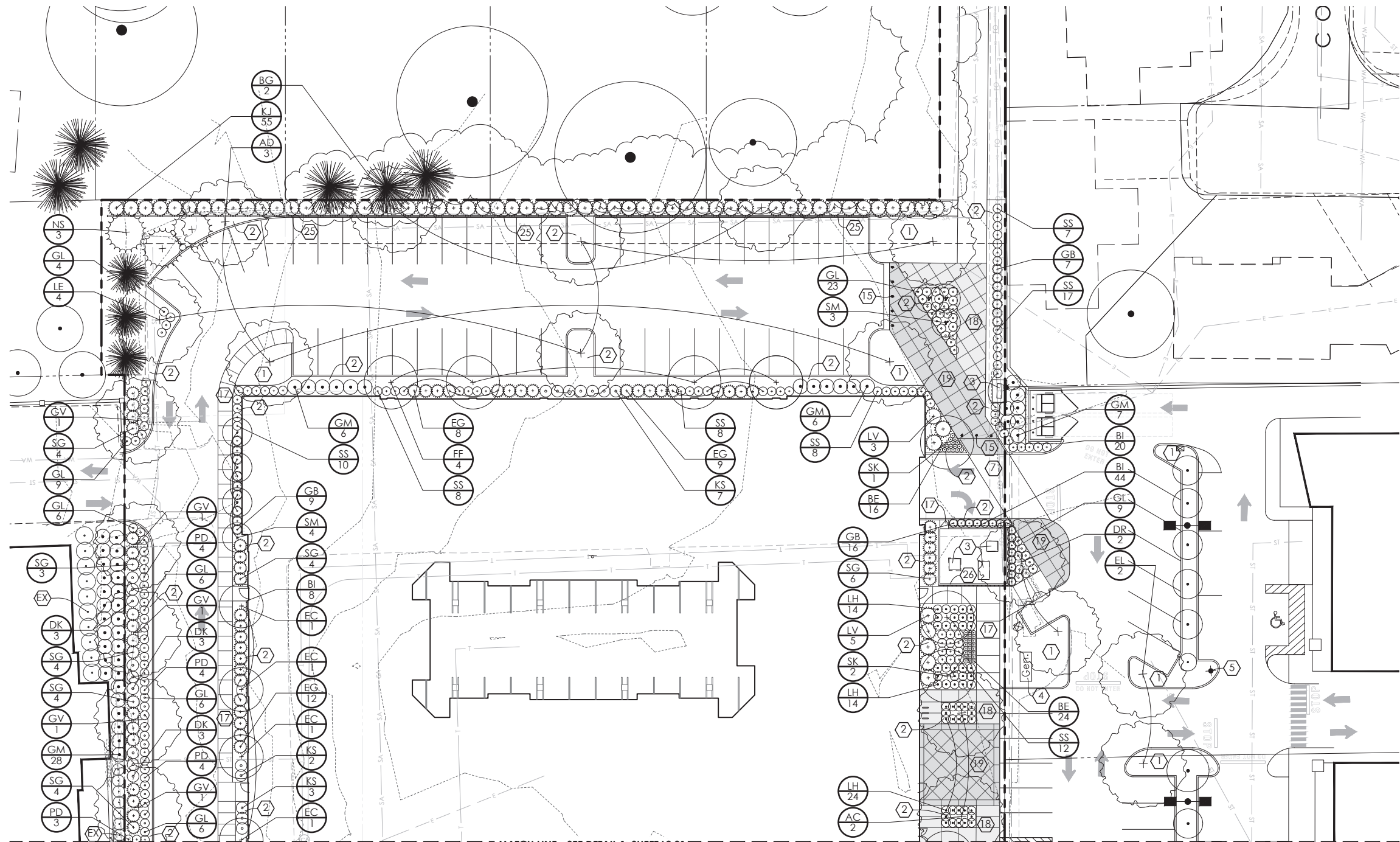
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD MULCH BED WITH SMOOTH/CONTINUOUS SHOVEL/DUG EDGE WHEN NOT BOUND BY PAVEMENT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR BID QUANTITIES AS REQUIRED BY THE PLAN.
- WHERE TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY OWNER'S REPRESENTATIVE TO ADJUST TREE LOCATIONS.
- PLANT LIST AND LANDSCAPE MAINTENANCE PLAN LOCATED ON SHEET L2.21.

CONSTRUCTION NOTES:

- LANDSCAPE AREA, TOPSOIL TO BE FLUSH WITH ADJACENT PAVED SURFACES.
- LANDSCAPE AREA, PLANT AS INDICATED AND MULCH ENTIRE AREA WITH HARDWOOD BARK MULCH.
- CROSSWALK - PAINTED
- CROSSWALK - CONCRETE
- TREE PLANTER/PIT SEE DETAILS 4-7 ON SHEET L3.01.
- TRASH RECEPTACLE, BY OWNER, TO MATCH CITY STANDARD
- BIKE RACK, BY OWNER, TO MATCH CITY STANDARD
- PAVEMENT - BROOM FINISH
- PAVEMENT - BUFF WASH CHARCOAL
- PAVEMENT - CHARCOAL PAVER
- PLANTER, BY OWNER OR TENANT, SHOWN FOR GRAPHIC PURPOSES
- STRUCTURAL SOIL LIMIT, SEE DETAIL 7 ON SHEET L3.01.
- EXISTING LANDSCAPE AREA, BLEND NEW LANDSCAPE WITH EXISTING. LANDSCAPE MATERIALS TO BE DETERMINED.

EXISTING LANDSCAPING LEGEND:

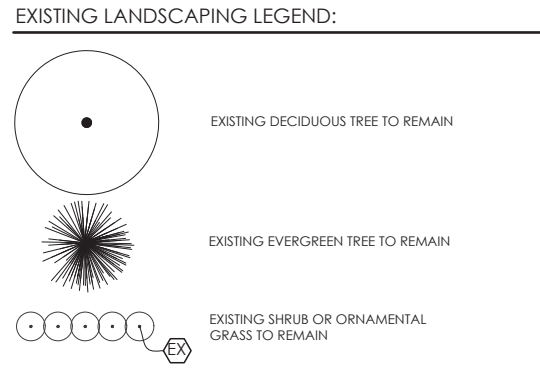


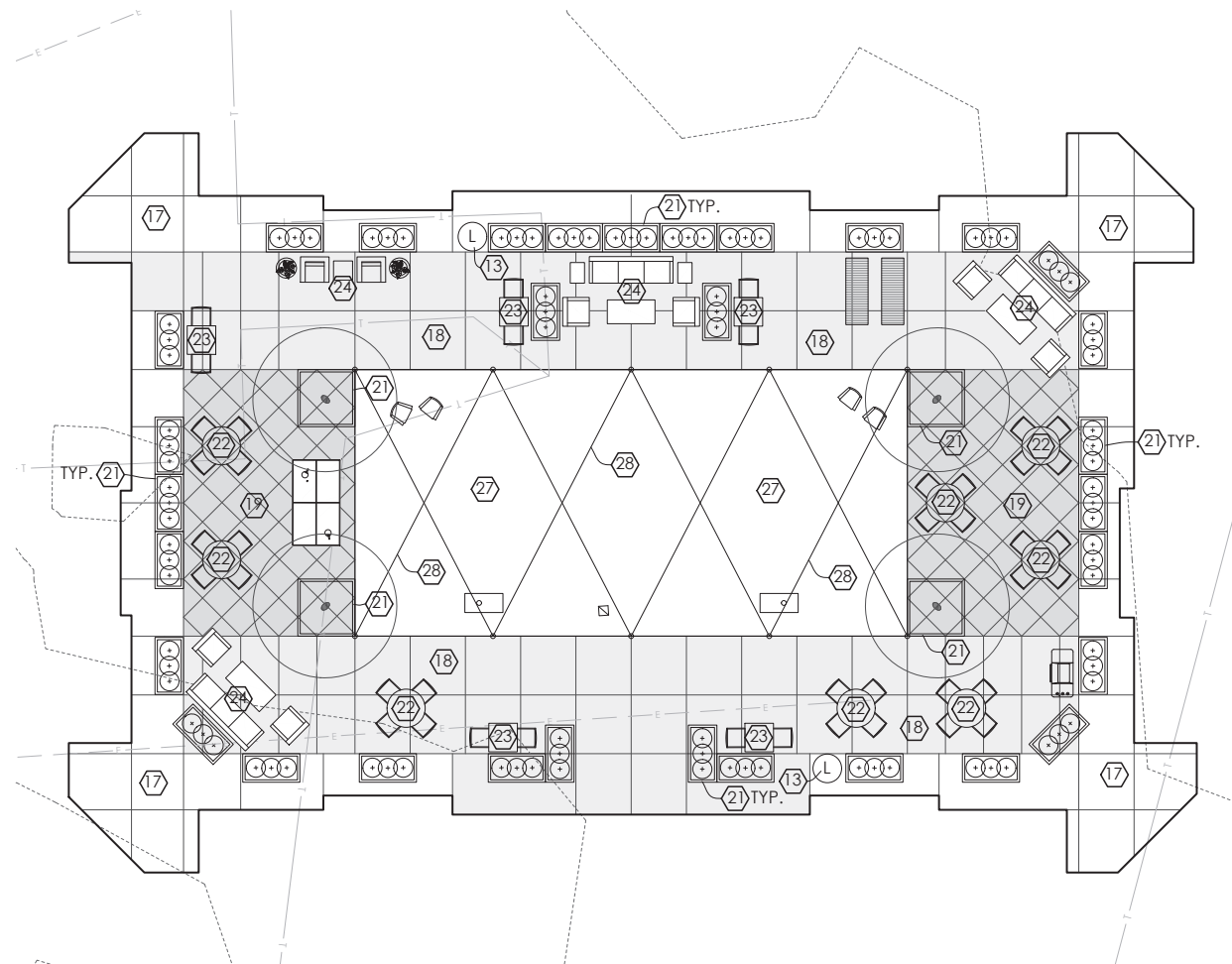


1 NORTH LANDSCAPE PLAN Scale: 1" = 20'

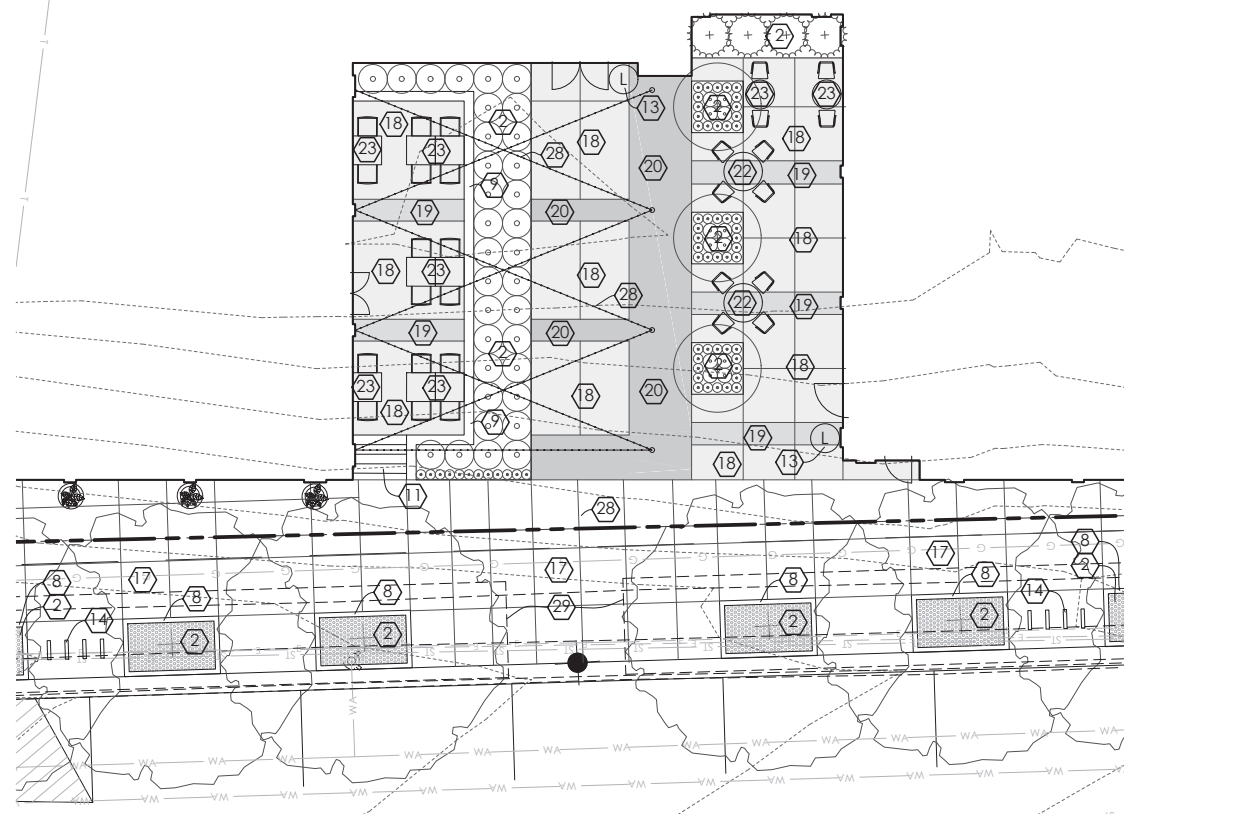
- GENERAL NOTES**
- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
  - EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
  - CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
  - ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD MULCH BED WITH SMOOTH/CONTINUOUS SHOVEL/DUG EDGE WHEN NOT BOUND BY PAVEMENT.
  - CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
  - FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
  - CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION.
  - ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
  - ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
  - QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR BID QUANTITIES AS REQUIRED BY THE PLAN.
  - WHERE TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY OWNER'S REPRESENTATIVE TO ADJUST TREE LOCATIONS.
  - PLANT LIST AND LANDSCAPE MAINTENANCE PLAN LOCATED ON SHEET L2.21.

