



## **City Council Meeting Agenda**

Tuesday, January 24, 2023

**1) Call to Order**

**2) Roll Call of Members**

**3) Pledge of Allegiance**

**4) Presentations/Special Guests**

a) Proposed Candidates for Community Improvement Corporation Vacancies

- Mike Simpson

b) Mosquito Task Force Study Report

**5) Public Comments (Speaker Slip Required)**

**6) President's Report**

**7) City Attorney Report**

**8) Auditor's Report**

**9) Administrative Update**

a) Police Department Update – Chief Gary Lewis

b) Recreation and Parks Update – Mike Price

c) Service Update – Andy Bashore



d) Finance Department Update – Beecher Hale

e) Mayor's Update

**10) Ordinances with Visiting Presenters**

a) Ordinance 49-22 to adopt Residential Design Guidelines introduced by Matt Klingler on December 13, 2022.

- Karen Bokor and William Heyer will present

**11) Consent Agenda (No Speaker Slip Required)**

a) Meeting Minutes from January 10, 2023

b) Resolution 11-22 confirming the Mayor's appointments of members to the Bexley Community Improvement Corporation, introduced by Jen Robinson on December 13, 2022.

**12) Third Readings (No Speaker Slip Required)**

**13) Second Readings (Speaker Slip Required)**

**14) First Readings (Speaker Slip Required)**

a) Ordinance 1-23 to appropriate \$61,924 to pay school revenue sharing based on 2021 payroll taxes collected from tenants of Bexley Gateway introduced by Monique Lampke on January 24, 2023.

b) Ordinance 2-23 to appropriate \$441,220 from the Road and Alley fund and to pay for the uncompleted portion of the 2022 Drexel Avenue and Grandon Avenue Improvement project introduced by Monique Lampke on January 24, 2023.



## **City Council Meeting Agenda**

Tuesday, January 24, 2023

- c) Ordinance 3-23 to establish a special fund designated the North Columbia and South Remington Road Improvements Fund to record all revenue and expenses associated with the North Columbia and South Remington Road project, to appropriate \$4,969,075 from this fund to pay for the cost of the project introduced by Monique Lampke on January 24, 2023.
- d) Ordinance 4-23 to Amend Section 262.02(c)(3), Holidays introduced by Monique Lampke on January 24, 2023
- e) Resolution 1-23 to amend the Jeffrey Mansion Alcohol Policy Framework introduced by Jessica Saad on January 24, 2023.

### **15) Tabled Ordinances**

- a) Ordinance 35-22 to amend Section 1060, in order to require recycling service to be provided at commercial, institutional, and multi-family properties within the City of Bexley, introduced by Lori Ann Feibel on September 13, 2022.
- b) Ordinance 48-22 to create Chapter 837, Tobacco Retail License and Regulations and to remove Chapter 636.16 of the Codified Ordinances, Illegal distribution of cigarettes, other tobacco products or alternate nicotine products introduced by Sam Marcellino on November 15, 2022.

### **16) Zoning and Development Committee – Matt Klingler, Chair**

### **17) Recreation and Parks Committee – Jessica Saad, Chair**

### **18) Service and Environmental Committee – Lori Ann Feibel, Chair**

### **19) Finance Committee – Monique Lampke, Chair**



- 20) Safety and Health Committee – Sam Marcellino, Chair**
- 21) Strategic Committee – Jen Robinson, Chair**
- 22) Public Comments (No Speaker Slip Required)**
- 23) Adjourn**

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**Opt Outs**

⌵  All items

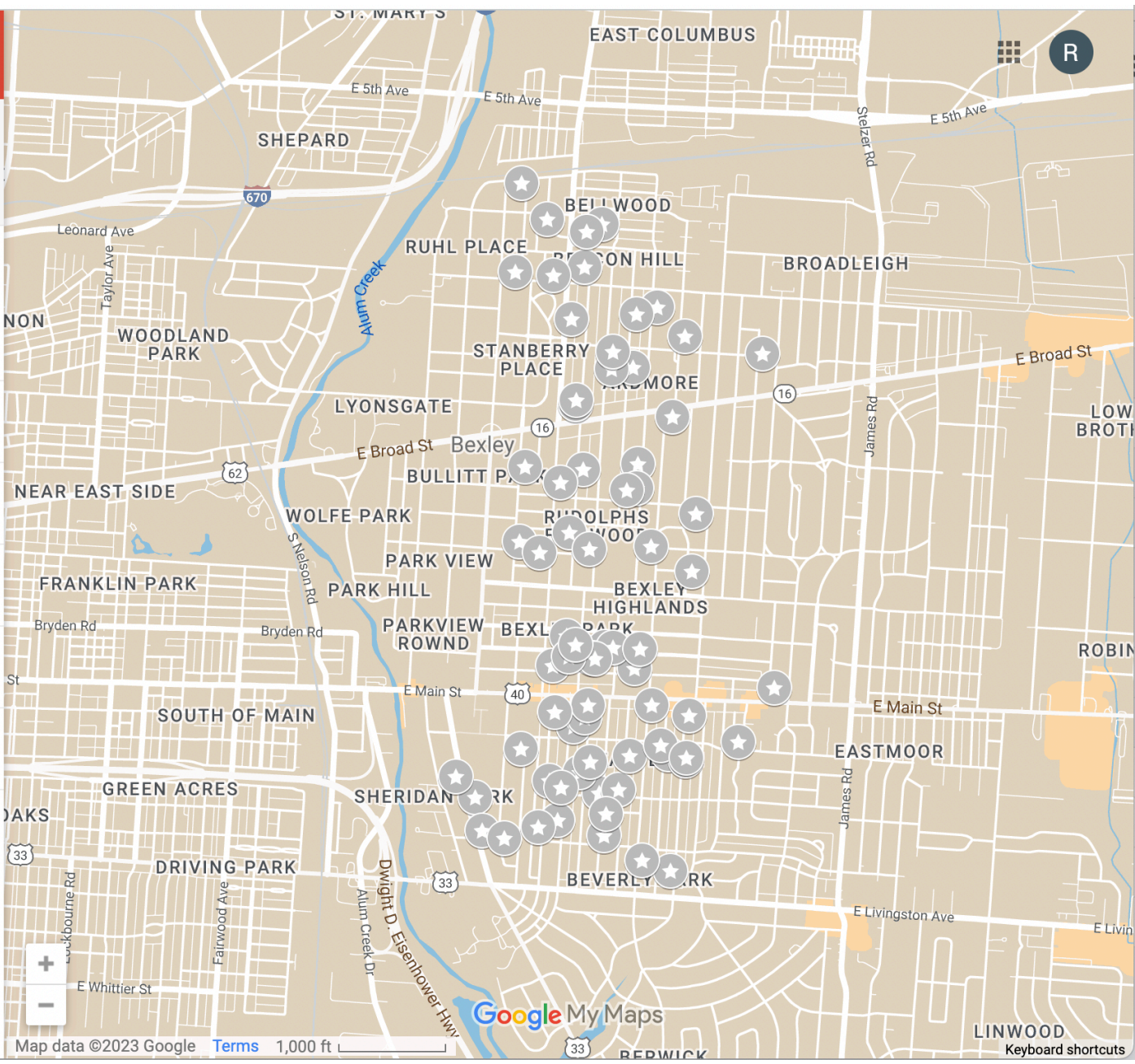
Survey responses updated.xlsx

Treatment 1

Treatment 2

Treatment 3

Treatment 4



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LINWOOD  
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# Bexley Mosquito Study

Alex Meyer



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Survey responses updated.xlsx



All items



Treatment 1



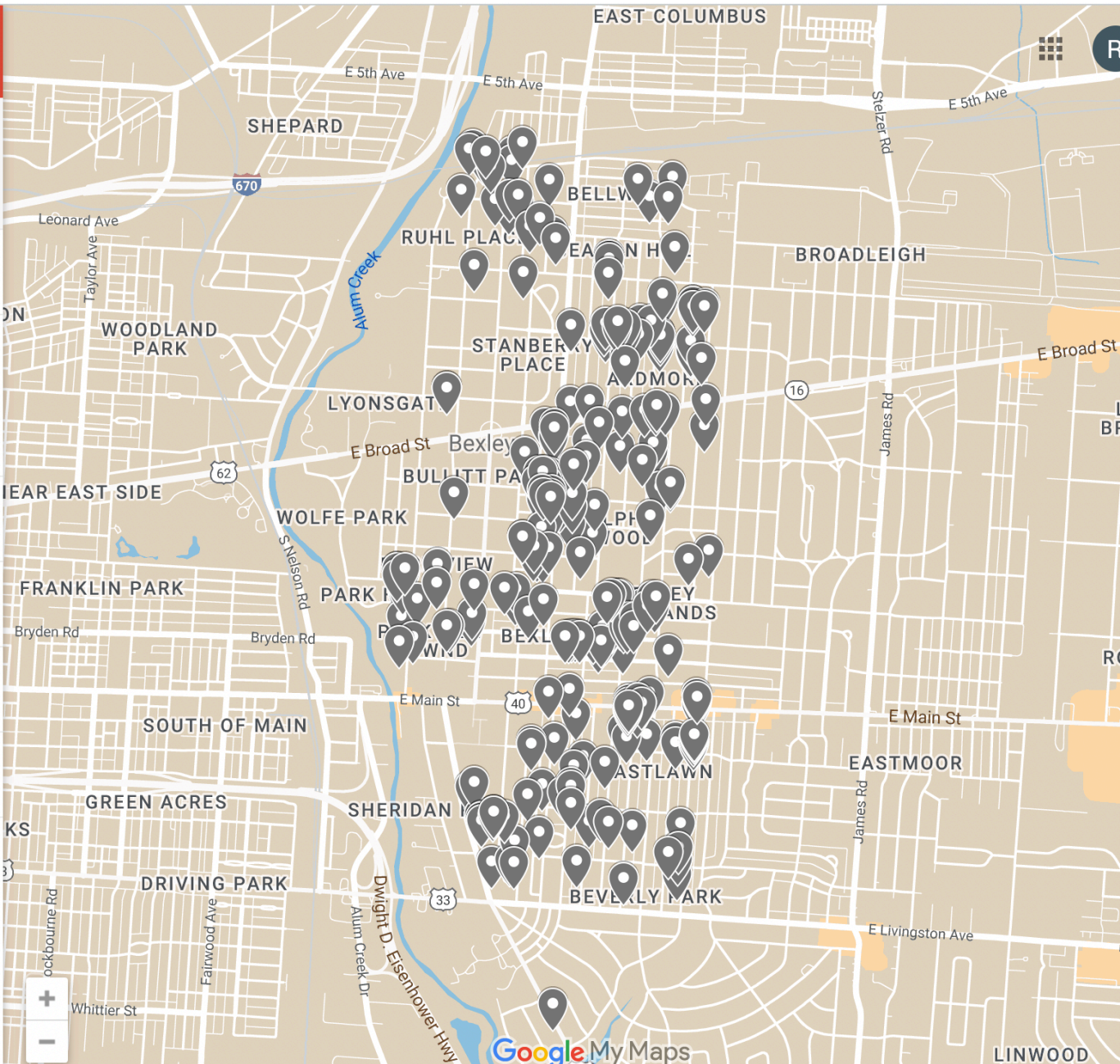
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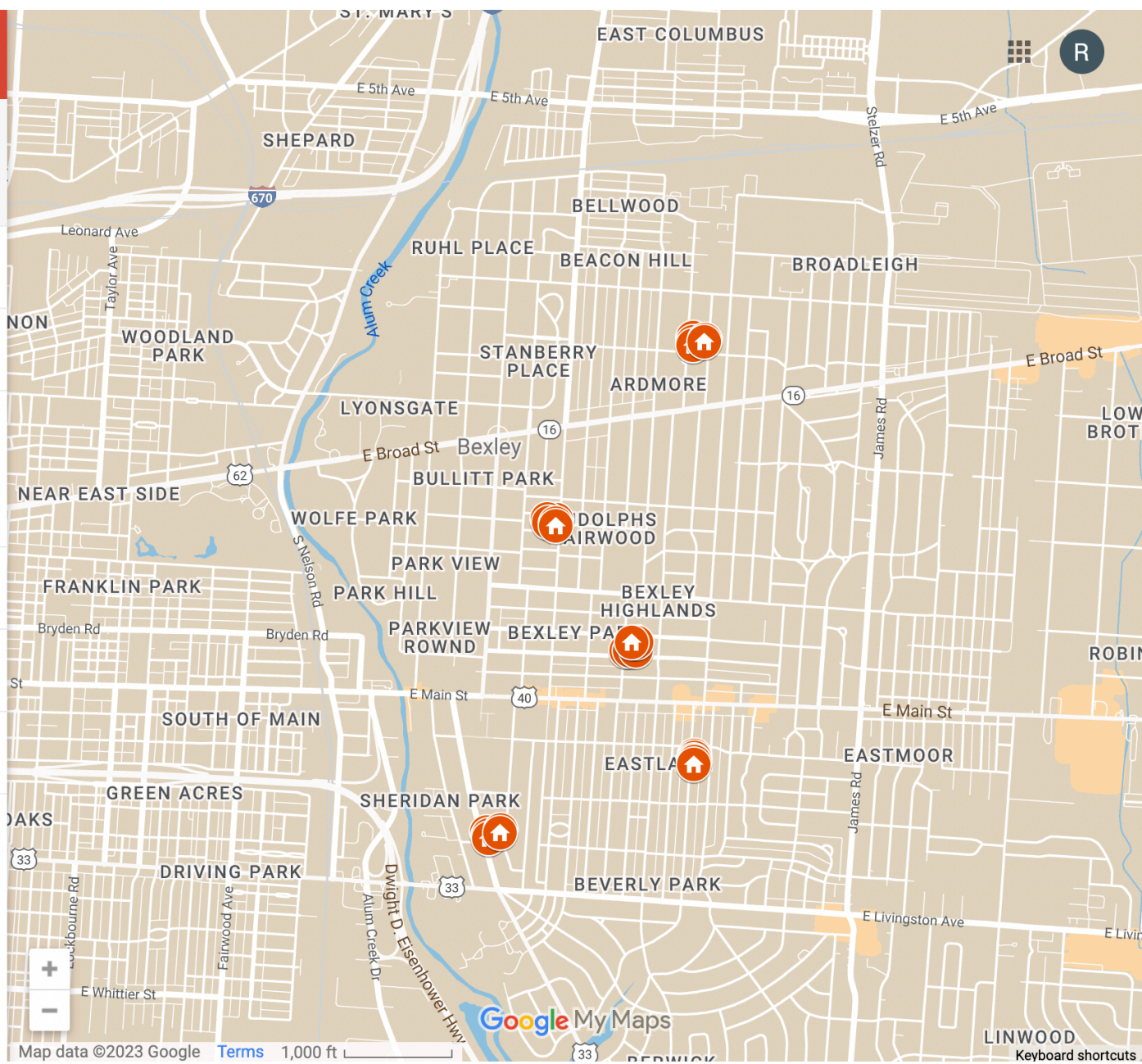


Treatment 4



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- Opt Outs
- Survey responses updated.xlsx
- Treatment 1**
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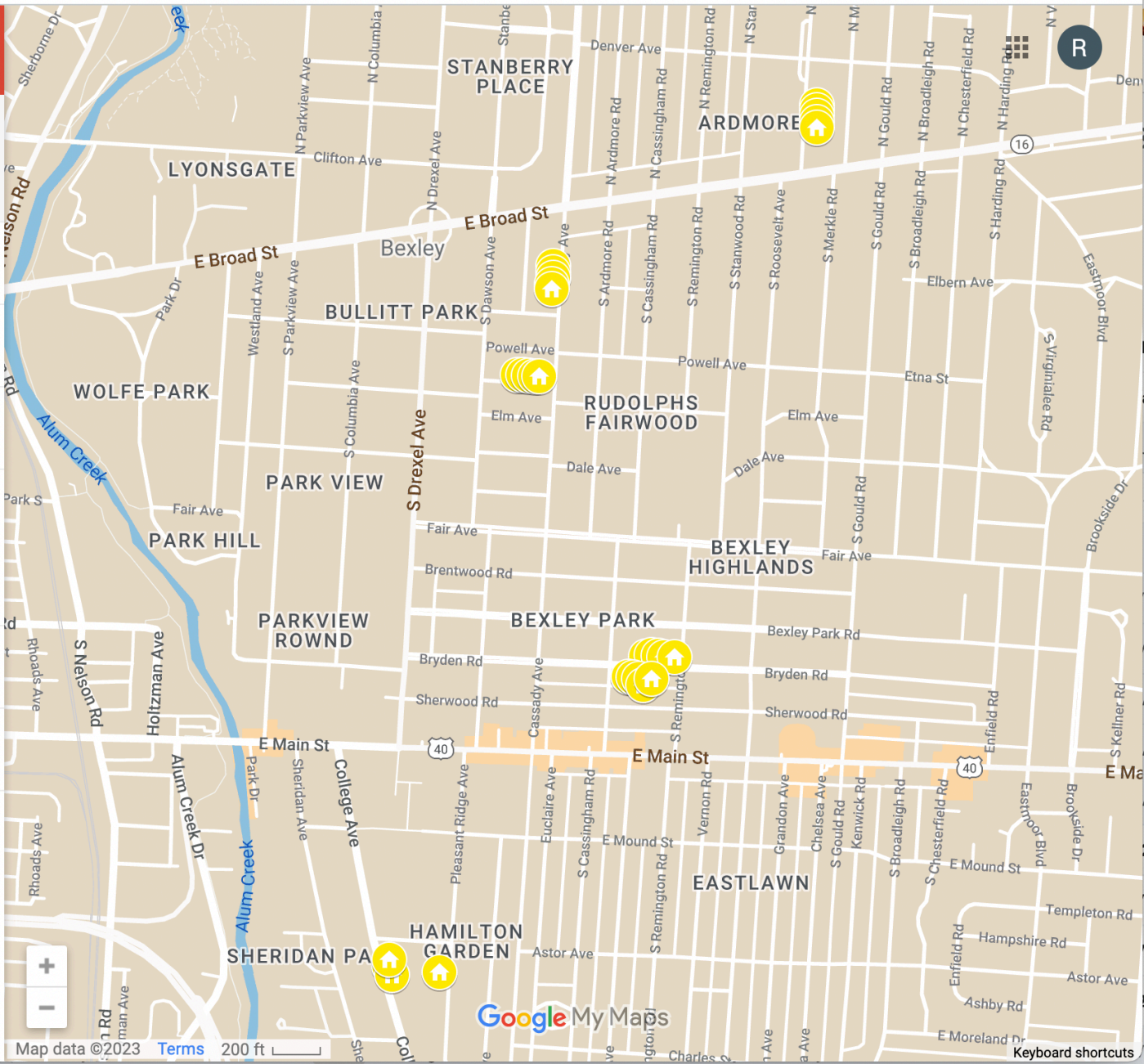
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Treatment 3

Treatment 4



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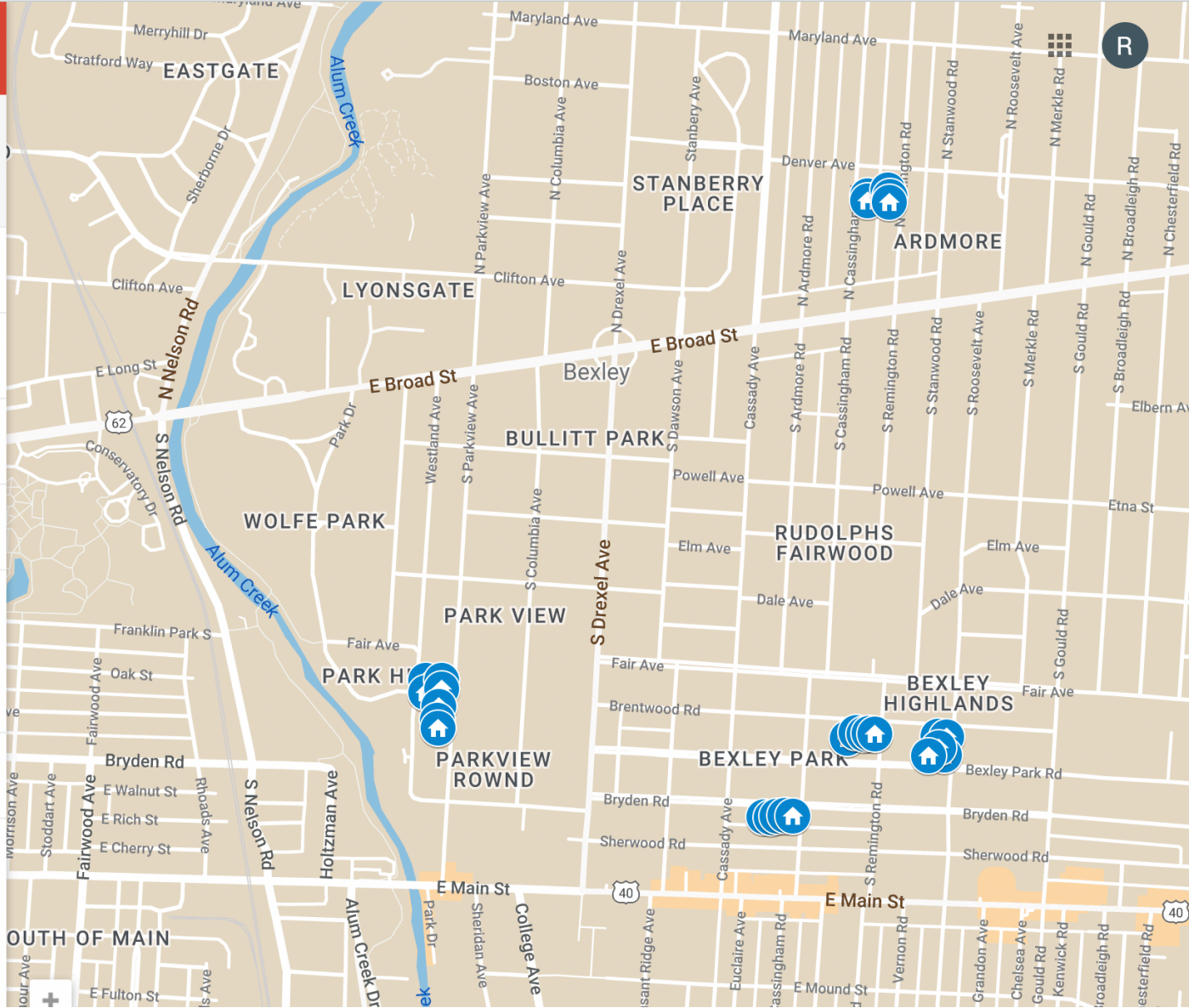
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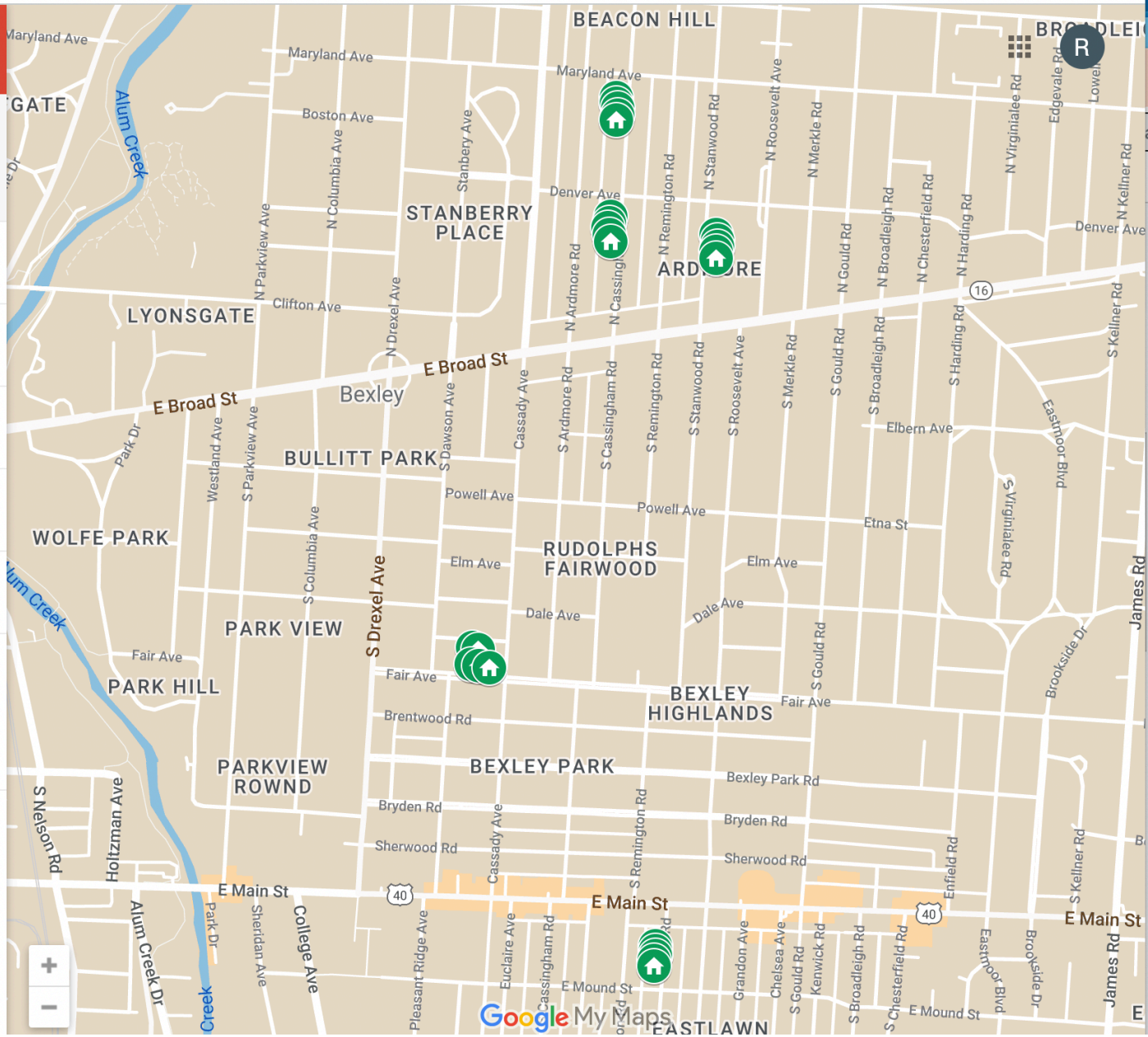
Treatment 4



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- Opt Outs
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**Treatment 1**

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**Treatment 2**

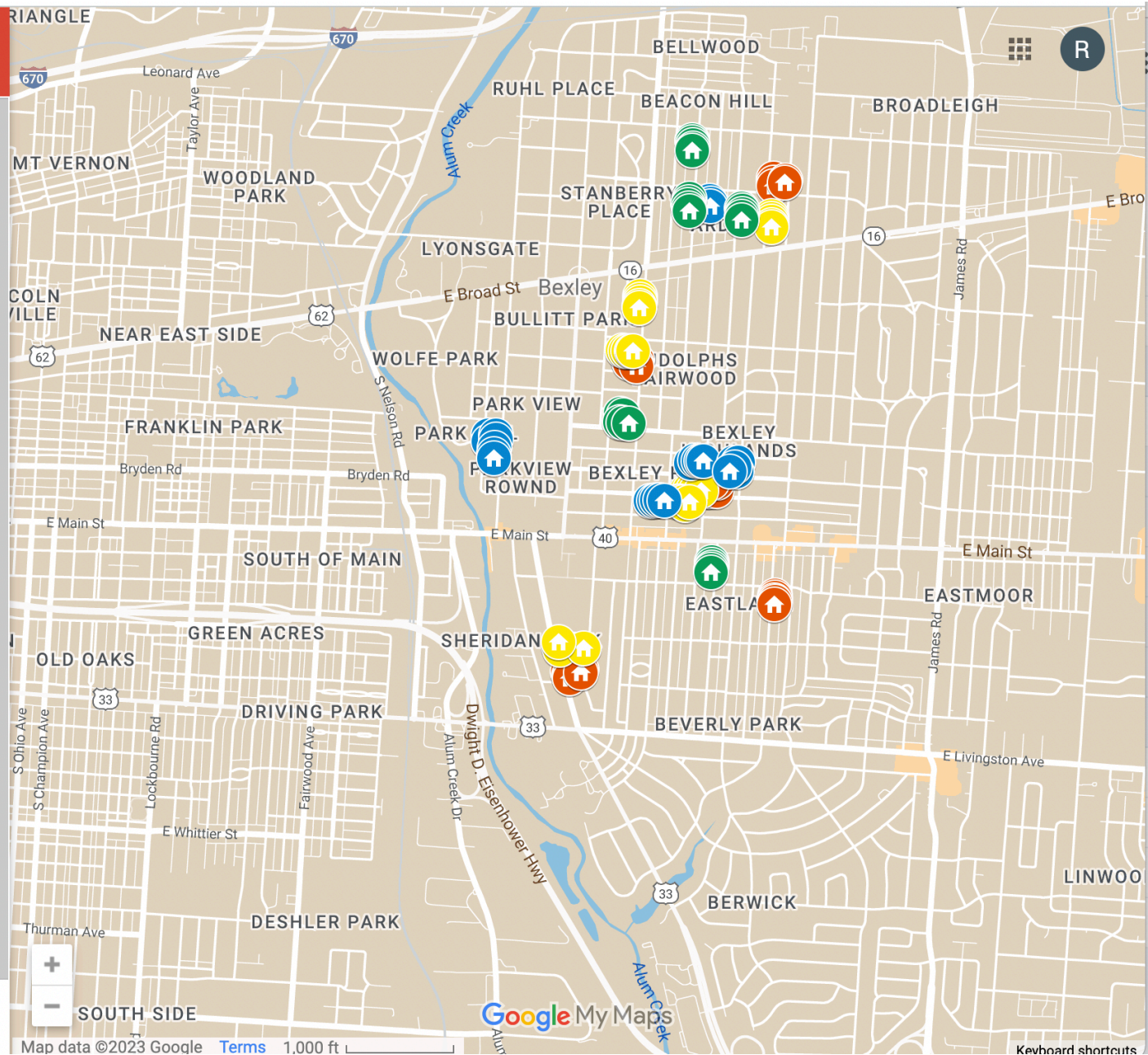
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CITY OF BEXLEY

# DESIGN GUIDELINES AND STANDARDS

Presented by: The Architectural Review Board  
01-26-2023

# THANKS AND APPRECIATION TO...

Larry Helman • William Heyer

## Architectural Review Board

Suzanne Toney, Chairperson • Pete Scott • Joann Strasser  
Jocelyn Krosky • Michael Steele

## Board of Zoning and Planning

## Bexley Historic Preservation Committee

## City Council Liaison

Matt Klinger

## Staff

Karen Bokor • Ben Kessler • Kathy Rose • Jason Sudy

9-12-00

**ARCHITECTURAL REVIEW DISTRICT  
RESIDENTIAL DESIGN GUIDELINES**

City of Bexley, Ohio  
Board of Zoning Appeals

**Introduction**

The purpose of the Architectural Review District is to maintain the quality and existing character of residential neighborhoods in the City of Bexley. The Board of Zoning Appeals (the "Board" or the "BZA") is charged with the responsibility of assuring that new homes and exterior changes to existing homes are compatible with and do not adversely affect the surrounding neighborhood.

The BZA, directly or through its staff, reviews all exterior changes and additions to homes in Bexley. The Board does not review normal repair and maintenance, which does not cause any visual change to a building. Board members are all residents of the City, including citizens with real estate, building and design experience.

No new home can be constructed and no existing home can be enlarged or have its architectural style and details changed, unless the City issues the property owner a certificate of appropriateness. In deciding whether to issue the certificate, the BZA considers elements such as architectural design, exterior materials and detail, height and building mass, placement of buildings on the site and grade levels. The purpose of the review is to determine whether the proposed new home or modifications are compatible with the neighborhood. The goal is not uniformity of design since Bexley has many different architectural styles. Instead the goal is to foster compatible design which respects a home's existing style and its surroundings.

The following design guidelines include:

**Specific Standards:** For certain types of projects, the Board has established specific standards. If you comply with these standards, City staff or planning consultants will conduct an administrative review of your project and an appearance before the BZA will not be necessary.

**General Guidelines:** These guidelines are for projects which will be reviewed by the BZA. Please keep in mind that these guidelines are not absolute rules, although they are applicable in many cases.

For information about the design review process and submission requirements, please call the Building Department at (614)235-0956.

**Porches, Railings, Steps, Decks:** When porches, railings, steps, decks, or other exterior elements are replaced, pressure-treated wood is acceptable for structural members but a higher grade of lumber, such as cedar, redwood or cypress, is recommended, but not required, for all finish elements, including posts, railings, fascia and trim, stair risers and treads, and other visible features.

**Shutters:** If shutters are replaced, the new shutters shall be equal to the height of the window and approximately half its width. The shutters shall be installed so that the bottoms of the shutters align with the tops of the windowsills.

**Design Standards For Projects Which May Receive Administrative Review**

**Roofs:** Distinctive roofing materials, including slate, copper, clay tile, and wood shakes, shall be repaired and maintained whenever possible. If a roof is deteriorated beyond repair, asphalt or fiberglass reinforced asphalt shingles are acceptable alternatives in most cases.

Staff must approve shingle color. New roofs shall be compatible in color and texture with the architectural style of the house. The BZA has established a palette of pre-approved colors, generally in the darker range, which are appropriate to various architectural styles. Since shingle colors vary with different manufacturers, please contact the City to see if your color choice is pre-approved.

Slate, synthetic slate, cedar shakes, and other roofing materials are encouraged for some houses, based on architectural style.

**Window and Door Replacements:** Replacement windows and doors which replicate the size, style, color and appearance of existing windows and doors are permitted and may be reviewed and approved by staff.

Any variation from these standards may require an appearance before the BZA. Also, applicants whose projects have been reviewed by staff may request and apply for review and approval by the Board. The staff may also decline to review a project and refer it to the BZA.

**Design Guidelines For Projects Which Must Be Reviewed by the BZA**

The design of a new residence shall consider the rich architectural heritage of the City as well as the relationship in massing, scale, texture, and color of the residence to its neighbors. New homes shall be designed as a product of their own time but incorporate design elements of the primary architectural style(s) of the surrounding area. The design of alterations and additions shall be compatible with the existing structure in terms of architectural detail, scale, materials, and colors.

Materials for new construction and additions shall have architectural character and should be selected for harmony within a building and with adjoining buildings.

**Additions:** The scale and proportions of an addition shall be compatible with the principal structure and with the surrounding structures and context. Whenever possible, architectural elements on an addition shall align with similar elements on the existing building. For example, windows on an addition shall align with the windows on the principal structure. Also, fascia and other trim shall be used consistently and the details on additions and auxiliary structures shall relate to those on the main structure.

The BZA typically does not require that additions replicate the existing architecture; rather, residential additions shall be respectful and sensitive to the existing architecture. In most cases, additions shall be sided and roofed with materials that match the existing house in terms of scale, texture, and color.

Flat roofs are sometimes appropriate for additions; gabled roofs shall replicate the roof pitch on the existing house when possible.

Additions and bay windows shall fit into the existing architecture of a house, both physically and visually. Often, in maximizing the size of an addition, other elements on the house, including existing doors and windows, become overly crowded in a visual sense. Not all homes can accommodate a large addition or a bay window. These elements must be studied carefully to ensure that they do not disrupt the existing scale and proportions of a house.

**Windows:** Window replacements and new windows shall correspond to existing window styles and fit into the house's established pattern of fenestration. Windows, which make statement, such as arched windows and bay windows, shall be used

**Architectural Review**

the BZA when the work is architectural details, elements shall be retained, they cannot be retained, or deletion of existing materials. Examples of

we shall match the color of the mortar joints

about replacing the entire facade, and profile of the h a slate, wood shake or

only in the appropriate context. These windows will act as a focal point on a house and should be used with restraint.

Roof windows and skylights may be inappropriate for some traditional houses. In many cases, dormers are encouraged as a more compatible solution. When used, skylights shall be located in inconspicuous locations, preferably where they are not visible from the street. Skylight placement shall relate to the exterior details of a house as well as to the interior constraints. Grouping several small skylights together is often preferable to installing one large skylight.

**Re-siding:** Every effort shall be made to preserve existing architectural details when re-siding a house. Special care shall be taken to address the relationship of the new siding to the existing architecture, especially at the rake of the roof and at the window and door casings. "Jumping" or siding over the existing casings is not permitted.

**Detached Garages:** Garages and other auxiliary buildings shall be roofed and sided to match the principal structure whenever possible. The pitch and orientation of a garage roof shall also relate to the roof on the principal structure.

**Porches, Decks, and Ramps:** Pressure treated wood is acceptable for structural members but a higher grade of lumber, such as cedar, redwood or cypress is recommended, but not required, for all finish elements, including posts, railings, fascia and trim, stair risers and treads, and other visible features.

**Other Legal Requirements**

Architectural review is not the exclusive review procedure for residential structures. Structures are also subject to general zoning and building code requirements. Here are a few examples:

**Walls and Fences:** Walls and fences are not subject to architectural review but are regulated by Chapter 1256 of the City's Zoning Code. Please contact the Building Department for information regarding the requirements governing walls and fences.

**Demolitions:** A permit is required to demolish a structure, and in most cases an existing structure cannot be demolished until the replacement structure or a site restoration plan has been approved. Please contact the Building Department for further information.

**Setbacks, Etc.:** All structures in residential zoning districts are subject to a number of other requirements including permitted uses, minimum lot size, minimum front, rear and

# 2000 DESIGN GUIDELINES AND STANDARDS

## Narrow in Scope No Illustrations Lack of Context

property owners to maintain building exteriors and property areas. Please contact the Building Department for further information.

**A Final Word**

The preceding guidelines are intended to be just that, and not inflexible regulations. Therefore, the BZA reserves the right to deviate from the guidelines in appropriate cases. The BZA encourages homeowners, architects and builders to take advantage of the preliminary review process, especially for large or unusual projects. For a preliminary review, a simplified set of plans may be submitted early in the design development phase in order to get feedback and direction from the BZA. Please see the BZA submission packet for more details about the preliminary review process.

**2023**

**DESIGN GUIDELINES  
AND STANDARDS**

Modernized and Broad in Scope

Living Document

Existing Neighborhood Characteristics

Illustrated

Responsibilities and Process

Design and Planning Examples

# DESIGN STANDARDS AND GUIDELINES

Design standards and guidelines are sets of recommendations towards good practice in design. They are intended to provide clear instructions to, owners, designers, and developers on how to adopt specific principles.

## **DESIGN STANDARDS**

are widely applicable principles and considerations.  
Standards are the foundation for good design.

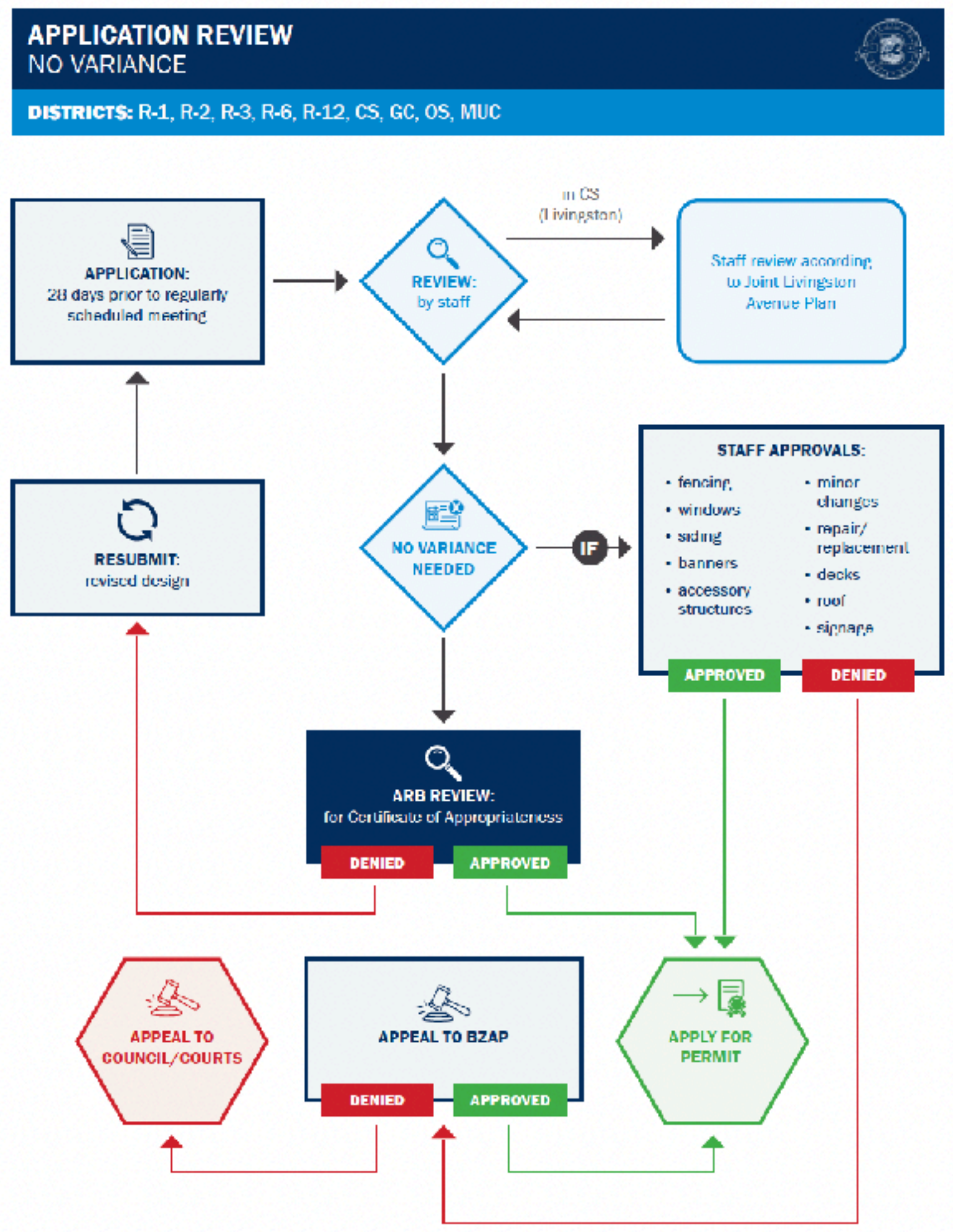
## **DESIGN GUIDELINES**

tell us how to apply standards.  
Guidelines are recommendations that provide instructions on how to convert standards into design.



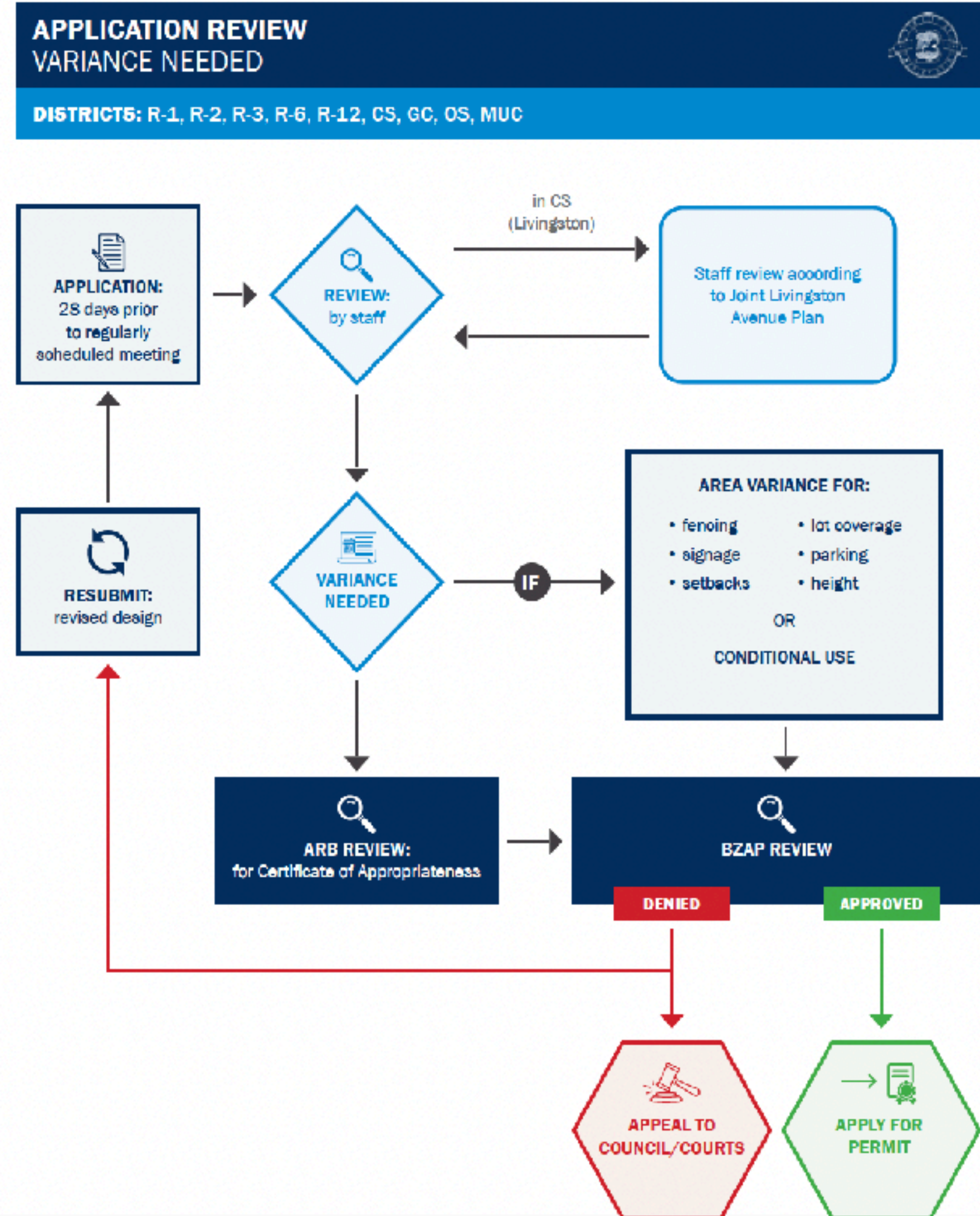
# PROJECT FLOW CHARTS

## NO VARIANCE NEEDED



# PROJECT FLOW CHARTS, CONT.

## VARIANCE NEEDED

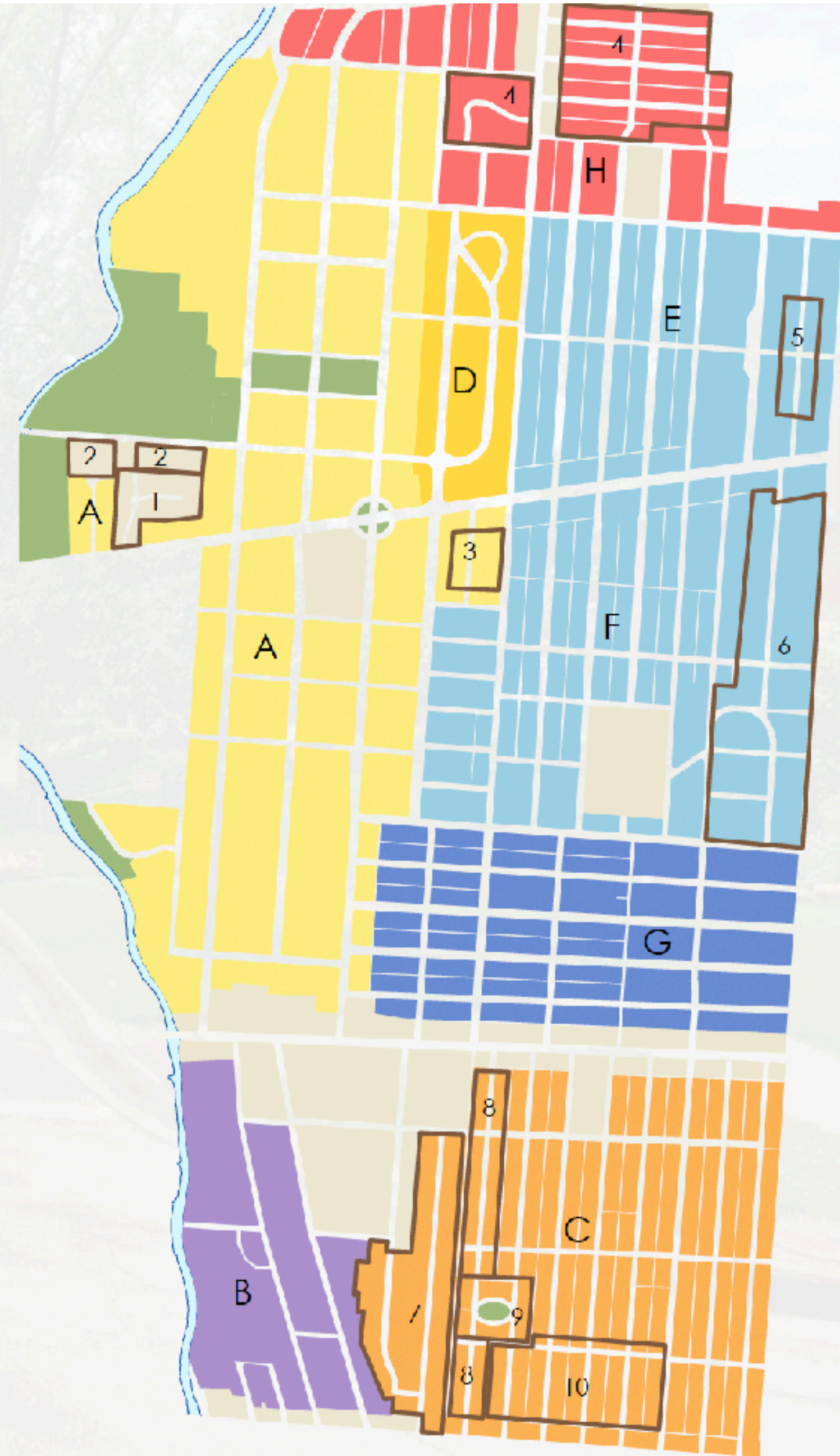
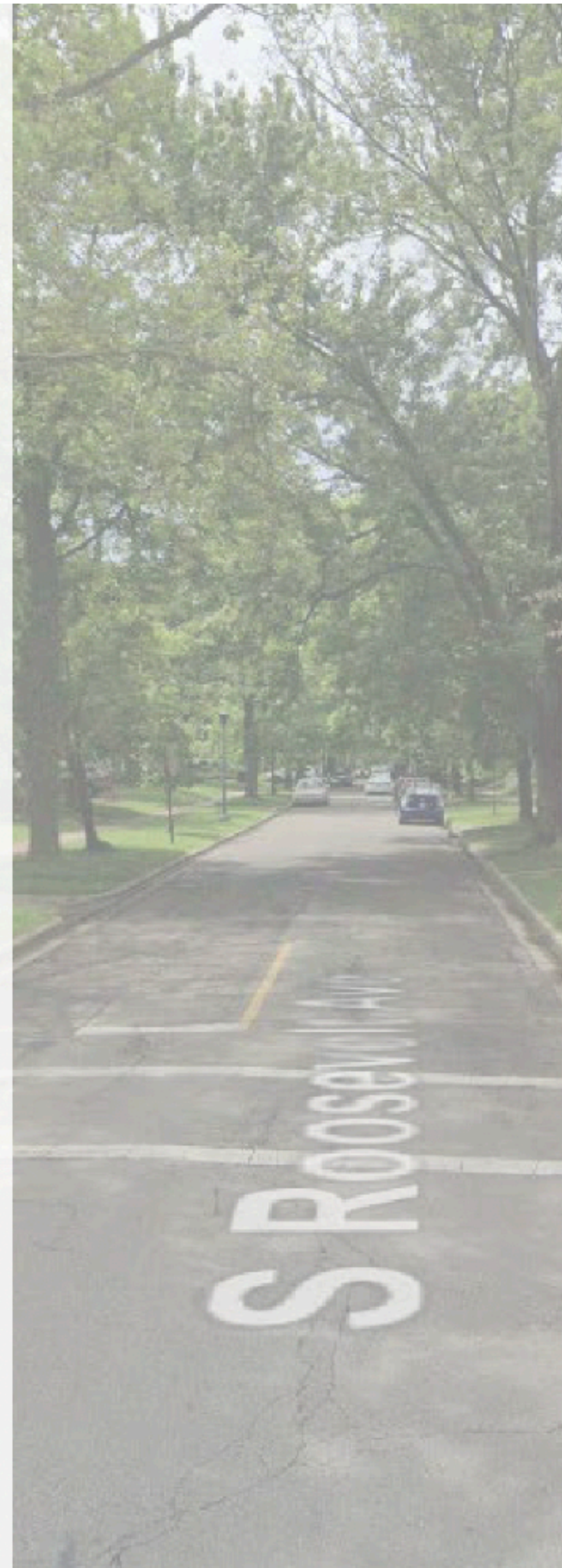


# BEXLEY NEIGHBORHOODS

- A** BULLITT PARK / PARKVIEW / PARK HILL / PARKVIEW ROWND
- B** HAMILTON'S GARDENS / SHERIDAN PARK
- C** BEXLEY PLAZA / EASTLAWN / LIVINGSTON HEIGHTS
- D** STANBERY
- E** ARDMORE NORTH
- F** ARDMORE SOUTH
- G** BEXLEY PARK / RUDOLPHS FAIRWOOD / BEXLEY HIGHLANDS
- H** BELLWOOD

## SPECIAL CHARACTER ZONES

- 1** SESSIONS VILLAGE
- 2** LYONSGATE / BISHOP SQUARE
- 3** BULLITT PARK PLACE
- 4** BELLWOOD CAPE CODS
- 5** MERKLE ROAD STONEWORKS
- 6** ARDMORE 1950S
- 7** PLEASANT RIDGE / FRANCIS AVENUE
- 8** EUCLAIRE AVENUE PORCHES
- 9** HAVENWOOD / CIRCLE PARK
- 10** LIVINGSTON HEIGHTS TUDORS



# BULLITT PARK/PARKVIEW/ PARK HILL/PARKVIEW ROWND

## NEIGHBORHOOD HISTORY

At the turn of the century in the early 1900s, Columbus, Ohio, expanded in two dominant directions: north along the High St corridor and east along the E Broad St corridor. Beyond Nelson Rd and up the hill from Alum Creek were large tracts of land prime for residential expansion. In 1908, a regional Columbus Parks Plan led to the creation of major open spaces along Alum Creek including Wolfe Park, setting the stage for the next wave of development along E Broad St. Soon to follow were large residential estates on considerably larger lots than on previous E Broad developments. This was the birth of the Bullitt Park addition.

The Bullitt Park addition provided opportunities for families with means to construct substantial new houses on large lots designed to the latest trends. Houses were generally architect-designed during a rich time in residential architectural themes. Strongly influenced by English manor houses and other European themes, the Bullitt Park houses were constructed using unique materials, craftsmanship, and design features, such as classical forms, leaded windows, and imported slate for roofs. The overall site design for Bullitt Park also represented a commitment to high civic design, which included major

park spaces such as Drexel Circle and Commonwealth Park; brick streets, gutters, and intersection details; and tree lawns and street trees. Also included was the reestablishment of carriage lanes along E Broad St, mirroring their earlier use along Broad St downtown.

An early criticism of the Bullitt Park addition was the use of visually unattractive utility poles that marred the streetscape, unlike its crosstown rival the Country Club of Arlington, with its underground utilities.

Honor the original character of this area, which showcases individually designed houses on larger lots, a high degree of design consistency, a substantial character, use of rich materials, and design details.

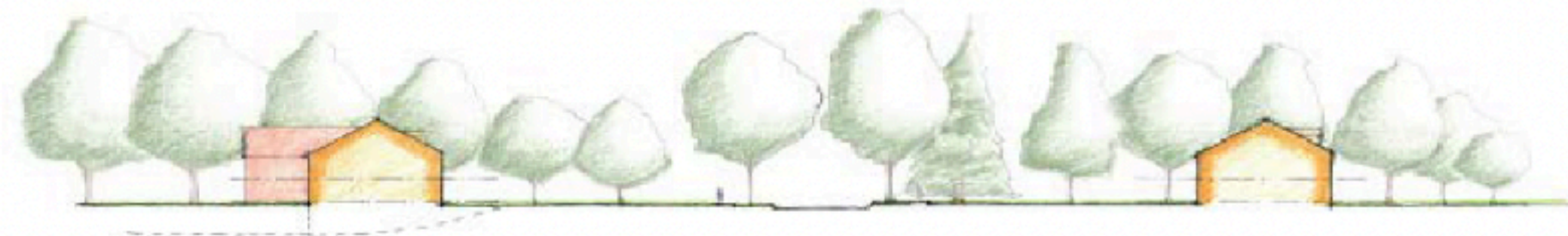


Figure 1. Typical street section. Note the deep setbacks, mature street trees, and abundance of yard trees (front, back, and side). The dashed line on the house to the left shows a condition in which the grade slopes down to a basement-level garage.



Figure 2. Cross-street section. Note the potential for side additions.



Figure 3. Drexel Avenue section. Note the wider street and slightly shallower setbacks.

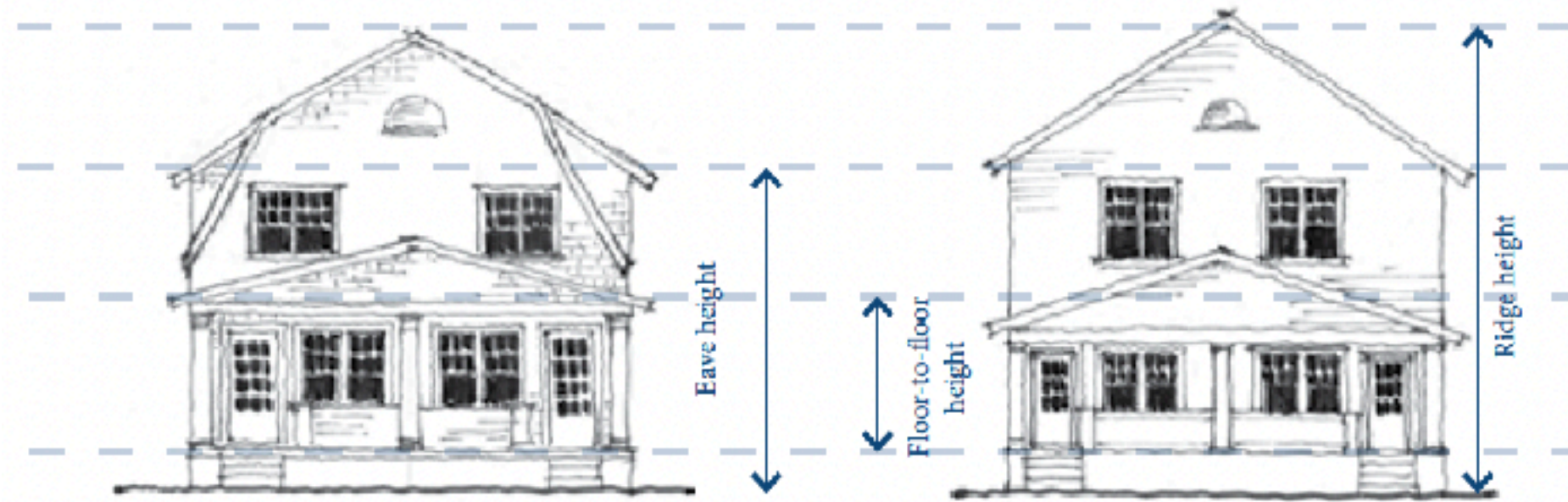


## HAMILTON'S GARDENS / SHERIDAN PARK, CONT.

The most common house type in this neighborhood has its gable facing the street. It may be a duplex or a single-family house.

The character of these houses stems from the neighborhood's beginnings as the Village of Pleasant Ridge, which consisted of wood-framed houses built by members of the Lutheran community in Bexley. Note the front porches and the

siding, which originally would have been wood lap siding or shingle. Some of these houses have an occupied attic or third floor and have windows where these sample houses have a semicircular vent. Note that although the houses are slightly different styles, their first floor levels, floor-to-floor heights, eave heights, and ridge heights align.



The drawing to the right shows a sample lot. Characteristics of note include the parallelogram-shaped lot with the building oriented along the sides of the lot, the street-facing gable front of the house, a front porch, and a detached garage with access from a front driveway.

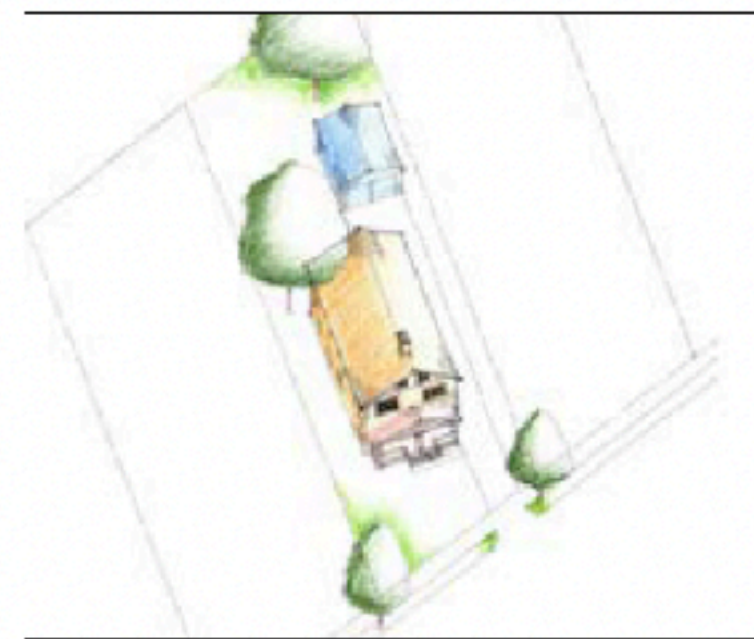


Figure 6. Sample lot.

**A.** The most common house type has its gable facing the street.

**B.** Porches are very common in this neighborhood.

**C.** Garages in this neighborhood tend to be detached. Due to the absence of alleys, access is from a front driveway. Not all houses in this neighborhood have garages.

**D.** Lot sizes are highly variable. Lot widths range from 35 to 100 feet; the lower end of this range may not allow for side additions. Lot depth varies from 100 to 200 feet, with the most common depth being approximately 180 feet. Setbacks vary widely, averaging 50 feet (measured perpendicular to the facade of the house).

**E.** Other common house types are 2-bay and 3-bay single-family houses.

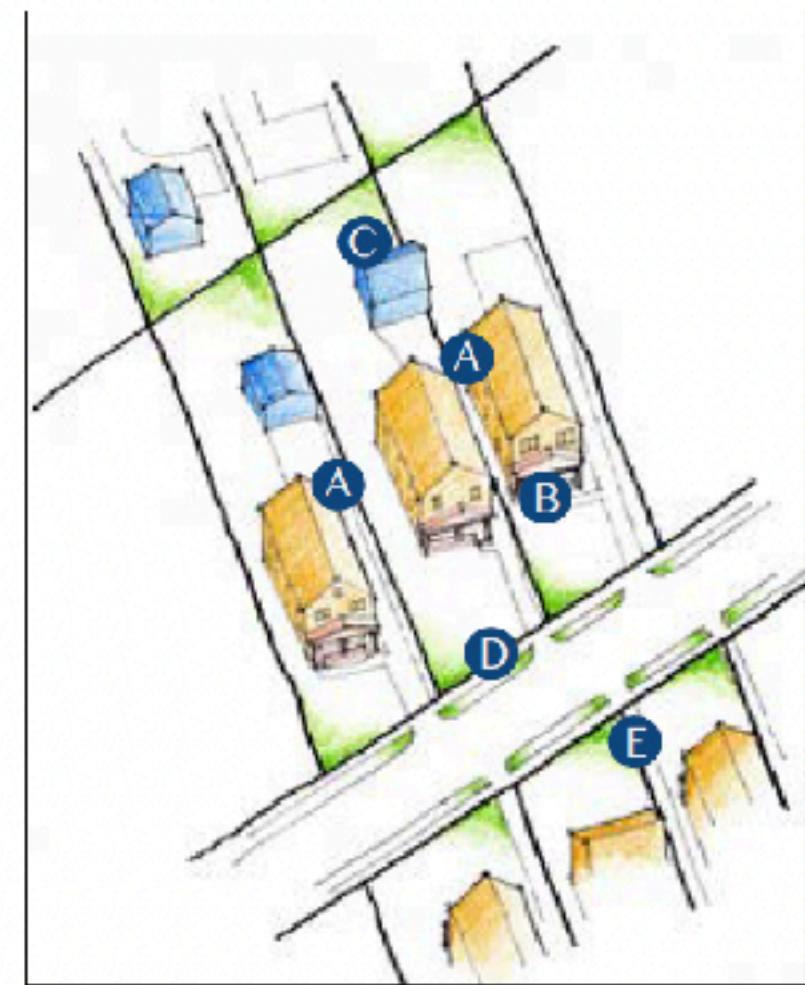
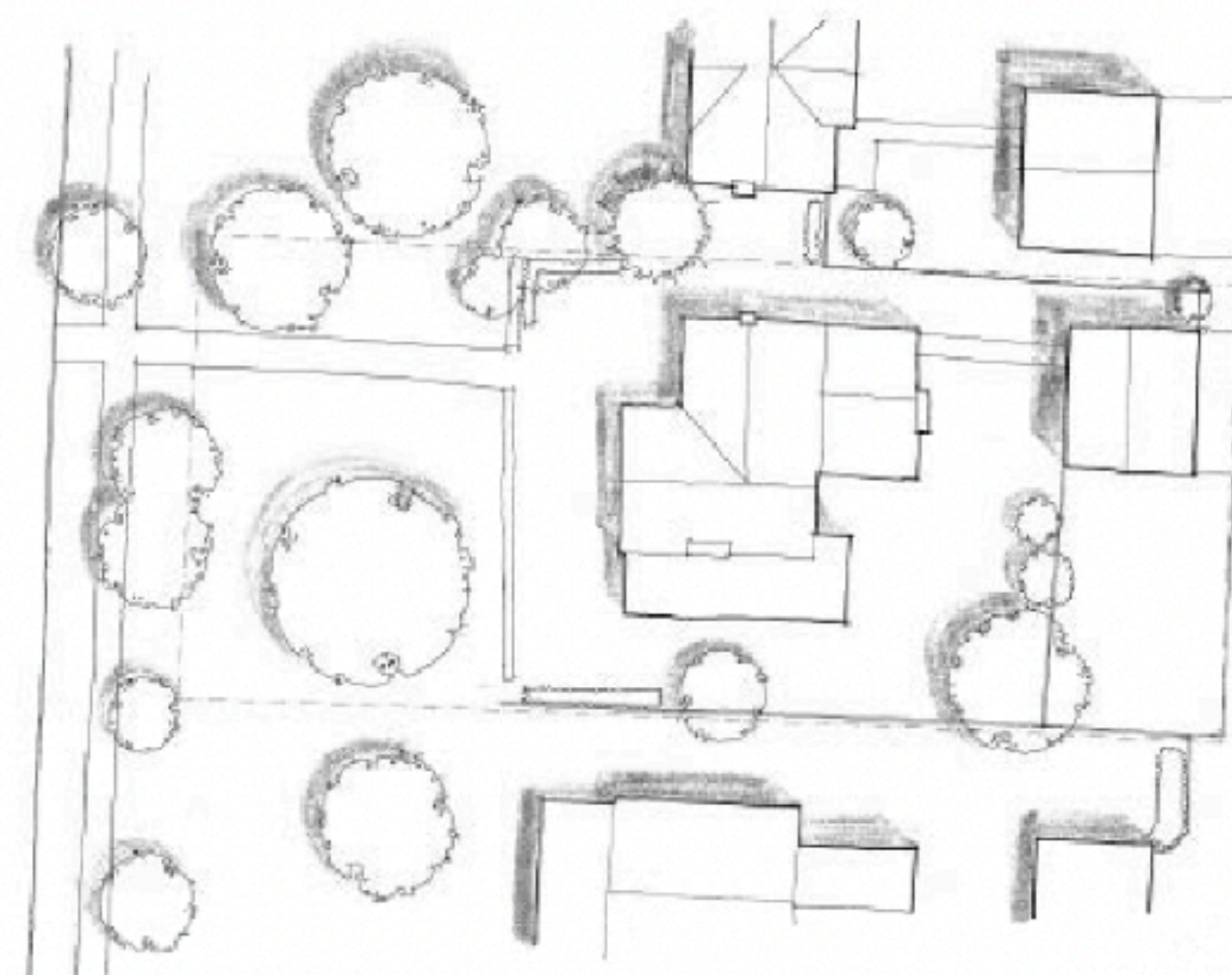
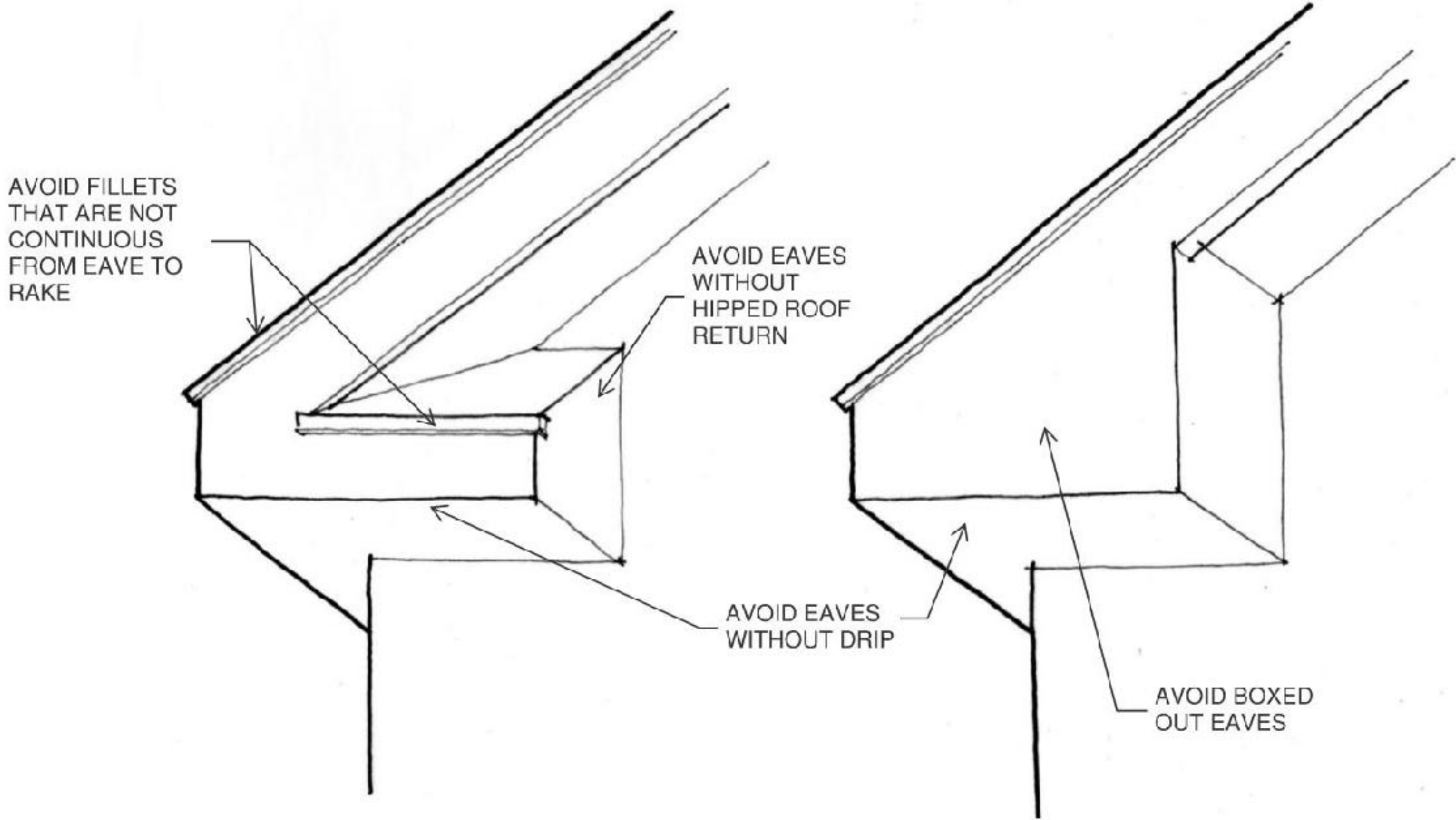


Figure 7. Street aerial.

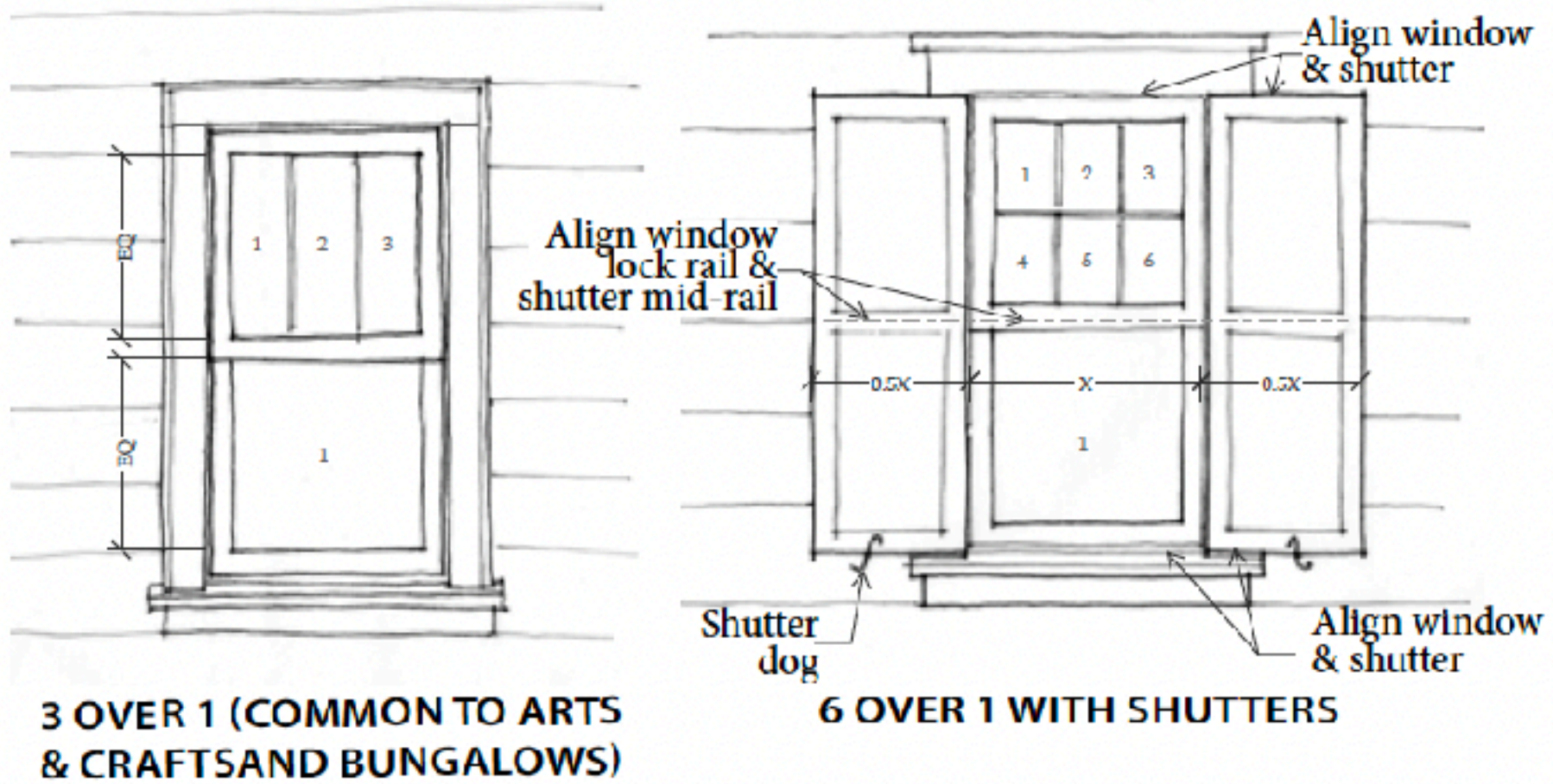
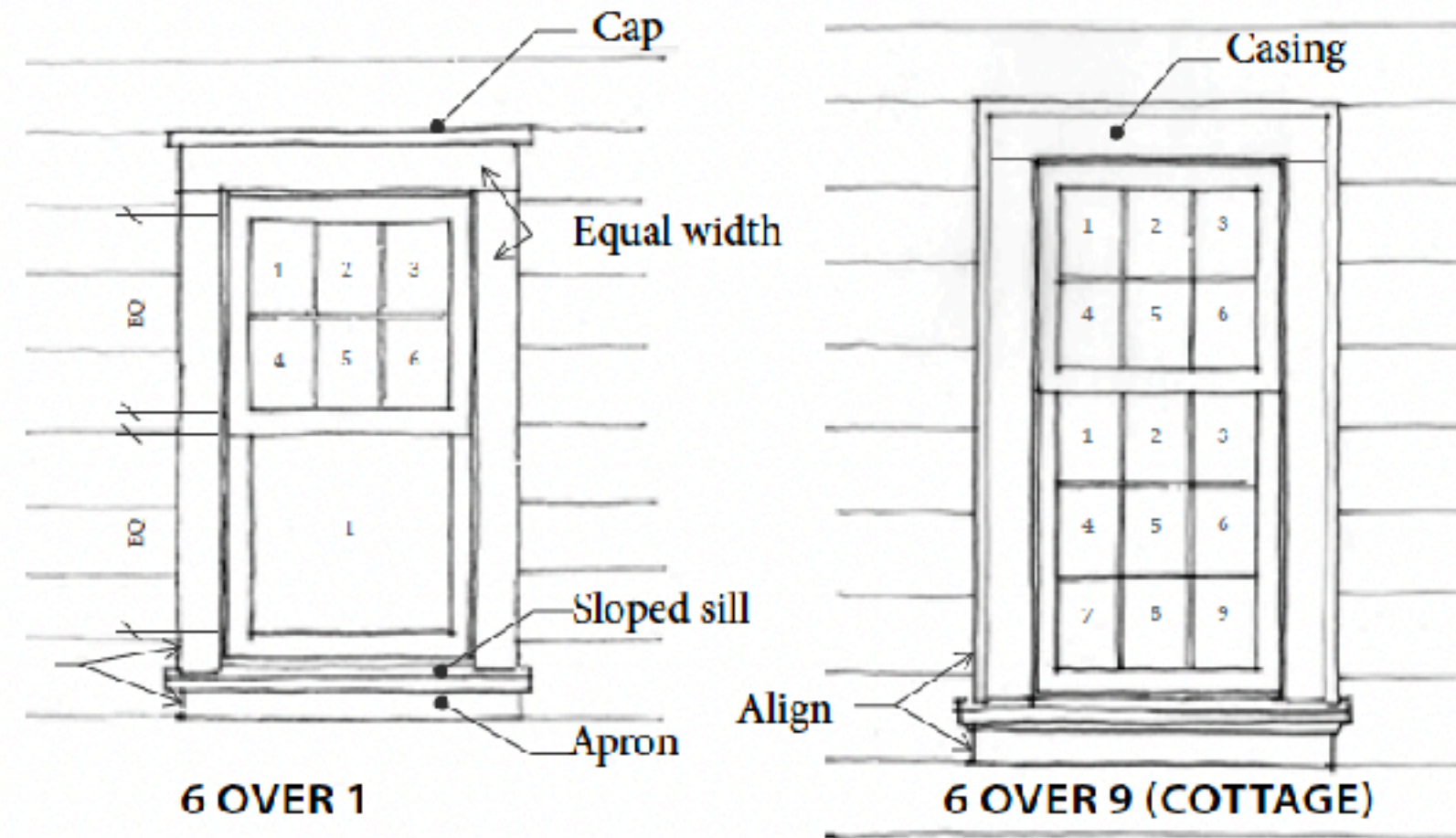


# Detail Samples

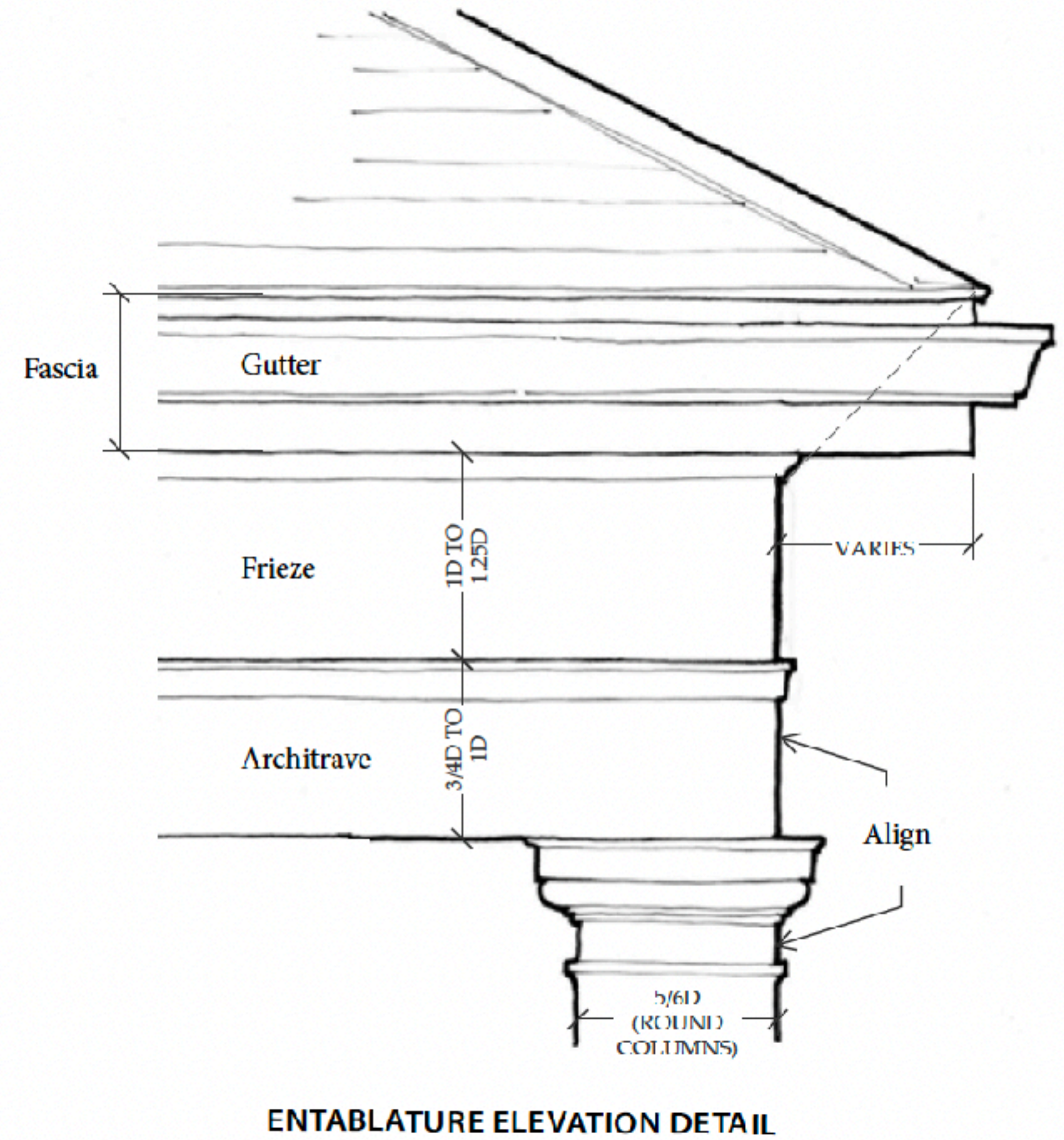
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EAVE DETAILS TO AVOID  
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# WINDOW DETAILS



# PORCH DETAILS



# SUSTAINABILITY, CONT.

## SOLAR PANELS *(THIS SECTION INCLUDES PENDING ORDINANCE CHANGES BEFORE COUNCIL)*

Roof and flush-mounted solar panels shall be allowed, subject to staff review. Installations should be sensitive to the property, surrounding properties, and neighborhood context.

### Roof Mounted Solar Panels:

1. Rear and side locations are preferred. Any installations on the front roof facade shall be justified by providing an analysis of why the front facade is necessary in order to generate viable output.
2. The color of the solar panels and solar panel trim shall be complementary to roof color as determined by staff. For the purpose of this provision, “complimentary” does not mean that staff shall require panel or panel trim colors that are not standard selections that are readily available on the market.
3. The configuration and profile of the assembly shall be complementary to the roof line and roof façade as determined by staff review. Installations should minimize the number of corners, and should avoid complex and/or nonsymmetrical configurations.
4. Wiring and supporting infrastructure should be designed in such a way as to minimize visibility from the right-of-way.
5. Solar panels shall not project vertically above the peak of the roof to which it is attached, or project vertically more than four (4) feet above a flat roof installation.
6. In the event that Solar Panel Design Guidelines are adopted by the Architectural Review Board with approval by City Council, the application must substantially conform to said Solar Panel Design Guidelines.

### Ground Mounted Solar Panels:

1. Ground mounted solar panels exceeding two (2) square feet in area shall be located in aside or rear yard only, with the same setback requirement as accessory structures.
2. Ground mounted solar panels shall not exceed ten (10) feet in height.

### Exemptions:

The following installation types are not subject to the regulations set forth above.

1. Solar panels less than two (2) square feet in area.
2. Solar panels installed within the right-ofway by the City.

## SOLAR PANEL ROOF EXAMPLES

DO use regular patterns with the orientation the same direction.



DO use color choices that will match the details of the existing structure.



DO NOT use color choices that do not compliment the details of the existing structure or mix colors, shapes and sizes of panels.



# NEXT STEPS

## GET IT OUT THERE...

Open Forums

Bexley Board of Realtors

Architects and Designers

Contractors

## TAKE IT LIVE...

Publish on the City's website

Provide links to city forms and ordinances

## UPDATE AND EXPAND...







# Council Update – Chief of Police

January 24, 2023

**Lieutenant Promotional Process** – The department is interviewing for three open positions. The newly added lieutenant positions will oversee the following operations: Investigations, Patrol, and Administration/Emergency Management. An announcement regarding placements will be made in the near future. Once the lieutenant positions are filled, the process to select the Bomb Detection K9 Handler will begin. Vacant Sergeant positions will be posted in February.

The Emergency Management Manager would work towards improving citywide emergency preparedness, business continuity response plans and initiative geared towards response to emergencies, while effectively managing incidents, and systematically, restoring the city to full operation following an adverse event. The position would be responsible for:

1. Oversight of the disaster mitigation, preparedness, response, recovery, and business continuity planning efforts for events taking place in Bexley;
2. Coordination with City Council, stakeholders and policy groups on Emergency Management Program implementation;
3. Supervisor to the Community Liaison Police Officer.

**Detective Bureau** – The Bureau has been busy following leads and wrapping up cases. Detective Byrd has taken on the burden of looking into many of the check forgeries and ID fraud cases that are being reported to the Bexley Police. He has developed several suspects for a couple of check washing cases and is working on solidifying where the suspects reside.

Detective Briley processed a vehicle that was stolen from Bexley and recovered by the State Highway Patrol. He collected several items to send to the lab to hopefully develop a suspect. He also issued a warrant on a suspect from a different stolen vehicle report. Detective Briley is also wrapping up a sexual assault case and will be sending the case to the Franklin County Prosecutors for a possible indictment. He is also following up on a tip from a concerned parent who believes his children might be part of the group of juveniles stealing Kias and Hyundais.

Detective Fleming was able to identify a suspect that broke into a Capital University building and steal some items from the cafe. He will be sending the information to the Franklin County Common Pleas Court for indictment.

Detective Sergeant Otte along with Chief Lewis and the property custodian performed an audit of the evidence room to ensure proper follow up is being done with evidence collected for

cases. Along with this, detectives assisted in an audit of police reports to ensure the members of the police department are conducting the appropriate follow ups with cases. Detectives also met with two investigators with Homeland Security who have offered their assistance with cases that involve a suspect that lives outside of Ohio. Detectives are very appreciative of the help they will bring to aid them in resolving cases.

**Citizens Police Academy Alumni Association** – The BCPAAA has announced they will be donating \$2,000 towards the BPD K9 program.

**Drug Take Back Event** – The Spring DEA Take-Back is scheduled for Saturday, April 22<sup>nd</sup>. More information to follow.

**Donation** – On January 11<sup>th</sup>, BPD donated 19 fully equipped duty belts to the Eastland-Fairfield Police Academy. Officer Rodney Johnson, II presented the items to currently enrolled cadets.



**Statistics:**

Start Date	End Date	Calls for Service	Business Check	Total	Incident & Offense Reports	Arrest Reports	Crash Reports	Total	Theft	Motor Vehicle Theft	Burglary/ B&E	Robbery
1/1/2023	1/19/2023	876	126	1,002	46	14	3	63	6	6	4	0
1/1/2022	1/19/2022	661	0	661	51	14	10	75	12	1	6	0
1/20/2022	1/19/2023	12788	680	13,507	978	385	181	1,544	237	70	57	10
1/20/2021	1/19/2022	12557	6	12,563	1,156	463	228	1,847	308	29	71	11

**Recreation Board Meeting:**

- The next Recreation Board meeting is on Wed., Feb. 8<sup>th</sup> at 5:30p at City Hall

**Bexley Community Foundation Texas Hold'em Fundraiser:**

- The Bexley Community Foundation Texas Hold'em Fundraiser will be held at Jeffrey Mansion on Fri., Jan. 27<sup>th</sup>.
- Food will be provided by event sponsor Jimmy Johns starting at 6p. The tournament will start at 7p.
- You can learn more about the event and pre-register by going to [www.bexley.org/poker](http://www.bexley.org/poker). If you pre-register, which closes at end of day Thursday, you will receive a discounted rate of \$50. Day of registration (at the door) will cost \$75.
- Also want to thank event sponsor Seventh Son for their support.
- The Bexley Community Foundation has done such wonderful things for our community, including being an amazing supporter of so many of the recreation and parks initiatives. Please consider supporting this event.

**Ohio Parks and Recreation Association (OPRA) – Annual Conference:**

- The annual OPRA Conference opens this Sun., Jan. 29<sup>th</sup> and runs through Wed., Feb. 1<sup>st</sup>.
- A number of recreation staff will be attending the conference, which will include continuing educational classes, speakers from a variety of industry experts, and networking with recreation and parks professionals from throughout Ohio.
- This is a great opportunity to learn about what other municipalities are doing with their recreation and parks department. Staff will bring back new programming ideas, techniques for improving operations, and a renewed energy for serving.
- We appreciate the support from City Council and Mayor Kessler, allowing our staff to continue to learn and grow in our field.

**Year of the Parks:**

- With the start of the New Year, our attention and focus has turned toward the effort of the Year of the Parks (YOTP).
- We are very excited about the projects connected to the YOTP and are now meeting regularly to work toward implementation.
- Meetings are taking place with the various stakeholders including Capital University, the Bexley Public Library, Torat Emet, and more.
- We have also engaged MKSK to complete the Commonwealth Park – Columbia Project design. We will begin pre-design meetings over the next couple of weeks.
- We are excited about the parks enhancements, new installations, and opportunities for active play that the YOTP will provide our community.





## **Service Department Update**

### **Service Director**

### **Andy Bashore**

### **January 24<sup>th</sup> 2023**

#### **Street Department:**

The crews completed the leaf collection program. The crews are on pothole repairs and sign replacement throughout the city.

#### **Water and Sewer Department:**

The Water/Sewer crew continues to clean and video the main lines, which is providing data for upcoming lining projects. The crew has been performing repairs on issues that were found when videoing the main lines.

#### **Urban Forestry/Grounds Maintenance:**

The crews are working on tree pruning throughout the city and also stump removals.

#### **Drexel Project**

Drexel-Main to Broad-The water main line work is complete. Storm inlets have been installed, there are a few to still be installed around CSG, which will be done during the school's spring break. The concrete work will resume in the spring, which will include curbs, medians, and bump outs. The sewer relining work is complete. AEP has started their pole replacement and should be done in late January.

#### **2022 Street Project-**

The project is complete.

### **Chelsea Sewer Relining Project**

The project is underway. The project will be complete in mid-February. The main portion of the project will be in the alley between Chelsea and Grandon.

### **2022 Sewer Lining Project**

The phase 2 lining project will start in mid-February, which include both sanitary and storm sewer work.

### **2022 Sidewalk Project**

The project is finished, the project area was:

Stanwood to Gould in the north and central sections and Vernon to Chelsea in the south.

### **Service Dept. Highlights**

- The annual lead and copper testing is complete and the City was in compliance.
- Finalized the 2023 working agreement with Franklin Soil and Water.
- The safety project around Capital campus area is complete.
- The annual fall tree planting project is complete, 86 trees were planted throughout the city.
- The holiday lights have been installed on Main Street median trees.
- Two sets of flashing crosswalk signs were installed on College Ave. last week.

### **Year-end Report for 2022**

#### **Highlights of some of the work performed by the service department:**

- Twenty-four main line water leaks were repaired.
- Nine valves were replaced and six were rebuilt.
- Twenty-nine sanitary manholes were rehabbed and twelve storm manholes were rehabbed.
- Four storm main line and five sanitary main lines were repaired.
- Eighty-eight trees were planted throughout the city.
- Drainage lines and fencing installed at the dog park.
- Improvements were started on the Schneider Park trail.
- Brick curbs were repaired throughout the city.

**Some of the work performed by contractors**

- Approximately 250 sidewalk panels were replaced.
- 3700 lf of streets were resurfaced and 500 lf of alleys were also resurfaced.
- 4,850 lf of sanitary sewer pipe lined in various sizes from 8" to 30" diameter
- 1,535 lf of new storm sewer pipe were installed in various sizes from 12" to 30"
- 4,800 lf of new water line pipe were installed in various sizes from 6" to 10".
- Traffic calming medians were installed on Bellwood Ave.
- Spot brick repair on brick streets throughout the city.

**Some highlights from Franklin Soil and Water**

- 15 high schoolers attended the Envirothon Competition at Tar Hollow State Park on 4/26/22. The 2<sup>nd</sup> place team Envirothon team went on to compete at the State Contest where they came in 10<sup>th</sup> out of 19 teams.
- 21 Bexley residents received a rebate who implemented a backyard conservation practice on their property.
- 19 site inspections at the St. Charles Preparatory school. Phase 3 work has begun.