- CONSTRUCTION NOTES:**
- LAWN AREA, TOPSOIL TO BE FLUSH WITH ADJACENT PAVED SURFACES.
  - LANDSCAPE AREA, PLANT AS INDICATED AND MULCH ENTIRE AREA WITH HARDWOOD BARK MULCH.
  - EXISTING UTILITY CABINET
  - EXISTING GENERATOR
  - EXISTING FLAG POLE
  - CROSSWALK - CONCRETE
  - BOLLARD (COLLAPSIBLE / BREAKAWAY), BY OWNER
  - PAVEMENT - BROOM FINISH
  - PAVEMENT - BUFF WASH TAN
  - PAVEMENT - BUFF WASH CHARCOAL
  - 8' HEIGHT PRIVACY FENCE, SEE DETAIL 1 ON SHEET L3.01.
  - 6' HEIGHT PRIVACY FENCE, SEE DETAIL 2 ON SHEET L3.01.

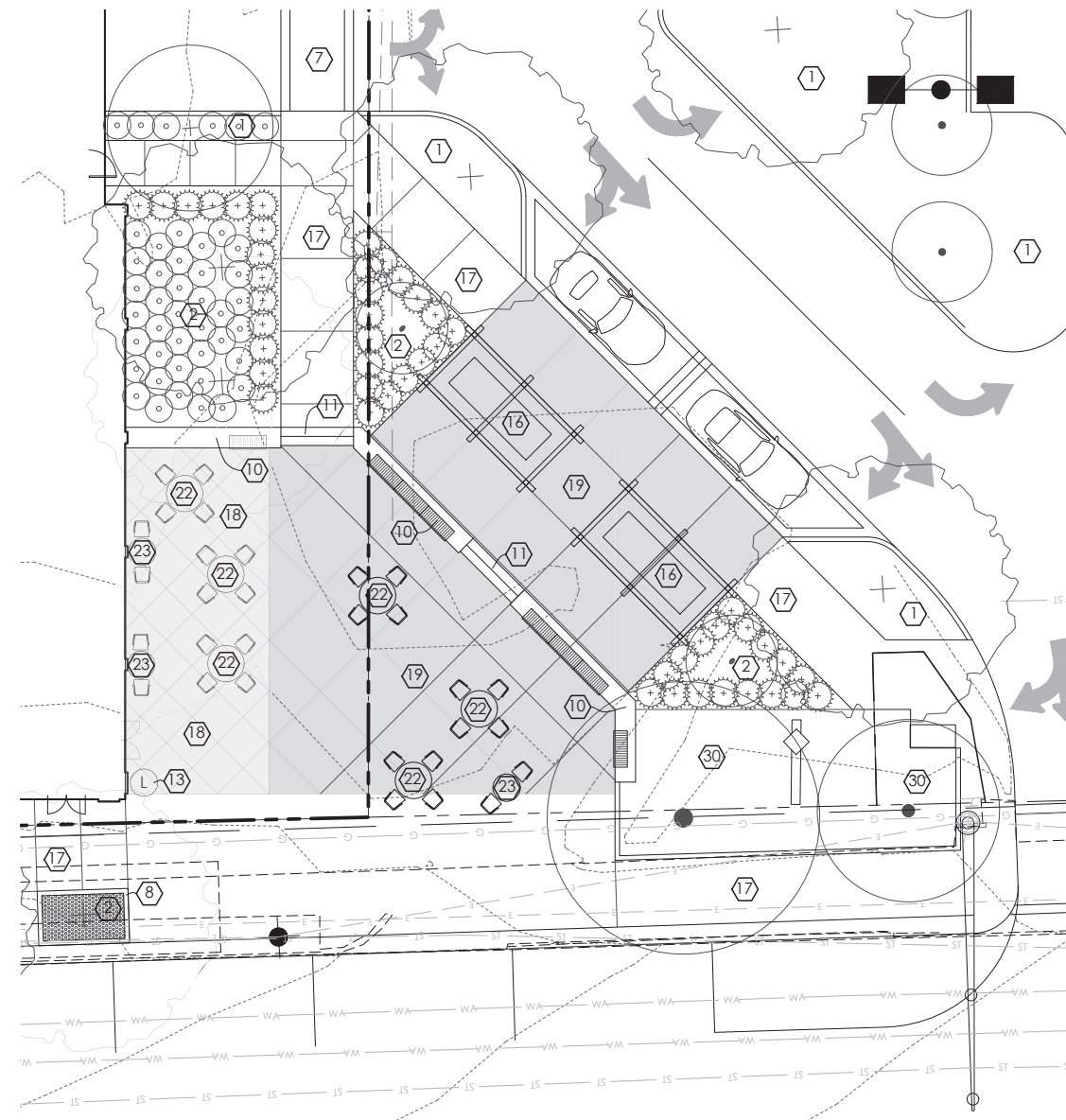




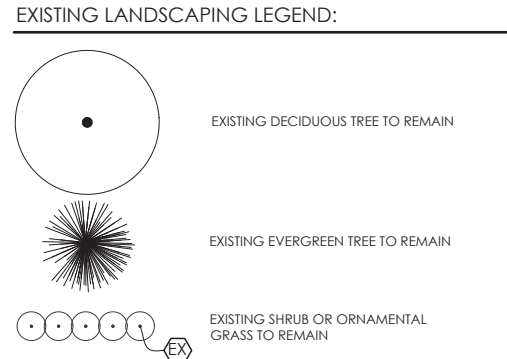
**1** ENLARGEMENT: COURTYARD PLAN  
Scale: 1" = 10'