**CITY OF BEXLEY**  
General Fund

**December 2022 Budget vs Actual**

	December			Year-to-Date				Year over Year Increase (Decrease)
	Budget	Actual	Better (Worse)	Budget	Actual	Better (Worse)	Dec-21	
<b>Revenue</b>								
City Income Tax	\$ 1,076,984	\$ 881,808	\$ (195,176)	\$ 15,385,489	\$ 17,237,644	\$ 1,852,155	\$ 14,995,603	\$ 2,242,041
Local Government	41,667	33,872	(7,795)	500,000	573,079	73,079	523,652	49,427
Real Estate Tax	-	-	-	575,000	582,634	7,634	574,442	8,192
Interest	16,667	38,874	22,208	200,000	212,742	12,742	190,644	22,099
Building Permits	34,667	25,495	(9,172)	416,000	390,454	(25,546)	412,255	(21,801)
Franchise and ROW Fees	7,914	22,870	14,956	295,000	159,162	(135,838)	132,912	26,249
Grants	41,250	257,604	216,354	495,000	571,883	76,883	317,860	254,023
CIC Revenue	14,167	14,167	0	170,000	220,000	50,000	100,000	120,000
All Other	37,417	23,186	(14,231)	449,000	408,364	(40,636)	411,058	(2,694)
<b>Totals</b>	<b>\$ 1,270,732</b>	<b>\$ 1,297,875</b>	<b>\$ 27,143</b>	<b>\$ 18,485,489</b>	<b>\$ 20,355,963</b>	<b>\$ 1,870,474</b>	<b>\$ 17,658,427</b>	<b>\$ 2,697,536</b>
<b>Operating Expenditures</b>								
<b>General Government</b>								
Mayor's Office	\$ 33,527	\$ 34,478	\$ (951)	\$ 443,515	\$ 413,493	\$ 30,022	\$ 399,033	\$ 14,459
Grants	41,250	16,116	25,134	495,000	227,532	267,468	596,101	(368,568)
Auditor's Office	80,854	64,754	16,100	851,668	780,504	71,164	767,821	12,683
Attorney's Office	14,053	13,436	618	168,640	153,724	14,916	177,743	(24,018)
Civil Service	1,917	-	1,917	23,000	37,392	(14,392)	11,304	26,088
City Council	5,439	6,824	(1,385)	65,271	61,287	3,984	59,481	1,806
Courts	13,667	12,378	1,289	166,900	153,857	13,043	123,572	30,285
Development Office	19,670	42,072	(22,402)	238,828	144,013	94,815	155,544	(11,531)
Technology	31,134	24,775	6,359	382,273	344,559	37,714	324,723	19,836
Building Department	43,837	53,543	(9,706)	582,687	574,048	8,639	505,777	68,271
Senior Programs	16,006	17,502	(1,496)	203,918	140,315	63,603	85,322	54,993
Boards and Commissions	2,548	1,466	1,082	30,576	23,089	7,487	18,600	4,489
<b>Total General Government</b>	<b>\$ 303,902</b>	<b>\$ 287,344</b>	<b>\$ 16,558</b>	<b>\$ 3,652,276</b>	<b>\$ 3,053,814</b>	<b>\$ 598,462</b>	<b>\$ 3,225,020</b>	<b>\$ (171,206)</b>
<b>Public Health and Safety</b>								
Police Department	\$ 439,958	\$ 549,259	\$ (109,301)	\$ 5,859,336	\$ 5,660,233	\$ 199,104	\$ 5,687,245	\$ (27,013)
Fire Contract	-	-	-	2,527,575	2,527,510	65	2,475,974	51,536
Emergency Warning	-	-	-	19,500	18,120	1,380	17,418	702
Street Lighting	29,026	37,355	(8,329)	367,764	298,021	69,743	256,996	41,024
Health Department	-	-	-	132,067	132,106	(39)	128,038	4,068
<b>Total Public Health and Safety</b>	<b>\$ 468,984</b>	<b>\$ 586,614</b>	<b>\$ (117,631)</b>	<b>\$ 8,906,242</b>	<b>\$ 8,635,989</b>	<b>\$ 270,253</b>	<b>\$ 8,565,672</b>	<b>\$ 70,317</b>
<b>Public Service</b>								
Service Administration	\$ 16,424	\$ 23,526	\$ (7,102)	\$ 216,957	\$ 203,009	\$ 13,948	\$ 176,508	\$ 26,501
Building and Parks Maintenance	118,979	127,253	(8,274)	1,541,178	1,462,362	78,816	1,301,377	160,985
Street Fund Transfer	-	-	-	66,000	66,000	-	66,000	-
<b>Total Public Service</b>	<b>\$ 135,403</b>	<b>\$ 150,779</b>	<b>\$ (15,376)</b>	<b>\$ 1,824,135</b>	<b>\$ 1,731,371</b>	<b>\$ 92,764</b>	<b>\$ 1,543,885</b>	<b>\$ 187,486</b>

	December			Year-to-Date				Year over Year Increase (Decrease)
	Budget	Actual	Better (Worse)	Budget	Actual	Better (Worse)	Dec-21	
<b>Recreation</b>								
Jeffrey Mansion	\$ 18,119	\$ 12,693	\$ 5,425	\$ 250,640	\$ 215,300	\$ 35,340	\$ 359,102	\$ (143,802)
Parks	34,269	38,190	(3,921)	428,143	331,246	96,897	324,173	7,073
Recreation Transfer	-	-	-	250,000	250,000	-	90,000	160,000
<b>Total Recreation</b>	<b>\$ 52,388</b>	<b>\$ 50,883</b>	<b>\$ 1,504</b>	<b>\$ 928,783</b>	<b>\$ 796,546</b>	<b>\$ 132,237</b>	<b>\$ 773,275</b>	<b>\$ 23,271</b>
<b>Operating Expenditures Before Debt Service</b>	<b>960,677</b>	<b>1,075,621</b>	<b>(114,944)</b>	<b>15,311,436</b>	<b>14,217,720</b>	<b>1,093,716</b>	<b>14,107,852</b>	<b>109,868</b>
<b>Debt Service - Transfer to Bond Retirement Funds</b>	-	-	-	942,660	942,660	-	629,236	313,424
<b>Estimated Additional Appropriations</b>	50,000			50,000				
<b>Estimated Unspent Appropriations</b>	(267,000)			(267,000)				
<b>Total Operating Expenditure</b>	<b>\$ 743,677</b>	<b>\$ 1,075,621</b>	<b>\$ (331,944)</b>	<b>\$ 16,037,096</b>	<b>\$ 15,160,380</b>	<b>\$ 876,716</b>	<b>\$ 14,737,088</b>	<b>\$ 423,292</b>
<b>Revenue Over (Under ) Expenditur</b>	<b>\$ 527,055</b>	<b>\$ 222,255</b>	<b>\$ (304,800)</b>	<b>\$ 2,448,393</b>	<b>\$ 5,195,583</b>	<b>\$ 2,747,190</b>	<b>\$ 2,921,339</b>	<b>\$ 2,274,244</b>
<b>Other Financing Sources</b>								
CARES Reimbursement		-	-		52,631	52,631	397,071	(344,440)
<b>Total Other Financing Sources</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>-</b>	<b>52,631</b>	<b>52,631</b>	<b>397,071</b>	<b>(344,440)</b>
<b>Other Financing Uses</b>								
Transfer to Budget Stability	\$ -	\$ -	-	150,000	150,000	-	100,000	50,000
Transfer to Capital Improvements Fund	-	400,000	(400,000)	1,000,000	1,400,000	(400,000)	800,000	600,000
Mansion Expansion								
Employee Payout Fund	-	-	-	30,000	30,000	-	30,000	-
Transfer to Infrastructure Development	-	400,000	(400,000)	900,000	1,300,000	-	1,100,000	
Transfer to Pool Fund	-	-	-	200,000	200,000	-	-	
Transfer to Economec Bond Dev.	-	694,328	(694,328)	45,724	740,052	(694,328)	20,250	719,802
Prior year Encumbrances	-	18	(18)	941,977	568,019	373,958	340,294	227,725
Misc. Adjustment							(2,322)	
<b>Total Other Uses</b>	<b>\$ -</b>	<b>\$ 1,494,346</b>	<b>(1,494,346)</b>	<b>3,267,701</b>	<b>\$ 4,388,071</b>	<b>\$ (720,370)</b>	<b>\$ 2,388,222</b>	<b>\$ 1,597,527</b>
<b>Beginning Fund Balance</b>	<b>\$ 2,861,193</b>	<b>\$ 6,339,791</b>	<b>3,478,598</b>	<b>4,207,556</b>	<b>\$ 4,207,556</b>	<b>\$ -</b>	<b>\$ 3,278,366</b>	<b>\$ 929,190</b>
Audit Adjustment								
Net Increase (Decrease)	527,055	(1,272,091)		(819,308)	860,143		930,188	(70,045)
<b>Ending Cash Fund Balance</b>	<b>\$ 3,388,248</b>	<b>\$ 5,067,699</b>	<b>1,679,452</b>	<b>3,388,248</b>	<b>\$ 5,067,699</b>	<b>\$ 1,679,451</b>	<b>\$ 4,208,554</b>	<b>\$ 859,145</b>



## Notes December 30, 2022 Report

### Revenue Items

- 1) Income tax is now was nearly \$1.9 million over budget for 2022 and \$2.2 million more than 2021.
- 2) ROW and Franchise Fees were under budget primarily due to delay in the collection of ROW fees.
- 3) CIC revenue exceeds budget by \$ 50,000 due to a large payment made early in the year to cover amounts owed in 2021.

### General Government Items

- 4) Civil Service is over budget by \$14,000 due to additional appropriation for the Chief of Police search.
- 5) The Development Department was under budget \$95,000 YTD. This is due primarily to Tax Sharing with the Schools being paid by other funding sources.
- 6) Senior Programs is under budget YTD \$64,000. Professionals and due diligence were under budget by a combined \$50,000.

### Public Health and Safety Items

- 7) Street Lighting utilities had a budget of \$100,000 but only \$25,000 expended during the year.

### Recreation Items

- 8) Parks expenditures were under budget by \$100,000. The budget contains \$80,000 for parks planning ; however this project has yet to begin and was and appropriation of \$40,000 for this project was included in the 2023 budget.

**City of Bexley**  
**Projected Resources and Appropriations**  
**December 31, 2022**

Fund	12/31/2021 Cash Balance	12/31/2021 Encumbrance	12/31/2021 Unencumbered Balance	Projected 2022 Other Sources	Reduction to Prior Year Encumbrances	Total Available Resources	2022 Appropriations	Available Resources Year End 2022	Notes
<b>01 - GENERAL FUND Total</b>	<b>4,207,555</b>	<b>941,977</b>	<b>3,265,578</b>	<b>18,702,489</b>	<b>264,865</b>	<b>22,232,932</b>	<b>20,750,776</b>	<b>1,482,156</b>	
<b>Special Revenue Funds</b>									
02 - STATE HIGHWAY Total	135,937	11,267	124,670	5,745	3,931	134,346	77,412	56,934	
03 - STREET MAINTENANCE AND REPAIR Total	131,442	3,499	127,943	816,313	90	944,346	899,342	45,004	
05 - RECREATION Total	511,471	366,134	145,336	2,611,977	83	2,611,977	2,156,922	455,055	
14 - SWIMMING POOL Total	348,043	32,964	315,079	320,000	4,346	639,425	439,331	200,093	
18 - LAW ENFORCEMENT TRUST FUND	8,951		8,951	1,300		10,251		10,251	
20 - BEXLEY BEAUTIFICATION	3,808		3,808			3,808		3,808	
23 - FRIENDS OF JEFFREY PARK FUND Total	2,210	-	2,210	1,500		3,710	1,200	2,510	
24 - ENFORCEMENT AND EDUCATION FUND	20,774		20,774	610		21,384		21,384	
26 - BEXLEY YOUTH ATHLETIC FUND Total	19,132		19,132	5,400		24,532	12,000	12,532	
27 - TOURISM PROMOTION AND COMMUNITY	5,748		5,748	2,300		8,048	5,000	3,048	
28 - EVENTS AND EQUIPMENT FUND Total	3,289		3,289	1,300		3,289	1,500	1,789	
29 - MARYANNA HOLBROOK SCHOLARSHIP Tot	59,465		59,465	13,100		72,565	30,000	42,565	
31 - MAYOR'S COURT COMPUTER FUND Total	4,737	4,272	465	1,500		1,965	1,500	465	
35 - TAX INCENTIVE FUND	3,537		3,537			3,537		3,537	
36 - MAIN ST PUBLIC IMP. TAX INC. E Total	344,356	108,876	235,480	338,326		573,806	290,635	283,171	
52 - URBAN REDEVELOPMENT TAX INCREMENT	2,086		2,086	108,200		110,286	77,725	32,561	
56 - Friends of Jeffrey Mansion Preschool Total	8,469	1,449	7,020	7,800		14,820	3,500	11,320	
57 - NEIGHBORS HELPING NEIGHBORS	3,231		3,231			3,231		3,231	
55 - FARMERS MARKET FUND	125		125			125		125	
59 - BEXLEY CELEBRATIONS ASSOCIATION AND	112		112	65,000		65,112	65,000	112	
70 - BEXLEY LAND BANK FUND	40,540		40,540			40,540		40,540	
71 - LOCAL CORONAVIRUS RELIEF FUND Total	56,625	44,978	11,647		(11,647)	(0)		(0)	(1)
73 - AMERICAN RESCUE PLAN ACT Total	713,187		713,187	722,737		1,435,924	1,442,744	(6,820)	
75 - INFRASTRUCTURE DEVELOPMENT FUND	1,100,000		1,100,000			1,100,000	55,000	1,045,000	
<b>Total Special Revenue Funds</b>	<b>3,527,274</b>	<b>573,440</b>	<b>2,953,833</b>	<b>5,021,808</b>	<b>(3,197)</b>	<b>7,827,025</b>	<b>5,558,812</b>	<b>2,268,214</b>	
<b>Debt Service Funds</b>									
06 - BOND RETIREMENT Total	467,507		467,507	1,964,016		2,431,523	1,964,016	467,507	
51 - ECONOMIC DEVELOPMENT BOND SERV To	16,897		16,897	91,450		108,347	88,700	19,647	
<b>Total Debt Service Funds</b>	<b>484,405</b>	<b>-</b>	<b>484,405</b>	<b>2,055,466</b>	<b>-</b>	<b>2,539,871</b>	<b>2,052,716</b>	<b>487,155</b>	
<b>Capital Projects Funds</b>									
08 - SPECIAL ASSESSMENTS Total	94,494		94,494			94,494	94,000	494	
13 - CAPITAL IMPROVEMENTS Total	1,505,101	451,483	1,053,618	1,000,000	2,427	2,056,045	1,532,432	523,613	
34 - ROADS AND ALLEYS Total	736,811	174,169	562,643	2,145,000	19,586	2,727,229	2,091,072	636,156	
55 - BROAD STREET FUND	8,580		8,580			8,580		8,580	
64 - ASHBORNE AND ROOSEVELT	164,884		164,884			164,884		164,884	
69 - CASSINGHAM AND VERNON Total				2,197,150		2,197,150	2,197,150		
72 - SOUTH DREXEL AND GRANDON AVE. IMPR	236,583	236,298	285	4,692,063	236,298	4,928,646	4,928,361	285	
76 - STANBERY/CHELSEA				5,178,342		5,178,342	5,178,342		
<b>Total Capital Projects Funds</b>	<b>2,746,452</b>	<b>861,950</b>	<b>1,884,502</b>	<b>15,212,555</b>	<b>258,311</b>	<b>17,355,368</b>	<b>16,021,357</b>	<b>1,334,011</b>	
<b>Enterprise Funds</b>									
09 - WATER Total	1,497,460	99,174	1,398,287	3,064,152	93,474	4,555,912	3,400,420	1,155,493	
10 - SEWER Total	3,784,220	1,196,199	2,588,020	2,978,038	3,837	5,569,896	3,240,979	2,328,917	
11 - REFUSE Total	1,448,050	9,710	1,438,340	1,373,653	212	2,812,205	1,721,429	1,090,776	
<b>Total Enterprise Funds</b>	<b>6,729,730</b>	<b>1,305,083</b>	<b>5,424,647</b>	<b>7,415,843</b>	<b>97,523</b>	<b>12,938,013</b>	<b>8,362,828</b>	<b>4,575,185</b>	
<b>Fiduciary Funds</b>									
12 - POLICE PENSION Total	362,733		362,733	625,000		987,733	774,484	213,249	
25 - BLDG. STANDARDS FEE ASSESSMENT Total	14,227	3,600	10,627	1,767		12,394	1,800	10,594	
32 - UNCLAIMED FUNDS	11,491		11,491			11,491		11,491	
39 - SEWER CAPACITY FUND	14,873		14,873			14,873		14,873	
60 - POLICE OFFICER OPTIONAL EQ. FUND	12,710		12,710			12,710	5,000	7,710	
62 - HEALTH INSURANCE FUND Total	401,599		401,599	1,430,769		1,832,368	1,623,672	208,696	
63 - Employee Separation Fund Total	58,733		58,733	30,000		88,733	30,000	58,733	
<b>Total Fiduciary Funds</b>	<b>876,365</b>	<b>3,600</b>	<b>872,765</b>	<b>2,087,536</b>	<b>-</b>	<b>2,960,301</b>	<b>2,434,956</b>	<b>525,345</b>	
<b>Grand Total</b>	<b>18,571,781</b>	<b>3,686,050</b>	<b>14,885,731</b>	<b>50,495,697</b>	<b>617,503</b>	<b>65,853,510</b>	<b>55,181,445</b>	<b>10,672,066</b>	

(1) A prior year encumbrance journal was posted for the \$11,647 inadvertently left unencumbered at year end.

**CITY OF BEXLEY**  
**Non- General Funds**  
**From: 1/1/2022 to 12/31/2022**

<b>Fund</b>	<b>Budget</b>	<b>YTD</b>	<b>Remaining</b>
02 - STATE HIGHWAY Total	\$ 84,748	\$ 61,223	\$ 23,526
03 - STREET MAINTENANCE AND REPAIR Total	902,752	837,730	65,022
05 - RECREATION Total	2,501,313	2,287,685	213,628
06 - BOND RETIREMENT Total	1,964,016	1,918,294	45,722
08 - SPECIAL ASSESSMENTS Total	94,000	-	94,000
09 - WATER Total	3,406,120	3,213,663	192,457
10 - SEWER Total	3,825,521	3,036,947	788,575
11 - REFUSE Total	1,728,971	1,546,767	182,205
12 - POLICE PENSION Total	774,484	718,058	56,427
13 - CAPITAL IMPROVEMENTS Total	1,980,426	874,794	1,105,632
14 - SWIMMING POOL Total	467,950	367,112	100,838
23 - FRIENDS OF JEFFREY PARK FUND Total	1,200	1,200	-
25 - BLDG. STANDARDS FEE ASSESSMENT Total	1,800	-	1,800
26 - BEXLEY YOUTH ATHLETIC FUND Total	12,000	-	12,000
27 - TOURISM PROMOTION AND COMMUNITY EVENTS Total	5,000	-	5,000
28 - EVENTS AND EQUIPMENT FUND Total	1,500	-	1,500
29 - MARYANNA HOLBROOK SCHOLARSHIP Total	30,000	8,064	21,936
30 - BUDGET STABILITY FUND Total	-	-	-
31 - MAYOR'S COURT COMPUTER FUND Total	2,500	2,500	-
34 - STREETS AND ALLEYS Total	2,245,637	1,464,205	781,432
35 - TAX INCENTIVE FUND Total	-	-	-
36 - MAIN ST PUBLIC IMP. TAX INC. E Total	399,511	322,575	76,936
51 - ECONOMIC DEVELOPMENT BOND SERV Total	88,700	91,450	(2,750)
52 - URBAN REDEVELOPMENT TAX INCREMENT EQUIVALENT FUND Total	77,725	46,973	30,752
56 - Friends of Jeffrey Mansion Preschool Total	4,949	3,448	1,501
59 - BEXLEY CELEBRATIONS ASSOCIATION AND EVENTS FUND Total	65,000	-	65,000
60 - POLICE OFFICER OPTIONAL EQUIPMENT FUND Total	5,000	1,073	3,927
61 - MAIN EVENT FUND Total	-	-	-
62 - HEALTH INSURANCE FUND Total	1,623,672	1,152,127	471,545
63 - Employee Separation Fund Total	30,000	-	30,000
68 - JEFFREY MANSION FUND Total	39,500	39,500	-
69 - CASSINGHAM AND VERNON Total	2,197,151	957,586	1,239,565
70 - BEXLEY LAND BANK FUND Total	-	-	-
71 - LOCAL CORONAVIRUS RELIEF FUND Total	56,626	57,312	(686)
72 - SOUTH DREXEL AND GRANDON AVE. IMPROVEMENTS Total	4,928,361	2,968,786	1,959,575



**Statement of Cash Position**  
**City of Bexley**  
**Statement of Cash Position**  
**From: 1/1/2022 to 12/31/2022**

Fund	Description	Beginning Balance	Net Revenue YTD	Net Expense YTD	Unexpended Balance
1	GENERAL FUND	\$ 4,207,555	\$ 20,408,594	\$ 19,548,452	\$ 5,067,697
2	STATE HIGHWAY	135,937	(181)	61,223	74,534
3	STREET MAINTENANCE AND REPAIR	131,442	805,606	837,730	99,317
5	RECREATION	511,471	2,786,503	2,287,685	1,010,289
6	BOND RETIREMENT	467,507	1,918,291	1,918,294	467,505
8	SPECIAL ASSESSMENTS	94,494	57,611	-	152,105
9	WATER	1,497,460	2,908,354	3,213,663	1,192,151
10	SEWER	3,784,220	2,739,131	3,036,947	3,486,404
11	REFUSE	1,448,050	1,377,772	1,546,767	1,279,056
12	POLICE PENSION	362,733	632,033	718,058	276,708
13	CAPITAL IMPROVEMENTS	1,505,101	1,400,000	874,794	2,030,307
14	SWIMMING POOL	348,043	551,897	367,112	532,828
18	LAW ENFORCE. TRUST FUND	8,951	2,315	-	11,266
19	BEXLEY MEADOW MUSIC ASSOC.	-	-	-	-
20	BEXLEY BEAUTIFICATION FUND	3,808	-	-	3,808
21	FUND 21	-	-	-	-
29	MARYANNA HOLBROOK SCHOLARSHIP	59,465	21,568	8,064	72,969
30	BUDGET STABILITY FUND	1,725,000	150,000	-	1,875,000
31	MAYOR'S COURT COMPUTER FUND	4,737	1,069	2,500	3,306
34	STREETS AND ALLEYS	736,811	2,016,366	1,464,205	1,288,973
35	TAX INCENTIVE FUND	3,537	-	-	3,537
36	MAIN ST PUBLIC IMP. TAX INC. E	344,356	332,001	322,575	353,782
37	FUND 37	-	-	-	-
38	FUND 38	-	-	-	-
39	SEWER CAPACITY FUND	14,873	-	-	14,873
51	ECONOMIC DEVELOPMENT BOND SERV	16,897	785,777	91,450	711,225
52	URBAN REDEVELOPMENT TAX INCREMENT EQUIVALENT FUND	2,086	110,641	46,973	65,754
55	BORAD STREET	8,580	-	-	8,580
56	Friends of Jeffrey Mansion Preschool	8,469	1,139	3,448	6,160
57	Neighbors Helping Neighbors Fund	3,231	-	-	3,231
58	FARMERS MARKET	125	-	-	125
59	BEXLEY CELEBRATIONS ASSOCIATION AND EVENTS FUND	112	-	-	112
60	POLICE OFFICER OPTIONAL EQUIPMENT FUND	12,710	1,608	1,073	13,245
61	MAIN EVENT FUND	-	-	-	-
62	HEALTH INSURANCE FUND	401,599	1,225,477	1,152,127	474,949
63	Employee Separation Fund	58,734	30,000	-	88,734
64	ASHBOURNE AND ROOSEVELT PROJECT FUND	164,884	-	-	164,884
68	JEFFREY MANSION FUND	39,500	-	39,500	-
69	CASSINGHAM AND VERNON	-	957,586	957,586	-
70	BEXLEY LAND BANK FUND	40,540	12,573	-	53,113
71	LOCAL CORONAVIRUS RELIEF FUND	56,626	686	57,312	0
72	SOUTH DREXEL AND GRANDON AVE. IMPROVEMENTS	236,583	2,859,463	2,968,786	127,260
73	AMERICAN RESCUE PLAN ACT	713,187	725,443	146,645	1,291,985
74	INFRASTRUCTURE DEVELOPMENT FUND	-	-	-	-
75	INFRASTRUCTURE DEVELOPMENT FUND	1,100,000	1,300,000	-	2,400,000
76	STANBERY AND CHELSEA IMPROVEMENTS FUND	-	324,949	68,953	255,996
<b>Grand Total:</b>		<b>20,336,283</b>	<b>46,457,271</b>	<b>41,743,121</b>	<b>25,050,434</b>



**RECONCILIATION OF CASH POSITION  
CHECKING AND INVESTMENT ACCOUNT STATEMENTS**

Bank Reconciliation as of >	30-Sep-22	31-Oct-22	30-Nov-22	31-Dec-22
PNC Checking Account per Bank	\$ 2,552,742	\$ 4,376,417	\$ 2,958,778	\$ 2,179,137
Less Outstanding Checks	\$ (73,558)	\$ (164,824)	\$ (1,029,685)	\$ (149,257)
Returned Item				
Pre-posted Expense	(4,875)	(5,673)		
Preposted Revenue		5,049		
Duplicate Posting of MHS Claims				
Other Adjustments (net)	468	2,086	(118)	1,980
PNC Account per Books	\$ 2,474,777	\$ 4,213,055	\$ 1,928,975	\$ 2,031,860
<b>Other Accounts:</b>				
STAR	\$ 100,000	\$ 100,000	\$ 100,000	\$ 100,000
First Financial	224,196	224,253	224,321	224,404
Ohio State Bank	250,000	250,000	250,000	250,000
Ohio State Bank (Savings)	3,517,430	3,528,644	3,538,808	3,550,784
US Bank Trust	18,870,079	18,876,535	18,905,445	18,916,083
Payroll	(207)		337,497	
<b>Investment Accounts sub-total</b>	\$ 22,961,498	\$ 22,979,432	\$ 23,356,071	\$ 23,041,271
First Financial Interest			(68)	(84)
Net US Bank Trust Interest			(28,910)	(10,639)
Ohio State Bank Interest			(10,164)	(11,974)
Trust Fees				
Other Adjustments -				
Investment Accounts per Books	\$ 22,961,498	\$ 22,979,432	\$ 23,316,929	\$ 23,018,574
<b>Total Cash Fund Balances per Books</b>	\$ 25,436,275	\$ 27,192,487	\$ 25,245,904	\$ 25,050,434



# January 24, 2023

# MAYOR'S UPDATE

## Coming up in Bexley:

January 26, 6:00 pm:	Board of Zoning and Appeals Planning
January 27, 6:00 pm:	Bexley Community Foundation Texas Hold'em Fundraiser
February 4, 9:00 am:	Bexley Re-Cycle Bikes open workshop
February 5, 6:00 pm:	Tea at Three @ Bexley Library with Zakk Jones Trio
February 7, 6:00 pm:	City Council
February 8, 5:00 pm:	Civil Service Commission Working Group
February 8, 5:30 pm:	Recreation Board
February 8, 6:00 pm:	Board of Education
February 9, 6:00 pm:	Architectural Review Board
February 13, 5:30 pm:	Bexley Historical Society
February 15, 9:00 am-12:00 pm:	City Council Strategic Planning Session
February 15, 4:00 pm:	Tree and Garden Commission
February 15, 7:30 pm:	Gerhold Lecture Series featuring Marlon James @ Capital University
February 25:	Sugar Maple Tapping in Jeffrey Woods
February 26, 3:00 - 4:30 pm:	New Residents Welcome Event at Jeffrey Mansion
March 4, 8:00 am and on:	Jeffrey Woods Festival

## Some of What I've Been Up To:

- Weekly departmental meetings
- Routine staff and cabinet touch-base meetings
- Meetings and follow up with City Engineer on upcoming and potential projects
- Meeting regarding 4th Parade Route Planning
- Meeting regarding north end water meter replacement plans
- Extensive work on strategic plan refresh
- Extensive Year of the Parks work including multiple meetings, planning work, and emails and phone calls with stakeholders
- Meetings, research and follow up on pending and existing tobacco legislation
- EDAC Meeting
- Meeting with City of Columbus regarding potential public art grant challenge
- Work, research and calls on Land Use Strategy 2.0
- Gun violence meeting preparation and follow up
- Board of Health Meeting
- Tree and Gardens Commission Meeting
- ESAC Meeting presentation and Q&A
- Brickey retirement recognition and reception
- Pickleball Court discussion with Capital
- Meetings with potential developers
- Meeting with a student regarding stormwater management concept
- Extensive research on parcels and zoning near Schneider Park.
- Planning and communication work for Alley of the Future workshop

Keep in touch! To sign up for weekly email updates from the City of Bexley, including information on community events and timely notifications and reminders, visit: [www.bexley.org/blast](http://www.bexley.org/blast)



## Year of the Parks Update

Work and meetings for our many Year of the Parks projects are in full swing. While visible progress can be seen at Havenwood Park and at the dog park, lots of exciting developments are unfolding on several other projects, including Commonwealth Park, the Outdoor Reading Garden, and the Schneider Park splash pad.



### Meetings and Progress Over Past Couple Weeks:

- Outdoor reading garden plans conditionally approved by Library Board
- Reconvened YOTP Visioning Committee for an update and brainstorming
- Meeting regarding funding, plans, and parcel research related to pedestrian bridge
- Meetings and follow up on dog park equipment and next steps
- Meeting regarding Schneider Park entrance at Astor Avenue
- Received preliminary estimate on Commonwealth pond and bridge

### Next Steps Coming Up Soon:

- Presentation of refined Outdoor Reading Garden to Torat Emet Board
- Work with architect, engineering, and surveying related to Outdoor Reading Garden
- Review and assess preliminary estimate on splash pad at Schneider Park
- Finalize plans for bidding process on Commonwealth Follies and Pond
- Selection of vendor for park signage package



## Remembering Joe Ridgeway

Long-time Bexley resident Joe Ridgeway was a legend in the world of traffic engineering, having served as Bexley's traffic engineer for many decades, and also having served for a time as the City of Columbus Director of Public Service.

I had the advantage of serving as Mayor after Mayor Madison, who trained Joe well to put up with creative mayoral traffic calming concepts, and he was always patient and unflustered and endlessly pragmatic. Joe lived a life of public service, and he was so unerringly passionate and optimistic in the way that he helped and guided us. Our community owes Joe a debt of gratitude, and our thoughts are with his family in the midst of their loss. Cheers to you, Joe!

## Lieutenant Promotions in Police Department

Chief Lewis announced today that, after a panel of public safety professionals from the Grove City and Gahanna Police Departments, Bexley Civil Service Commission, FOP Lodge #9, Emergency Management and the Command conducted interviews for the Lieutenant positions, the department is proud to announce that effective February 1, 2023 the following promotions and new responsibilities will be as follows:

Patrol Lieutenant - Ron Kenefick

Detective Lieutenant - Bob Holdren

Administrative/Emergency Management - Dawn Overly

We are planning a public swearing-in ceremony at an upcoming Council meeting in February. Congratulations to our new Lieutenants!

## Thank You Sergeant Brickey

Congratulations to Sergeant Pete Brickey who retired from the Bexley Police Department this week after serving on the force for twenty-nine years. I had the pleasure of swearing Sergeant Brickey in as sergeant in 2015. In working alongside him, I have appreciated his integrity and leadership over the years. Sergeant Brickey will be missed and we're wishing him an adventurous and rewarding retirement.





**SAVE THE DATE**  
**THE 10TH JEFFREY WOODS**  
**FESTIVAL**  
**MARCH 4 2023**



## My Major Goals for 2023

Here's an incomplete and evolving list of major goals for 2023

### Safety and Community Health

- Finalize and complete the Year of the Parks projects
- Continue to study and pursue the cleanup of unsafe environmental sites
- Complete and institute Youth Interaction Working Group recommendations
- Enact income-based fines for minor misdemeanors
- Craft and institute community mental health and social services support model
- Support and encourage police department community policing expansion
- Help facilitate new, positive programs with police and schools around traffic and student safety and relationship development
- Help facilitate police department command structure updates
- Launch bike boulevard network and signage
- Institute trail town recommendations

### Environment and Sustainability

- Finalize and complete the Year of the Parks projects
- Work with Council to advance zero emissions landscaping incentive ordinance
- Complete Climate Action Plan for Council adoption
- Pass and institute universal recycling
- Monitor electrical aggregation options

### Zoning and Development

- Finalize and complete the Year of the Parks projects
- Facilitate unsafe environmental site remediation and redevelopment
- Launch Land Use Strategy Commission update process
- Continue to encourage development of the Gateway South site
- Work with the property owner of Chelsea and Main to remove all site improvements, remediate the site, and make it available for development
- Update Livingston Avenue Zoning Code to conform with Joint Livingston Avenue Plan recommendations

### Parks and Recreation

- Finalize and complete the Year of the Parks projects
- Work with Council and Rec Board on modernizing park rules and rec board ordinance
- Work with Recreation Department to launch Jeffrey Park Plan process

### Service and Infrastructure

- Finalize and complete the Year of the Parks projects
- Leverage ARP funds to fast-track sewer infrastructure improvements
- Work with Council to implement rigorous onsite stormwater treatment requirements for additive impermeable surface
- Plan and install "Alley of the Future" project
- Finalize Columbia Place proposal
- Complete Drexel Avenue road diet
- Plan and execute 2023 street program

### Communications and Strategy

- Complete 2023 Strategic Plan Update (early 2023)
- Draft and circulate Annual Report to the Community
- Re-launch New Resident Welcome events
- Revamp internal communications
- Institute HR audit recommendations



**Ordinance No. 49 – 22**

**By: Matt Klingler**

**An ordinance to adopt the 2022 revision to the Architectural Review Board’s  
Design Guidelines and Standards**

**WHEREAS,** Section 1223.04(d) states that “The [Architectural Review] Board in the performance of these duties shall from time to time adopt and publish design guidelines; provided, however, that any such guidelines shall be subject to review and approval by Council”; and

**WHEREAS,** Staff have assisted the Board in compiling and adopting revisions to the Design Guidelines and Standards, last updated in September, 19, 2000; and

**WHEREAS,** The updated Guidelines contain a variety and enhancements and improvements, including more specific guidelines pertaining to architectural detailing; historic preservation; and neighborhood context;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY, OHIO:**

**Section 1**

That the 2022 revision to the Design Guidelines and Standards, adopted by the Architectural Review Board on November 10, 2022 and hereby attached as “Exhibit A”, are hereby approved by Council.

**Section 2.**

That this Ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_  
Matt McPeck, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin J. Kessler, Mayor

First Reading:  
Second Reading:  
Third Reading:



## **City Council Meeting Minutes**

Tuesday, January 10, 2023

### **1) Call to Order**

President Markham called the meeting to order at 6:01 pm and welcomed everyone.

### **2) Roll Call of Members**

**Council Members in Attendance:** Jen Robinson, Sam Marcellino, Lori Ann Feibel, Monique Lampke, Matt Klingler, Troy Markham, Jessica Saad

### **3) Pledge of Allegiance**

### **4) Presentations/Special Guests**

a) Proposed Candidates for Community Improvement Corporation Vacancies

- Mike Simpson
- Stephanie Bosco

Mr. Simpson was not in attendance but will be at the next Council meeting.

Ms. Bosco introduced herself and spoke briefly to Council regarding her background and interest in the position. Mr. Marcellino and Mr. Markham asked questions which Ms. Bosco answered. Council thanked Ms. Bosco for her willingness to serve.

### **5) Public Comments (Speaker Slip Required)**

None.

### **6) President's Report**

Mr. Markham welcomed everyone back.

### **7) City Attorney Report**



## **City Council Meeting Minutes**

Tuesday, January 10, 2023

No report.

### **8) Auditor's Report**

No report.

### **9) Administrative Update**

#### a) Finance Department Update – Beecher Hale

No report and no questions from Council.

#### b) Police Department Update – Chief Gary Lewis

Chief Lewis had no additions to his report but welcomed any questions. Mr. Kessler did highlight the K9 program and some potential benefits. Mr. Klingler expressed support for the program and asked the chief if there would be any additional funding needs, and the chief clarified there is not. Mr. Marcellino and Ms. Saad also expressed some supportive comments regarding this program.

#### c) Recreation and Parks Update – Mike Price

Mr. Price covered some of the highlights of his report and answered some questions regarding the change in pool pricing and timing from Mr. Marcellino and Ms. Lampke.

#### d) Service Update – Andy Bashore

Mr. Bashore has no additions but would be happy to answer questions. Ms. Saad asked about the work on Drexel, which Mr. Bashore answered. Ms. Feibel thanked both police officers and service department employees who went above and beyond over the holiday season.

#### e) Mayor's Update



## **City Council Meeting Minutes**

Tuesday, January 10, 2023

Mr. Kessler also acknowledged some of the hard work being done over the holidays. He then provided an update on the Year of the Parks and some of the work surrounding the many projects included under that umbrella. Mr. Kessler also provided a legislative update and some updates on Mayoral goals for the year.





## City Council Meeting Minutes

Tuesday, January 10, 2023

### 10) Ordinances with Visiting Presenters

### 11) Consent Agenda (No Speaker Slip Required)

- a) Meeting Minutes from December 13, 2022

Mr. Fishel read the item on the Consent Agenda.

Ms. Lampke moved to approve the item on the Consent Agenda

Mr. Klingler seconded.

All in Favor: Jen Robinson, Sam Marcellino, Lori Ann Feibel, Monique Lampke, Matt Klingler, Troy Markham, Jessica Saad

**Motion passed 7-0.**

### 12) Third Readings (No Speaker Slip Required)

- a) Resolution 12-22 unequivocally condemning the recent rise in antisemitic violence and harassment targeting Jewish people, and standing in solidarity with those affected by antisemitism, and for other purposes, introduced by Troy Markham on December 6, 2022.

Mr. Markham expressed his gratitude to Jen Robinson and Stacy Grossman for their help and support with this resolution and his sadness that such a measure is necessary in this society. He spoke a little about his personal background and the caring community we leave in.

Ms. Feibel applauded this resolution and spoke about her background and her passion for this measure and her revulsion for some of the acts that have happened. Ms. Robinson spoke in support of the resolution and spoke about the need for us to continue to stand up against these acts.

Mr. Don Lewis of 663 Euclaire Avenue thanked Council for this resolution and spoke of his personal experiences as a Jewish man.



## **City Council Meeting Minutes**

Tuesday, January 10, 2023

Mr. Markham moved to adopt Resolution 12-22.

Ms. Robinson seconded.

All in Favor Jen Robinson, Sam Marcellino, Lori Ann Feibel, Monique Lampke, Matt Klingler, Troy Markham, Jessica Saad

**Motion passed 7-0.**

### **13) Second Readings (Speaker Slip Required)**

- a) Resolution 11-22 confirming the Mayor's appointments of members to the Bexley Community Improvement Corporation, introduced by Jen Robinson on December 13, 2022.

Mr. Fishel read the resolution and Ms. Robinson provided some background on the ordinance. Mr. Simpson will hopefully be at the next meeting.

- b) Ordinance 49-22 to adopt Residential Design Guidelines introduced by Matt Klingler on December 13, 2022.

Mr. Fishel read Ordinance 49-22 and Mr. Klingler didn't have any additions to this ordinance or changes, but did speak to the history and logic behind this ordinance. Mr. Kessler isn't sure if this is included in a 30 Day Zoning change period with public hearing. Mr. Fishel will review this and follow up. Karen Bokor and Bill Heyer will be invited to the next meeting to present the guidelines and process of creation.

### **14) First Readings (Speaker Slip Required)**

### **15) Tabled Ordinances**

- a) Ordinance 35-22 to amend Section 1060, in order to require recycling service to be provided at commercial, institutional, and multi-family properties within the City of Bexley, introduced by Lori Ann Feibel on September 13, 2022.
- b) Ordinance 14-22 to amend Section 1266.14 Solar Panels, in order to provide for consistent regulation and a streamlined approval process for solar panel projects introduced by Matt Klingler on April 12, 2022.



## **City Council Meeting Minutes**

Tuesday, January 10, 2023

Mr. Klingler moved to remove 14-22 from the table.

Ms. Lampke seconded.

All in Favor Jen Robinson, Sam Marcellino, Lori Ann Feibel, Monique Lampke, Matt Klingler, Troy Markham, Jessica Saad

**Motion passed 7-0.**



## City Council Meeting Minutes

Tuesday, January 10, 2023

Mr. Klingler and Mr. Kessler spoke about this ordinance and some of the changes that have been made along the way. Mr. Marcellino expressed his concerns that he's not sure the changes will streamline the process enough to warrant the changes and Mr. Kessler responded to these concerns. Mr. Marcellino spoke stated his concerns and Council Members discussed this ordinance at somelength.

Constance Lewis of 663 Euclaire spoke in support of the change in the height for the ground mounted solar panels and shared her concerns about this ordinance and specifically about ground mounted solar panels and removing the layer of review the Architectural Review Board adds.

Mr. Klingler moved to amend Ordinance 14-22.

Ms. Saad seconded.

All in Favor: Jen Robinson, Sam Marcellino, Lori Ann Feibel, Monique Lampke, Matt Klingler, Troy Markham, Jessica Saad

**Motion passed 7-0.**

Mr. Klingler moved to approve Ordinance 14-22.

Ms. Saad seconded.

All in Favor: Jen Robinson, Sam Marcellino, Lori Ann Feibel, Monique Lampke, Matt Klingler, Troy Markham, Jessica Saad

**Motion passed 7-0.**

- c) Ordinance 48-22 to create Chapter 837, Tobacco Retail License and Regulations and to remove Chapter 636.16 of the Codified Ordinances, Illegal distribution of cigarettes, other tobacco products or alternate nicotine products introduced by Sam Marcellino on November 15, 2022.

### 16) Strategic Committee – Jen Robinson, Chair

Ms. Robinson spoke to Council about some legislative thoughts for 2023. She said she'd be reaching out to Council about potential strategic meeting options and thoughts about what might be included. Ms. Robinson also spoke about the upcoming play at the high school theater show.



## **City Council Meeting Minutes**

Tuesday, January 10, 2023

### **17) Zoning and Development Committee – Matt Klingler, Chair**

Mr. Klingler provided an update from the CIC meeting that Bexley Square will be getting a new roof this spring.

### **18) Recreation and Parks Committee – Jessica Saad, Chair**

Ms. Saad thanked the Recreation Department for putting up the ice rink the day after Christmas and complimented the great turn out. She also invited everyone to sign up for the Bexley Community Foundation's Texas Hold'em fundraiser.

### **19) Service and Environmental Committee – Lori Ann Feibel, Chair**

Ms. Feibel has no report.

### **20) Finance Committee – Monique Lampke, Chair**

Ms. Lampke has no report.

### **21) Safety and Health Committee – Sam Marcellino, Chair**

Mr. Marcellino spoke about some work he's planning regarding safety and first aid training.

### **22) Public Comments (No Speaker Slip Required)**

None.

### **23) Adjourn**



## **City Council Meeting Minutes**

Tuesday, January 10, 2023

Mr. Klingler moved.

Ms. Feibel seconded.

All in Favor: Jen Robinson, Sam Marcellino, Lori Ann Feibel, Monique Lampke, Matt Klingler, Troy Markham, Jessica Saad

Motion passed 7-0.

Council President Markham adjourned the meeting at 7:11 pm.

**RESOLUTION NO. 11 - 22**

By: Jen Robinson

**A Resolution confirming the Mayor’s appointments of members to the  
Bexley Community Improvement Corporation**

**BE IT RESOLVED BY THE COUNCIL OF THE CITY OF BEXLEY, OHIO:**

**Section 1.** That City Council hereby confirms the following appointments to the Bexley Community Improvement Corporation:

<b>Nominee</b>	<b>Position</b>	<b>Term Begins</b>	<b>Term Expires</b>
Stephanie Bosco	Member	January 1, 2023	December 31, 2025
Nate Green	Member	January 1, 2023	December 31, 2025
Mike Simpson	Member	January 1, 2023	December 31, 2025
<b>Nominee</b>	<b>Position</b>	<b>Term Begins</b>	<b>Term Expires</b>
Beecher Hale	Member/ City Officer	January 1, 2023	December 31, 2023

**Section 2.** That this Resolution shall go into full force and effect at the earliest period allowed by law.

Passed \_\_\_\_\_, 2023

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_, 2023  
Matt McPeek, Clerk of Council

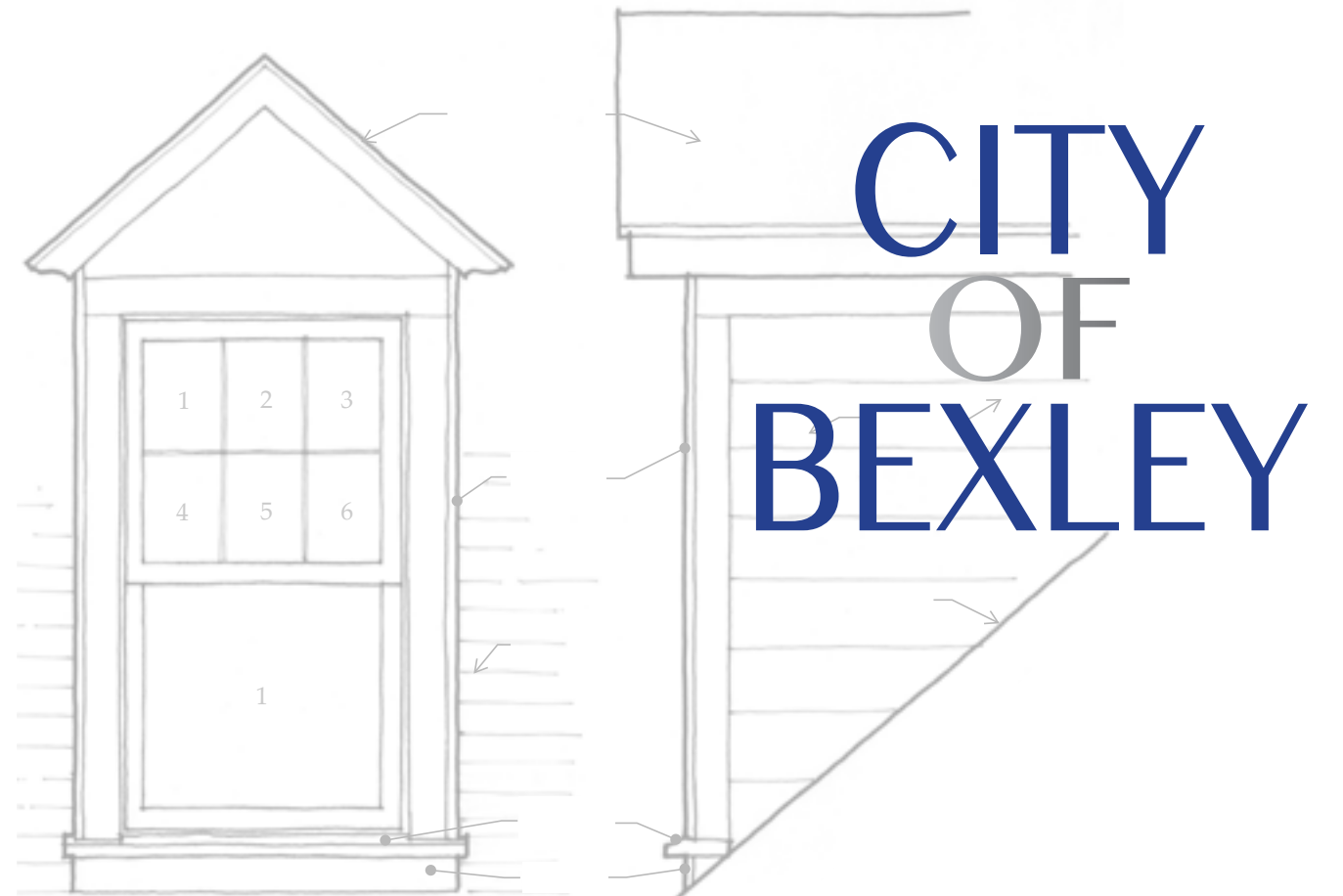
Approved: \_\_\_\_\_, 2023

\_\_\_\_\_  
Benjamin Kessler, Mayor

First Reading: 12/13/22  
Second Reading: 1/10/23  
Third Reading: 1/24/23

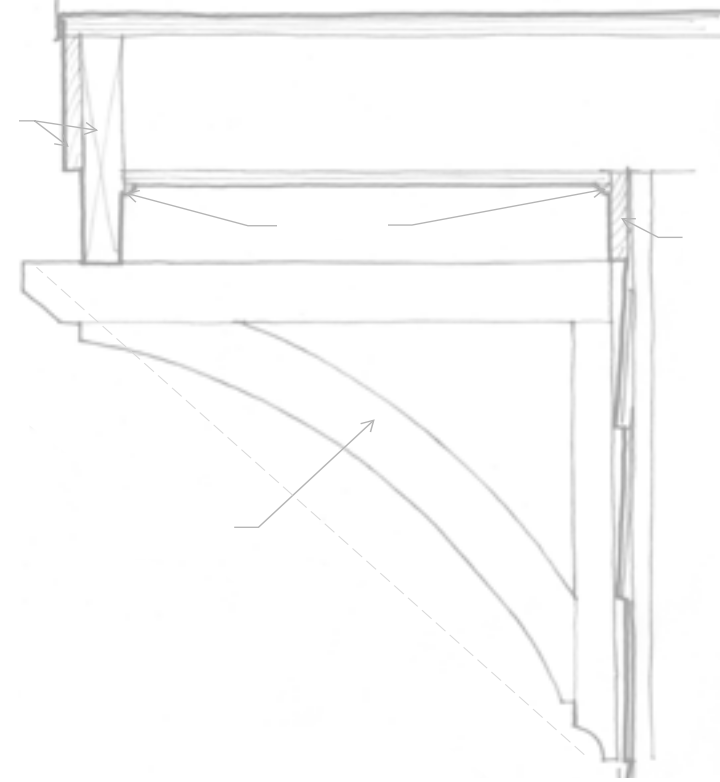
**DRAFT**  
**NOT FOR DISTRIBUTION**





**CITY  
OF  
BEXLEY**

**DESIGN GUIDELINES  
AND  
STANDARDS**



**PRESENTED BY:  
THE ARCHITECTURAL  
REVIEW BOARD**



**[DRAFT]  
15 NOVEMBER 2022**

# FOREWORD

by Karen Bokor

For over two decades, the City of Bexley has continually advanced the goal of articulating a clear, workable, and interactive document that both describes Bexley's historic and beautiful neighborhoods and provides guidelines to enhance and preserve Bexley's architectural character. For residents, city staff, and board members this document provides an educational tool, a "guided tour", of the many styles and features of Bexley's architecture and a walk through of the design process.

There is no one author to this document. As Design Consultant to the City of Bexley, I have worked closely with many contributors over the years in the development of this document. In specific, William Heyer has been a critical contributor, and his expertise in classical language of architecture, beautiful example renderings, and commentary has been invaluable. Lawrence Helman, with his depth of knowledge of Bexley's history and neighborhood development, provided a historical understanding and context for the use of the guidelines. Kathy Rose, City of Bexley Zoning Officer, and her incomparable knowledge of the Bexley's zoning, history and institutional memory. The support and encouragement of Architectural Review Board members, city staff, and Mayor Kessler has been greatly appreciated as well.

Architecture has its own language, terms and process. It is important to understand these elements to then understand how and why guidelines can be used effectively in the planning and design of renovations, additions, or new construction. Bexley does not have a singular or preferred architecture, and each and every project is different. A major goal of the guidelines is to help inform residents about the elements of design and to advance and enhance visual thinking skills to create successful projects that thoughtfully contribute to the beauty of Bexley.

Understanding the language and terminology will make all the difference in how much you get out of the process of designing, renovating or building your home. It should also change the way you look at the built world outside of your own project and open your eyes to the importance and beauty of "place". The ultimate goal of these guidelines is to advance and enhance visual thinking skills by providing a formal look at the existing architecture and

We all encounter and interact with architecture. Much thought and hard work goes into the creation of spaces we use every day, and whether you are enjoying the environment or embarking on a building project of your own, we hope this document will enrich your experience in Bexley!

*Karen Bokor*

# DESIGN STANDARDS AND GUIDELINES

"Like any language, [architecture] has a vocabulary (the building elements such as windows, doors, and eaves) and grammar (the rules that we use to put the elements together). Designing a building without understanding these rules is like forming a sentence without understanding syntax. Without the foundation of basic knowledge, the results can be garbled, sometimes beyond recognition."

- Marianne Cusato

Design standards and guidelines are sets of recommendations towards good practice in design. They are intended to provide clear instructions to, owners, designers, and developers on how to adopt specific principles.

## DESIGN STANDARDS

are widely applicable principles and considerations. Standards are the foundation for good design.

## DESIGN GUIDELINES

tell us how to apply standards.

Guidelines are recommendations that provide instructions on how to convert standards into design.

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# INTRODUCTION

## **THE HISTORY OF ARCHITECTURAL REVIEW IN BEXLEY:**

In 1999, the City of Bexley established Architectural Review. The Board of Zoning Appeals was the body determined to serve as the Architectural Review Board and served as the final determination of the issuance of a Certificate of Appropriateness. In the years that followed the process was codified and the configurations of the Boards and Commissions have changed. Currently the responsibility of design review and the issuance of a Certificate of Appropriateness is with the Architectural Review Board and the Board of Zoning and Planning.

## **ORGANIZATION OF THE GUIDELINES:**

These guidelines are intended to help property owners and applicants succeed in getting what they need programmatically while improving the built environment in the City of Bexley. This document includes reference examples of the architecture, language and styles found in the city of Bexley as well as guidance for the process and design for new projects.

## **USING THE GUIDELINES:**

The design guidelines are an evolving, living document and should be a constant reference tool for property owners, designers, staff, commissions and boards. It is meant to be easily accessible and user friendly to our residents. Please contact the building department at 614-559-4240 for assistance if needed.

## **PROPERTY OWNER, STAFF AND COMMISSION RESPONSIBILITIES**

It is the responsibility of the property owner to file the appropriate application for approval. Staff is responsible for the review of the application and insuring that it is in the appropriate process. The Boards and Commissions are responsible for evaluating each application fairly and on its own merits.

# PURPOSE AND INTENT OF THE DESIGN STANDARDS AND GUIDELINES

The purpose of Architectural Review is to maintain the quality and existing character of the City of Bexley. The Architectural Review Board (ARB) is charged with the responsibility of assuring that new buildings and exterior changes to existing buildings are compatible with and do not adversely affect the surrounding neighborhood.

The Board does not review normal repair and maintenance. Board members are all residents of the City of Bexley, and include citizens with real estate, legal, building and design experience. No new building can be constructed and no existing structure can be enlarged or have its architectural style and details changed, unless the City issues the property owner a Certificate of Appropriateness. In deciding whether to issue the certificate, the ARB considers many elements such as architectural design, exterior materials and detail, height and building mass, placement of buildings on the site, grade levels, etc... The goal is not uniformity of design since Bexley has many different architectural styles. Instead the goal is to foster compatible design which respects a home's existing style and its surroundings.

The Design Guidelines will serve as a model for property owners to improve their individual properties. These guidelines will assist and inspire property owners in their property improvement efforts and establish a base level of what is expected by the city. In addition, these guidelines will aid the fair and consistent review of applications by the Architecture Review Board.

Successful implementation of design guidelines has been a key in maintaining or revitalizing residential neighborhoods throughout the country. This set of guidelines and standards will enable those that wish to redevelop, renovate, or rebuild portions of their homes and property to meet and exceed the quality of character established by the existing high quality architecture that defines Bexley. These guidelines are intended to approach property improvement in a reasonable and economically responsible way while focusing on improved site design and architecture.

An important factor to consider in the implementation and administration of

# DEFINITIONS

## **ARCHITECTURE AND IT'S "GIVENS":**

Givens are (generally) not choices that the architect will get to make. These givens exist but will be uniquely interpreted by the architect. They can be challenging and they can be challenged. But they will mostly stay the same.

## **PROGRAM:**

The program is the desires and needs of the owner and user(s). This is often referred to as the scope of work and contains functional requirements as well as "in my dreams" desires. These are typically mundane lists of things such as, what type of spaces will be needed, how many bathrooms, what is needed for storage, code requirements, etc...as well as the dream list of the client - the designers will go through these lists of requirements and desires and work with the stakeholders to condense, refine, merge, etc... to create the most efficient use of the space. As one would expect - the budget will often dictate what gets in and what gets tossed from the list. Clients often come in with complicated spreadsheets and lists - good designers will simplify these into forms such as bubble diagrams are often used to help in understanding adjacencies and relationships of spaces.

## **CONTEXT:**

Where is the project located? What is the context? What are the rules and codes? Context is of unique importance to architecture. Architecture is almost always specific to its context. A project should respond to its neighbors, the street, the codes and guidelines of the city. Much like a building needs the right scale, it also needs to be built in context. This means that the building suits its surroundings in style, materials, and proportion. A glass skyscraper rising on a block of low-rise, brick houses would be referred to as "out of context."

## **ENVIRONMENT:**

The circumstances, objects, or conditions by which one is surrounded. Understanding the environment is an important factor in the way the architecture is created. It is essential to take into account the climate, the seasonal changes, temperature extremes, etc... examples in which building design are directly related to environmental conditions would include solar panels, eco cities, buildings using the earth, green/sustainable structures, etc...

# DEFINITIONS, CONT.

## **PHYSICAL CHARACTERISTICS OF ARCHITECTURE:**

### **STYLE:**

Style combines elements that make structures unique and different from other styles and make a building historically identifiable. A specific style includes a unique combination of the architectural elements and/or method of construction. These combinations make it possible to differentiate architectural styles.

### **MASS:**

Massing is the size of the building and the 3 dimensional form of a building. Scale can make very massive buildings visually appealing - generally buildings are constructed to human scale. Even very large buildings with large masses can be scaled to be comfortable to the human eye. These massive structures have details that are human scale such as windows, doors, trim, etc...

### **SCALE:**

Scale plays a very important role in architecture and refers to the size of something compared to a reference standard or to the size of something else (like a human being). Human scale is a term you will hear often in ARB meetings - especially in reference to how a building is humanly relatable. The scale of a building can make a building comfortable or uncomfortable for the user.

### **VOLUME:**

Volume refers to the amount of enclosed, contained space.

### **STRUCTURE:**

Structure will often dictate form. Older buildings are much more adherent to the structure whereas modern technology allows more flexibility of form. However, architecture will never be free of structural constraints.

### **MATERIALS:**

Materials such as concrete, steel, stone, brick, wood, and glass, all influence design and should be incorporated in a historically accurate manner.

### **SYMMETRY:**

The relationship of the family of parts to the whole building. Includes notions of rhythm, strict bilateral symmetry, localized symmetries, natural/anthropomorphic parallels.

# DEFINITIONS, CONT.

## DRAWING TOOLS AND CONVENTIONS:

**Scale:** An accurate indication of the relationship between the distances from point to point on a drawing and the corresponding actual distances.

**Floor Plan:** A drawing that depicts the view from above with accurate scaling of all details.

**Elevation:** A drawing that depicts one vertical plane or view of a structure with accurate scaling of all details.

**Section:** A drawing that depicts an elevation sliced vertically through the middle in order to reveal interior arrangements. This type of drawing is extremely helpful to understand the character of interior spaces.

**Axonometric:** Using an orthographic projection of a building, on a plane inclined to each of the three principal axes of the object; three-dimensional to scale but without perspective. This type of representation helps the viewer understand how the buildings elevations connect and relate to each other.

**Perspective:** The art of drawing solid objects on a two-dimensional surface so as to give the "right" impression of their height, width, depth, and position in relation to each other when viewed from a particular point. These can be both quick sketches or complex renderings.

***\*All submissions must include plans and elevations of the entire building and a site plan to show the context. All drawings should be scaled.\****

Complex, large buildings may require large numbers of such plans, elevations, and sections.

Complex curved buildings and irregular shaped buildings require even more elaborate methods of representation such as models or axonometric representations.

"We look at a building. Instantly we are charmed by it--we say "what a lovely building". But for an artist this instinctive judgment is not enough. He asks himself why it is beautiful and tries to analyse all those features of the building which charm him, so that he may be able to apply himself to synthesis when he comes to create in his turn."

- Voillet le Duc

# DEFINITIONS, CONT.

How language is used to describe architectural design is often unfamiliar to the applicants that come before the Architectural Review Board for approval and the issuance of a Certificate of Appropriateness. Often these terms or descriptions can seem very subjective but they are widely accepted in the Design professions.

## THE FOLLOWING TERMS ARE OFTEN USED BY OUR ARCHITECTURAL REVIEW BOARD:

Compatibility: Capable of existing in harmony together.

Consistency: The harmony of parts or features to one another or a whole.

Historical: Characteristic of the past whether reproduced or rehabilitated.

Beautiful: Aesthetically pleasing by proper use of massing, scale, materials, etc...

Imitation: Resembling something else that is usually genuine and of better quality.

Quality: Elevated materials, design, structure, etc...

High quality: Superior materials, design, structure, etc...

Unique: Special through the proper use of massing, scale, materials, etc...

Uniformity: Consistency of style, materials, proportion, scale, etc...

## THE FOLLOWING ARE COMMON TERMS OF CHARACTER DEFINING ASPECTS - THESE ARE OFTEN SPECIFIC THINGS THAT MAKE A BUILDING FASCINATING:

Diverse architectural styles: Containing a variety of architectural styles whether within a single structure or the neighborhood yet the compatibility, massing and scale remain consistent.

Architecturally significant: A structure that is high quality and a significant contributing part of the neighborhood

Aesthetic character: A structure that exhibits the characteristics defined in the above section and is therefore an contributing component of the neighborhood.

Matching: Using the same materials, construction techniques, detailing as the existing structure or historic precedent.

Discordant: The materials, construction techniques and detailing are not compatible with the existing structure or historic precedent.

# PROCESS AND PROCEDURES

## BOARDS AND COMMISSIONS:

**The Architectural Review Board (ARB):** The ARB hears applications for exterior architectural changes to residential and commercial properties. The ARB meets the 2nd Thursday of the Month at 6:00pm in City Hall. The purpose of the ARB is promote, preserve and enhance the existing character of various residential neighborhoods in the City by encouraging the retention of buildings which have historic, architectural or cultural value or which are otherwise worthy of preservation, maintaining lot size and building scale appropriate to each neighborhood, and minimizing or avoiding the adverse potential impacts of vacant lots within fully developed neighborhoods; to promote and improve the quality of neighborhoods and commercial corridors by permitting the demolition and replacement of existing residential buildings when they are not worthy of preservation or cannot be economically maintained or restored or when there are other compelling reasons to do so; to protect and preserve property values and the City's tax base; and to promote the general welfare by regulating the demolition or removal of existing structures, the exterior characteristics of new structures and the modification of existing structures throughout the City.

**The Board of Zoning and Planning (BZAP):** The BZAP hears and renders decisions concerning variance requests, and provides recommendations to council regarding City planning efforts and rezoning. This board was established to control, encourage and regulate the character, design, placement and relationship of buildings, structures and spaces within the City of Bexley. An application goes before the Board of Zoning and Planning for variances, conditional use permits, and development/planning approvals and recommendations to City Council. The Board of Zoning and Planning meets the fourth Thursday of the month at 6:00pm in City Hall.

**The Bexley Community Improvement Corporation (CIC):** The CIC is a development agent of the City of Bexley.

**The Tree and Public Gardens Commission (TPGC):** The TPGC consists of five members appointed by the Mayor. The duties of the Commission are to study the problems and determine the needs of the City of Bexley relative to a municipal tree care and tree planting program, develop a written plan for such, and make recommendations to Bexley City Council as to legislation concerning the tree program and activities for the City of Bexley.

**The Historic Preservation Working Group:** This workgroup was created to implement new practices towards the preservation of historic structures within Bexley, and to recognize the benefits of preserving our existing quality in order to maintain the historically unique character seen throughout our community.

## Obtaining a Certificate of Appropriateness:

Any changes to the exterior of a building including everything from one new window to an entire new structure needs to obtain a Certificate of Appropriateness. This is done through the City of Bexley's website, Building and Zoning Department, Viewpoint online permitting system. (<https://bexleyoh.viewpointcloud.com/>)

Upon receipt of the application staff will determine the next step. Exterior changes with no variance request(s) will either be done by staff or the Architectural Review Board. If a variance is needed the applicant will need to go to both ARB and the Board of Zoning and Planning. (Refer to Bexley City Codified Ordinance Chapter 1223, Architectural Review

## When a Certificate of Appropriateness is Not Required:

There are some things that do not require review and approval though staff is there for the residents of Bexley to help guide and assist with these projects as well. These things include painting, soft landscaping of private property, and like for like replacements that do not require building permits. Please check with the building department to be certain that your project does not need Architectural Review.

## Code Enforcement:

Bexley's Code Enforcement officer will sometimes site a property owner for projects in process that warrant but have not received Architectural Review. This is not meant to be punitive but is in the best interest of the owners and neighboring properties. Staff will be happy to assist in getting the right process started.

## Denial of a Certificate of Appropriateness:

If an application for a Certificate of Appropriateness is denied by the applicant can appeal the decision. The process for appeals is in Bexley's Codified Ordinances.

# ADMINISTRATIVE APPROVALS:

Routine repairs and maintenance do not require the approval of the ARB when the work is completed using matching materials and design. Existing architectural details, including trim, shutters, columns, porches, windows and other elements shall be retained. If certain elements have deteriorated beyond the point where they cannot be retained, they shall be replaced in kind. However, any modification or deletion of existing exterior architectural details requires a certificate of appropriateness. Examples of staff approvable items:

## WINDOWS:

When windows are replaced they should remain true to the architectural style and proportions of the original windows. There is flexibility in the use of materials providing the profiles and predominant details can be maintained.

## ROOFS:

Areas of deteriorated shingles can be replaced without replacing the entire roof if the new shingles match the material, color, texture, and profile of the existing roof. Asphalt shingles shall not be used to patch a slate, wood shake or shingle, or tile roof. Distinctive roofing materials, including slate, copper, clay tile, and wood shakes, shall be repaired and maintained whenever possible. If a roof is deteriorated beyond repair, asphalt or fiberglass reinforced asphalt shingles are acceptable alternatives in most cases. Slate, synthetic slate, cedar shakes, and other roofing materials are encouraged for some houses, based on architectural style. (See roof replacement section for additional requirements for a change in roofing materials.)

## PORCHES, RAILING, STEPS, DECKS:

When porches, railings, steps, decks, or other exterior elements are replaced, pressure-treated wood is acceptable for structural members but a higher grade of lumber, such as cedar, redwood or cypress, is recommended, but not required, for all finish elements, including posts, railings, fascia and trim, stair risers and treads, and other visible features.

## SHUTTERS:

If shutters are replaced, the new shutters shall be equal to the height of the window and approximately half its width. The shutters shall be installed so that the bottoms of the shutters align with the tops of the windowsills. If the window is too wide to allow shutters to meet this standard, then it likely was not intended to have shutters at all.

## WINDOW AND DOOR REPLACEMENTS:

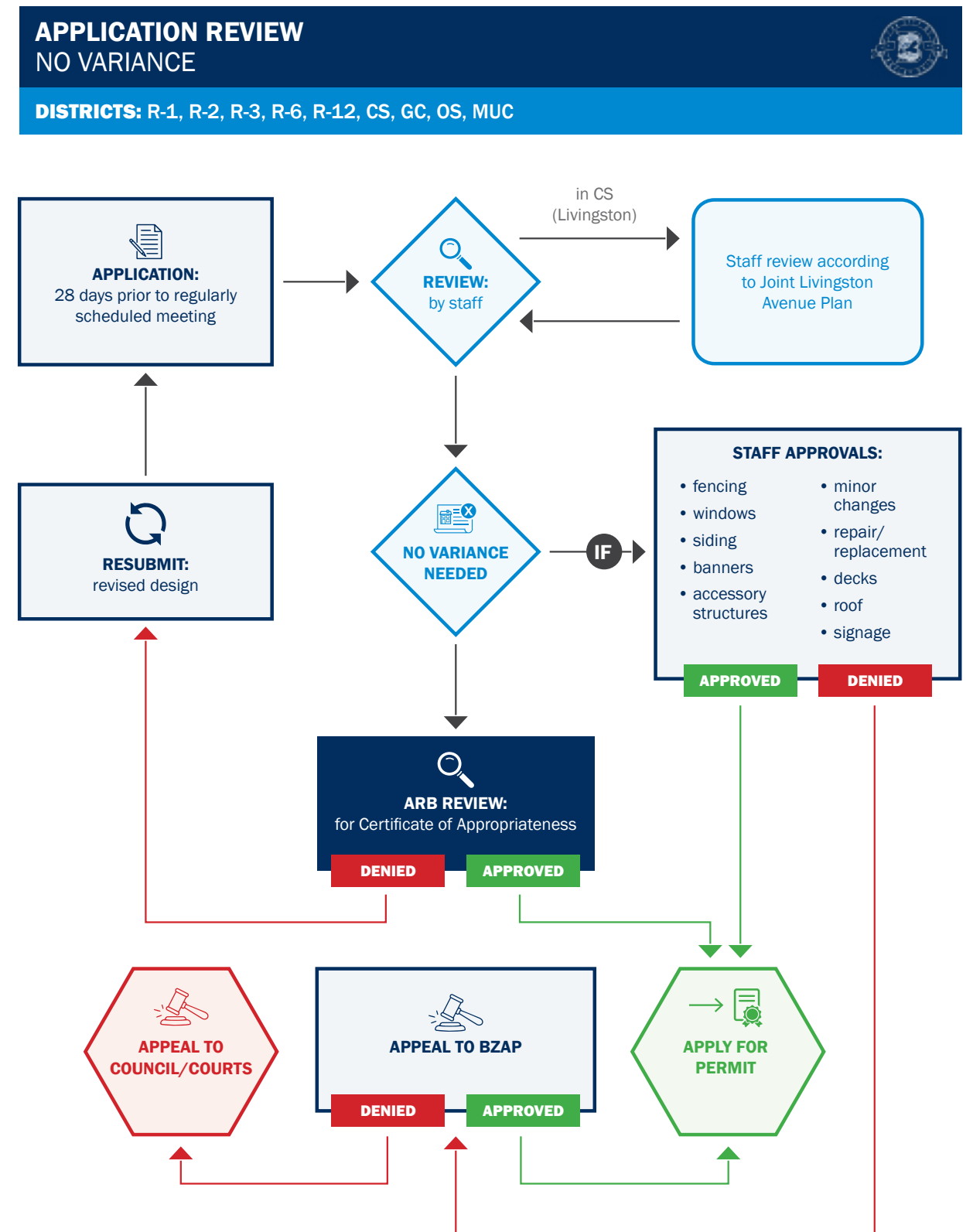
Replacement windows and doors which replicate the size, style, color and appearance of existing windows and doors are permitted and may be reviewed and approved by staff.

## RE-POINTING/TUCK POINTING:

Mortar used to re-point existing brick or stone shall match the color of the mortar on the existing building; the width and profile of the mortar joints shall also match the existing condition and historic mortars shall be used per referenced NPS technical report.

# PROJECT FLOW CHARTS

## NO VARIANCE NEEDED



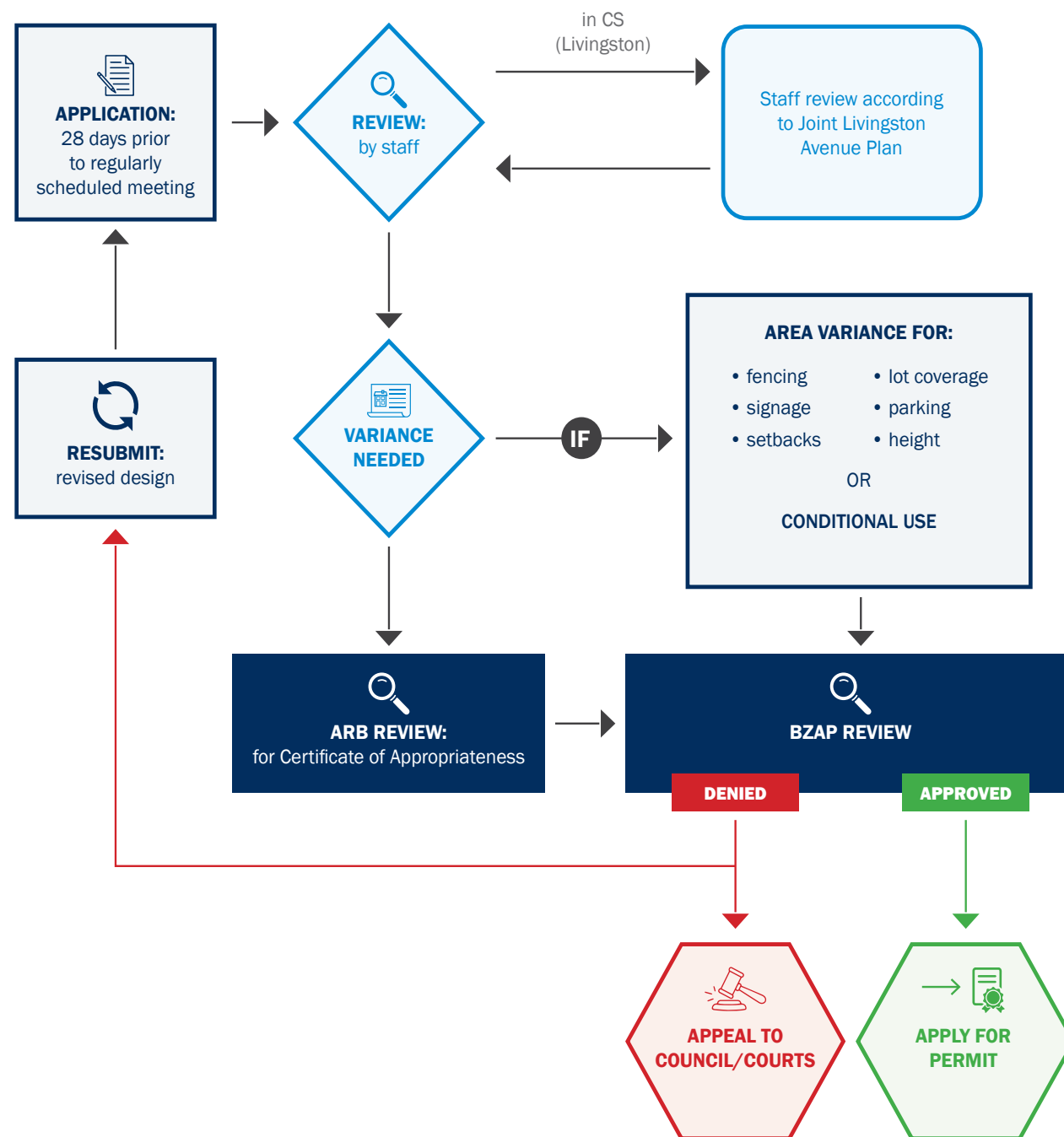


# PROJECT FLOW CHARTS, CONT.

## VARIANCE NEEDED

**APPLICATION REVIEW**  
VARIANCE NEEDED

**DISTRICTS:** R-1, R-2, R-3, R-6, R-12, CS, GC, OS, MUC

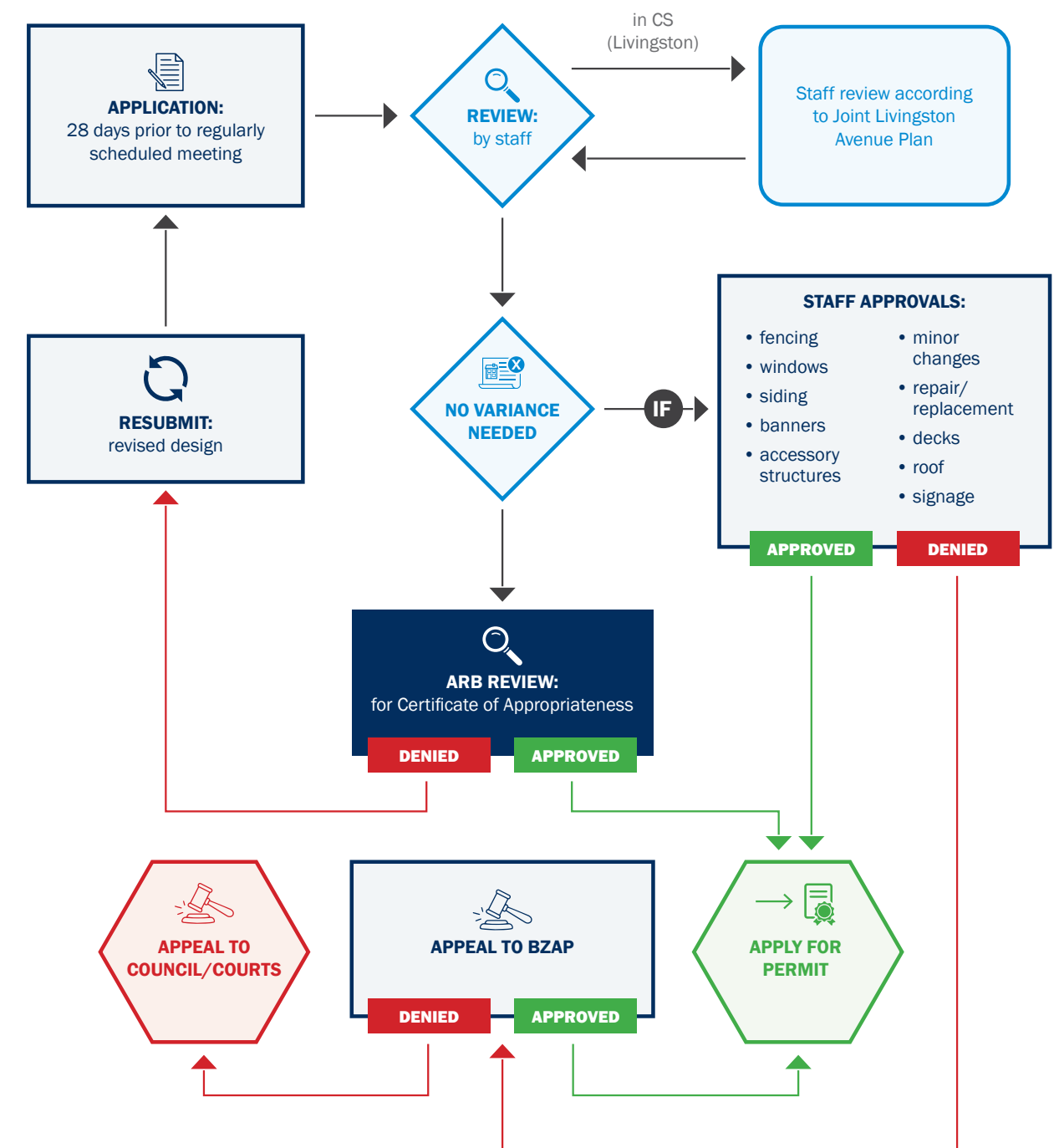


# PROJECT FLOW CHARTS, CONT.

## PLANNING PROJECTS

**APPLICATION REVIEW**  
NO VARIANCE

**DISTRICTS:** R-1, R-2, R-3, R-6, R-12, CS, GC, OS, MUC

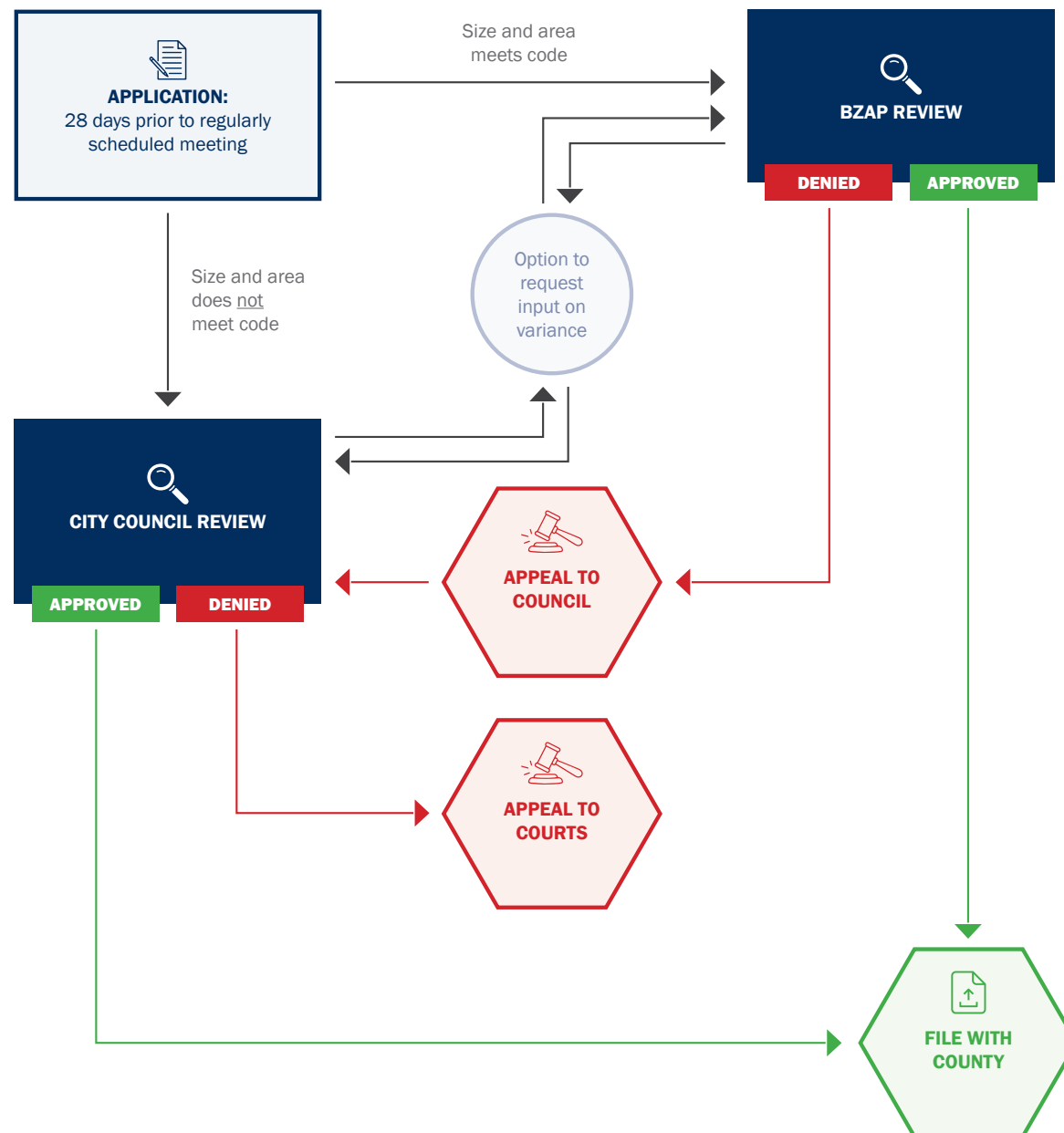


# PROJECT FLOW CHARTS, CONT.

## LOT SPLITS

LOT SPLIT

DISTRICTS:



# THE HISTORY AND ARCHITECTURE OF THE CITY OF BEXLEY

## Introduction

by Lawrence Helman, Planner

Member, Architecture Review Board and Tree and Public Garden Commission

Incorporated in 1908, the City of Bexley is a historic first-ring suburb of Columbus that is best known for its community of neighborly, tree-lined streets, its excellent schools and places of learning, and first-class restaurants, art galleries, and places of business.

Bexley is an architectural treasure. One's first drive up the Broad Street hill reveals an incredible display of early 1900's architectural styles rich in detail, including Tudor, French Normandy, classical revival and more. This architectural heritage extends well beyond just the large estate houses and includes more modest sized houses that continue the same richness, style, and attention to detail. On the many north-south streets off of Broad, Main, and Livingston can be found Dutch colonial, Tudor, Spanish and French designs, classical revival, cottage style, and, in later developments, cape cod and modernist styles. These styles coexist on orderly tree lined streets while other streets exemplify the almost continuous use of front porches onto the street, creating a sense of friendly neighborhoods, a shared community.

Much of Bexley's housing stock is at or beyond 100 years in age, and many houses have undergone extensive renovations, additions, and in rare cases demolition and thoughtful, well designed replacement. It is the purpose of the Bexley Architectural Review Guidelines to both encourage and promote the continuing renovation and redevelopment of Bexley's housing stock over time while also ensuring its preservation so that new construction fully honors and enhances Bexley's unique architectural character well into the next century.

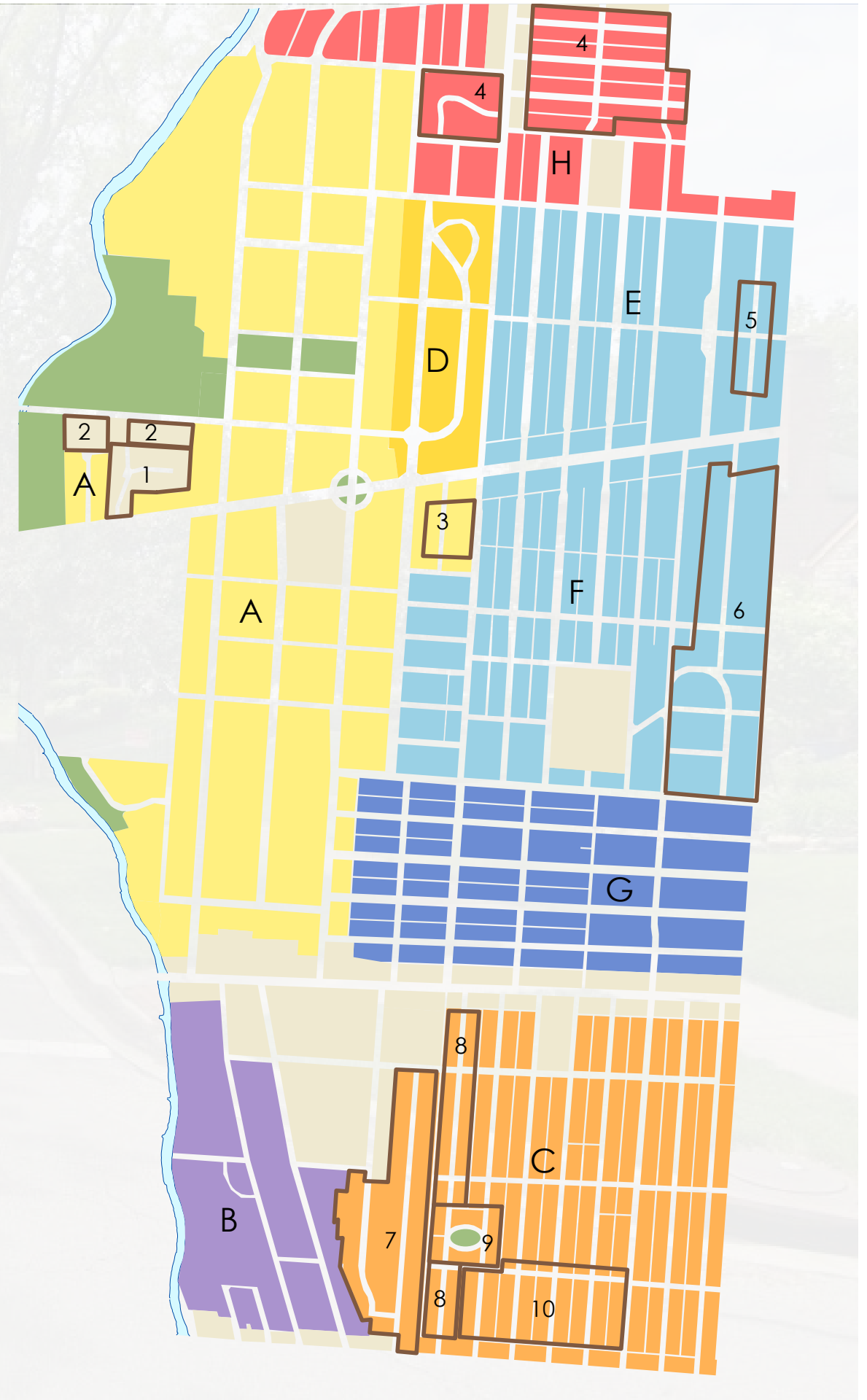
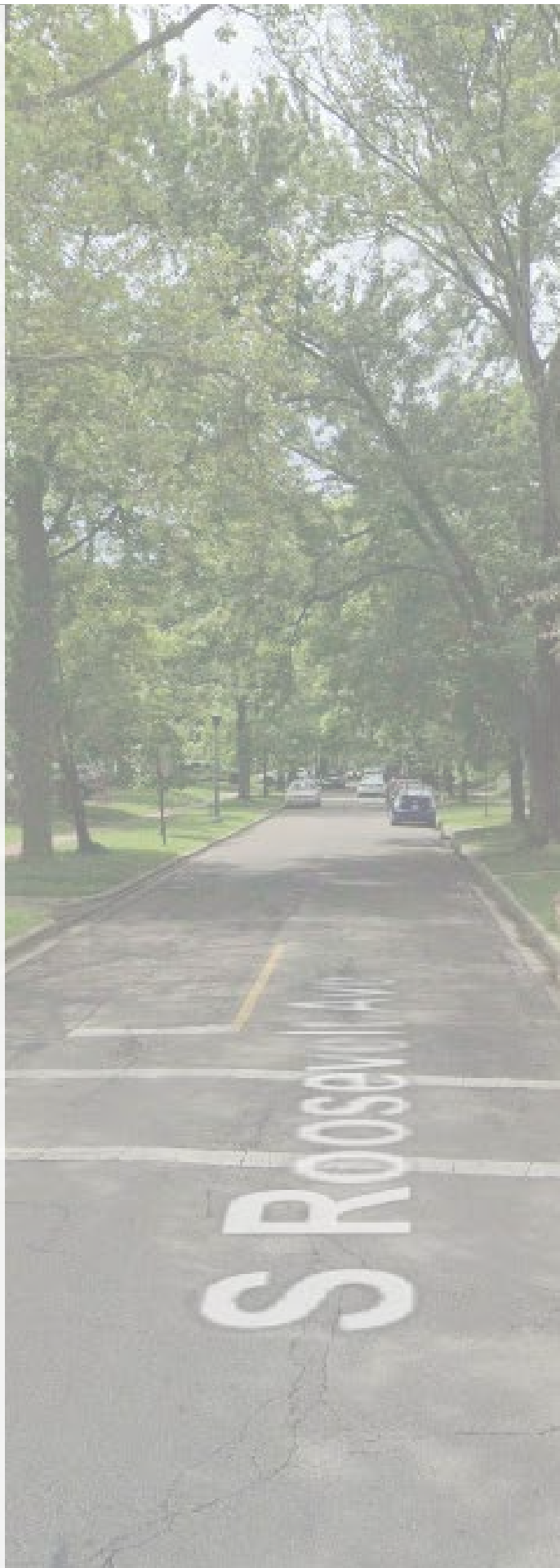
(Insert narrative here of Bexley's Zoning District Map and the Bexley Neighborhoods Map re: different ways of looking at the city)

# BEXLEY NEIGHBORHOODS

- A** BULLITT PARK / PARKVIEW / PARK HILL / PARKVIEW ROWND
- B** HAMILTON'S GARDENS / SHERIDAN PARK
- C** BEXLEY PLAZA / EASTLAWN / LIVINGSTON HEIGHTS
- D** STANBERY
- E** ARDMORE NORTH
- F** ARDMORE SOUTH
- G** BEXLEY PARK / RUDOLPHS FAIRWOOD / BEXLEY HIGHLANDS
- H** BELLWOOD

## SPECIAL CHARACTER ZONES

- 1** SESSIONS VILLAGE
- 2** LYONSGATE / BISHOP SQUARE
- 3** BULLITT PARK PLACE
- 4** BELLWOOD CAPE CODS
- 5** MERKLE ROAD STONEWORKS
- 6** ARDMORE 1950S
- 7** PLEASANT RIDGE / FRANCIS AVENUE
- 8** EUCLAIRE AVENUE PORCHES
- 9** HAVENWOOD / CIRCLE PARK
- 10** LIVINGSTON HEIGHTS TUDORS



# BULLITT PARK / PARKVIEW / PARK HILL / PARKVIEW ROWND

## NEIGHBORHOOD HISTORY

At the turn of the century in the early 1900s, Columbus, Ohio, expanded in two dominant directions: north along the High St corridor and east along the E Broad St corridor. Beyond Nelson Rd and up the hill from Alum Creek were large tracts of land prime for residential expansion. In 1908, a regional Columbus Parks Plan led to the creation of major open spaces along Alum Creek including Wolfe Park, setting the stage for the next wave of development along E Broad St. Soon to follow were large residential estates on considerably larger lots than on previous E Broad developments. This was the birth of the Bullitt Park addition.

The Bullitt Park addition provided opportunities for families with means to construct substantial new houses on large lots designed to the latest trends. Houses were generally architect-designed during a rich time in residential architectural themes. Strongly influenced by English manor houses and other European themes, the Bullitt Park houses were constructed using unique materials, craftsmanship, and design features, such as classical forms, leaded windows, and imported slate for roofs. The overall site design for Bullitt Park also represented a commitment to high civic design, which included major

park spaces such as Drexel Circle and Commonwealth Park; brick streets, gutters, and intersection details; and tree lawns and street trees. Also included was the reestablishment of carriage lanes along E Broad St, mirroring their earlier use along Broad St downtown. An early criticism of the Bullitt Park addition was the use of visually unattractive utility poles that marred the streetscape, unlike its crosstown rival the Country Club of Arlington, with its underground utilities.

Honor the original character of this area, which showcases individually designed houses on larger lots, a high degree of design consistency, a substantial character, use of rich materials, and design details.



Figure 1. Typical street section. Note the deep setbacks, mature street trees, and abundance of yard trees (front, back, and side). The dashed line on the house to the left shows a condition in which the grade slopes down to a basement-level garage.

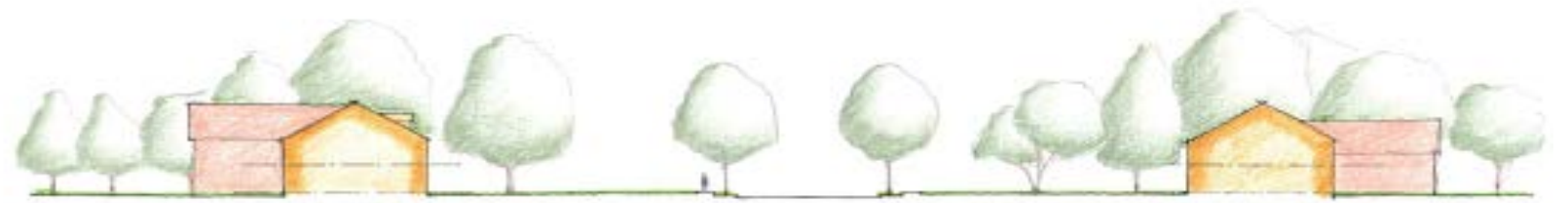


Figure 2. Cross-street section. Note the potential for side additions.



Figure 3. Drexel Avenue section. Note the wider street and slightly shallower setbacks.



# BULLITT PARK PLACE

## NEIGHBORHOOD HISTORY

This section illustrates the transition from the larger estate lots on E Broad to smaller, builder-created houses while also extending the 1920s character of the time. For example, the initial development of Bullitt Park Place was a larger model house on the southeast corner at Broad, followed by four smaller, but similarly styled, model houses immediately south on Bullitt Park Place.

Similarly, on the west side of S Cassady

south of Broad Street, a single developer/builder constructed from south to north a row of houses that were architecturally unique but shared common massing and design features. As these houses were developed south to north, the houses incorporated additional interior features such as multiple baths (instead of a single bath) to meet rising market expectations.

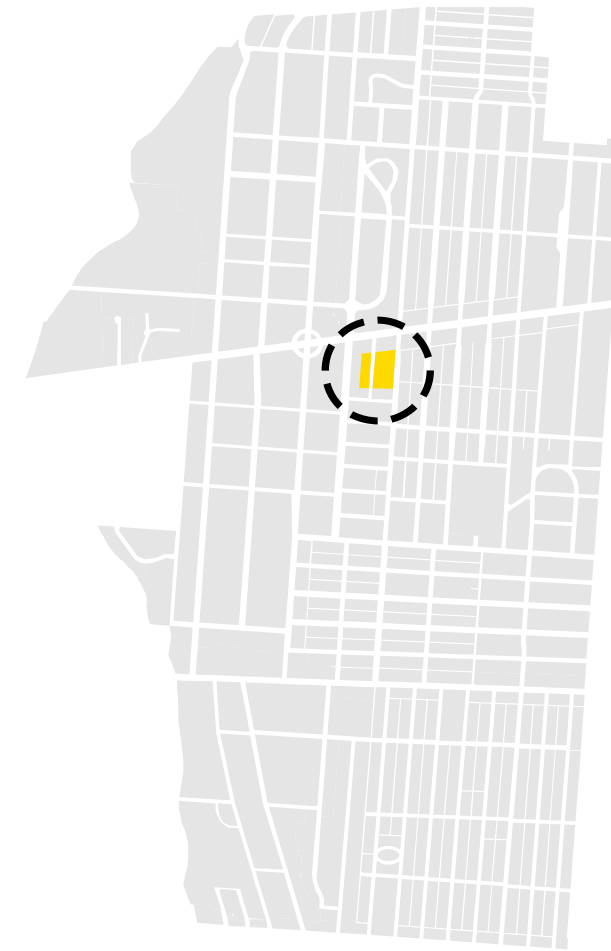


Figure 4. Bullitt Park Place section. Note the compact arrangement of the lot and the shallow setbacks.



# HAMILTON'S GARDENS / SHERIDAN PARK

## NEIGHBORHOOD HISTORY

Before the Bullitt Park addition, in 1876, Capital University relocated from its downtown, urban setting to a more pastoral site just beyond Alum Creek on donated land along E Main St. Soon to follow was the development of a small residential community of modest houses around and in support of the university, later called the Village of Pleasant Ridge. Development within the Village of Pleasant Ridge did not spawn from an overall plan or grand vision, but instead represented individual lot-by-lot construction of more modest, largely frame houses, many developed and built by members of the Lutheran faith given the nearby concentration of Capital University, the Lutheran Seminary, and Christ Lutheran Church. While lot development adhered to an east-west grid, the skewed angle of College Avenue created an interesting pattern of front yards and larger interior lots that later were subdivided and became Pleasant Ridge Avenue. Honor the original character of the neighborhood's turn-of-the-century village beginnings of largely frame houses with traditional massing, form, architectural trim, and front porches. For Capital University, encourage continued use of brick and masonry to reinforce the existing character of the campus.

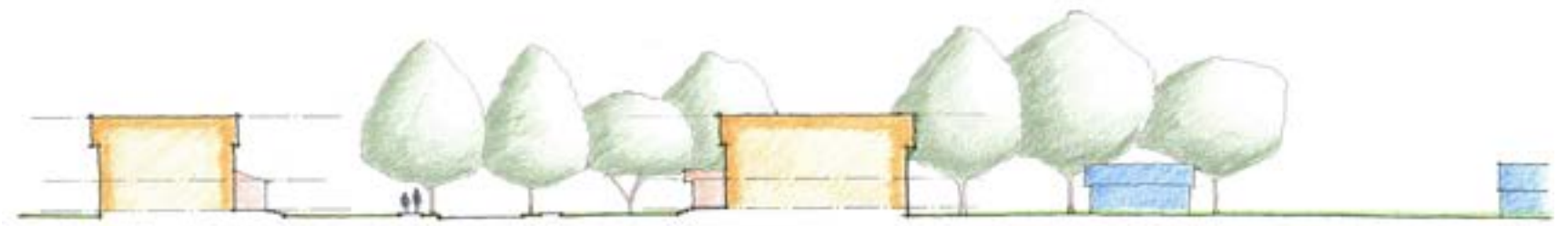
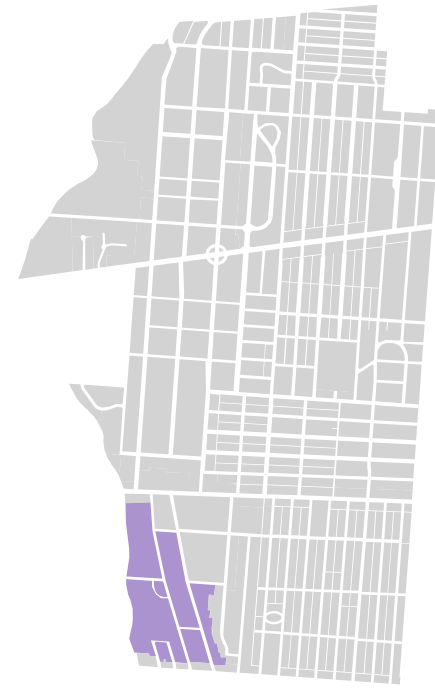


Figure 5. Typical street section.