**3** ENLARGEMENT: CENTRAL PLAZA PLAN  
Scale: 1" = 10'



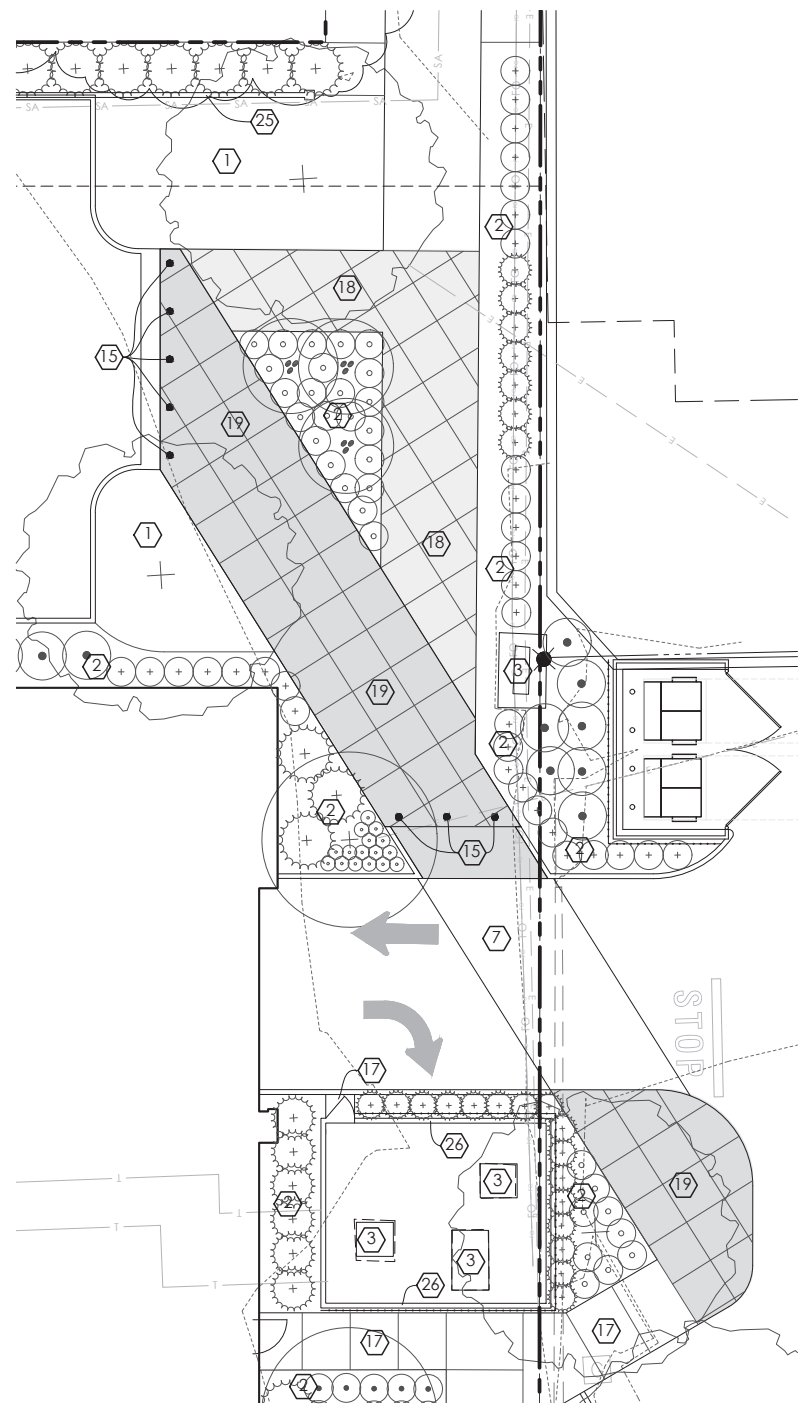
**2** ENLARGEMENT: EASTERN PLAZA PLAN  
Scale: 1" = 10'



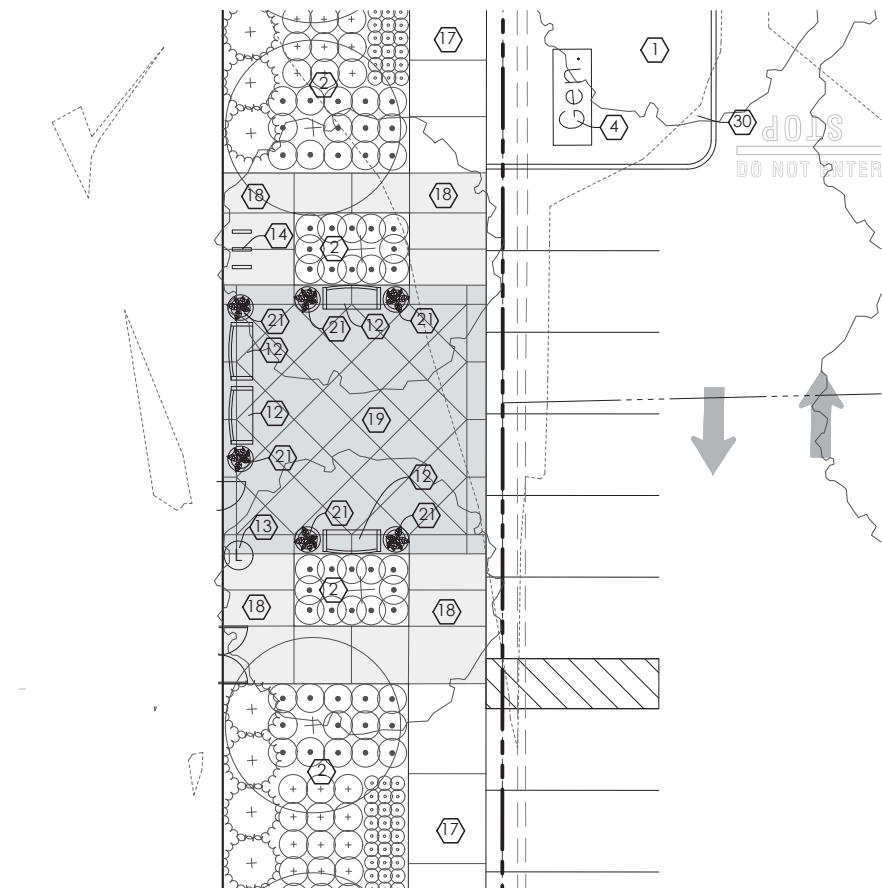
- GENERAL NOTES**
1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
  2. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
  3. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
  4. ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD MULCH BED WITH SMOOTH/CONTINUOUS SHOVEL/DUG EDGE WHEN NOT BOUND BY PAVEMENT.
  5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
  6. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
  7. CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION.
  8. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
  9. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
  10. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR BID QUANTITIES AS REQUIRED BY THE PLAN.
  11. WHERE TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY OWNER'S REPRESENTATIVE TO ADJUST TREE LOCATIONS.
  12. PLANT LIST AND LANDSCAPE MAINTENANCE PLAN LOCATED ON SHEET L2.21.

- CONSTRUCTION NOTES:**
- 1** LAWN AREA, TOPSOIL TO BE FLUSH WITH ADJACENT PAVED SURFACES.
  - 2** LANDSCAPE AREA, PLANT AS INDICATED AND MULCH ENTIRE AREA WITH HARDWOOD BARK MULCH.
  - 7** CROSSWALK - CONCRETE
  - 8** TREE PLANTER/PIT SEE DETAILS 4-7 ON SHEET L3.01.
  - 9** RETAINING WALL WITH FENCING
  - 10** CONCRETE SEAT WALL
  - 11** CONCRETE STEPS
  - 13** TRASH RECEPTAL, BY OWNER, TO MATCH CITY STANDARD
  - 14** BIKE RACK, BY OWNER, TO MATCH CITY STANDARD
  - 16** ARBOR WITH SWING, DESIGN TO BE COORDINATED WITH THE CITY OF BEXLEY.
  - 17** PAVEMENT - BROOM FINISH
  - 18** PAVEMENT - BUFF WASH TAN
  - 19** PAVEMENT - BUFF WASH CHARCOAL
  - 20** PAVEMENT - CHARCOAL PAVER
  - 21** PLANTER, BY OWNER OR TENANT, SHOWN FOR GRAPHIC PURPOSES
  - 22** PATIO TABLE, BY OWNER OR TENANT, SHOWN FOR GRAPHIC PURPOSES
  - 23** CAFE TABLE, BY OWNER OR TENANT, SHOWN FOR GRAPHIC PURPOSES
  - 24** LOUNGE FURNITURE, BY OWNER, SHOWN FOR GRAPHIC PURPOSES
  - 27** SYNTHETIC LAWN, BY OWNER
  - 28** OVERHEAD STRING LIGHTS, BY OWNER
  - 29** STRUCTURAL SOIL LIMIT, SEE DETAIL 7 ON SHEET L3.01.
  - 30** EXISTING LANDSCAPE AREA, BLEND NEW LANDSCAPE WITH EXISTING. LANDSCAPE MATERIALS TO BE DETERMINED.