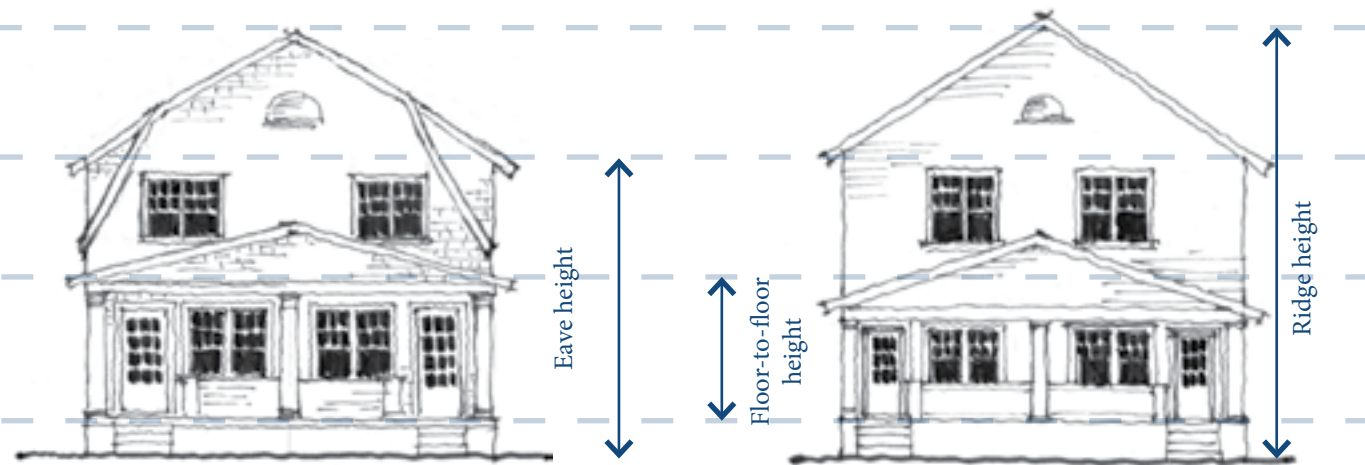
# HAMILTON'S GARDENS / SHERIDAN PARK, CONT.

The most common house type in this neighborhood has its gable facing the street. It may be a duplex or a single-family house.

The character of these houses stems from the neighborhood's beginnings as the Village of Pleasant Ridge, which consisted of wood-framed houses built by members of the Lutheran community in Bexley. Note the front porches and the

siding, which originally would have been wood lap siding or shingle. Some of these houses have an occupied attic or third floor and have windows where these sample houses have a semicircular vent.

Note that although the houses are slightly different styles, their first floor levels, floor-to-floor heights, eave heights, and ridge heights align.



The drawing to the right shows a sample lot. Characteristics of note include the parallelogram-shaped lot with the building oriented along the sides of the lot, the street-facing gable front of the house, a front porch, and a detached garage with access from a front driveway.

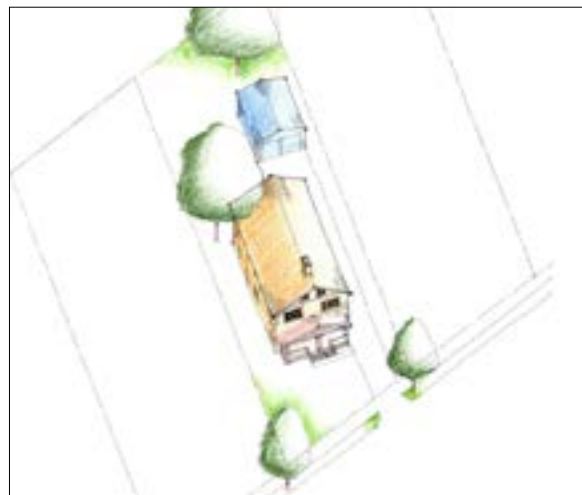


Figure 6. Sample lot.

**A.** The most common house type has its gable facing the street.

**B.** Porches are very common in this neighborhood.

**C.** Garages in this neighborhood tend to be detached. Due to the absence of alleys, access is from a front driveway. Not all houses in this neighborhood have garages.

**D.** Lot sizes are highly variable. Lot widths range from 35 to 100 feet; the lower end of this range may not allow for side additions. Lot depth varies from 100 to 200 feet, with the most common depth being approximately 180 feet. Setbacks vary widely, averaging 50 feet (measured perpendicular to the facade of the house).

**E.** Other common house types are 2-bay and 3-bay single-family houses.

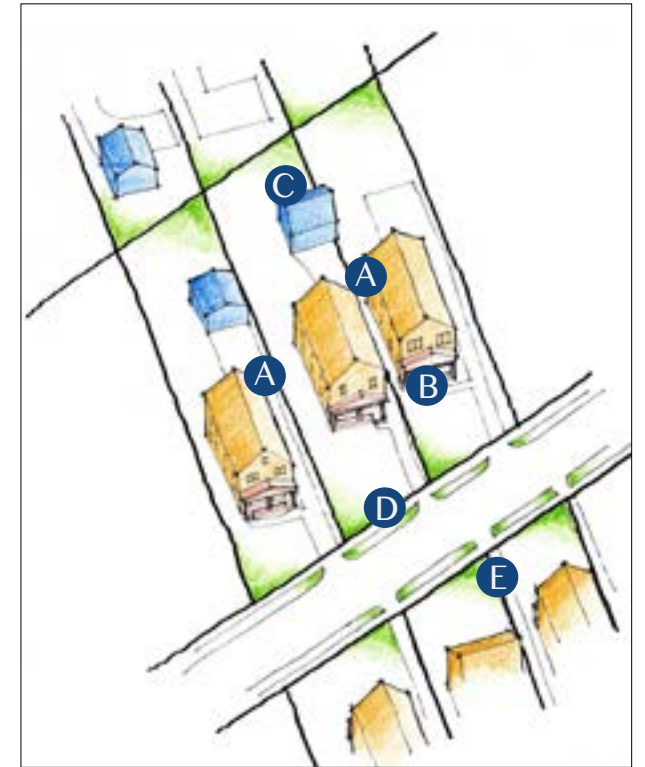
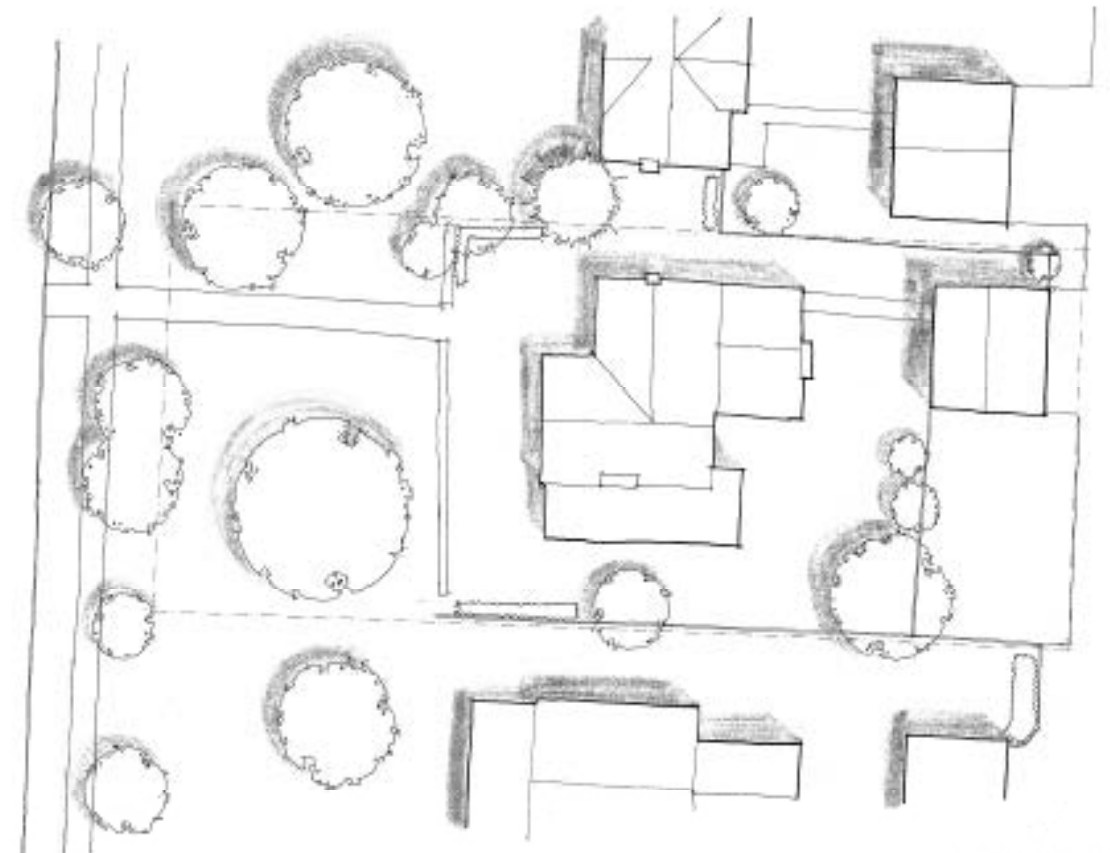


Figure 7. Street aerial.



# BEXLEY PLAZA / EASTLAWN / LIVINGSTON HEIGHTS

## NEIGHBORHOOD HISTORY

For the area east of Pleasant Ridge and south of E Main, many smaller subdivisions were developed off of E Livingston Avenue, again utilizing a system of alleys. These also served as access to individual garages in lieu of a driveway, which enabled using a smaller, 40-ft lot width, as opposed to 50 ft. This area comprises a variety of distinctive neighborhoods including Pleasant Ridge / Francis Avenue and Havenwood Park.

The blocks generally run north-south and are uniform in size, with no continuous internal east-west street that connects to College Avenue. Pleasant Ridge and Francis are the longest blocks in all of Bexley. Lots are smaller and narrower than those in Ardmore North and South, creating a more continuous building facade and a tighter, more compact streetscape. This area also has many more front porches that animate the street than Ardmore North and South.

Similarly to Ardmore North and South, the development and character of this area were heavily impacted by the Great Depression. Beginning in the 1920s, development of this area moved in a west-to-east direction, fed from both Main St southward and Livingston Avenue northward. However, within ten years the Depression brought new housing to a near standstill, leaving scattered undeveloped infill lots to the west and a much larger number of undeveloped lots to the

east. To the west, frame and masonry houses along streets such as Euclaire, S Cassingham, and Montrose reflect more traditional styles such as Tudor, Dutch colonial, or cottage designs. In general, the larger houses tend to be in the west of this area. Conversely, the most easterly streets such as Chelsea and Grandon reflect much later house styles, such as smaller, two-story, center-hall (similar to those found in N Roosevelt) and 1½-story Cape Cod houses, which also can be found on infill lots to the west. In addition, the frequency of front porches decreases from west to east. Another distinction between west and east development in Bexley Plaza / Eastlawn / Livingston Heights is the use of stone as an accent material on newer houses, as opposed to the more numerous traditional frame houses as seen to the west.

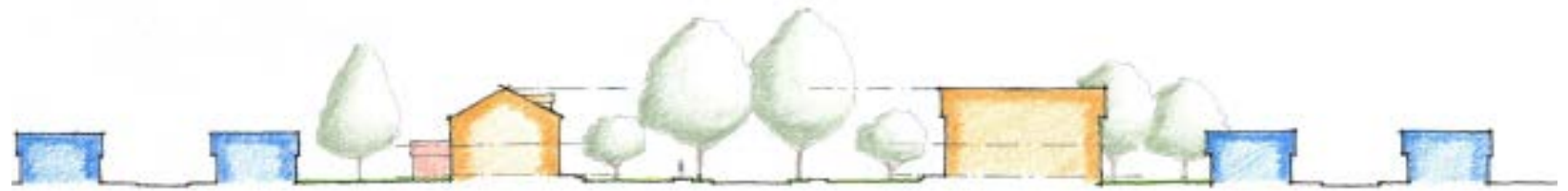


Figure 8. Typical street section.



Figure 9. Typical cross-street section. Note that the house on the left has an entry on the cross-street and the house on the right has a side addition (potentially a side porch) facing

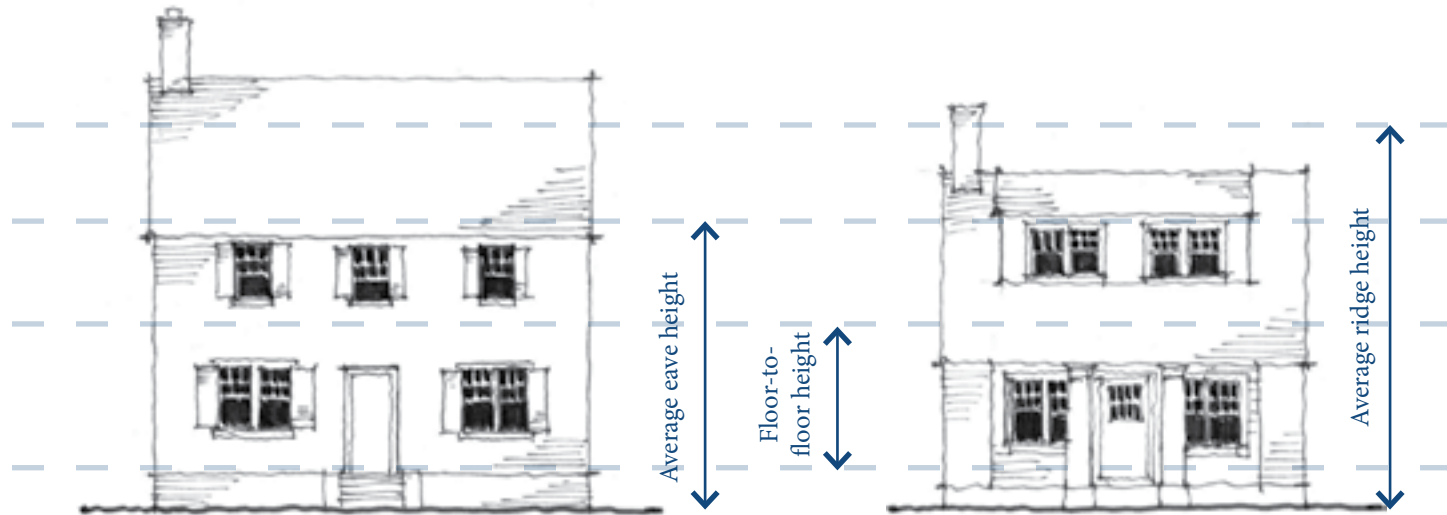




# BEXLEY PLAZA / EASTLAWN / LIVINGSTON HEIGHTS, CONT.

Due to the relatively small lot sizes, houses in Bexley Plaza / Eastlawn / Livingston Heights tend to be on a small scale: 2- or 3-bay houses, symmetrical or asymmetrical. Porches are very common in this area, from small (covering only the front door) to large (extending across the facade). They tend to be more concentrated on the west side of this area, such as Euclaire Avenue. Other house styles in this neighborhood include ranch houses and Cape Cods (featured in the Pleasant Ridge / Francis Avenue section) as well

as Tudors (featured in the Livingston Heights Tudors section). Note that while a bungalow may appear smaller than other houses, its first floor level, floor-to-floor height, and its second-floor eave height are still similar to those of a 2-story, 3-bay house. Its lower ridge height is due to the characteristic roof of a bungalow, which has its main eave on the first floor and has a lower roof slope compared to other house styles.



The drawing to the right shows a typical lot. Characteristics of note include the small scale of the house, the presence of a front porch, and a detached garage with entry from the alley behind. Both the street trees and the yard trees tend to be mature trees with large canopies. South Roosevelt Avenue has a wider planter than other streets, and its street trees are larger with wide canopies.



Figure 10. Sample lot.

**A.** The most common house type in this neighborhood is a 2- or 3-bay house, symmetrical or asymmetrical.

**B.** Porches are very common in this neighborhood.

**C.** Garages in this neighborhood tend to be detached, with access from the alleys.

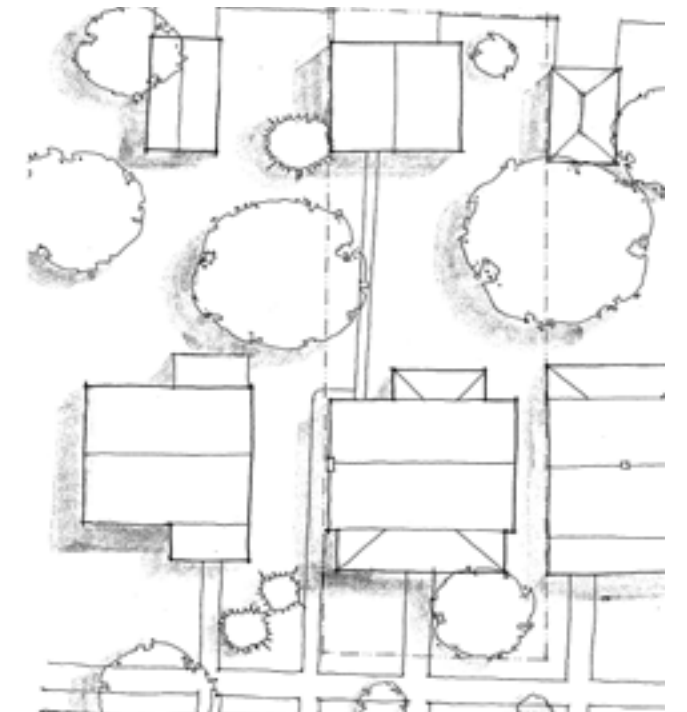
**D.** In Bexley Plaza and Eastlawn, the most common lot size is 40 feet wide by 135 feet deep; in Livingston Heights, it is 50 feet wide by 135 feet deep. Neither lot width is likely to allow for side additions. Setbacks vary from 35 to 55 feet from the edge of the street.

**E.** Other house types found in this neighborhood include bungalows, ranch houses, Cape Cods, and Tudors.

**F.** Corner lots are the same size as other lots. Some houses on corner lots have entries or side porches that face the cross-street. Corner lot garages tend to have entries from the cross-street instead of from the alley. Corner lots may be able to accommodate side additions instead of rear additions.



Figure 11. Street aerial.



# PLEASANT RIDGE & FRANCIS AVENUE

## NEIGHBORHOOD HISTORY

The development of both Pleasant Ridge and Francis Avenues has in large part been shaped by the physical evolution of the Capital University campus. From its 50 acre original campus acquisition in 1885, Capital University has since acquired over 100 properties in completing its current campus. For many years, housing along the two northern blocks of Pleasant Ridge was considered "faculty row", occupied by the faculty and staff of the university. Over time, the university continued its southerly expansion and acquired these houses. Francis Avenue and the southern extension of Pleasant Ridge occurred in the 1940's which required a resubdivision of properties to create Francis as a new street. Along Pleasant Ridge three lots south of Astor, housing styles change dramatically from traditional style frame houses to more modern frame and stucco ranches and two story houses to the south. Francis Avenue, Bexley's longest street between intersecting streets, contains dominantly frame 1 1/2 story houses on larger lots with many that also benefit from being elevated up from the street due to the area's rolling topography.



Figure 12. Pleasant Ridge Avenue section. Note the large tree canopies in front yards.



Figure 13. Francis Avenue section.. Note the grade change and the alley on the right (east).



# PLEASANT RIDGE & FRANCIS AVENUE, CONT.

- A.** The characteristic house types of this special character zone are ranch houses and Cape Cods.
- B.** Porches are not as common here as in other neighborhoods.
- C.** Garages tend to be detached, though there are examples of attached garages, especially in ranch houses. Entry is usually from a front driveway. Garages on the east side of Francis Avenue are accessed via an alley.
- D.** Lot widths vary widely, with the most common widths falling between 50 and 60 feet. The most common lot depth is 150 feet; lots on Francis Avenue tend to be deeper. Setbacks vary widely, averaging 60 feet from the street edge.
- E.** Other common house types include the 2- and 3-bay houses seen throughout Bexley Plaza and Livingston Heights.



Figure 14. Street aerial.

The drawing to the left shows a typical lot. Characteristics of note include the mature front-yard trees and the lot width, which varies between lots but is on average larger than the 40- and 50-foot lot widths in the rest of Bexley Plaza / Eastlawn / Livingston Heights.

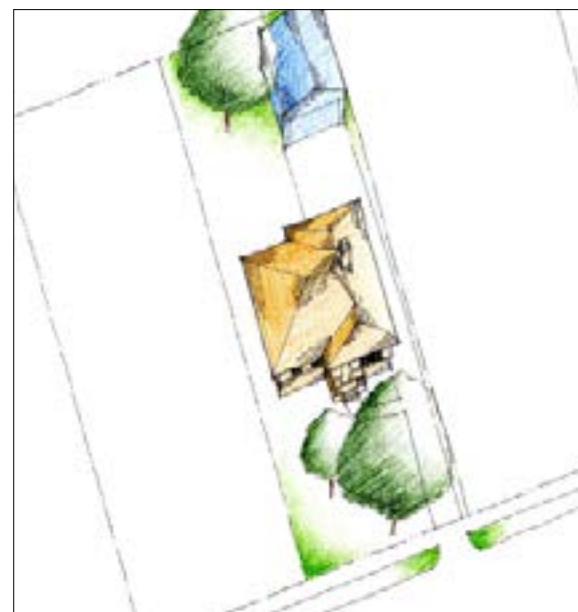


Figure 15. Sample lot.



Houses in this neighborhood reflect the later development of Pleasant Ridge / Francis Avenue, with the most common style being ranch houses. Note that the eave height and ridge height of a ranch house are similar to those of a Cape Cod, and that the floor-to-floor heights of

1½-story houses are still similar to those of a 2-story house. The ridge heights of the two houses to the right differ because the eave line of the ranch house is on the first floor.

# EUCLAIRE AVENUE PORCHES

## NEIGHBORHOOD HISTORY

In Bexley Plaza / Eastlawn / Livingston Heights, the frequency of front porches decreases from west to east. Houses on Euclaire and the first blocks of Montrose almost universally have porches, while the center-hall and Cape Cod houses further east generally do not.

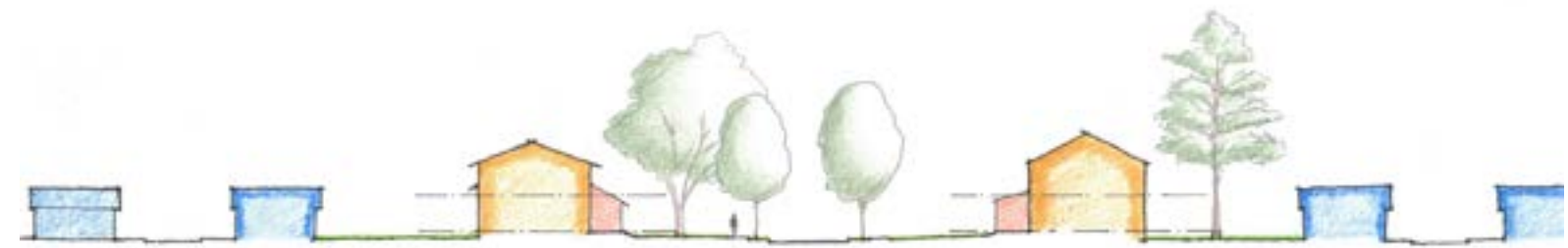
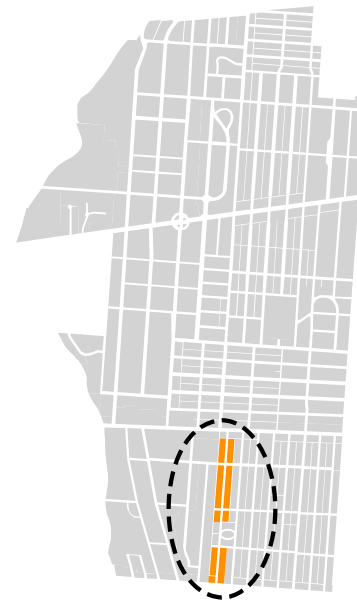


Figure 16. Street section. Note the relatively shallow setbacks, which appear even shallower because of the front porches.



# HAVENWOOD PARK

## NEIGHBORHOOD HISTORY

Originally called Bexley Plaza, Havenwood Park is a small ellipse of green space containing a large number of mature trees. It is bordered by two curving streets, Havenwood Drive North and Havenwood Drive South. The latter is a brick street. All of the houses that front the park have driveway access from rear alleys, and several of the houses on the north face of the park have richly detailed features such as leaded windows and stone and brick accents. These same houses have rich, ornate interior woodwork and detailing that add to their charm.



Figure 17. Section through Havenwood Park from north (left) to south (right).

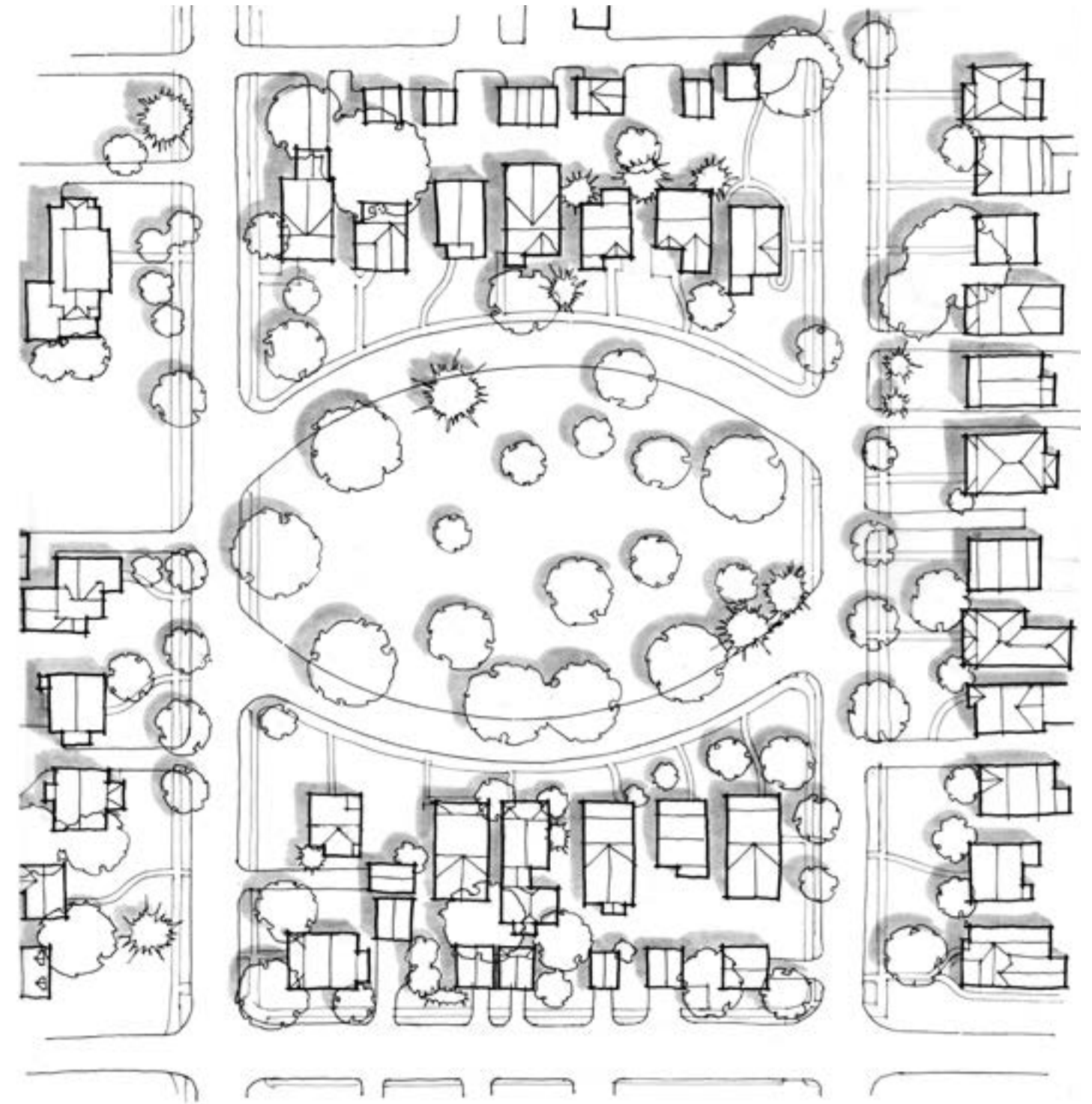
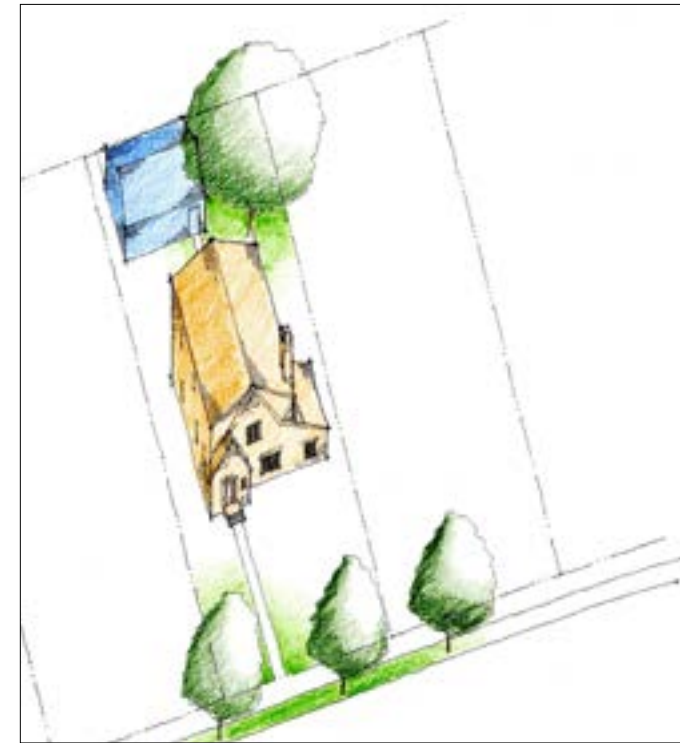


Figure 18. Plan of Havenwood Park.

# LIVINGSTON HEIGHTS TUDORS

## NEIGHBORHOOD HISTORY

The Tudor style is well represented in Bexley Plaza / Eastlawn / Livingston Heights, with the largest concentration along Montrose up from Livingston, including the celebration of corner lots along Charles with well-crafted Cotswold stone ranches and Tudor designs.



The drawing to the left shows a sample lot. Characteristics of note include the 50-foot lot width and slightly larger average setback throughout Livingston Heights (as opposed to the 40-foot lot width and slightly smaller average setbacks in Bexley Plaza and Eastlawn).

Figure 19. Sample lot.



## LIVINGSTON HEIGHTS TUDORS, CONT.

A. Tudors are the characteristic house type of this special character zone.

B. Porches are common in this neighborhood.

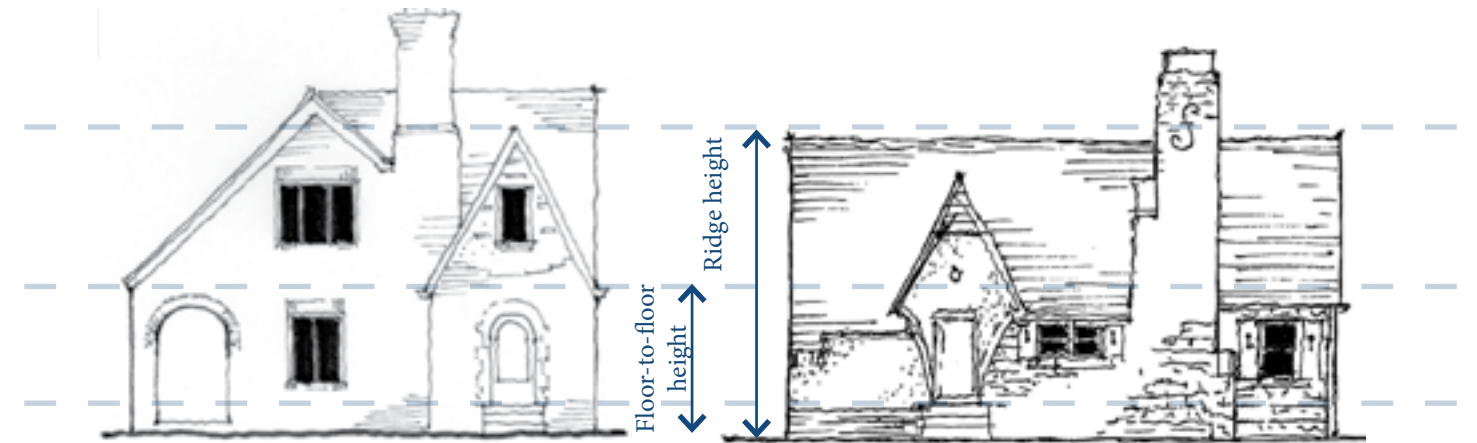
C. Garages tend to be detached, with entries from the alley.

D. The most common lot size is 50 feet wide and 135 feet deep (the same as the rest of Livingston Heights). The lot width may not allow for side additions. The average setback is approximately 50 feet from the street edge.

E. Other common house types include the 2- and 3-bay houses of the surrounding neighborhood.



Figure 20. Street aerial.



This neighborhood has a concentration of houses that reflect English design themes. Note that the ridge heights and floor-to-floor heights are similar (the house to the right has a half-story whose windows are on the sides).

# STANBERY

## NEIGHBORHOOD HISTORY

By the mid-1920s, single-family development spread across all parts of Bexley from north to south, and represented a much broader continuum of house prices to serve the burgeoning market. The Stanbery addition continued to serve the upper end of the market, and provided large lots for custom-designed houses. Carrying over the same attention to civic structure and English design themes, the Stanbery addition largely completed the demand for large, individually designed houses in Bexley.

Honor the original character of this area, which, like Bullitt Park, showcases individually designed houses on larger lots, a high degree of design consistency, a substantial character, use of rich materials, and design details.

Lot sizes in Stanbery are generally more uniform and smaller than in Bullitt Park, creating a more consistent contextual relationship. Rhythm between houses should be honored and preserved.

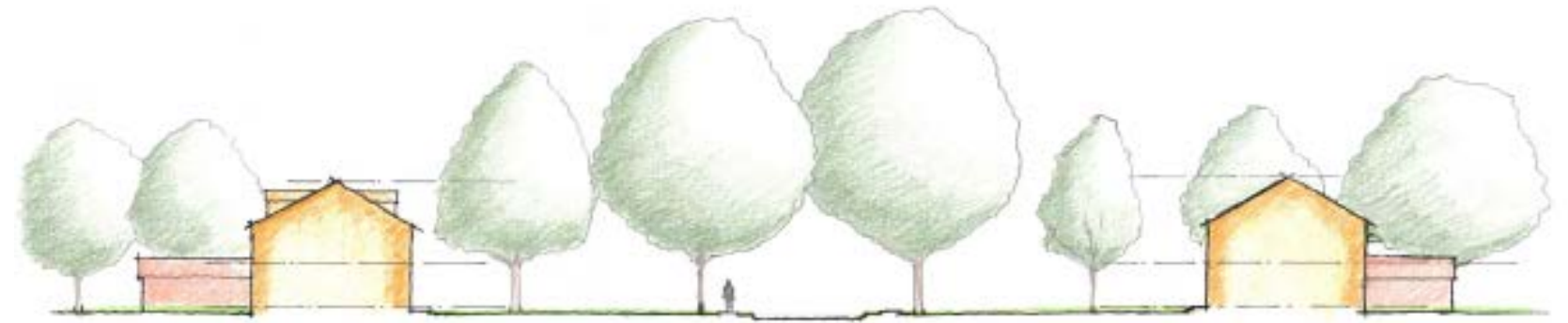


Figure 21. Typical street section. Note that the forest-like character of the street comes from mature trees in front yards (instead of from street trees, which are nonexistent due to the

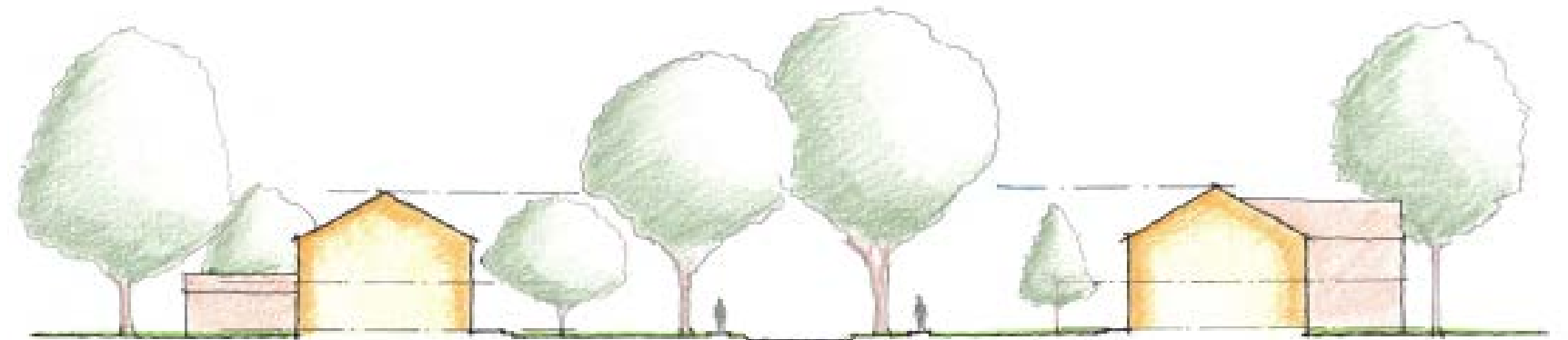


Figure 22. Ashbourne Place section. Note the shallower setbacks compared to the rest of the neighborhood.





# STANBERY, CONT.

The drawing to the left shows a sample lot. Characteristics of note include deep setbacks, wide lots with potential for side additions, and a front driveway. The example to the left shows a detached garage; however, attached garages are also very common.

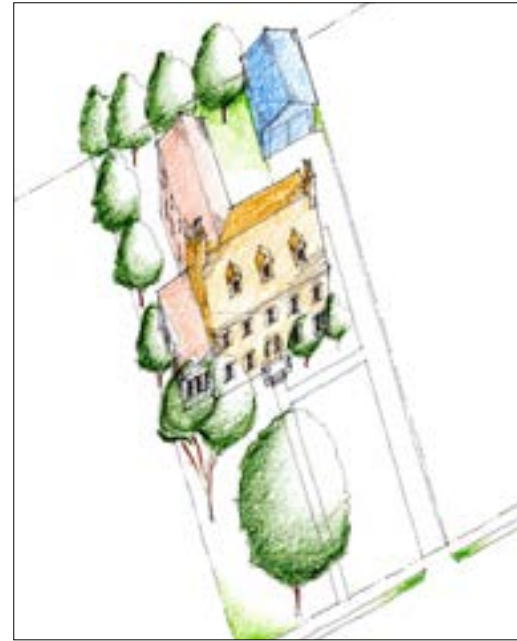


Figure 23. Sample lot.

Houses in this neighborhood reflect a variety of styles, from Georgian to Tudor. Note that even across styles, the floor-to-floor heights, eave heights, and ridge heights are similar.



A. Common house types include 5-bay houses (symmetrical or asymmetrical) and Tudor-style houses.

B. Porches are not as common here as in other neighborhoods.

C. Garages tend to be attached, though there are detached garages. Due to the absence of alleys, entry is from a front driveway (with the exception of some houses on Ashbourne Road, which have access to their garages from Cassady Avenue).

D. Lot sizes and setbacks vary, especially at Ashbourne Place. The most common lot has a width of 90 feet and a depth of 160 or 172 feet. The lot width may allow for side additions. Setbacks vary widely, averaging 75 feet from the street edge.

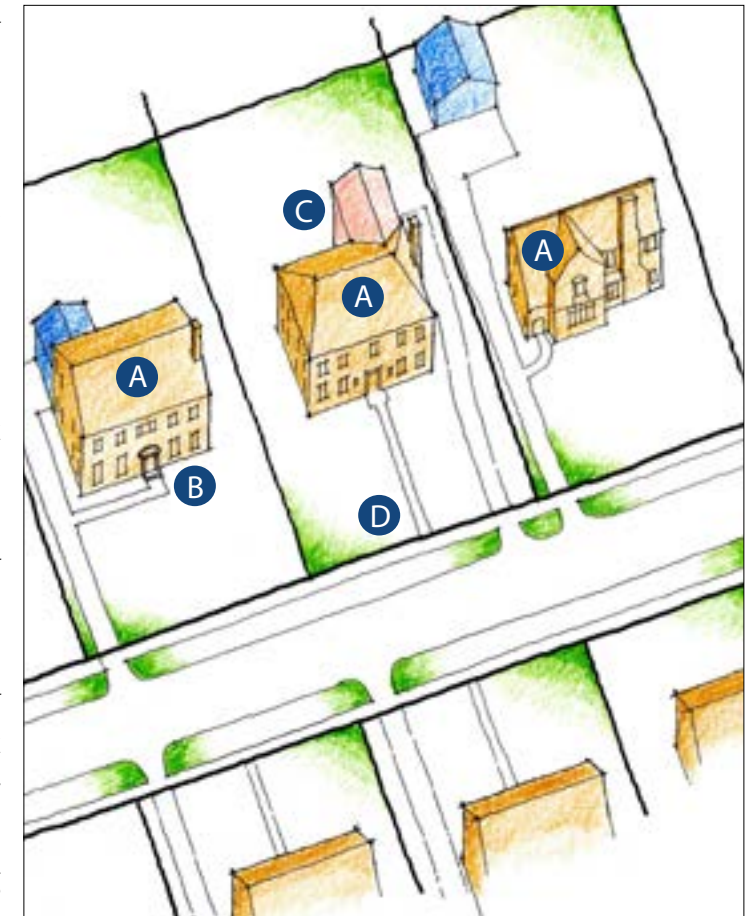


Figure 24. Street aerial.



# ARDMORE NORTH & SOUTH

## NEIGHBORHOOD HISTORY

As eastward development approached Cassady Avenue, a clear north-south line through north and Central Bexley. Housing dramatically changed from individually designed and built homes on large lots to builder-developed and designed homes on smaller lots. By the mid-1920s, the Broad St carriage lanes were removed, and, beginning eastward from Cassady Avenue, an alley system was put in place to provide appropriate spots for utility poles and trash pickup. Builder houses continued to provide a broad array of house styles that reflected traditional themes: cottages, Dutch colonial, Georgian center hall, Tudor variations, and others. The incorporation of front and side porches, sunrooms, detached garages, and single-car driveways became the norm. A uniform massing was achieved by uniform front and side yards and by the dominant two-story heights of the houses. As the larger lot areas transitioned to smaller, more uniform, narrower lot sizes, a more urban streetscape was created. A sense of shared front yard green space is established, creating a generally continuous building face, which in turn frames a shared civic space containing the street, tree lawns and street trees, and front yards. This feature is accentuated by long north-south block faces, creating a strong visual perspective north and south.

Unlike houses in Bullitt Park, whose

larger and wider front facades provide more area for design features unique to specific styles of architecture, houses in Ardmore North and South have smaller facades with less area available for such features. Facades are sometimes limited to celebrating the front door, a porch, window treatments, or a chimney on the front as opposed to the side.

In general, each street in Ardmore North and South has its own unique character and composition. Streets like S Ardmore and S Cassingham contain slightly larger houses with more use of 1920s-style details and more use of brick than wood frame construction. N Cassingham contains more Dutch colonial style homes, while N Roosevelt has rows of smaller, largely identical, two-story center-hall houses. Tudor-style houses with their dominant front-facing gables are more present in the western streets, while later eastern streets show more consistent use of stone accents, stucco, and brick on both two-story and ranch-style homes. The influence of generally larger houses along Fair Avenue also led to larger, more expensive houses on the first block north along intersecting streets in Ardmore South.



Figure 25. Typical street section.

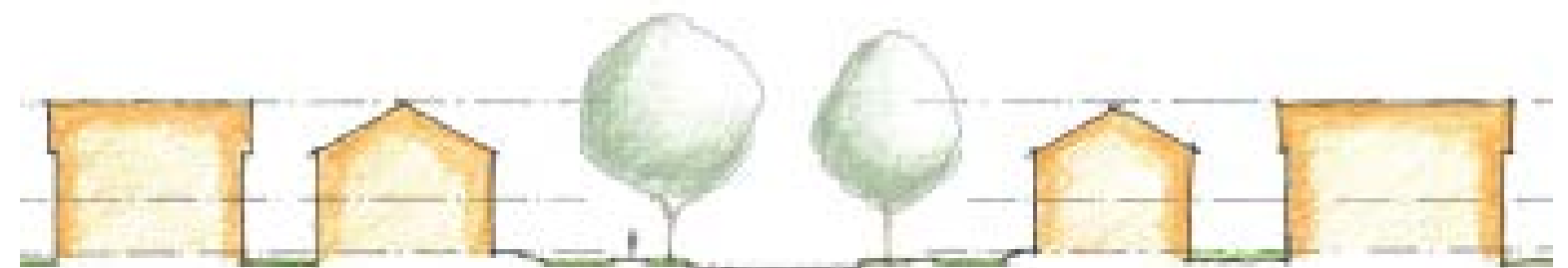


Figure 26. Cross-street section. Note that both houses shown have their front entries on the cross-street.

# ARDMORE NORTH & SOUTH, CONT.

The drawing to the left shows a typical lot. Characteristics of note include the setback, a lot width not likely to accommodate side additions, and a detached garage with access from the alley.

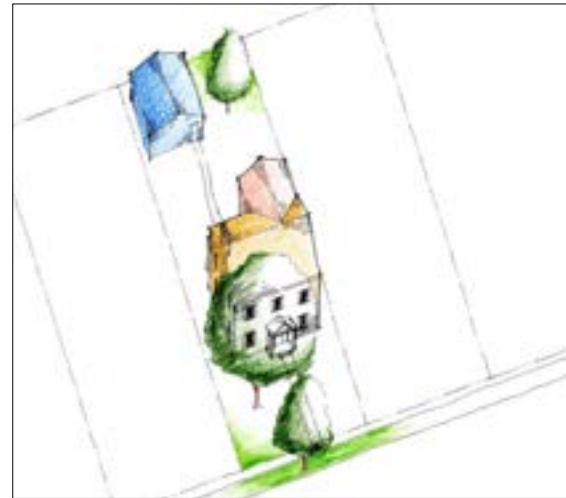
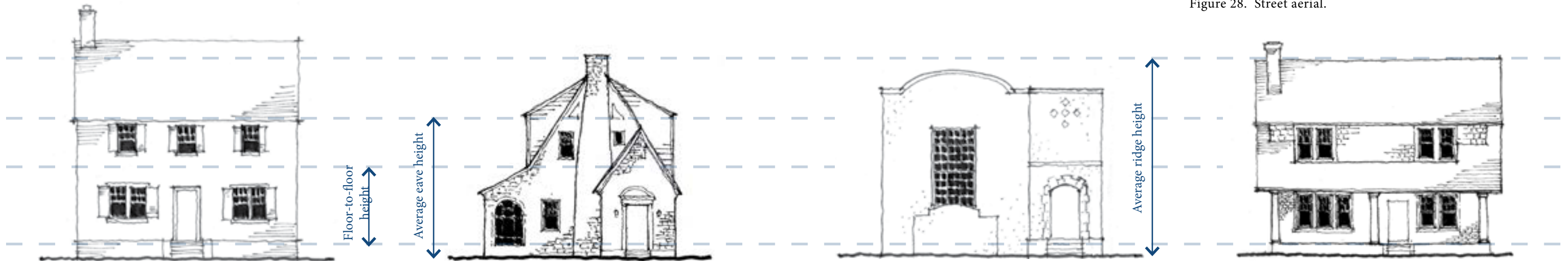


Figure 27. Typical lot.

- A. The most common house type is a 3-bay house (symmetrical or asymmetrical).
- B. Porches are common in this neighborhood.
- C. Garages tend to be detached, though there are attached garages. Access is from the alley. If there is no alley, access is from a front driveway.
- D. The most common lot is 50 feet wide and 142 feet deep. The average setback is approximately 65 feet from the street edge.
- E. Other common house types include large bungalows.
- F. Houses on corner lots may have front entries on the cross-street. Garages on corner lots tend to have entries on the cross-street instead of on the alley. Depending on the orientation of the house, corner lots may be able to accommodate side additions instead of rear additions.



Figure 28. Street aerial.



Houses in this neighborhood reflect a wide variety of styles at very similar scales. Across styles, the floor-to-floor heights, eave heights, and ridge heights are similar. Unlike houses in Bullitt Park, whose larger and wider front facades provide more area for design features unique to specific styles of architecture, houses in Ardmore North and South have smaller facades with less

area available for such features. Facades are sometimes limited to celebrating the front door, a porch, window treatments, or a chimney on the front as opposed to the side. In general, each street in Ardmore North and South has its own unique character and composition. Streets like S Ardmore and S Cassingham contain slightly larger

houses with more use of 1920s-style details and more use of brick than wood frame construction. N Cassingham contains more Dutch colonial style homes, while N Roosevelt has rows of smaller, largely identical, two-story center-hall houses. Tudor-style houses with their dominant front-facing gables are more present in the western streets, while later eastern streets

show more consistent use of stone accents, stucco, and brick on both two-story and ranch-style homes. The influence of generally larger houses that were constructed along Fair Avenue also led to larger, more expensive houses on the first block north along intersecting streets in Ardmore South.

# ARDMORE EAST-WEST STREETS

## NEIGHBORHOOD HISTORY

The drawing below shows a typical lot. Characteristics of note include the shallow setback (compared to the average setback of the rest of Ardmore) and a front driveway that may cross the property line (and may be shared with a neighboring lot).



Figure 29. Sample lot.



**A.** Common house types include 3-bay houses and their asymmetrical equivalents.

**B.** Porches are very common in this neighborhood.

**C.** Garages tend to be detached. Due to narrow lots and the absence of alleys, access is from a front driveway that may be shared with a neighboring lot.

**D.** Lot widths are fairly uniform at 50 feet. Lot depths vary from 122 feet to 135 feet. The average setback is approximately 45 feet from the street edge.

**E.** Other common house types include



Figure 30. Street aerial.

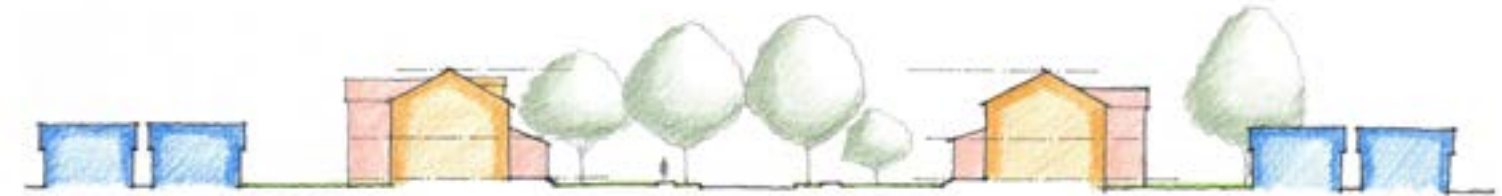
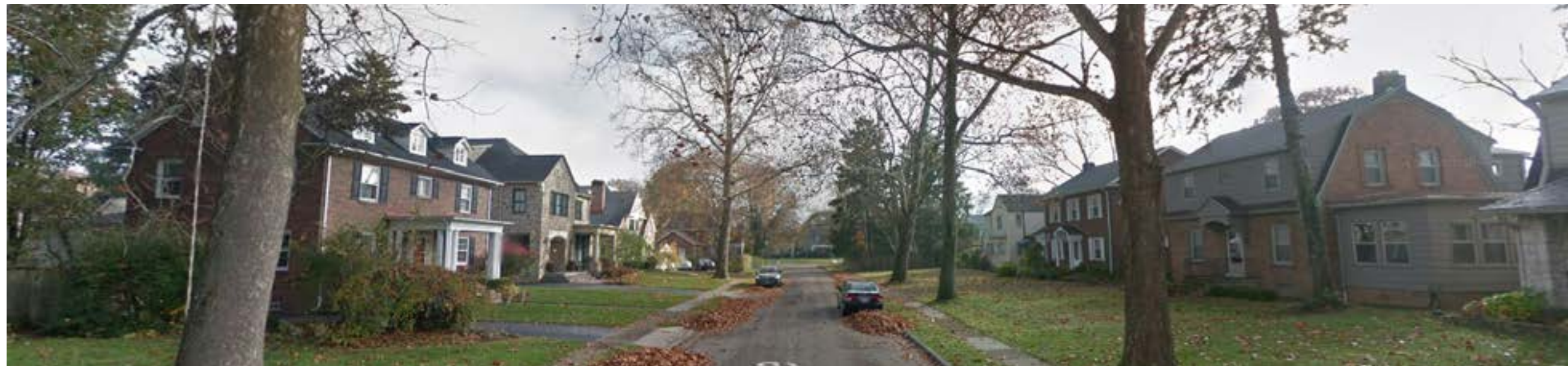


Figure 31. Typical street section. Note the porches, shallow setbacks, and overall compact arrangement.



# MERKLE ROAD STONEWORKS

## NEIGHBORHOOD HISTORY

The facade designs of Bexley houses have consistently utilized the use of stone, from Bexley's earliest development to its most current new home construction, reflecting its timeless appeal. Within all of Bexley's development areas, the most consistent use of stone can be seen on N Merkle, with 30 smaller Cape Cod style houses having partial or total stone facades. Together, these houses reflect a cohesiveness and uniformity which differentiates them from neighboring Cape Cod houses both on N Merkle and the streets further east in the City of Columbus.



# MERKLE ROAD STONEWORKS, CONT.

The drawing to the right shows a typical lot. Characteristics of note include the compact arrangement of elements, the shallower setback (compared to the rest of Ardmore), the garage oriented parallel to the street, and the front driveway due to the absence of alleys.

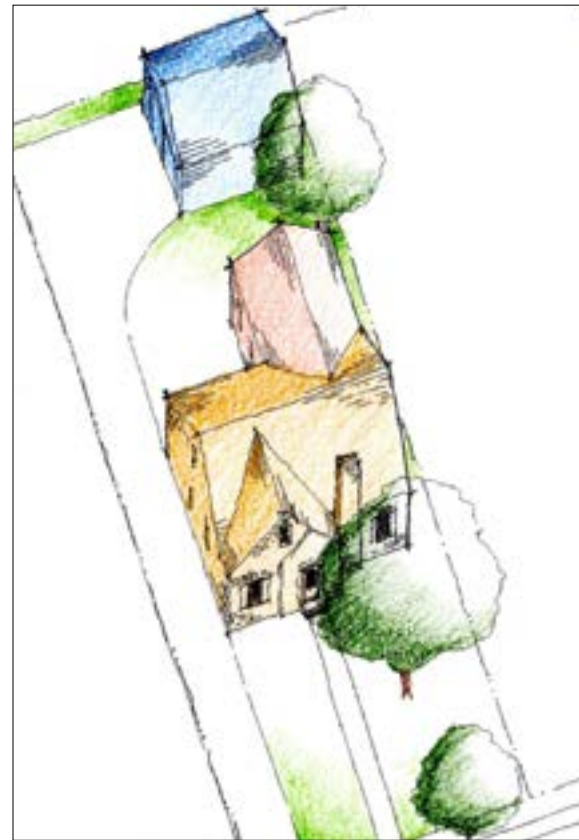


Figure 32. Typical lot.

- A.** The characteristic house type in this special character zone is a Cape Cod, symmetrical or asymmetrical.
- B.** Porches are not as common here as in other neighborhoods.
- C.** Garages tend to be detached. Due to the absence of alleys, access is from a front driveway.
- D.** The most common lot is 50 feet wide by 134 feet deep. The average setback is approximately 50 feet from the street edge.
- E.** Other common house types include 3-bay, 2-story houses.

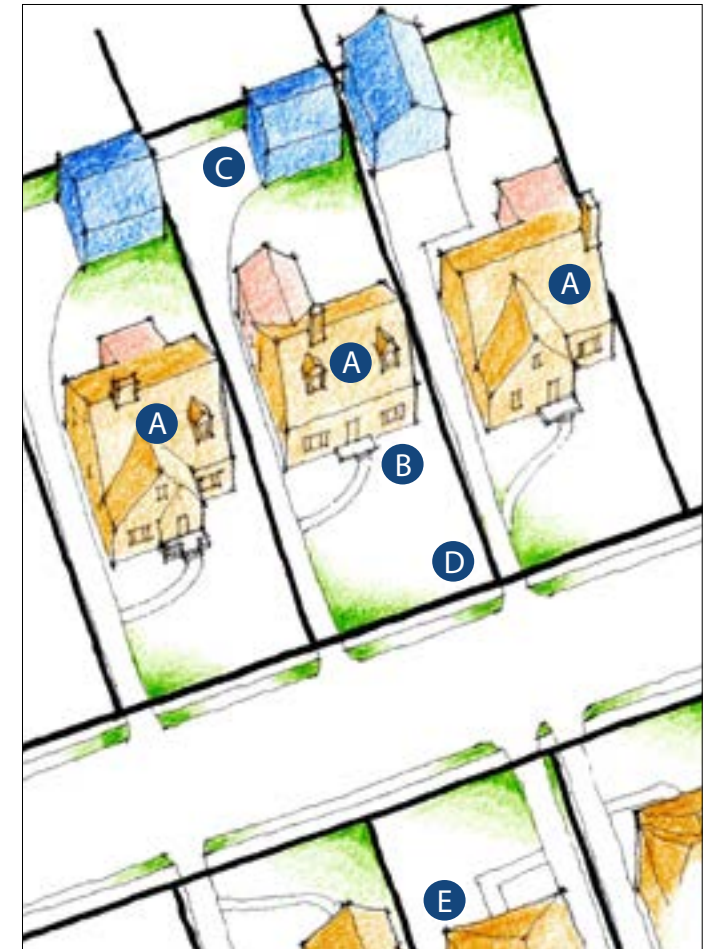


Figure 33. Street aerial.

Houses in this neighborhood are noted for their stone facades. The Cape Cods, the most common type, have only slight variations in composition, and as such have very similar floor-to-floor heights, eave heights, and ridge heights. Though not drawn, there are other house types in this neighborhood that have stone facades, such as ranch houses and post-war 3-bay houses.



# ARDMORE 1950'S

## NEIGHBORHOOD HISTORY

In the early 1930s, the Great Depression brought the housing boom of the 1920s to a standstill, leaving pockets of developed but vacant lots throughout Bexley, especially in Ardmore North and South, Bexley Plaza / Eastlawn / Livingston Heights, and Bellwood. As development moved from west to east, the number of unsold or undeveloped lots increased substantially, leaving in the west many individual lots for later infill, and in the east whole tracts of vacant ground. Not until the late 1940s and early 1950s did single-family development resume, notably at the eastern

edge of Bexley. Almost thirty years had passed, and housing preferences had shifted from more traditional, two-story houses with detached garages to more modern, one-story houses with attached garages. These newer house designs reflected the use of different materials, different roof shapes, more horizontal forms, and simplified details. Though they are concentrated on the east side of Ardmore North and South, houses built on more westerly infill lots also followed this trend.

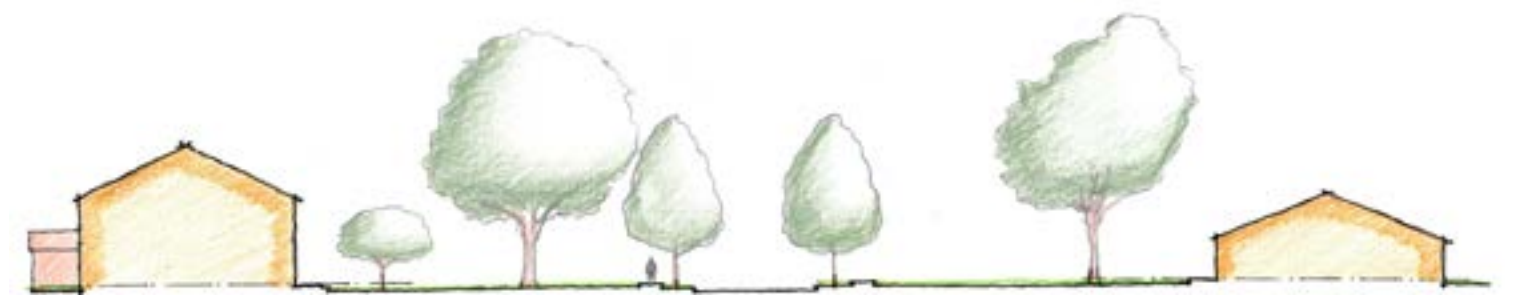


Figure 34. South Merkle Road section north of Powell.

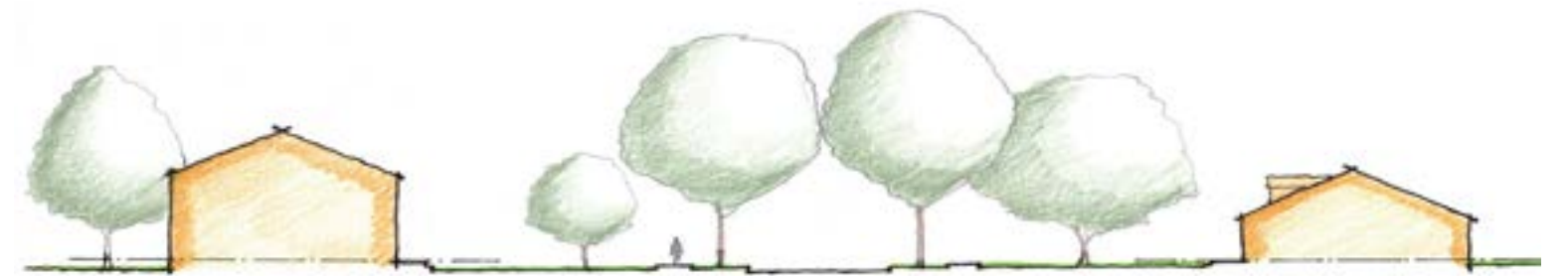


Figure 35. South Merkle Road section south of Powell. Note the shallower setbacks.



## ARDMORE 1950'S, CONT.

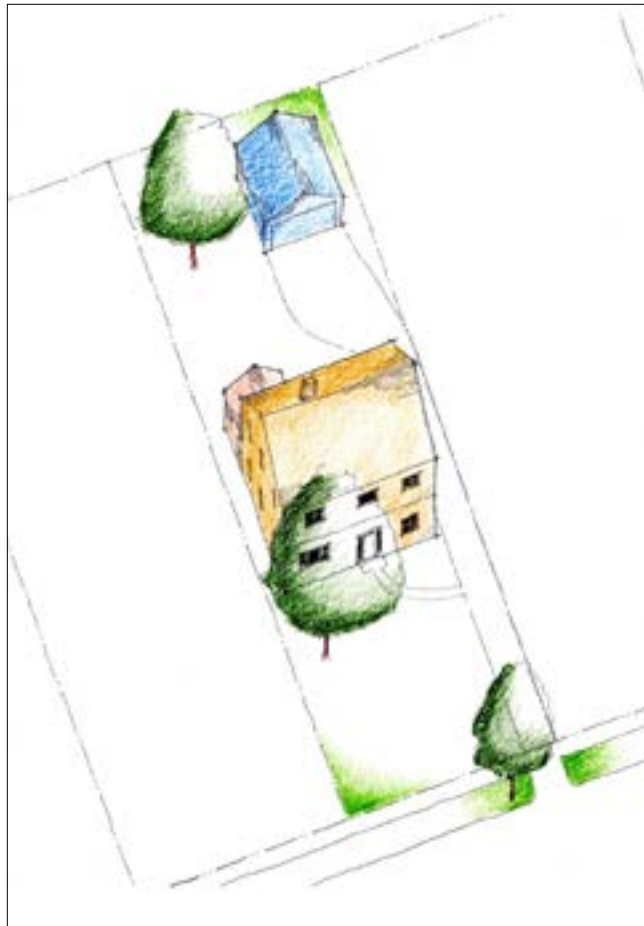


Figure 36. Sample lot.

The drawing to the left shows a sample lot. Characteristics of note include the relatively deep setback (compared to the rest of Ardmore) and the front driveway, present due to the absence of an alley.

Houses in this neighborhood reflect the later development of the east side of Bexley and tend to be one-story ranch houses or post-war 3-bay houses. These houses illustrate trends in post-war residential design: a greater emphasis on horizontality, wider windows, corner windows, hipped roofs instead of gable roofs, and simplified details. Floor-to-floor heights, eave heights, and ridge heights are not comparable across the two houses illustrated, but these heights in ranch houses tend to be similar, as do the heights in post-war 3-bay houses.



**A.** The characteristic house types of this special character zone are ranch houses and post-war 3-bay houses (which are wider and deeper than pre-war 3-bay houses).

**B.** Porches are not as common here as in other neighborhoods.

**C.** Garages tend to be attached, though there are detached garages. As there are no alleys, access is from a front driveway.

**D.** Lot sizes vary. Most lots have a width of 60 or 65 feet and a depth of 180 or 200 feet. The average setback is approximately 70 feet from the street edge; however, the setbacks of houses located south of Powell Street tend to be smaller than the setbacks of houses located north of Powell Street.

**E.** Other common house types include houses from the 1970s and later.

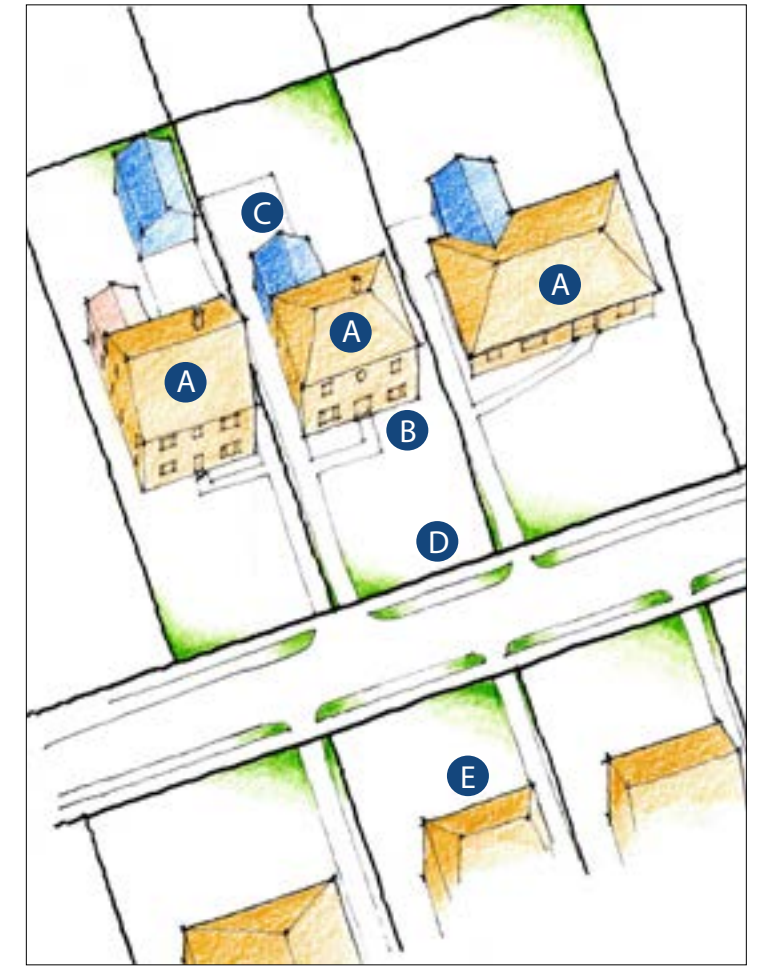


Figure 37. Street aerial.



# BEXLEY PARK / RUDOLPHS FAIRWOOD / BEXLEY HIGHLANDS

## NEIGHBORHOOD HISTORY

For the area east of Drexel and between Fair and E Main St, a design decision was made to break away from the standard north-south street grid and to establish an east-west street grid, and to establish special boulevard streets, hence the "Boulevard District." Cassady Avenue between Fair and Main was also originally a boulevard, but the median was later removed. The Boulevard District continued the use of alleys and provided a variety of lot widths to accommodate larger houses that did not fit on a standard 50-ft-wide lot. Many custom-designed,

unique houses are within this district. The Boulevard District contains generally uniform east-west block faces that are smaller in length, providing for more corner lots with larger yard areas. Unlike Ardmore North and South, the Boulevard District has a mix of lot sizes and widths, and contains an array of house sizes from estate-size to more traditional house sizes found in Ardmore North and South. The eastern end of the Boulevard District has larger block faces.



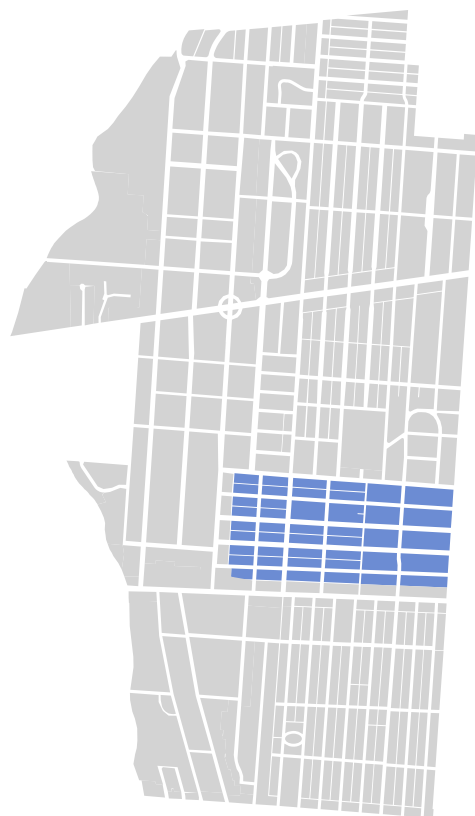
Figure 38. Typical street section. Note the trees that give the boulevards their character.



Figure 39. Typical cross-street section.



Figure 40. Street section without median. Note that the street trees have large canopies.



# BEXLEY PARK / RUDOLPHS FAIRWOOD / BEXLEY HIGHLANDS

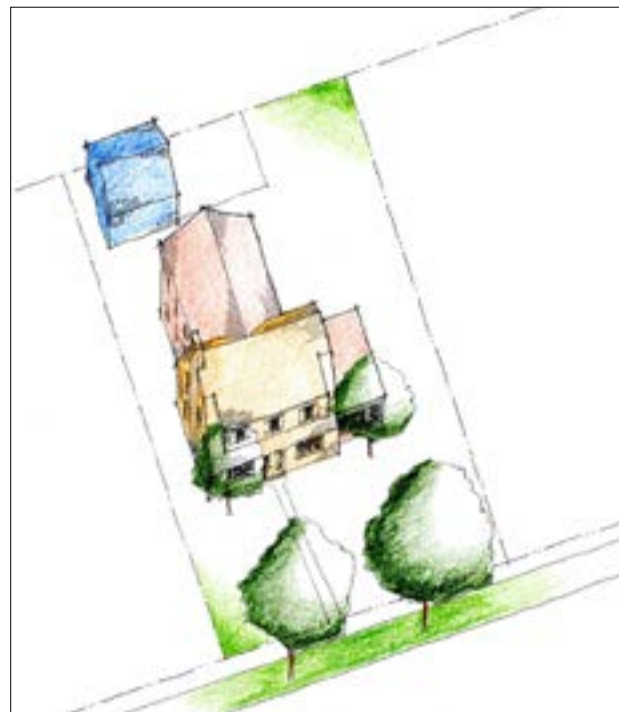


Figure 41. The drawing above shows a sample lot. Characteristics of note include a garage accessed from the alley (if present) and a lot width that may allow for side additions

Houses in this neighborhood reflect a wide variety of styles. Note that across house styles, the floor-to-floor heights, eave heights, and ridge heights are comparable. The Modernist house (second from the right) has a slightly lower

- A.** The most common house types are 3-bay houses (symmetrical or asymmetrical).
- B.** Porches are common in this neighborhood.
- C.** Garages tend to be detached. For lots that have alleys, access is from the alley. For lots that do not have alleys (see Figure 2), access is from a front driveway.
- D.** Lot widths range from 50 feet to 100 feet. Lot depths are an average of 140 feet. The average setback is approximately 70 feet from the street edge.
- E.** Other common house types include 5-bays (on larger lots only) and post-war 3-bays (mostly on the east side of the neighborhood).

**F.** Corner lots may be larger than other second-floor level due to the modern preference for lower ceilings, and the ridge height is not applicable, but its eave is still at a height comparable to the eaves of the more traditional houses.

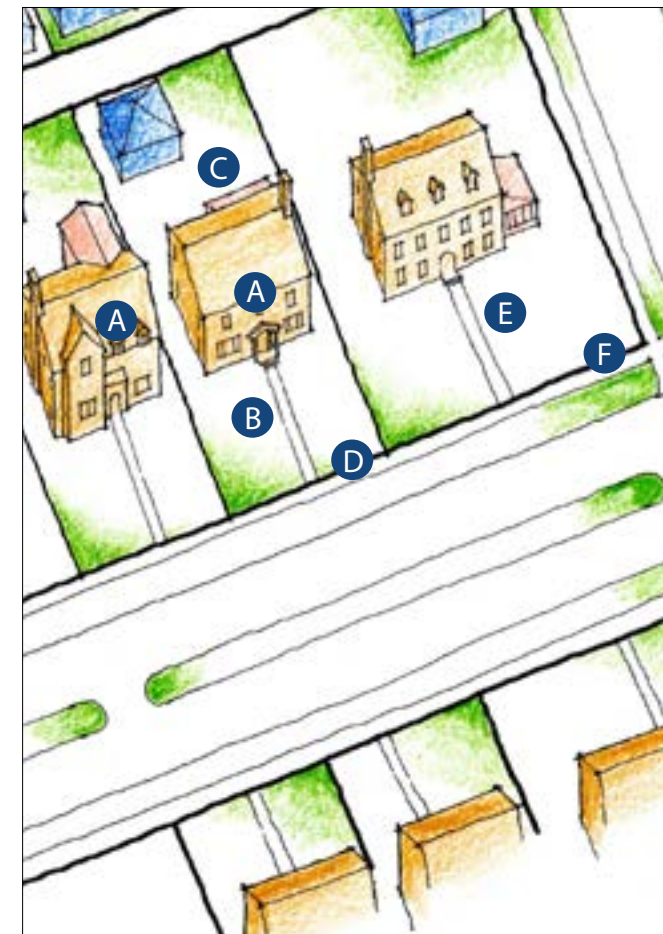


Figure 42. Street aerial with alleys.

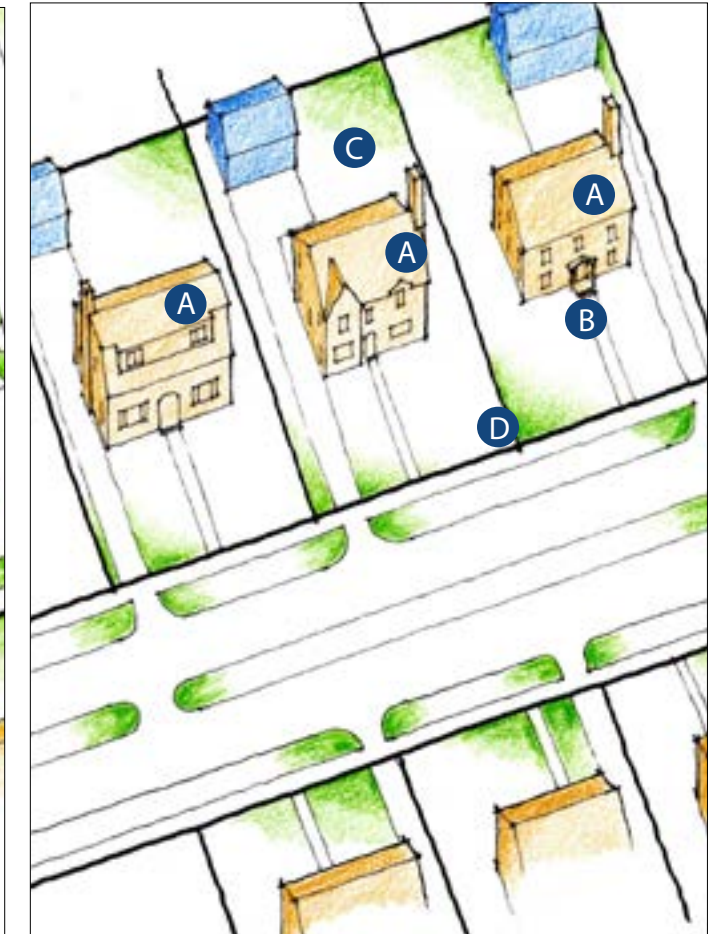
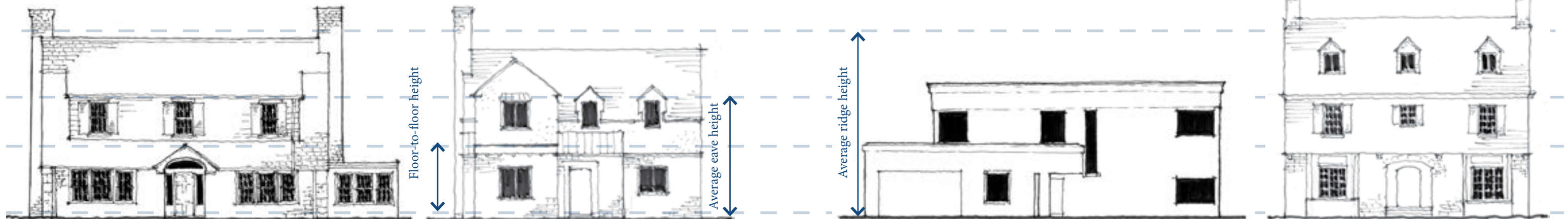


Figure 43. Street aerial without alleys.



# BELLWOOD

## NEIGHBORHOOD HISTORY

The postwar-era “baby boom” created a need for smaller, more inexpensive housing. The remaining undeveloped areas along the north edge of Bexley were then utilized for rows of Cape Cod and other smaller housing styles to meet this emergent need.

This district with its east-west grid, like Bexley Park / Rudolphs Fairwood / Bexley Highlands, is another deviation from Bexley’s dominant north-south grid. It provided frontage and access

for corner lots on N Cassady for multi-family and non-residential uses. In an area north of Caroline Avenue, a transition occurred between larger lots to the south to smaller lots to the north, as house sites developed nearer to the railroad tracks.

Honor the size and uniformity of the dominant Cape Cod style by avoiding oversized dormers or two-story additions.



Figure 44. Typical street section.



Figure 45. Cross-street section.



# BELLWOOD, CONT.

The drawing to the left shows a sample lot. Characteristics of note include the shallow setback and the compact arrangement of elements.



Figure 46. Sample lot.



Houses in this neighborhood reflect the need for smaller, more affordable housing after World War II. The Cape Cods are fairly uniform in style, though some may have more elaborate entry details

or porches that set them apart. Also of note are a few farmhouses, which reflect an older style of houses that preceded the Cape Cods.

- A.** The most common house types in this neighborhood are Cape Cods (asymmetrical and symmetrical).
- B.** Porches are common in this neighborhood.
- C.** Garages tend to be detached. Access is from the alley. Not all houses have a garage.
- D.** The most common lot size is 40 feet wide by 120 feet deep. The average setback is approximately 40 feet from the street edge.
- E.** Other common house types include farmhouses.
- F.** Corner lots are the same size as other lots on the block. Front entries tend to be on the front street rather than the cross-street. Regardless of the orientation of the front entry, access to the garage tends to be from the cross-street.



Figure 47. Street aerial.

# NEW BUILD GUIDELINES

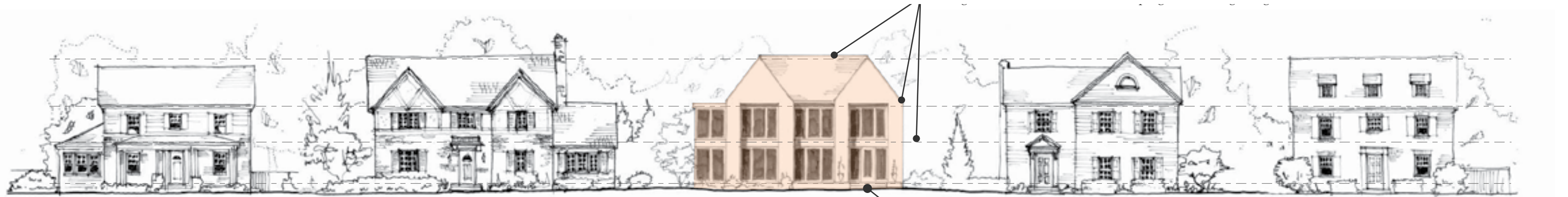


Figure 48. Typical street with proposed new build contemporary house.

Entry at same distance above grade as other houses

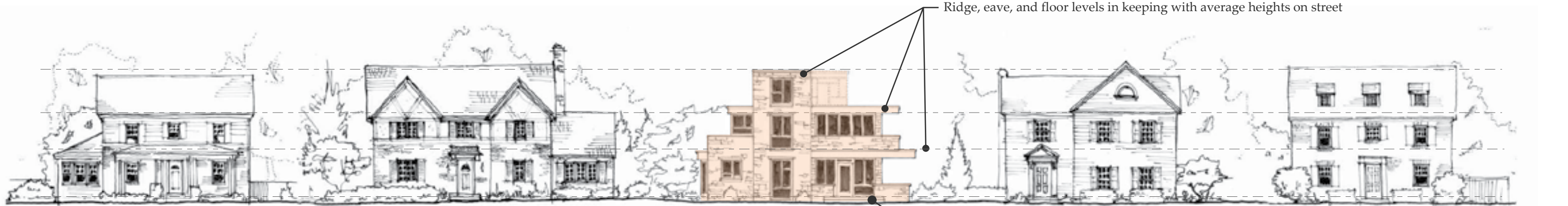


Figure 49. Typical street with proposed new build contemporary house.

Ridge, eave, and floor levels in keeping with average heights on street

Entry at same distance above grade as other houses

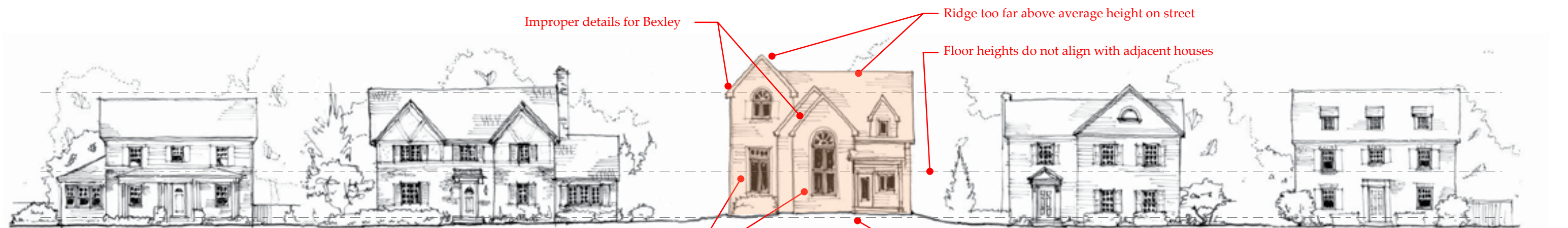


Figure 50. Typical street with improper new build house.

Improper details for Bexley

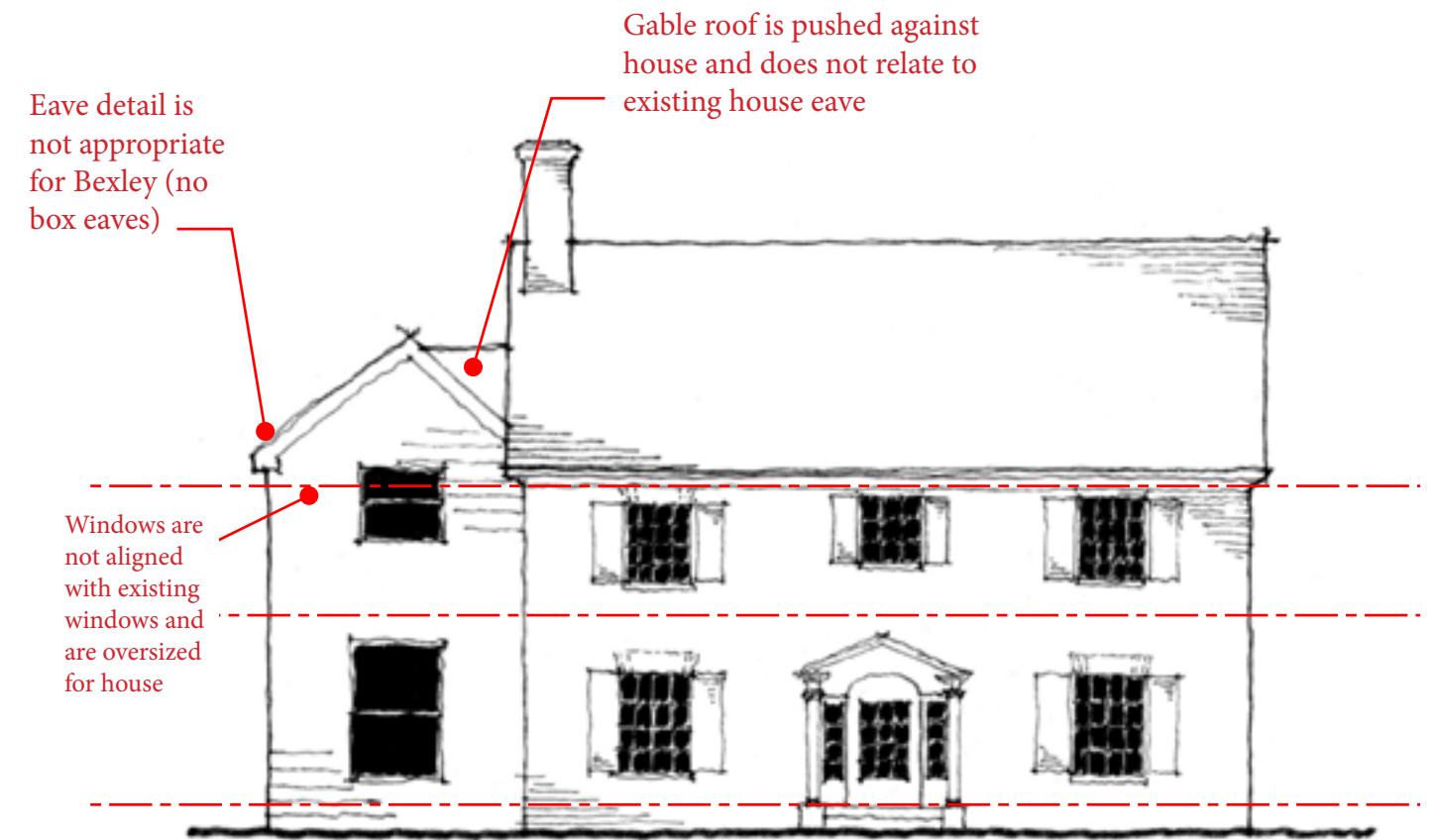
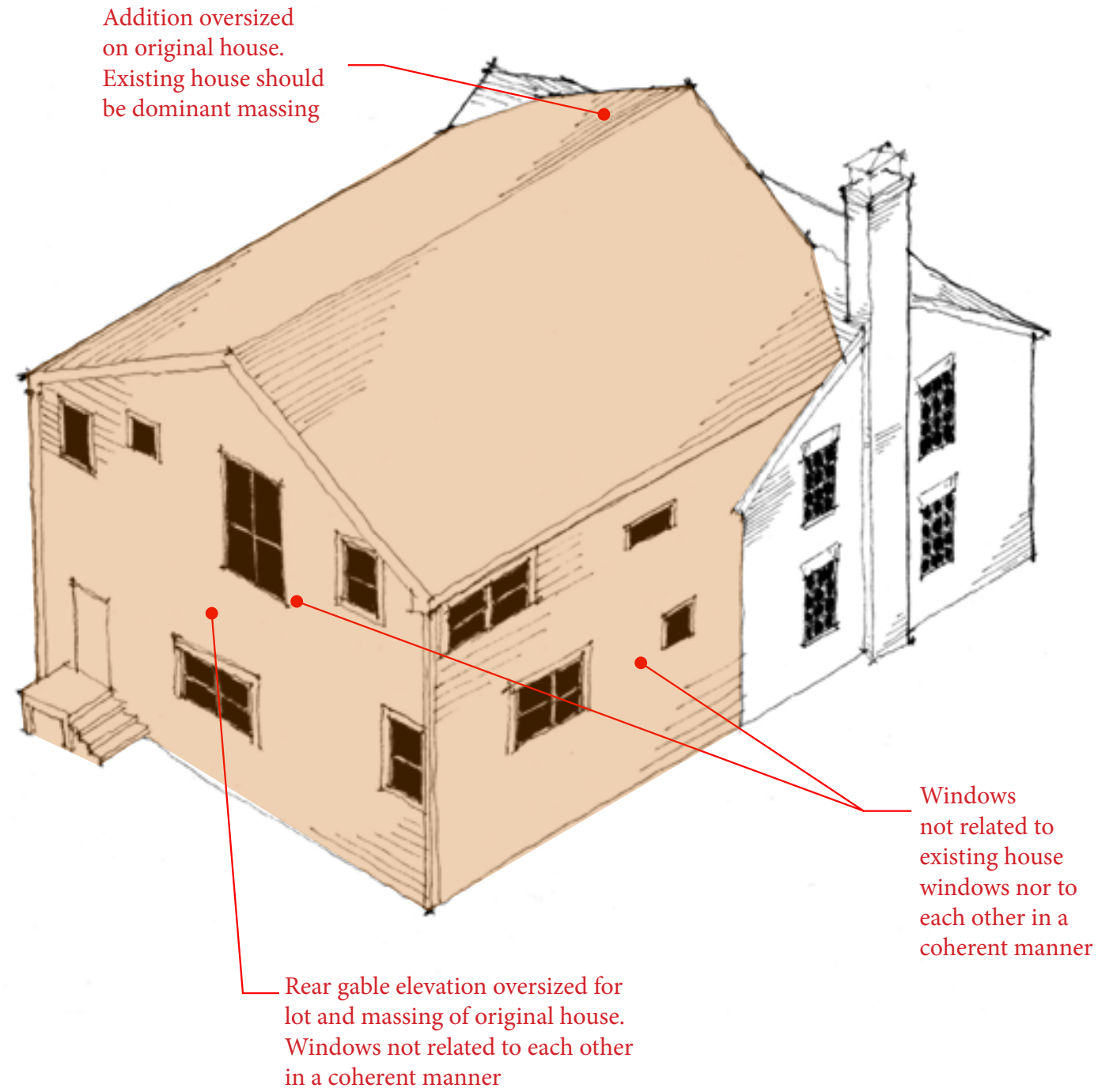
Ridge too far above average height on street

Floor heights do not align with adjacent houses

No clear hierarchy of massing or main entry

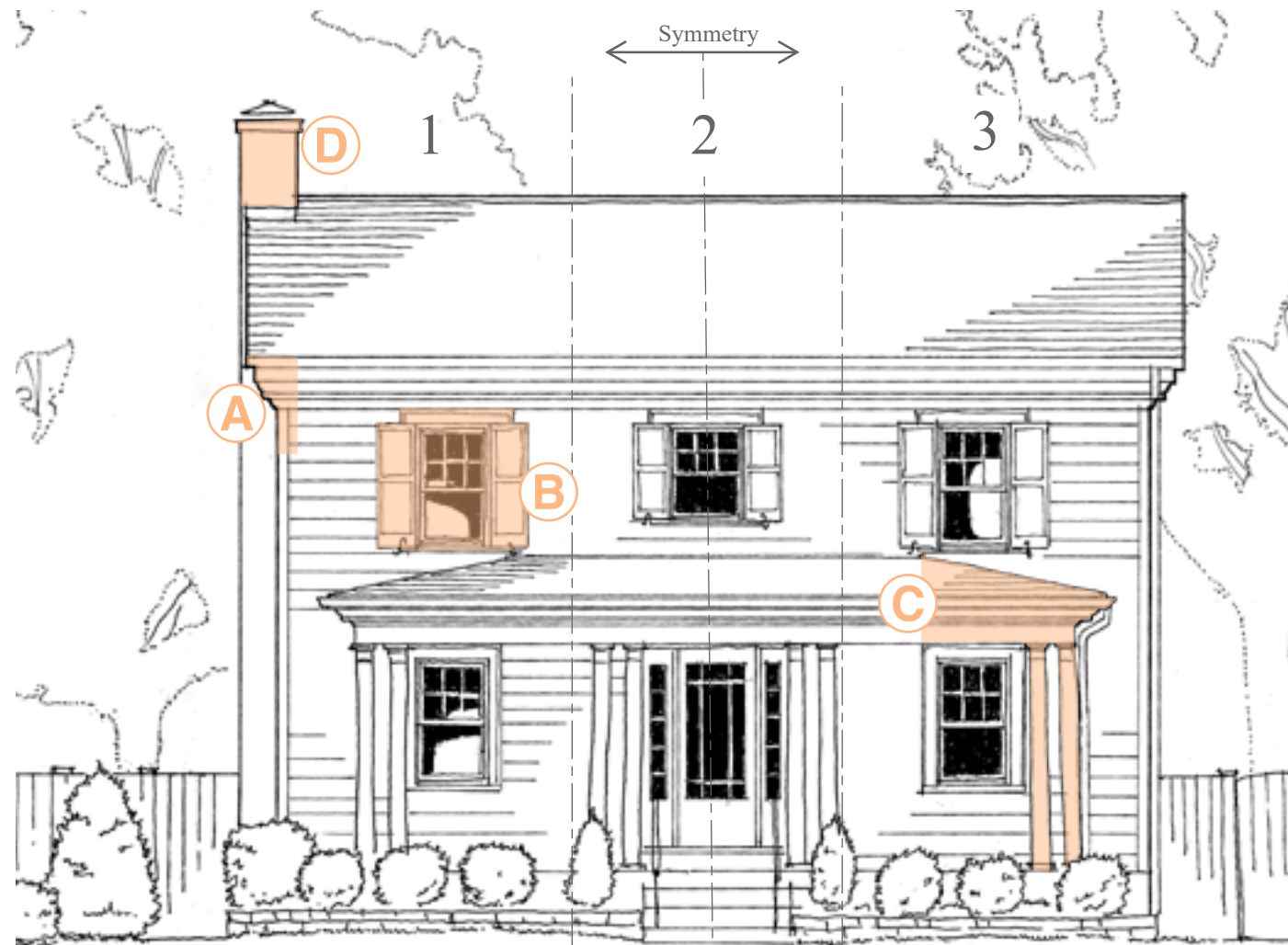
Grade raised inappropriately

# INAPPROPRIATE ADDITIONS



## HOUSE DETAILS: 3-BAY

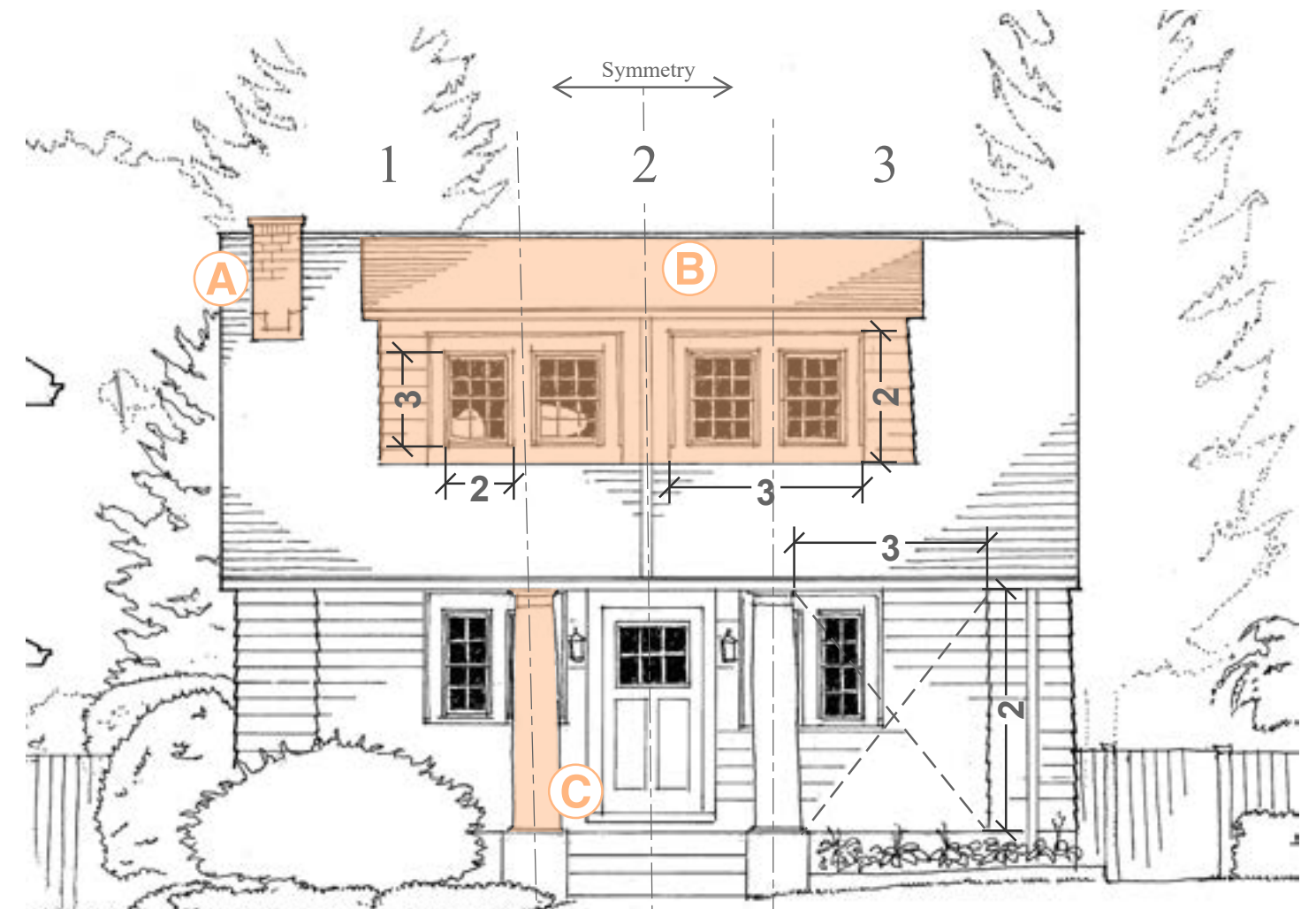
2-story, 3-bay house with clapboard siding, painted wood porch, and asphalt shingle roof. Note overall smaller scale compared to houses in other neighborhoods. Vegetation lines the front.