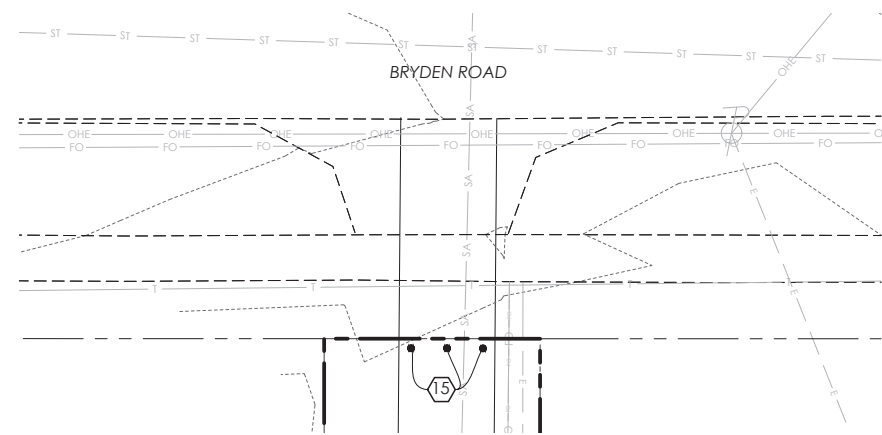




1 ENLARGMENT: NORTHEAST ACCESS PLAN  
Scale: 1" = 10'



2 ENLARGMENT: EASTERN ENTRANCE PLAN  
Scale: 1" = 10'



3 ENLARGMENT: BRYDEN ROAD ENTRANCE PLAN  
Scale: 1" = 10'

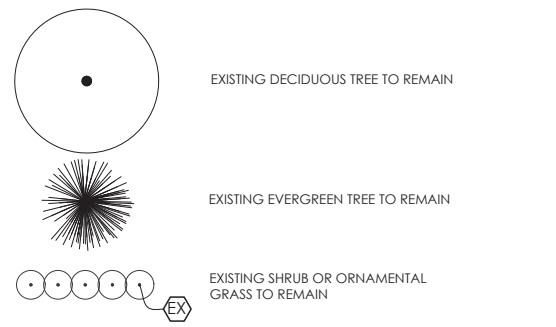
GENERAL NOTES

- EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD MULCH BED WITH SMOOTH/CONTINUOUS SHOVEL/DUG EDGE WHEN NOT BOUND BY PAVEMENT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR BID QUANTITIES AS REQUIRED BY THE PLAN.
- WHERE TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY OWNERS REPRESENTATIVE TO ADJUST TREE LOCATIONS.
- PLANT LIST AND LANDSCAPE MAINTENANCE PLAN LOCATED ON SHEET L2.21.

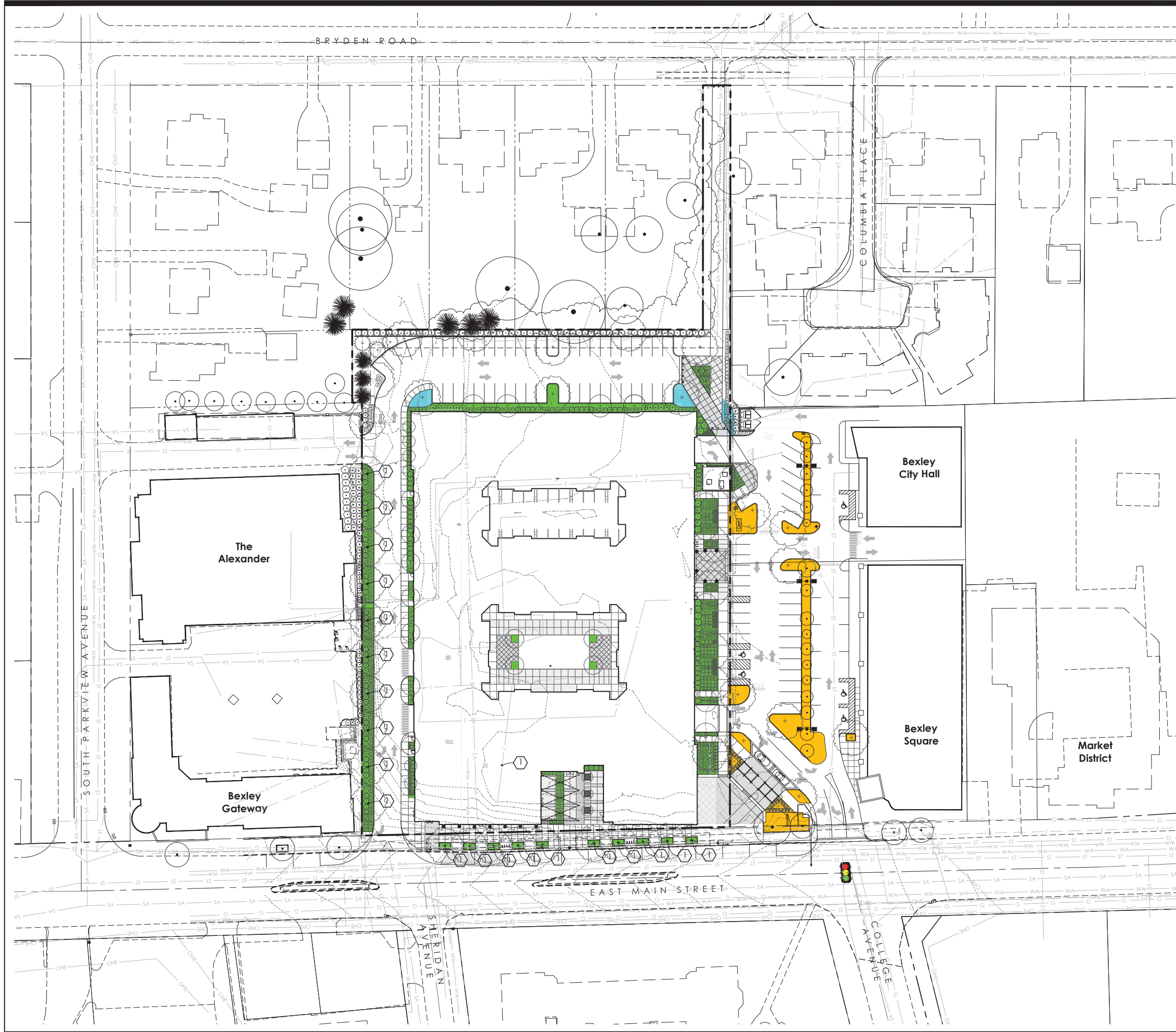
CONSTRUCTION NOTES:

- 1 LAWN AREA, TOPSOIL TO BE FLUSH WITH ADJACENT PAVED SURFACES.
- 2 LANDSCAPE AREA, PLANT AS INDICATED AND MULCH ENTIRE AREA WITH HARDWOOD BARK MULCH.
- 3 EXISTING UTILITY CABINET
- 4 EXISTING GENERATOR
- 7 CROSSWALK - CONCRETE
- 12 BENCH - 6' LENGTH BENCH, BY OWNER, TO MATCH CITY STANDARD
- 13 TRASH RECEPTICAL, BY OWNER, TO MATCH CITY STANDARD
- 14 BIKE RACK, BY OWNER, TO MATCH CITY STANDARD
- 15 BOLLARD (COLLAPSIBLE / BREAKAWAY), BY OWNER
- 17 PAVEMENT - BROOM FINISH
- 18 PAVEMENT - BUFF WASH TAN
- 19 PAVEMENT - BUFF WASH CHARCOAL
- 25 8' HEIGHT PRIVACY FENCE, SEE DETAIL 1 ON SHEET L3.01.
- 26 6' HEIGHT PRIVACY FENCE, SEE DETAIL 2 ON SHEET L3.01.
- 30 EXISTING LANDSCAPE AREA, BLEND NEW LANDSCAPE WITH EXISTING. LANDSCAPE MATERIALS TO BE DETERMINED.