- A. EAVE:** The length of the main roof eave overhang is equivalent to the height of the fascia and the frieze board. For more information on eaves, see pages 90-95.
- B. WINDOW:** Note use of shutter dogs and alignment of shutters with window head and sill. The window lite/muntin configuration is 6 over 1. Lites have a vertical (2:3) proportion. Windows align with other architectural elements both horizontally and vertically. Windows do not have “picture frame” casings. Casing and sills align with clapboard siding. For more window details, see pages 104-109.
- C. PORCH:** The porch is raised, as is typical for the neighborhood. Attenuated columns are acceptable; paired columns provide more visual support for the porch roof than single attenuated columns do. For more porch details, see pages 96-103.
- D. CHIMNEY:** For chimney examples, see pages 70-71.

## HOUSE DETAILS: BUNGALOW

2-story, 3-bay house with clapboard siding, painted wood porch, and asphalt shingle roof. Note vegetation across the front. Note overall smaller scale compared to houses in other neighborhoods.



- A. CHIMNEY:** For more chimney examples, see pages 70-71.
- B. DORMER:** Shed dormer with two pairs of double-hung windows. Note that the proportion of the individual windows is 2:3 and the proportion of the window pairings is 3:2. Each window has a 6-over-6 lite/muntin pattern. The shed roof meets the main roof at or below the ridge. For more window and dormer details, see pages 110-115.
- C. PORCH:** 2 round Tuscan porch columns. Note that the proportion of the porch openings between the columns and end piers is 2:3. For more porch and column details, see pages 96-103.

## HOUSE DETAILS: 3-BAY

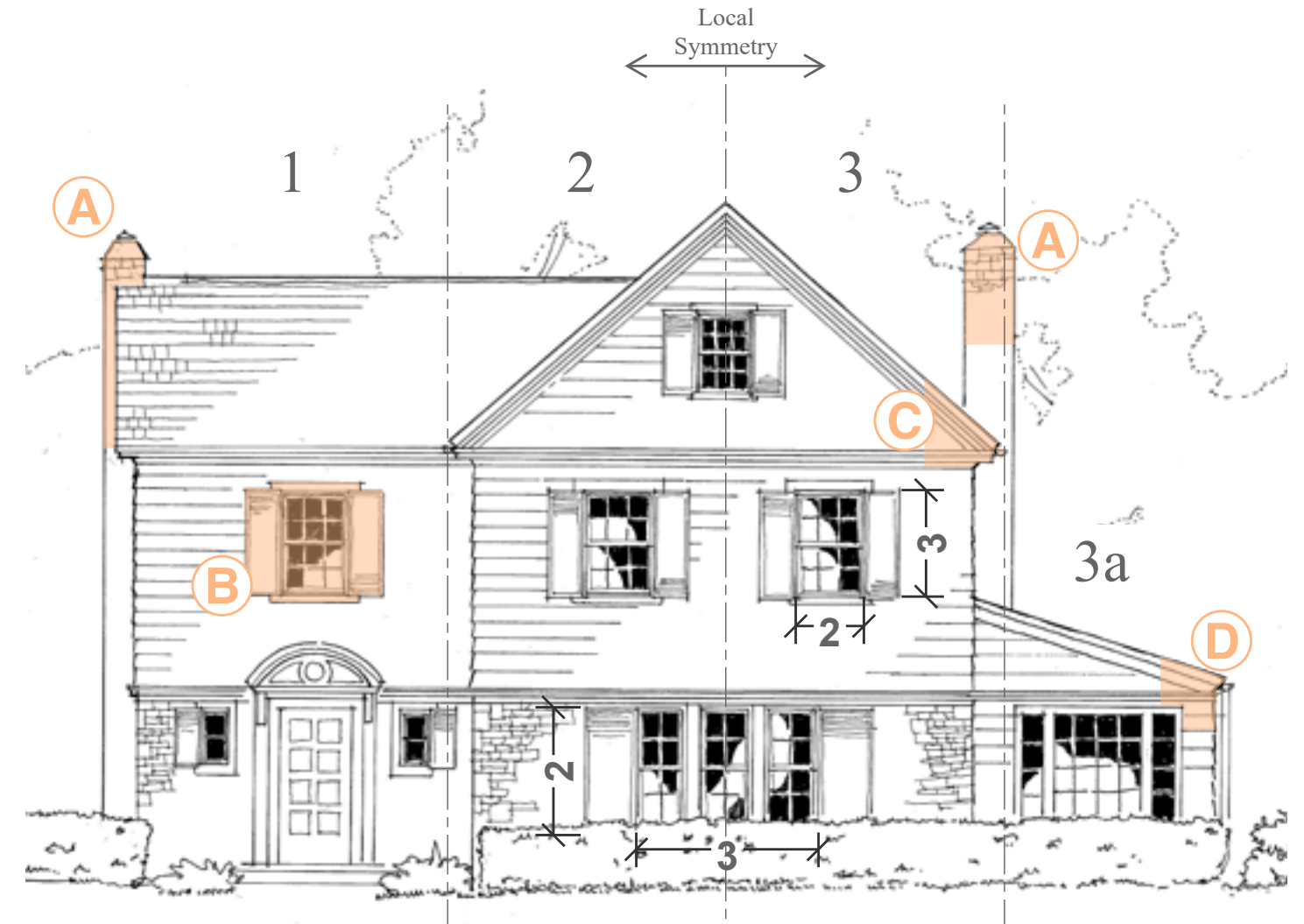
3-story, 3-bay house with brick veneer, painted wood porch, and asphalt shingle roof. Note that the windows and doors maintain horizontal and vertical alignment. Vegetation lines the front.



- A. CHIMNEY: For more chimney examples, see pages 70-71.
- B. WINDOW: The top and bottom of the shutters align with those of the window opening. The width of each shutter is equal to half of the window. The lite/muntin configuration is 8 over 8. The example shows brick lintels and sills. For more window details, see pages 104-109.
- C. PORCH: Tuscan columns and entablature with low-slope roof. The extents of the porch align with the 3-bay division.
- D. Note that the dormers' double casement windows have the same proportion (2:3) as the windows below. The dormer roof pitch is less than 12:12. For more dormer details, see pages 110-115.

## HOUSE DETAILS: 3-BAY ASYMMETRICAL

3-story, 3-bay house with clapboard siding and slate roof. The overall composition is asymmetrical, but there is local symmetry. Note vegetation across the front.



- A. CHIMNEY: Provides a visual bookend for the composition. For more chimney examples, see pages 70-71.
- B. WINDOW: 6-over-6 lite/muntin configuration. The proportion of the windows is 2:3. The shutters are properly sized for the windows. Each window has a simple casing and sill, both of which align with the clapboard siding.
- C. EAVE: Pedimented gable.
- D. EAVE: Simple rake eave.



## HOUSE DETAILS: HAMILTON'S GARDENS / SHERIDAN PARK DUPLEX

3-story duplex. Clapboard siding with vertical corner trim.



A. EAVE: Note eave is deeper in this example. Boxed-out eaves are not used. For more eave details, see pages 90-95.

B. WINDOW: Casings have back band and sloped sill. No “picture frame” casing is used. Note similar proportions of second-floor windows to those on the third floor (even though third floor windows are smaller). For more window details, see pages 104-109.

C. PORCH: Tuscan order with three round columns. Note porch is raised above grade. The floor apron/skirt projects so as not to align with column bases or entablature above. Porch roof relates to the main roof by half. For more porch details, see pages 96-103.

## HOUSE DETAILS: 3-BAY CAPE COD

2-story Cape Cod with clapboard siding and asphalt shingle roof. Note the smaller scale compared to houses of other neighborhoods. Vegetation lines the front of the house.



A. DORMER: Double-hung windows with 6-over-6 lite/muntin pattern. The windows maintain the same proportion, 2:3, as the windows below. The dormer roof pitch has a slope less than 12:12. For more dormer details, see pages 110-115.

B. EAVE:

C. CHIMNEY: For more chimney examples, see pages 70-71.

## HOUSE DETAILS: 3-BAY ASYMMETRICAL

2-story, 3-bay house with stone veneer, stucco, and slate roof. The windows and doors are horizontally and vertically aligned across the facade except at the main entry. Note vegetation along the front.



A. EAVE:

B. DORMER: Large wall dormer with a gable end and a peaked roof. For more dormer details, see pages 110-115.

C. DORMER: Wall dormer with a shed roof. The proportion of the individual windows is 1:2.5.

D. EAVE:

E: CHIMNEY: For more chimney examples, see pages 70-71.

## HOUSE DETAILS: MODERNIST HOUSE

2-story house with a Modernist aesthetic. Asymmetry between parts 1 and 2 balances windows on the second floor with doors on the first. Floor levels and window heights relate to neighboring houses (not shown).

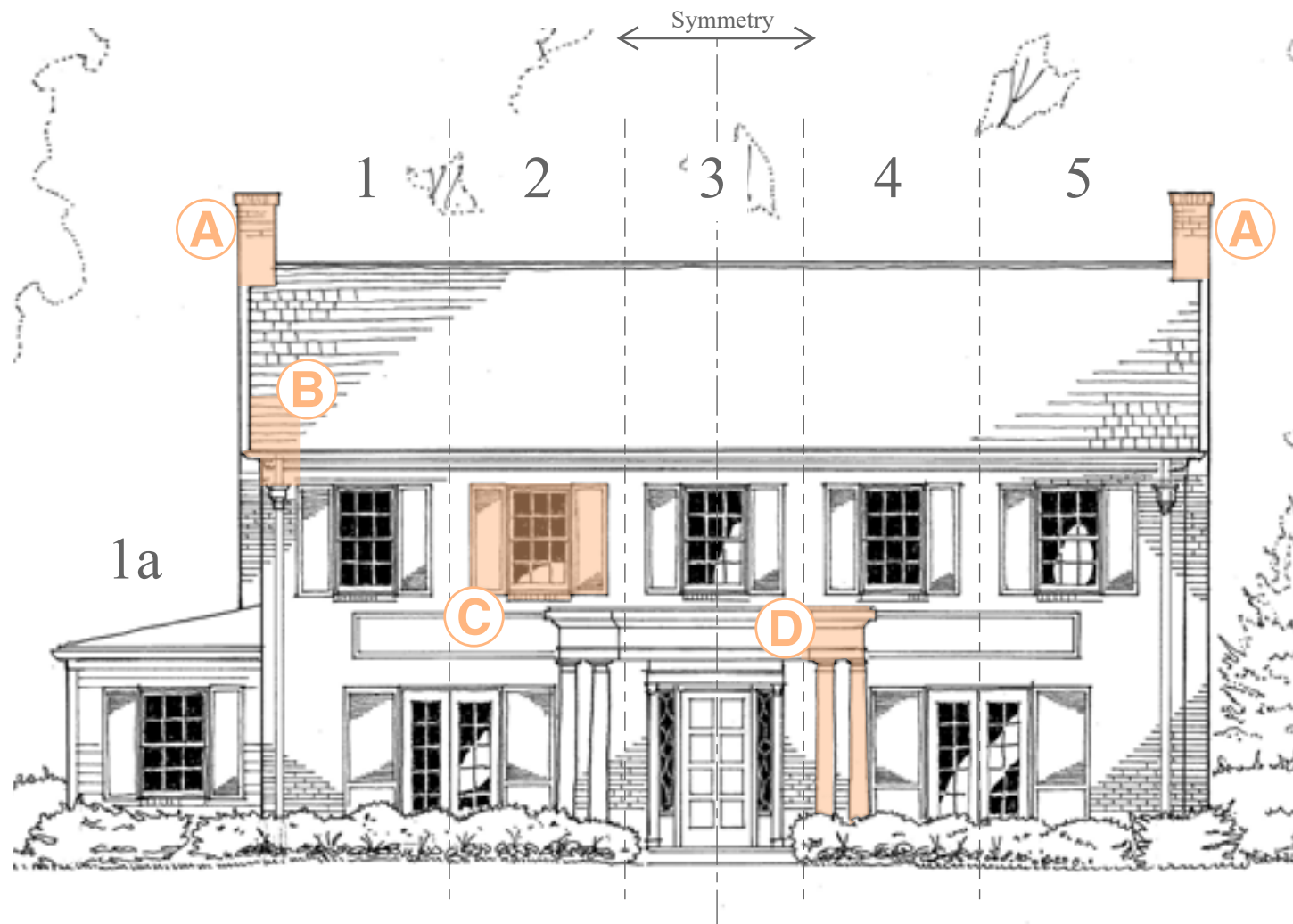


A. CHIMNEY: Provides visual termination for left side of composition. For more chimney examples, see pages 70-71.

B. WINDOWS: Window proportions are related across the house. Even the garage door lites keep a proportion of 2:3.

## HOUSE DETAILS: 5-BAY

2-story, 5-bay house with brick veneer and a painted wood porch. This example has copper gutters, leader heads, and downspouts. Windows and doors are horizontally and vertically aligned across the composition. Note vegetation along the front.



A. CHIMNEYS: Provide visual bookends for the composition. For more chimney examples, see pages 70-71.

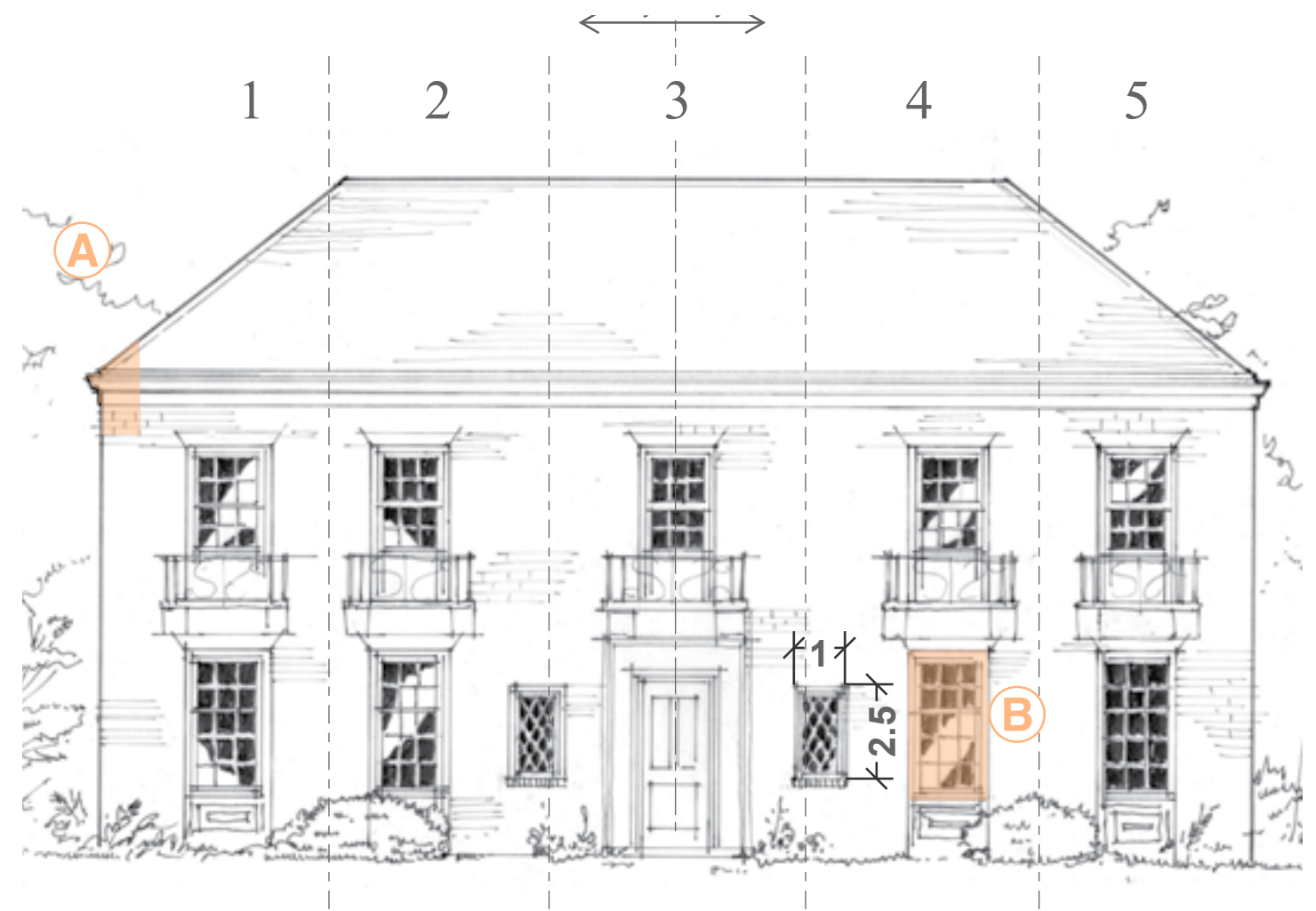
B. EAVE:

C. WINDOWS: 6-over-6 lite/muntin configuration. The proportion 2:3 is maintained even at the casement doors on the first floor. The top and bottom of the shutters align with the window opening. The shutter width is equal to half the window width.

D. PORCH: Attenuated columns. The first floor has a 3-bay division that relates to the 5-bay division of the second floor. Note that the width of the porch is one third of the width of the facade.

## HOUSE DETAILS: 5-BAY

2-story, 5-bay house with brick veneer and stone accents. Alignments of windows and doors are maintained horizontally and vertically across the composition. Note vegetation along the front.



A. EAVE: For more eave details, see pages 70-71.

B. WINDOW: 6-over-9 cottage-type lite/muntin pattern. The proportion, 1:2.5, is maintained at other window openings and recesses. For more window details, see pages 104-109.

# HOUSE DETAILS: 5-BAY ASYMMETRICAL

2- or 3-story estate house with five divisions. The veneer is stone with limestone detailing. This example has copper gutters, leader heads, and downspouts. Windows and doors are horizontally aligned across the composition. Note vegetation along the front.



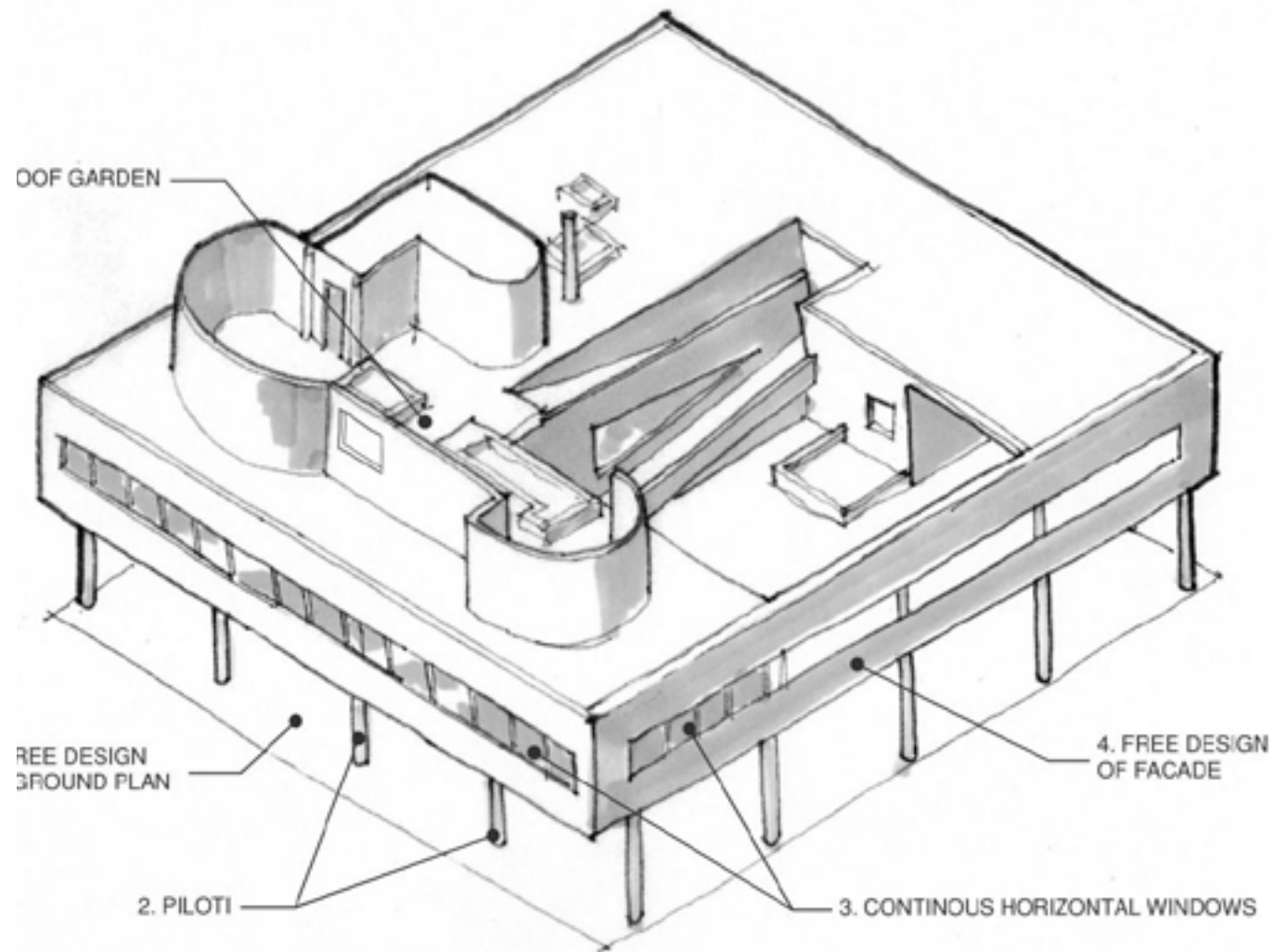
A. CHIMNEYS: Provide visual bookends for the composition. For more chimney examples, see pages 70-71.

B. DORMER: Stone wall dormer with slate roof. For more dormer details, see pages 110-115.

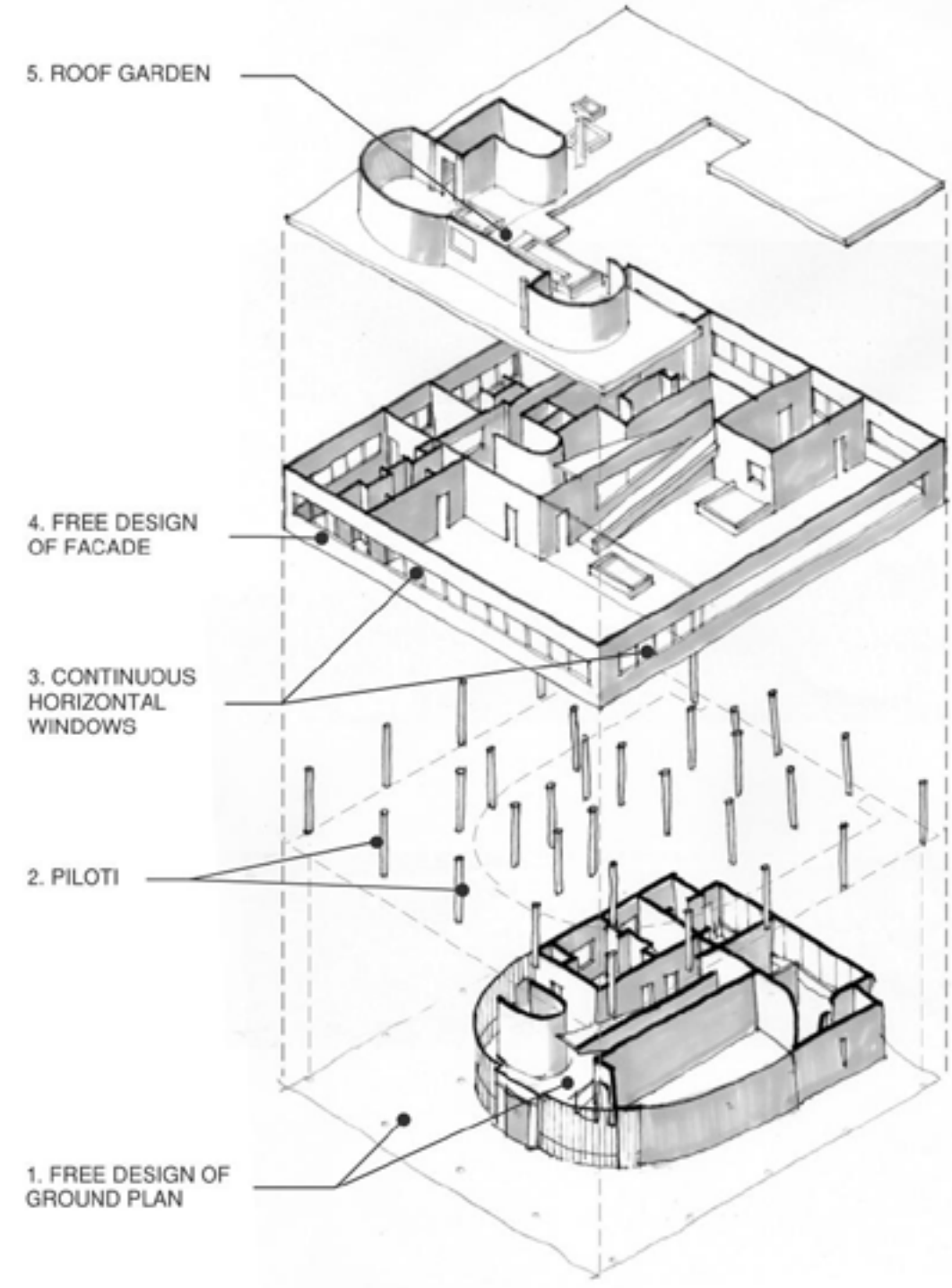
C. WINDOWS: The typical window on this house is a casement window with diamond lite pattern and limestone casing. The proportion of the windows, 1:2.5, is consistent across the house. This ratio creates a 2:3 proportion for paired windows.

# MODERN DETAILS

ARB GUIDELINES SUPPLEMENTAL ILLUSTRATIONS  
MODERNIST PRECEDENCE: VILLA SAVOYE, FRANCE, 1931  
WM HEYER ARCHITECT 8-24-22

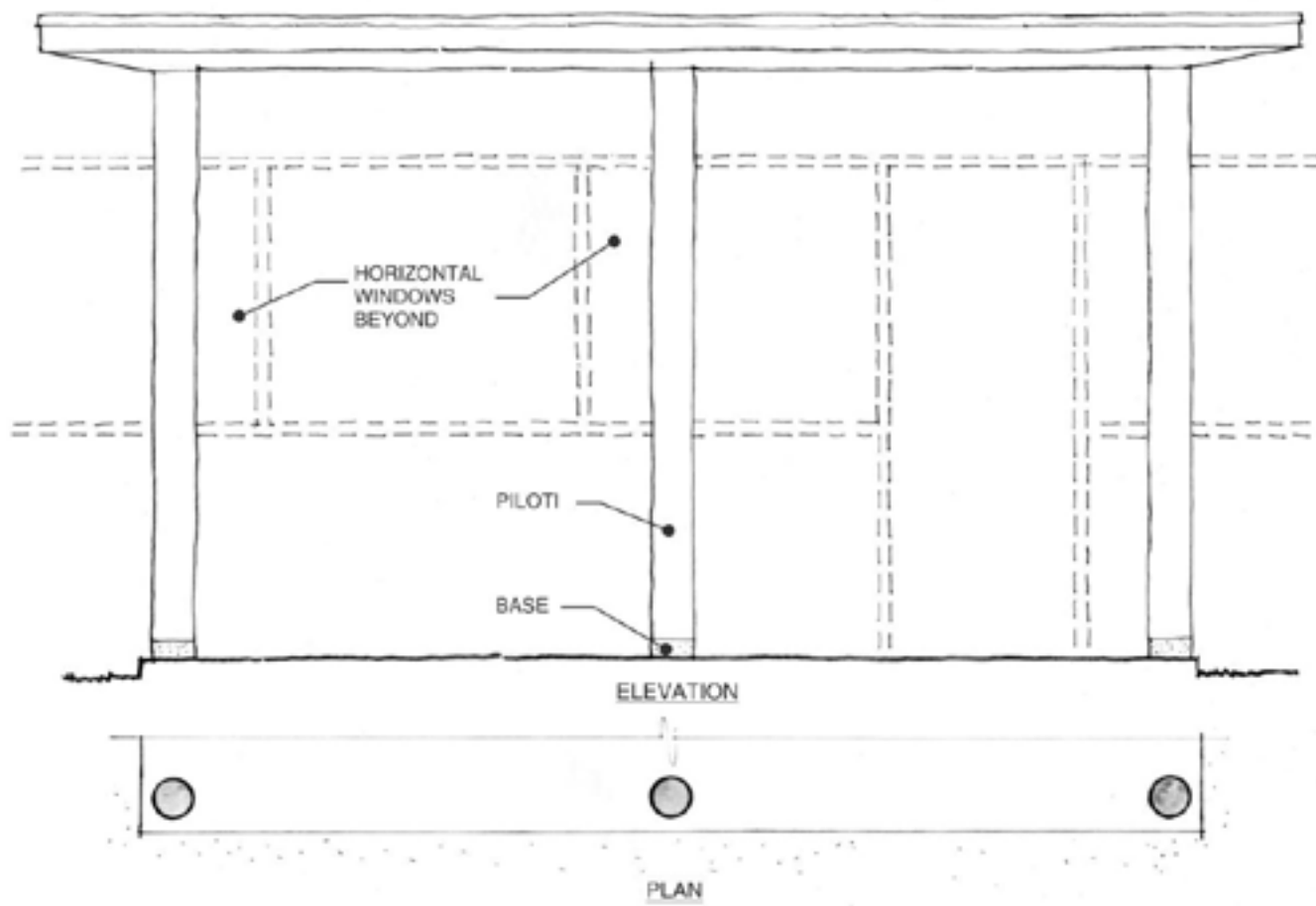


VILLA SAVOYE, FRANCE, 1931

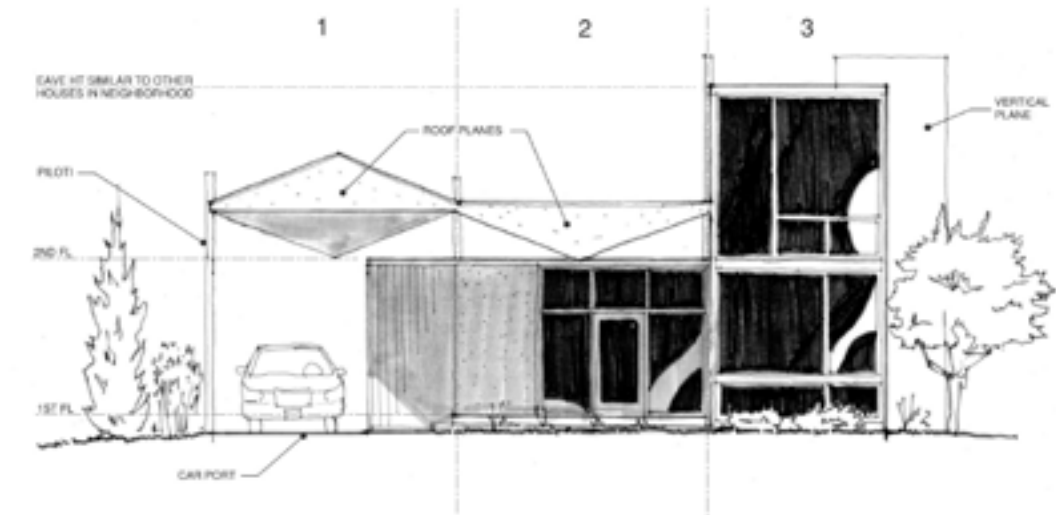


# MODERN DETAILS, CONT.

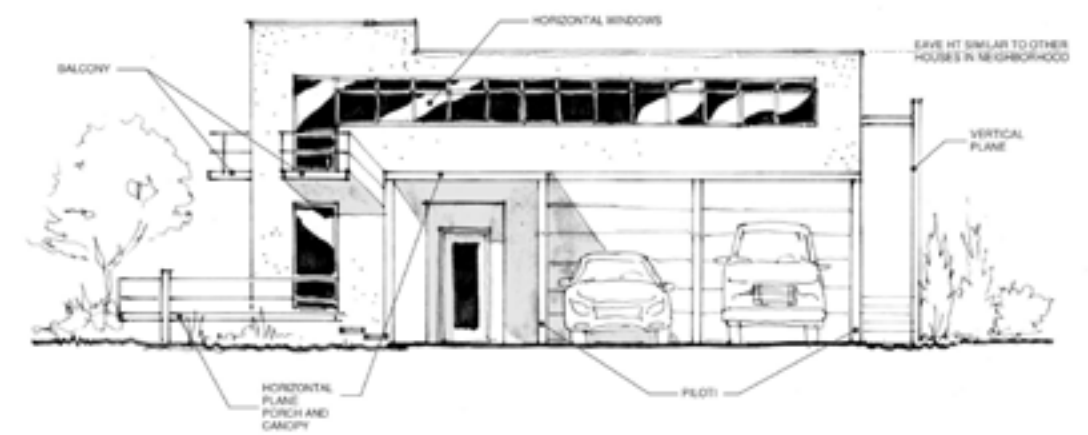
ARB GUIDELINES SUPPLEMENTAL ILLUSTRATIONS  
 MODERNIST PORCH EXAMPLE  
 WM HEYER ARCHITECT 8-24-22



ARB GUIDELINES SUPPLEMENTAL ILLUSTRATIONS  
 MODERNIST HOME EXAMPLE  
 WM HEYER ARCHITECT 8-24-22

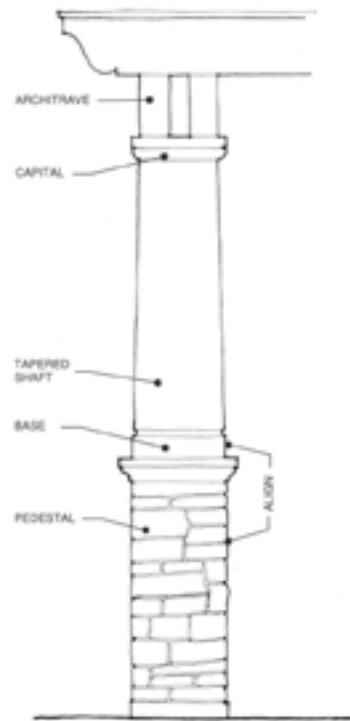


ARB GUIDELINES SUPPLEMENTAL ILLUSTRATIONS  
 MODERNIST HOME EXAMPLE WITH ADDITIONS  
 WM HEYER ARCHITECT 8-24-22

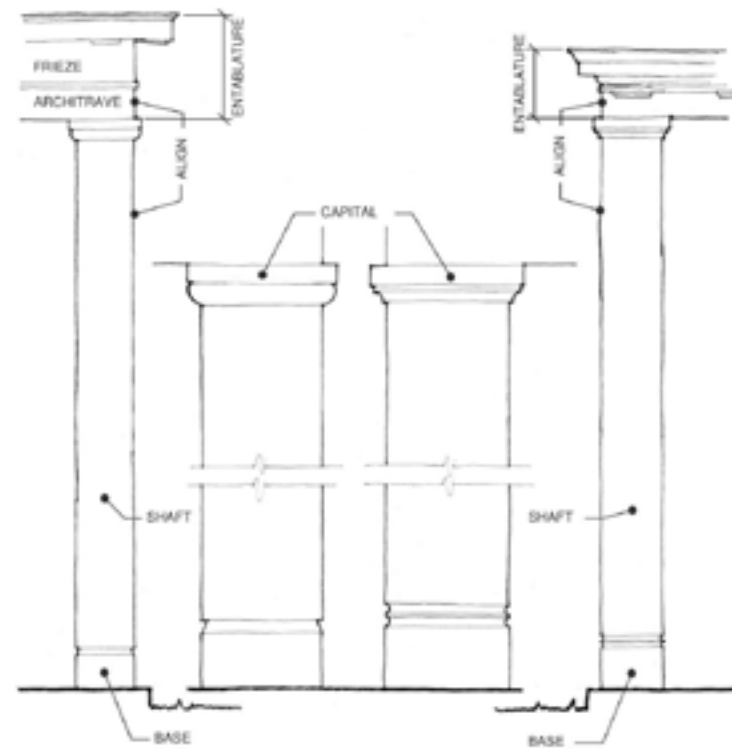


# PORCH AND COLUMN DETAILS

ARB GUIDELINES SUPPLEMENTAL ILLUSTRATIONS  
ALTERNATE PORCH AND COLUMN EXAMPLE  
WM HEYER ARCHITECT 8-24-22

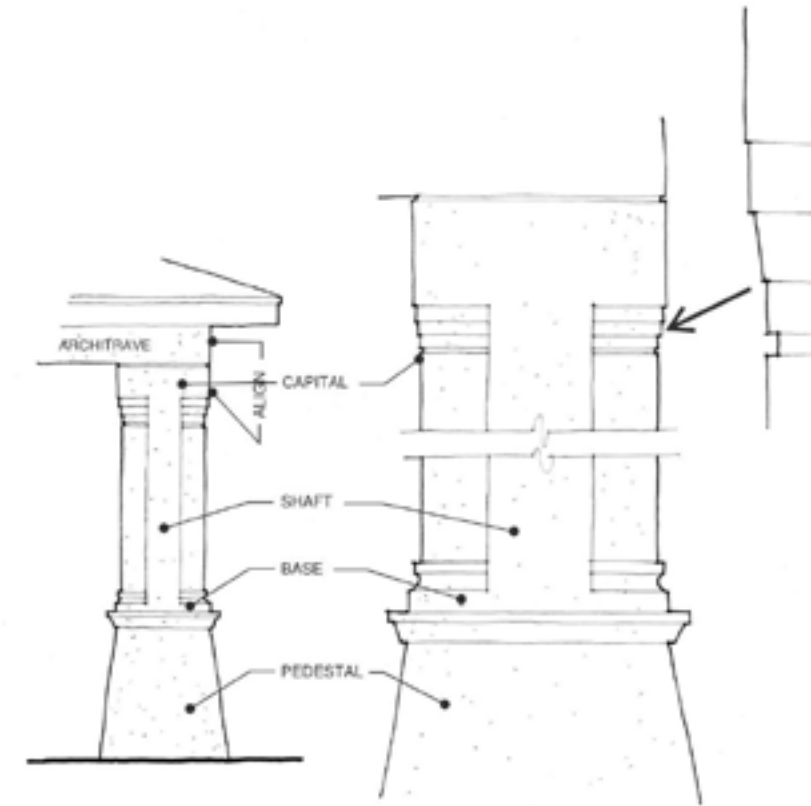


ARB GUIDELINES SUPPLEMENTAL ILLUSTRATIONS  
ALTERNATE PORCH AND COLUMN EXAMPLES  
WM HEYER ARCHITECT 8-24-22



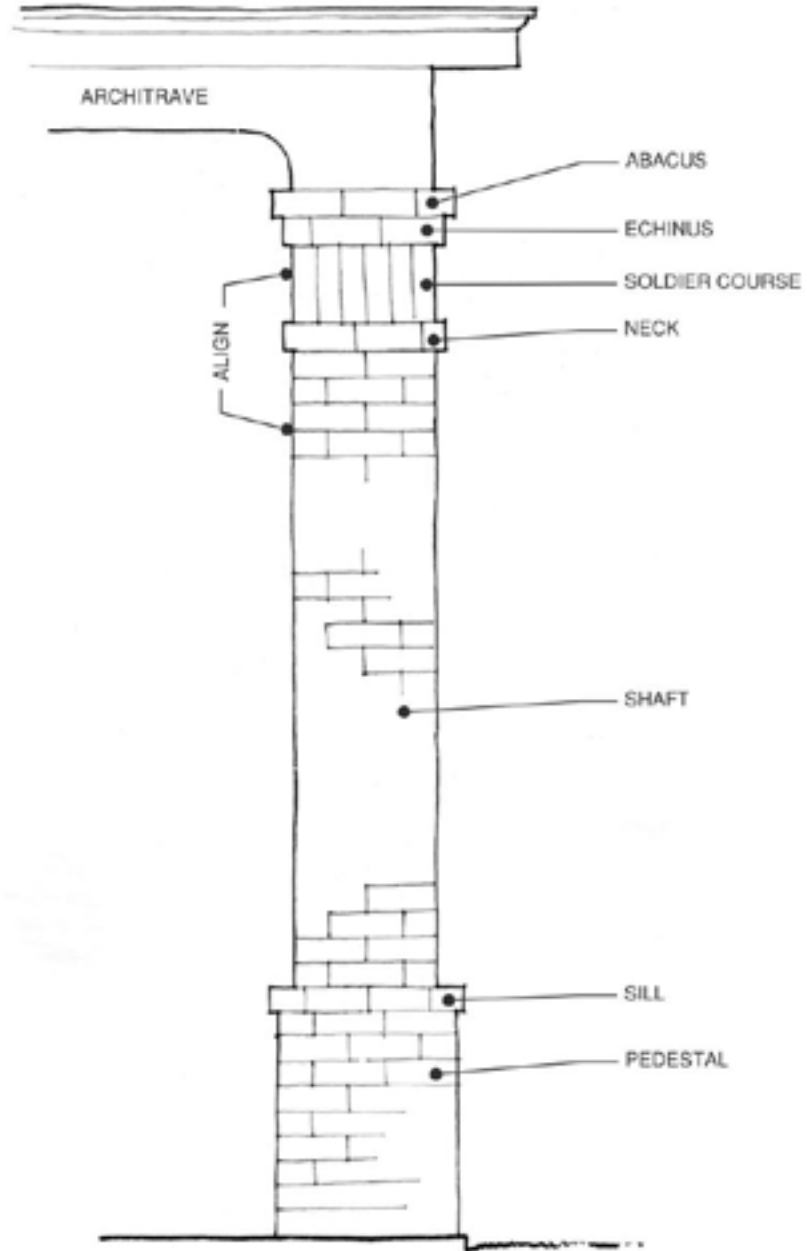
# ARTS AND CRAFTS DETAIL

ARB GUIDELINES SUPPLEMENTAL ILLUSTRATIONS  
ALTERNATE ARTS AND CRAFTS COLUMN/PIER EXAMPLE  
WM HEYER ARCHITECT 8-24-22

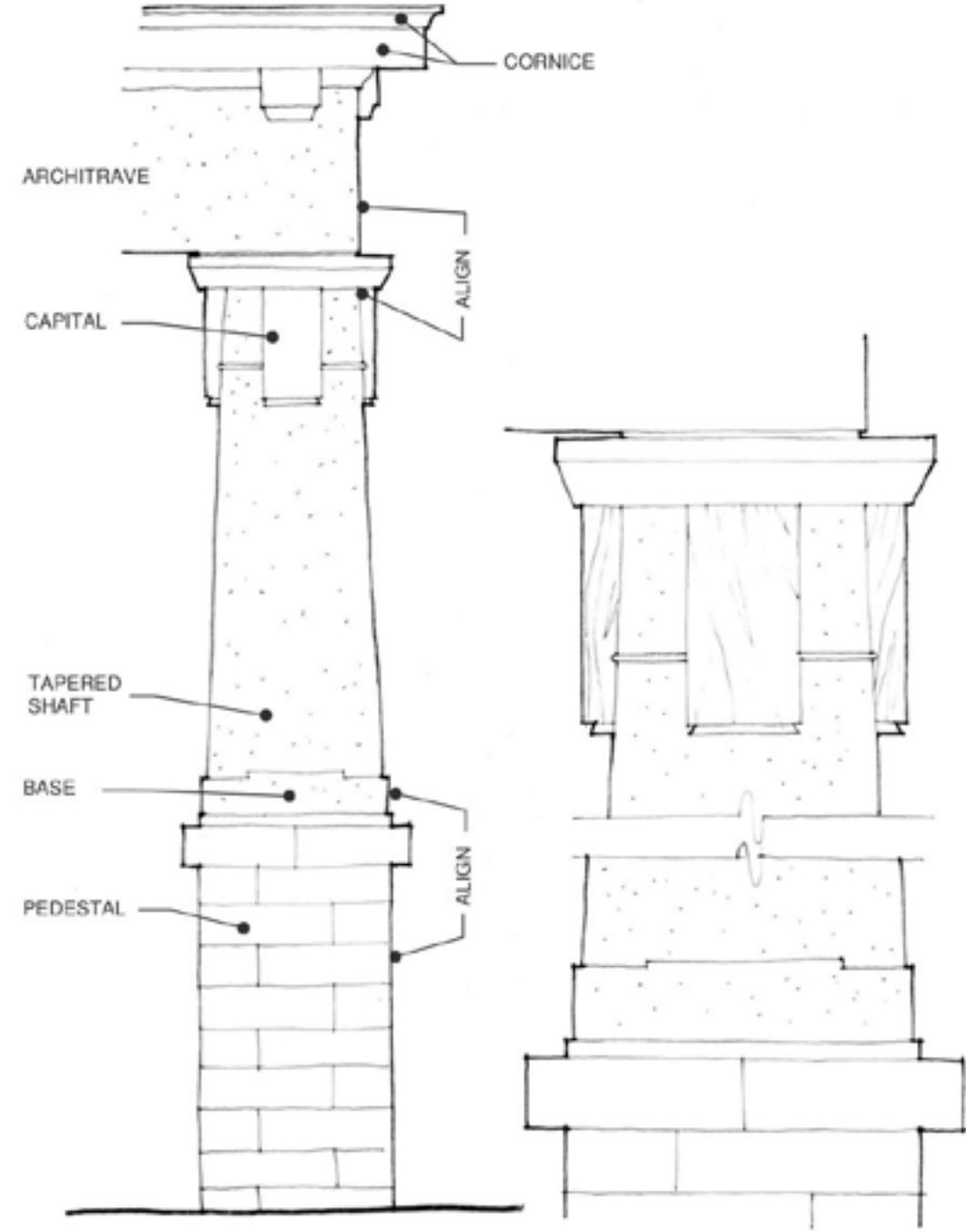


# PORCH AND COLUMN DETAILS

ARB GUIDELINES SUPPLEMENTAL ILLUSTRATIONS  
ALTERNATE PORCH AND BRICK PIER EXAMPLE  
WM HEYER ARCHITECT 8-24-22



ARB GUIDELINES SUPPLEMENTAL ILLUSTRATIONS  
ALTERNATE ARTS AND CRAFTS PORCH AND COLUMN EXAMPLE  
WM HEYER ARCHITECT 8-24-22





# SAMPLE DETAILS: CHIMNEYS



# SAMPLE DETAILS: ENTRIES



# SAMPLE DETAILS: ENTRIES



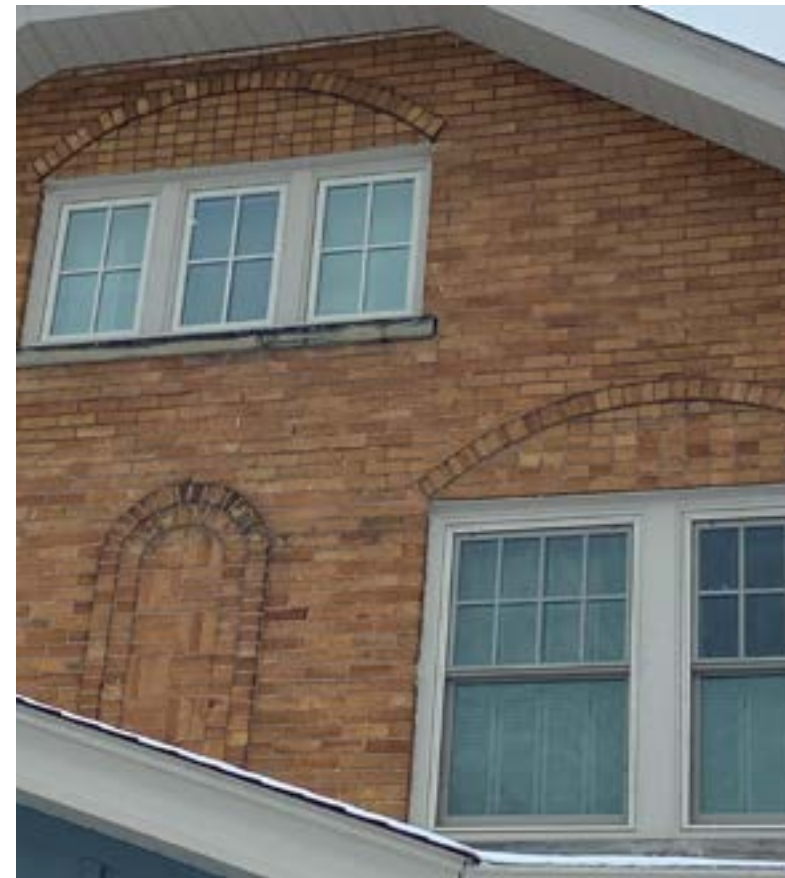
# SAMPLE DETAILS: SHUTTERS



# SAMPLE DETAILS: SLATE ROOF



# SAMPLE DETAILS: VENEER (BRICK)



SAMPLE DETAILS: VENEER (COMBINATIONS)



SAMPLE DETAILS: VENEER (SCHMEAR)