EXISTING LANDSCAPING LEGEND:





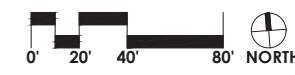


**GENERAL NOTES**

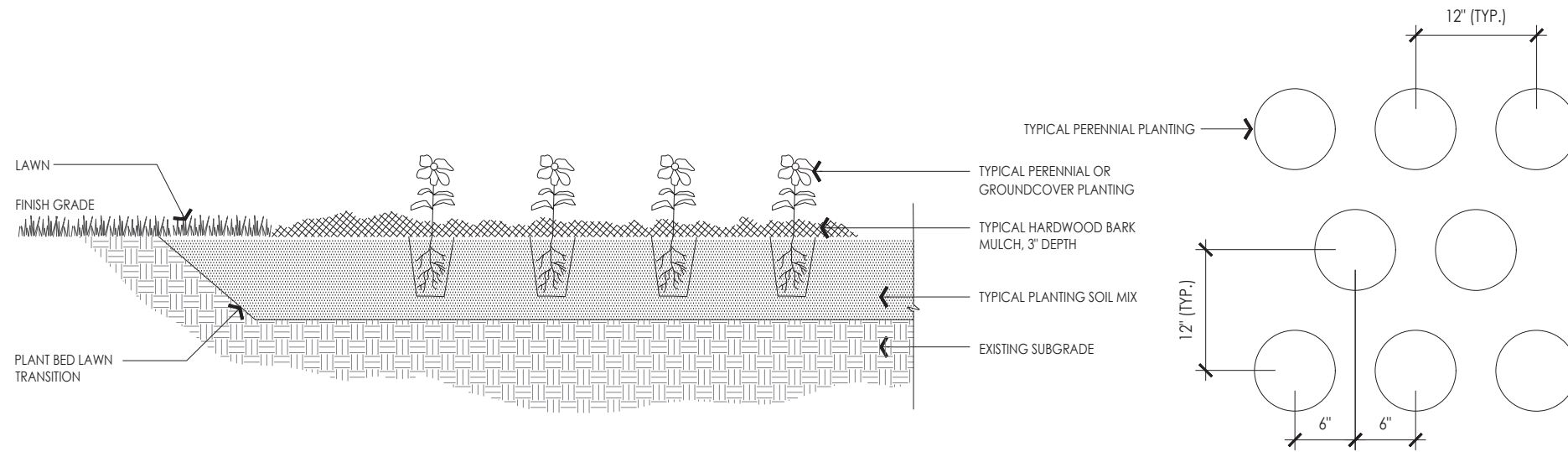
1. CONTRACTOR SHALL PROVIDE FULLY FUNCTIONAL DESIGN-BUILD SYSTEM MEETING ALL FEDERAL, STATE, AND LOCAL CODES FOR THE AREAS DELINEATED ON THE ASSOCIATED DIAGRAM. CONTRACTOR SHALL REVIEW PLANTING PLANS AND PROVIDE APPROPRIATE IRRIGATION TO MEET THE NEEDS OF EACH AREA TO BE IRRIGATED. CONTRACTOR SHALL PROVIDE RECOMMENDED ALTERNATE AREAS TO BE IRRIGATED OR POTENTIAL COST SAVINGS TO THE OWNER'S REPRESENTATIVE.
2. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL TEST WATER AND NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF DETRIMENTAL MINERALS ARE DETECTED AND/OR ANY ABNORMAL PRESSURES OR FIELD CONDITIONS THAT COULD IMPACT THE SYSTEM, PRIOR TO CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
5. THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
6. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS ACROSS ALL FINISH GRADED SURFACES.
7. ENSURE WATER IS NOT BROADCAST ONTO FACE OF BUILDINGS, SIGNS, OR OTHER STRUCTURES. CONTRACTOR SHALL DESIGN SYSTEM TO PREVENT WATER SPRAYING DIRECTLY ONTO AND/OR OVER SIDEWALKS AND PAVED AREAS.
8. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONDITIONS WHERE WATER WILL ROUTINELY BE SPRAYED ONTO OBJECTS SUCH AS LIGHT POSTS, SIDEWALKS, FENCING, ETC., AS THIS MAY IMPACT THE WATERING WINDOW AND HEAD ADJUSTMENTS.

**CONSTRUCTION NOTES:**

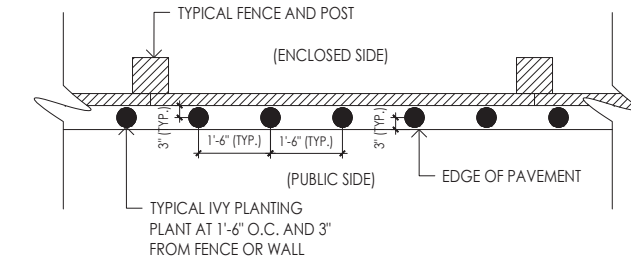
- ① BUBBLER - 1 PER TREE
- DRIP IRRIGATION AREA
- SPRAY IRRIGATION AREA
- OFF-SITE IRRIGATION - TO BE COORDINATED WITH CITY







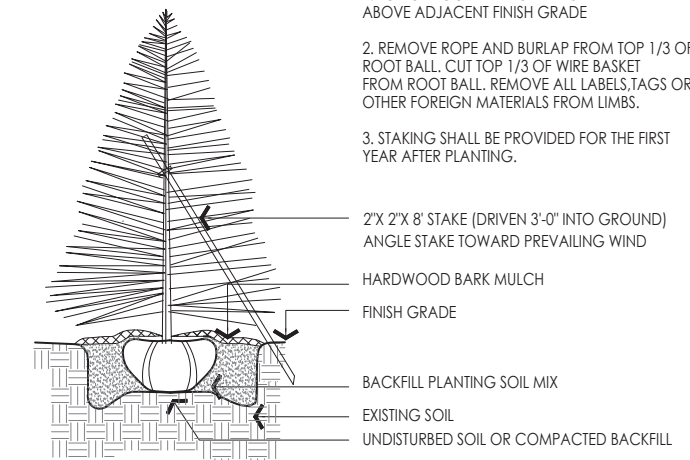
**1 PLAN, SECTION - PERENNIAL AND GROUND COVER PLANTING**  
N.T.S.



**6 IVY PLANTING - 18\"/>**

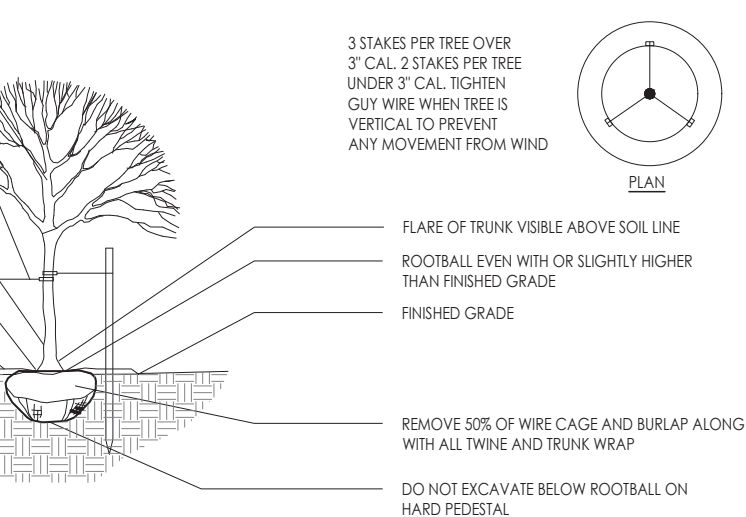
NOTES:

1. TOP OF ROOT BALL TO BE 2\"/>

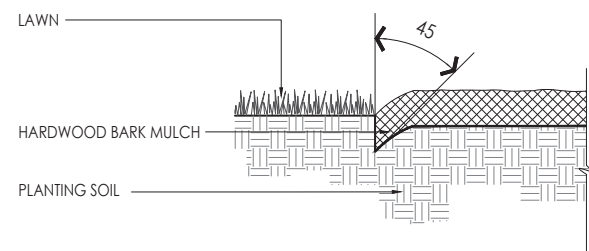


**7 EVERGREEN TREE PLANTING**  
N.T.S.

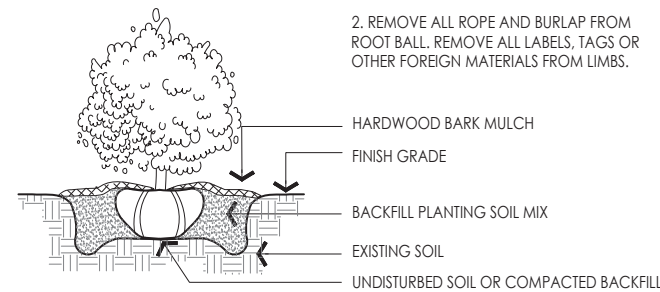
- NOTES:
1. STAKING SHALL BE PROVIDED FOR THE FIRST YEAR AFTER PLANTING
  2. MEASURE ROOTBALL AND SET 1\"/>



**8 DECIDUOUS TREE PLANTING**  
N.T.S.

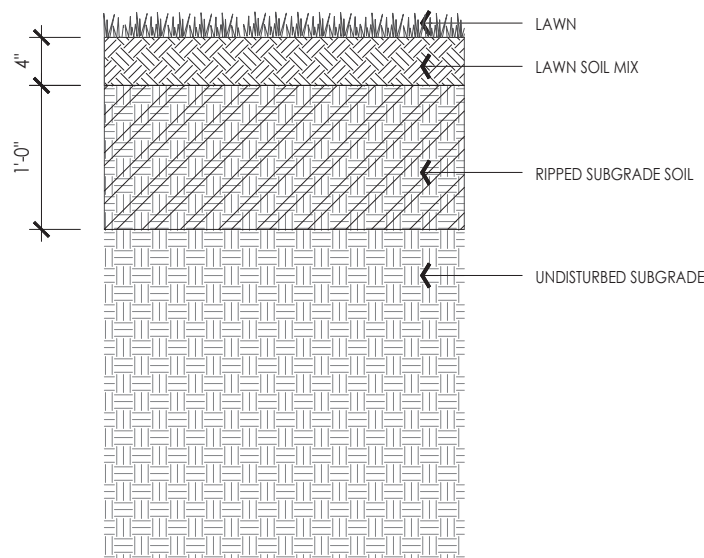


**2 PLANT BED EDGE**  
N.T.S.

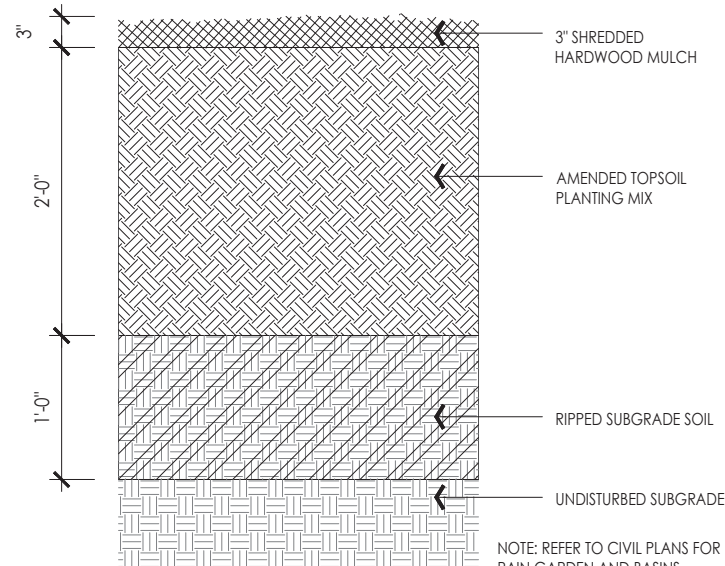


**4 SHRUB PLANTING**  
N.T.S.

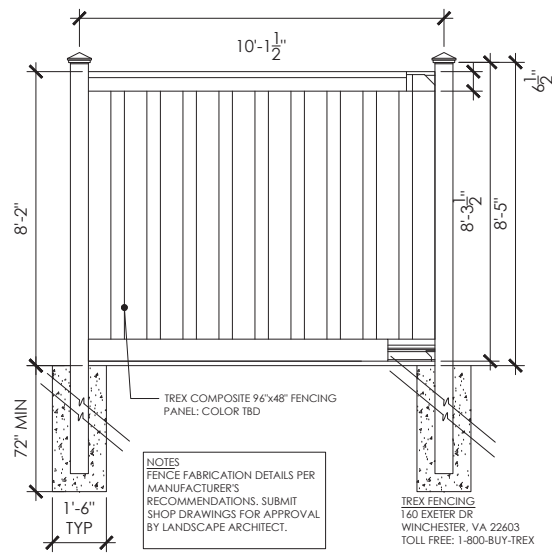
- NOTES:
1. TOP OF ROOT BALL TO BE 2\"/>



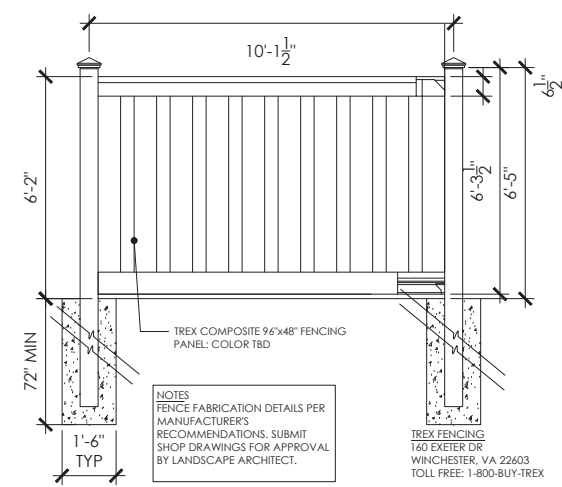
**3 SOIL PROFILE AT LAWN**  
N.T.S.



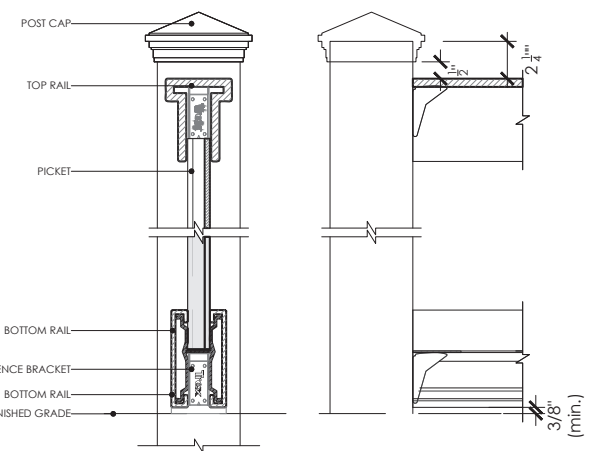
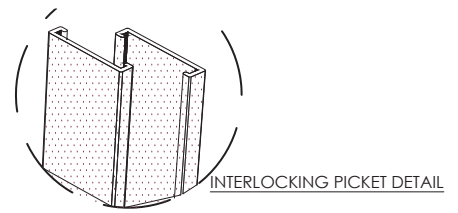
**5 SOIL PROFILE AT PLANT BED**  
N.T.S.



1 8' COMPOSITE FENCE

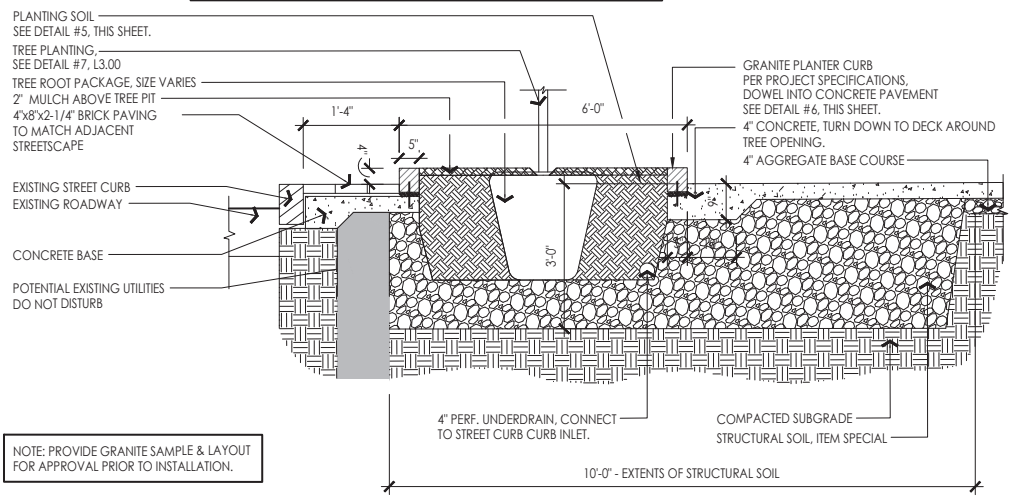


2 6' COMPOSITE FENCE

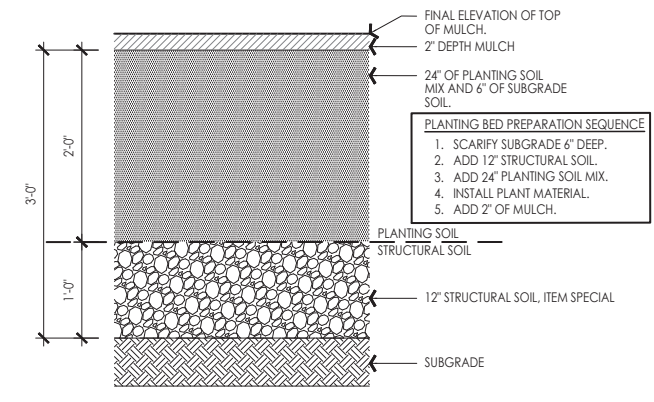


3 FENCE ENLARGEMENT

NOTE: THIS DETAIL IS MEANT TO DEPICT A 'TYPICAL' FOR CONSTRUCTION PURPOSES. IF UNDERGROUND UTILITIES ARE DETERMINED TO IMPACT THE ABILITY TO CONSTRUCT THIS AS SHOWN, CONTRACTOR SHALL ALERT OWNER AS SOON AS POSSIBLE TO EXPLORE ALTERNATIVE SOLUTIONS.

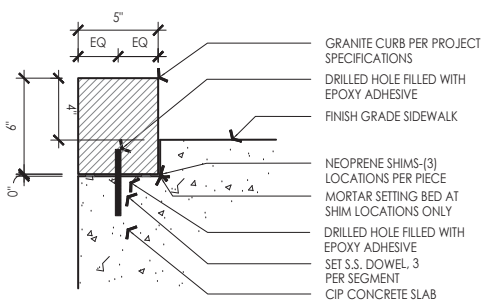


4 TREE PLANTER

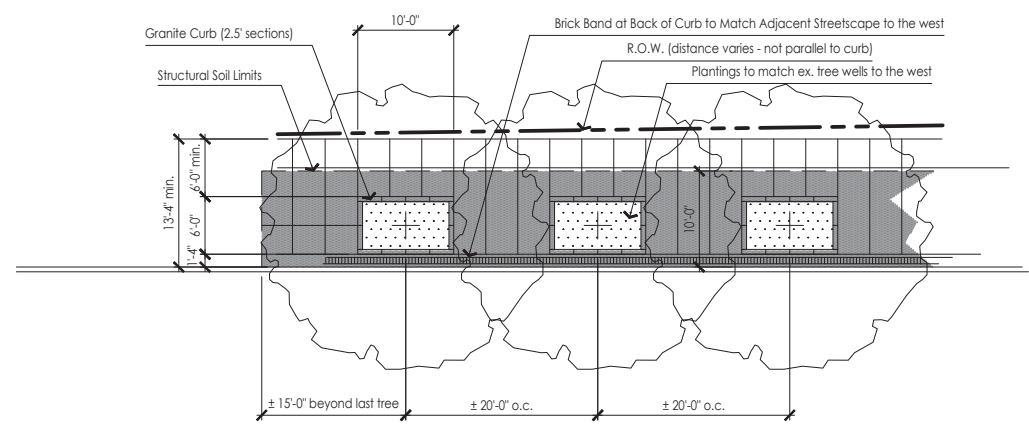


5 PLANTING SOIL - 36" DEPTH

- PLANTING BED PREPARATION SEQUENCE
1. SCARIFY SUBGRADE 6" DEEP.
  2. ADD 12" STRUCTURAL SOIL.
  3. ADD 24" PLANTING SOIL MIX.
  4. INSTALL PLANT MATERIAL.
  5. ADD 2" OF MULCH.



6 GRANITE PLANTER CURB



7 PLANTER CURB LAYOUT