# SAMPLE DETAILS: VENEER (STONE)





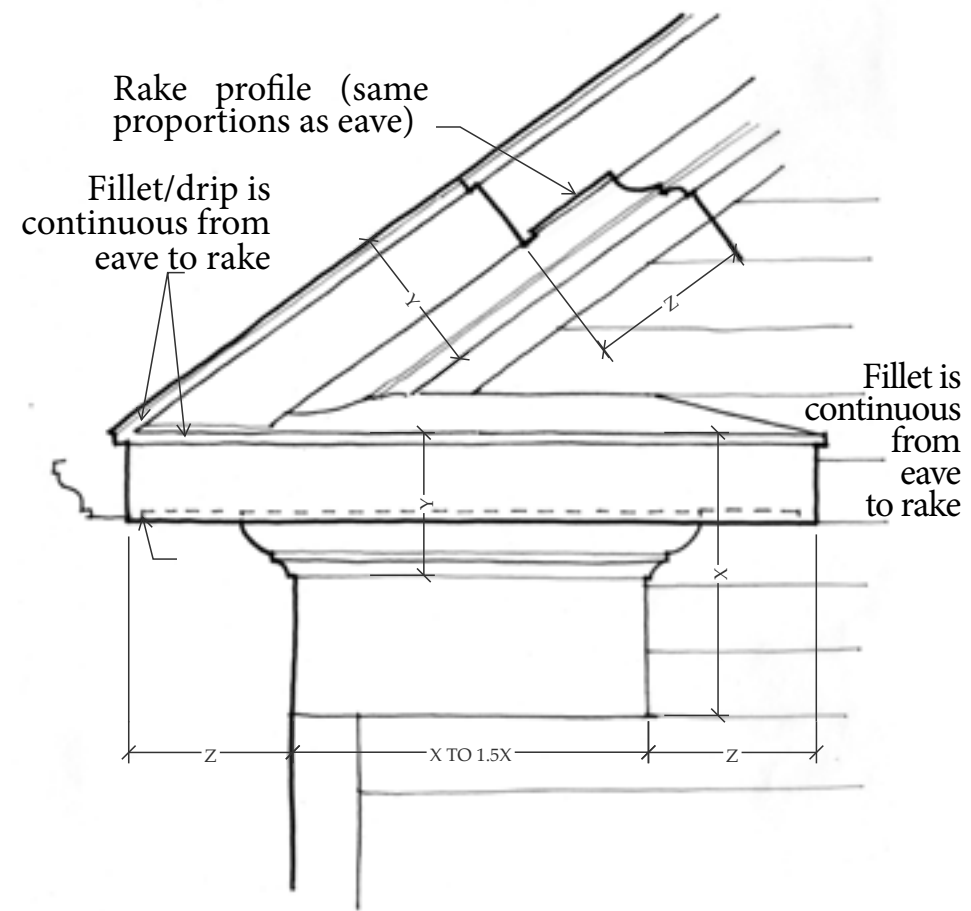
# SAMPLE DETAILS: VENEER (STUCCO)



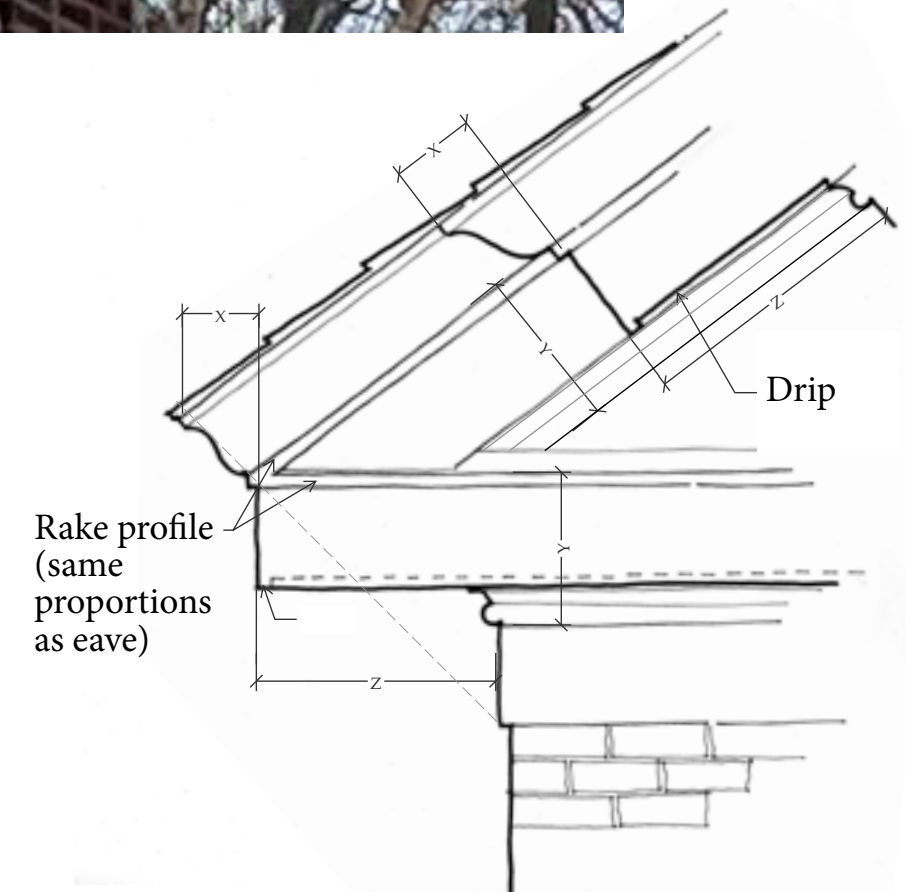
SAMPLE DETAILS:  
VENEER (WOOD SIDING)



# EAVE DETAILS

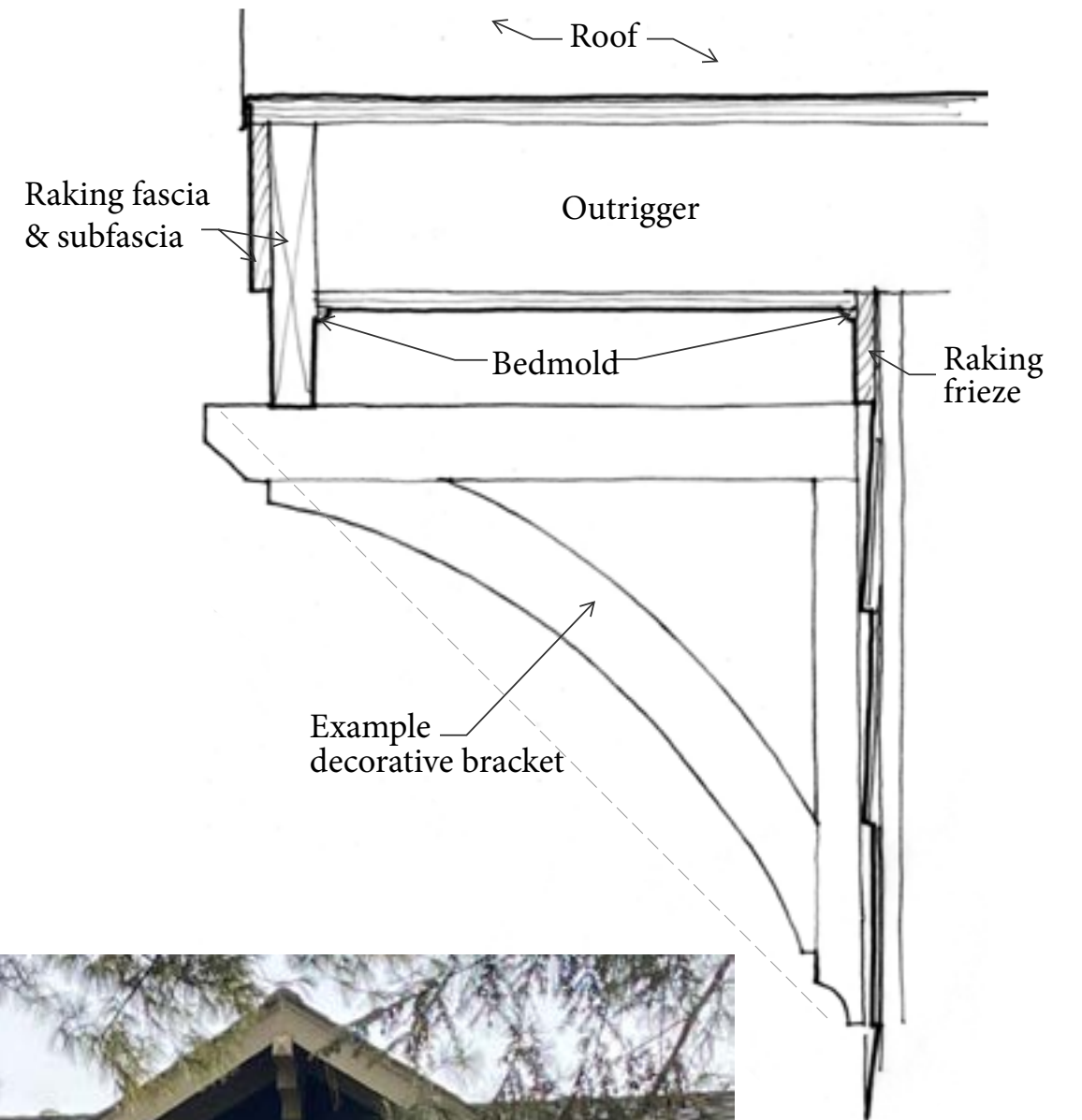
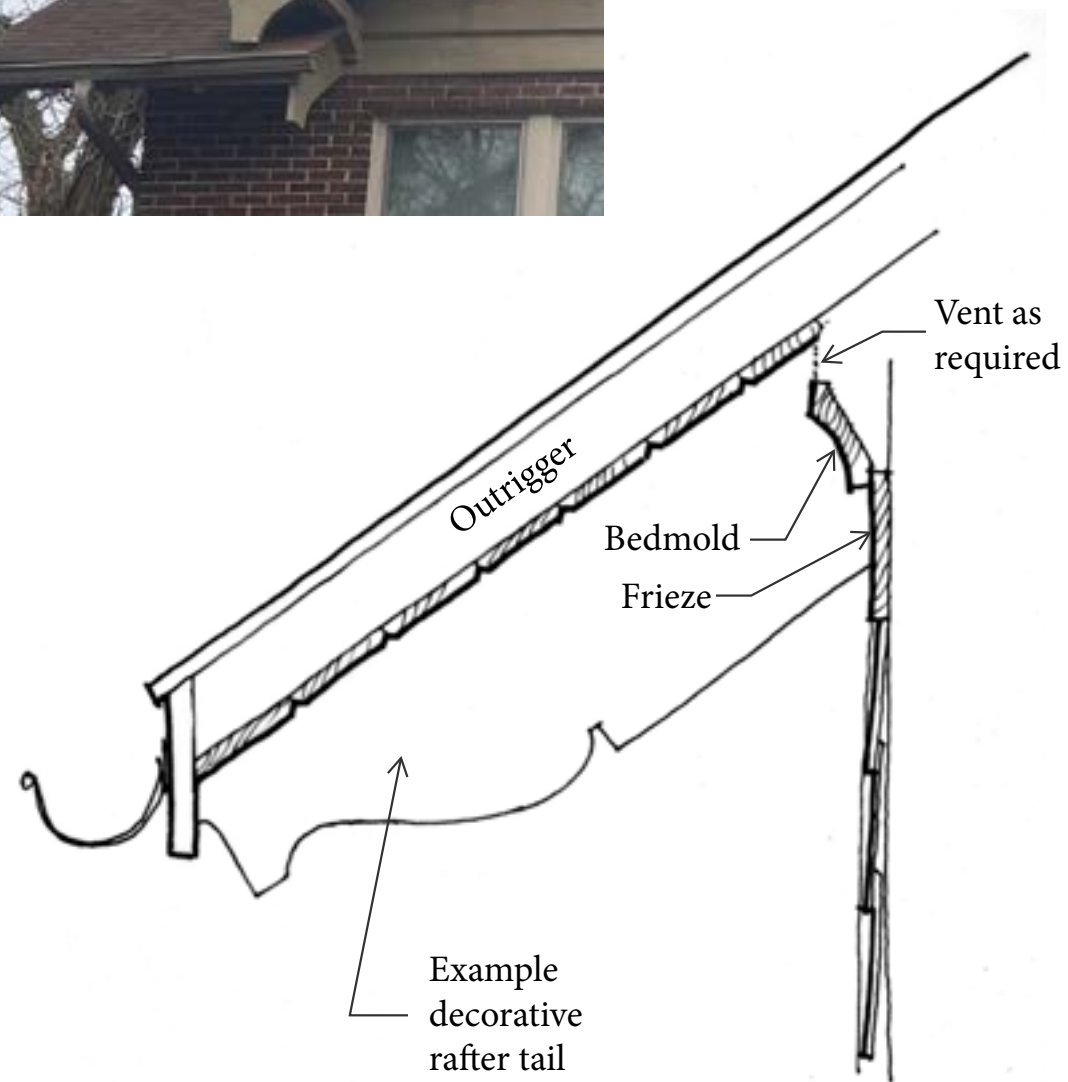


13

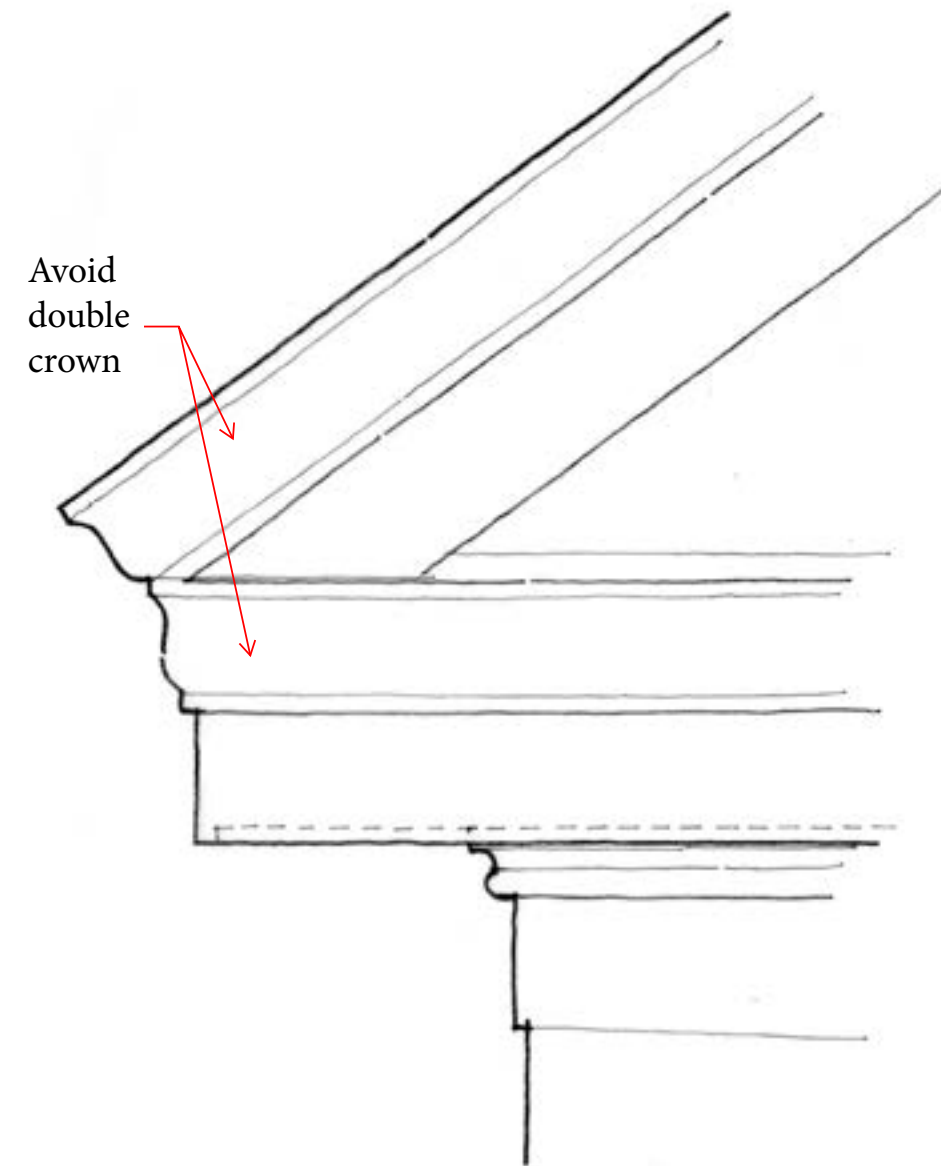
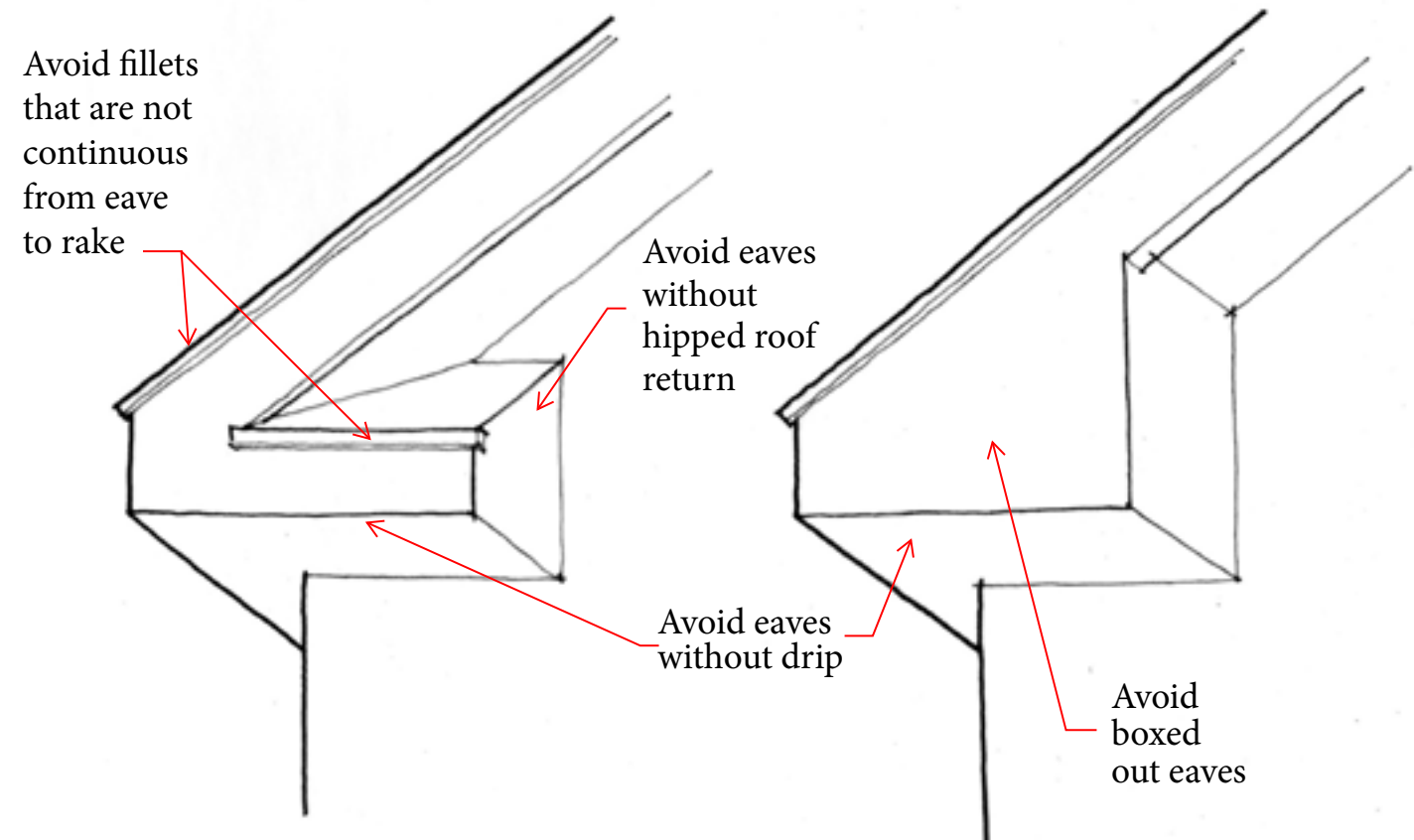


15

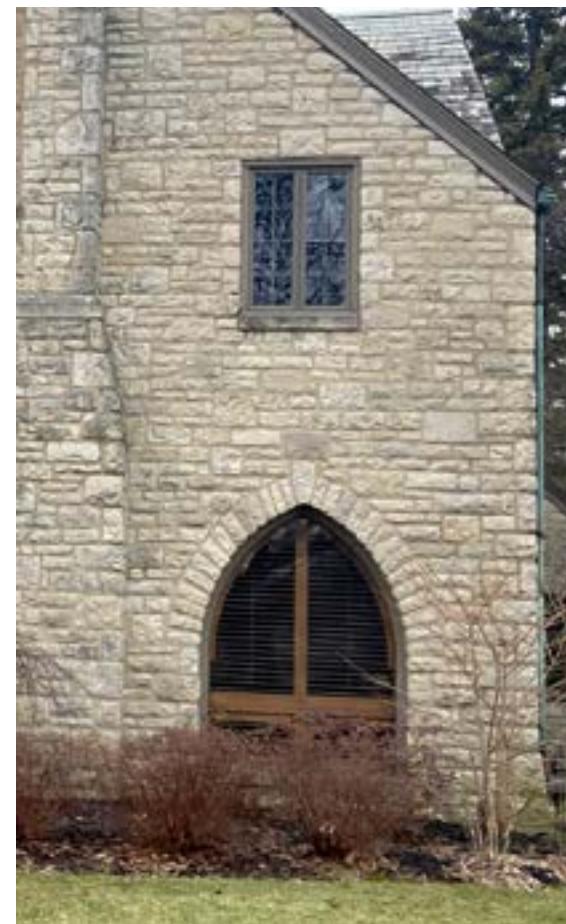
# EAVE DETAILS, CONT.



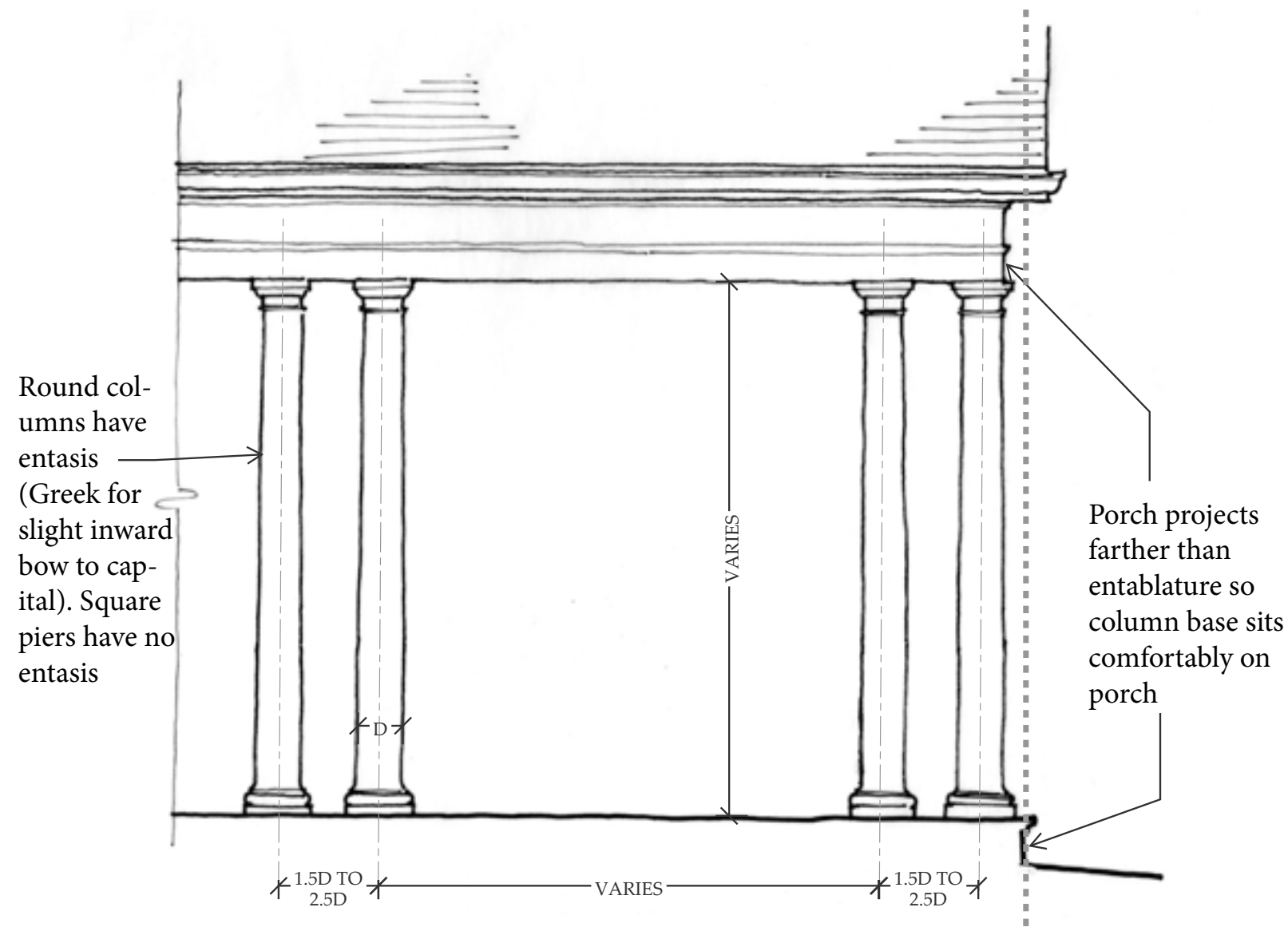
# EAVE DETAILS TO AVOID



# SAMPLE DETAILS: PORCHES & COLUMNAR ORDERS

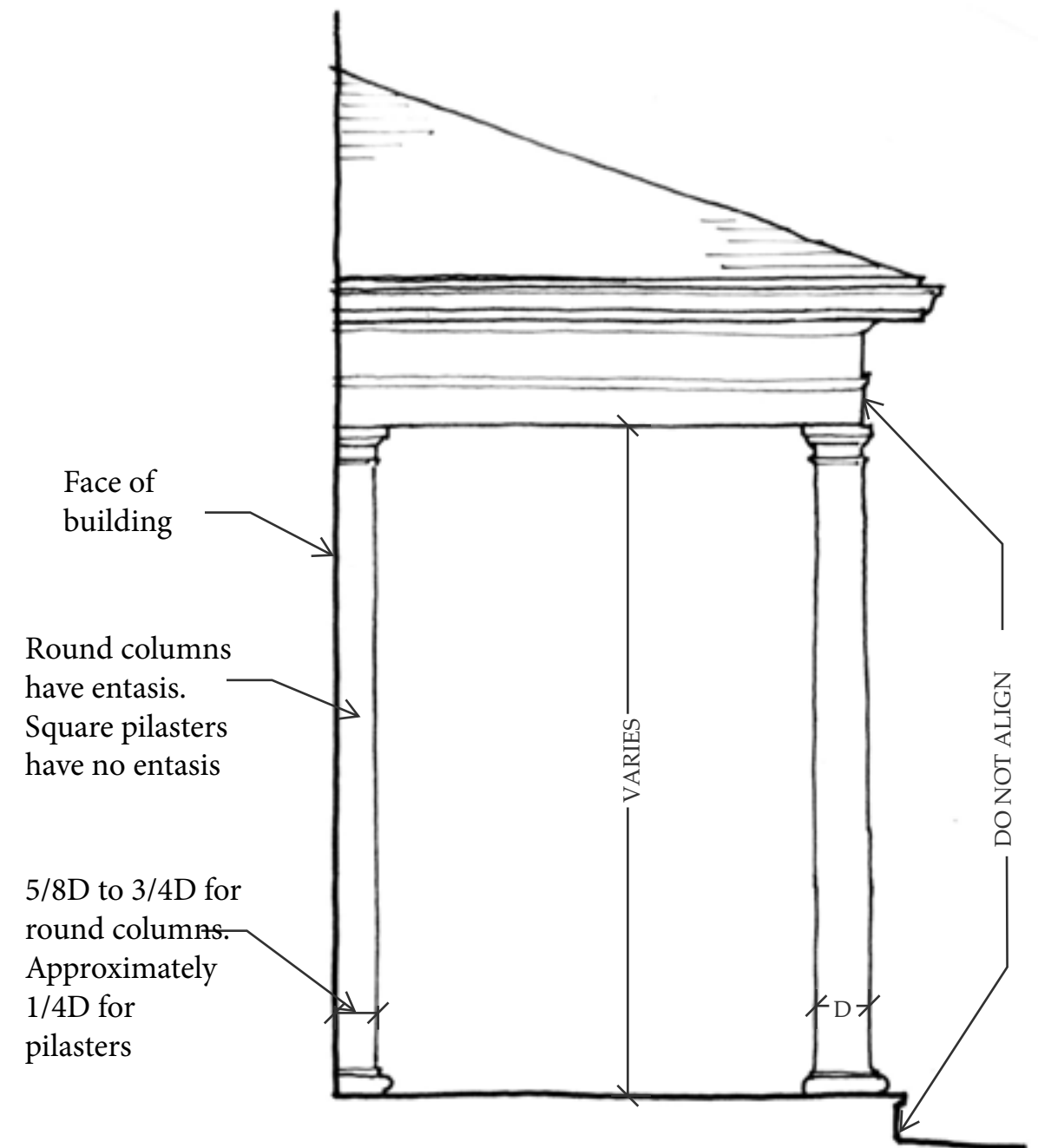


# PORCH DETAILS



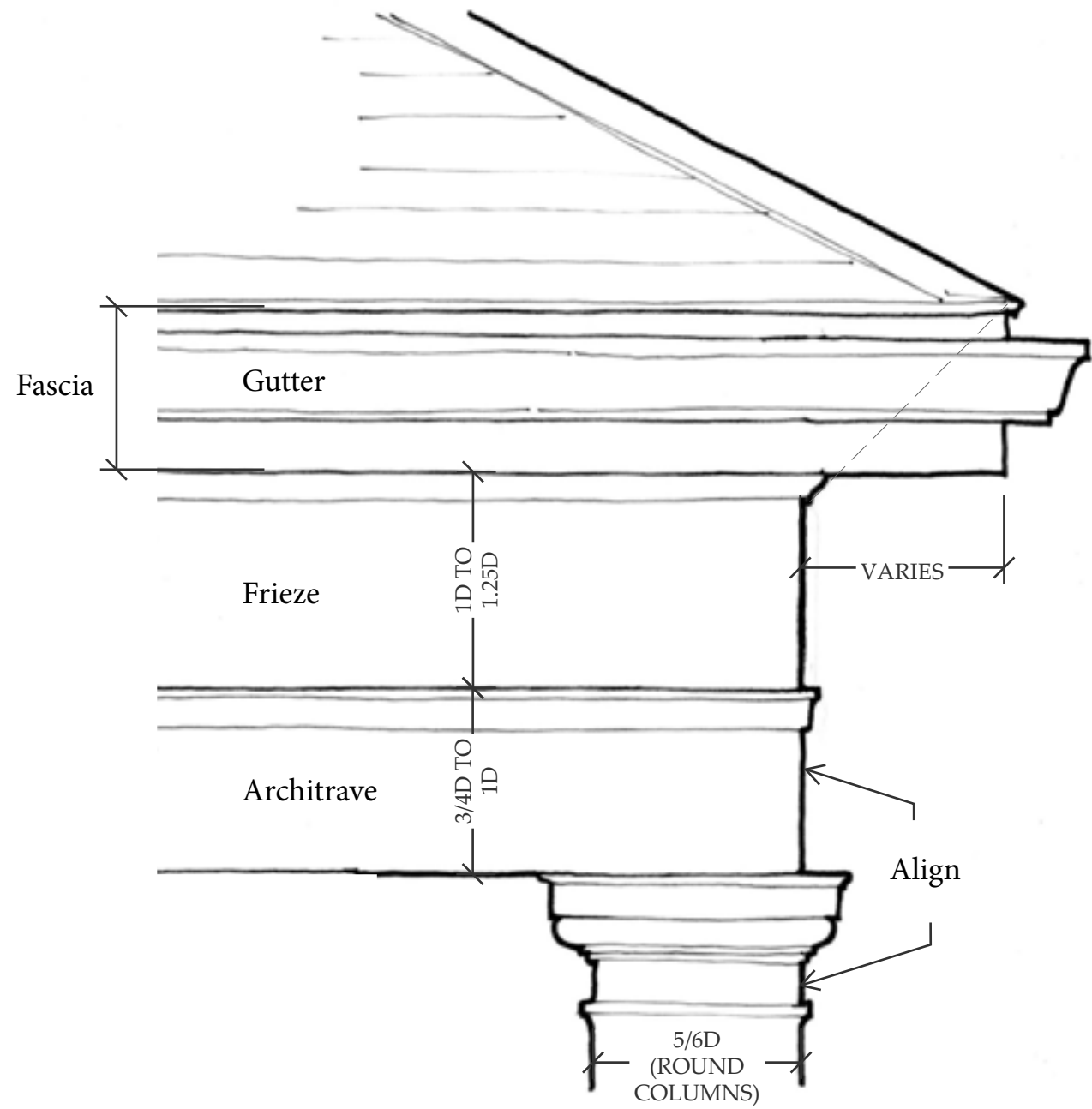
FRONT ELEVATION SHOWING PAIRED TUSCAN COLUMNS

21

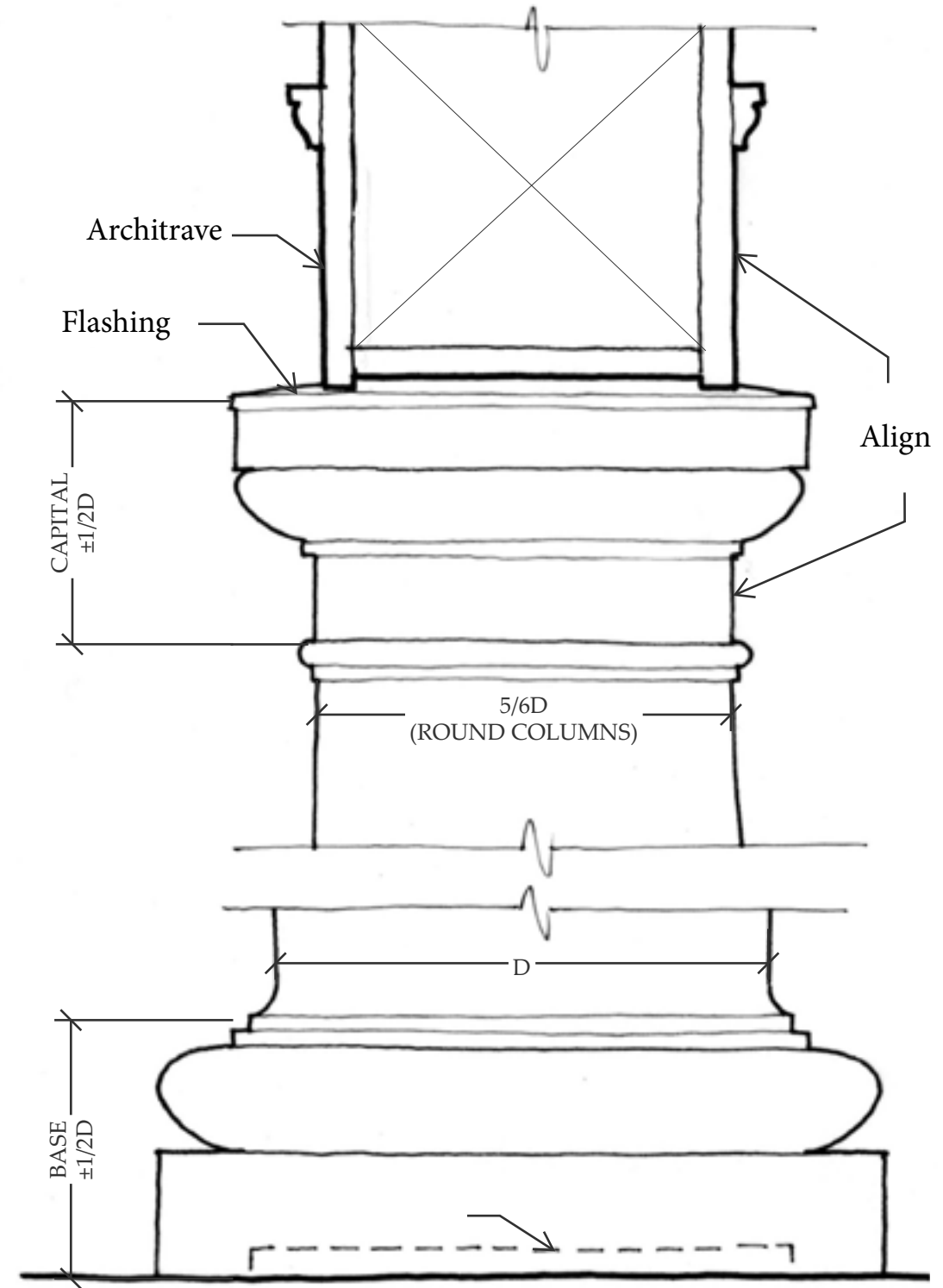


SIDE ELEVATION SHOWING TUSCAN COLUMNS

# PORCH DETAILS



**ENTABLATURE ELEVATION DETAIL**

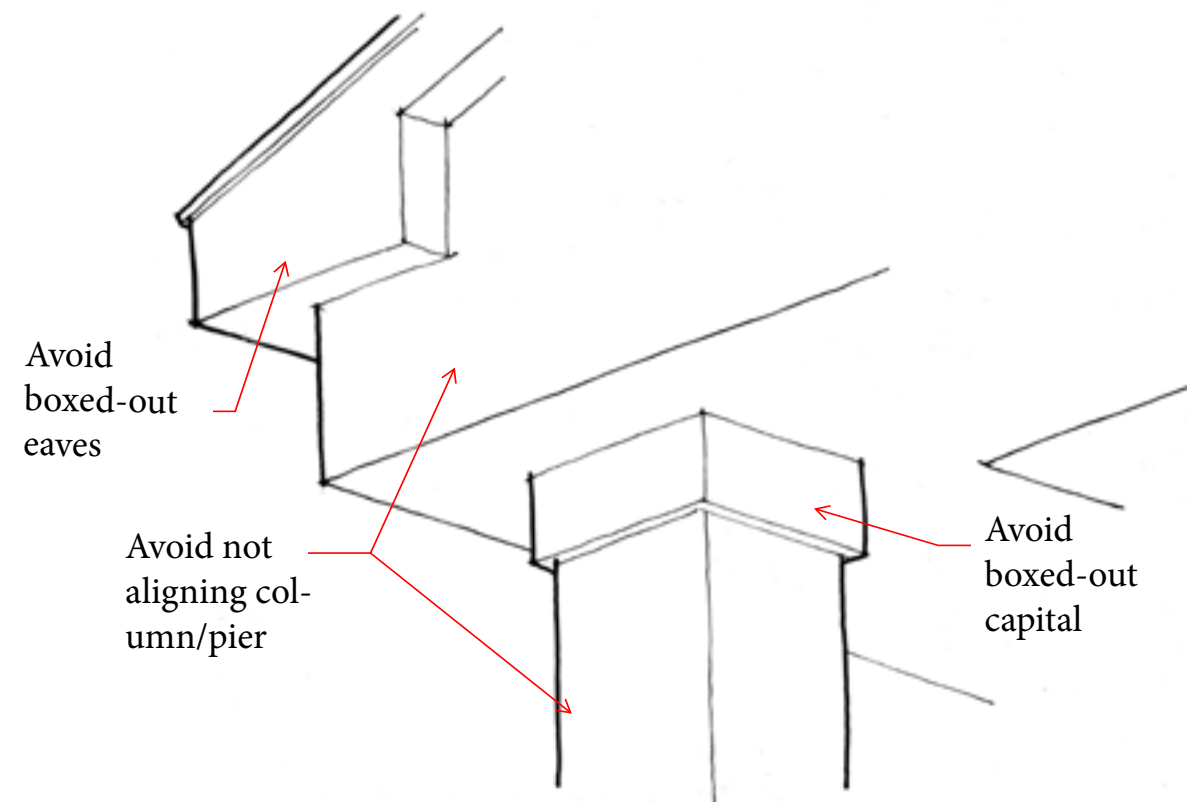
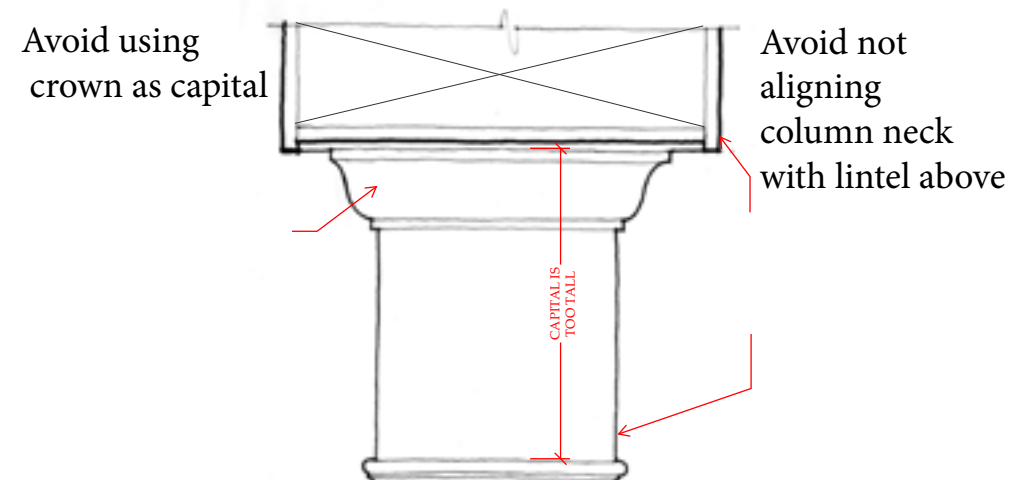


**TUSCAN COLUMN DETAIL**

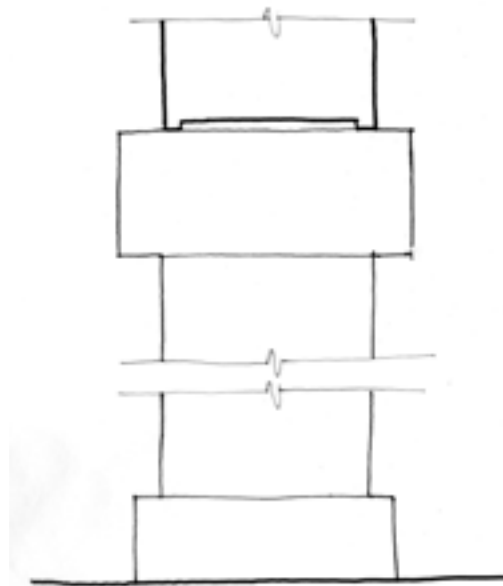
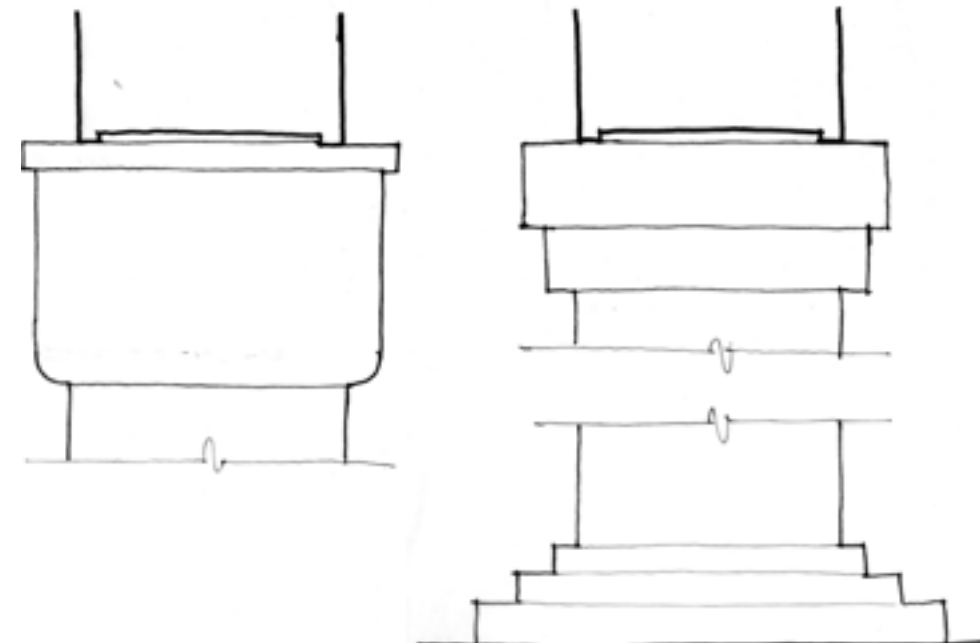


# COLUMN DETAILS TO AVOID

## BEAM/LINTEL



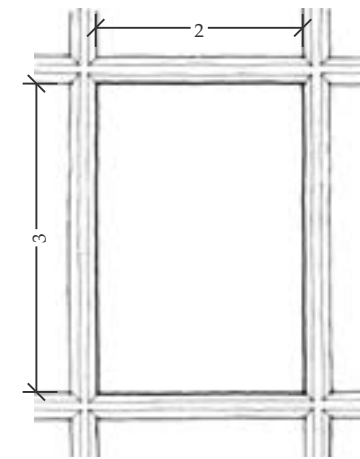
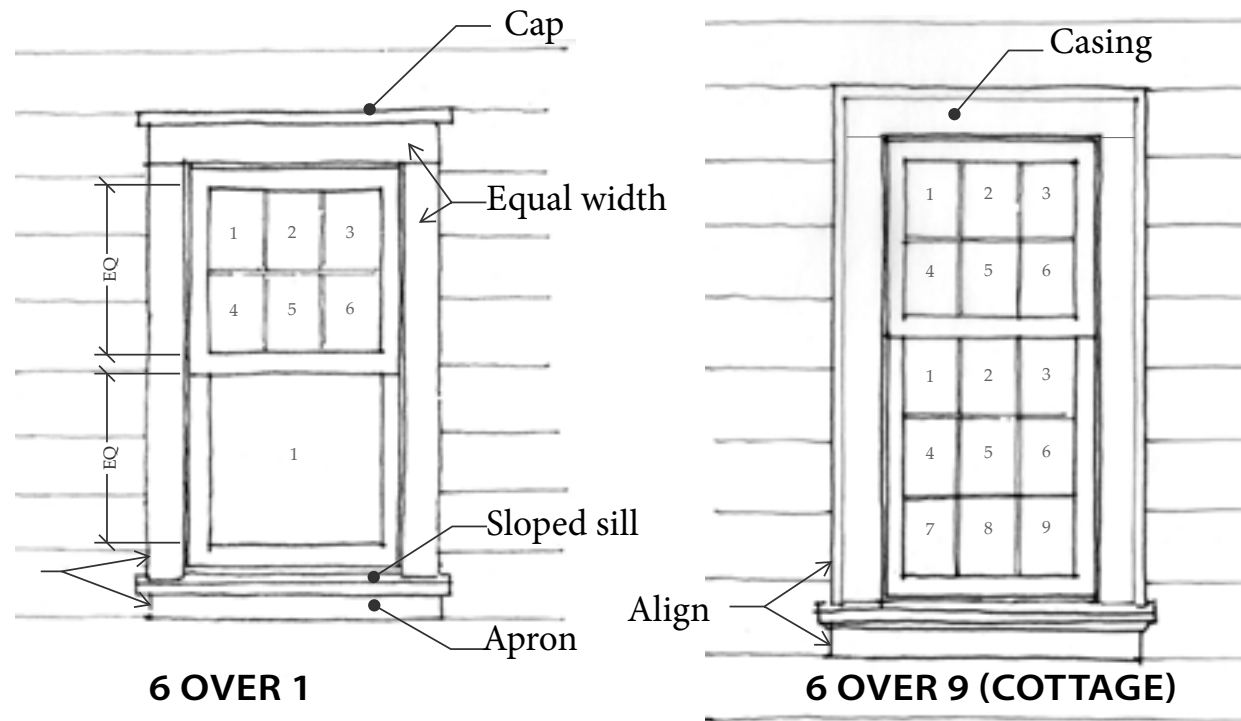
## AVOID BOXED-OUT CAPITALS AND BASES



# SAMPLE WINDOW DETAILS

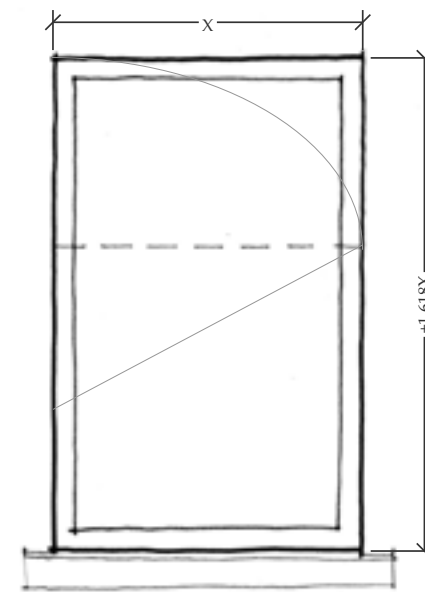
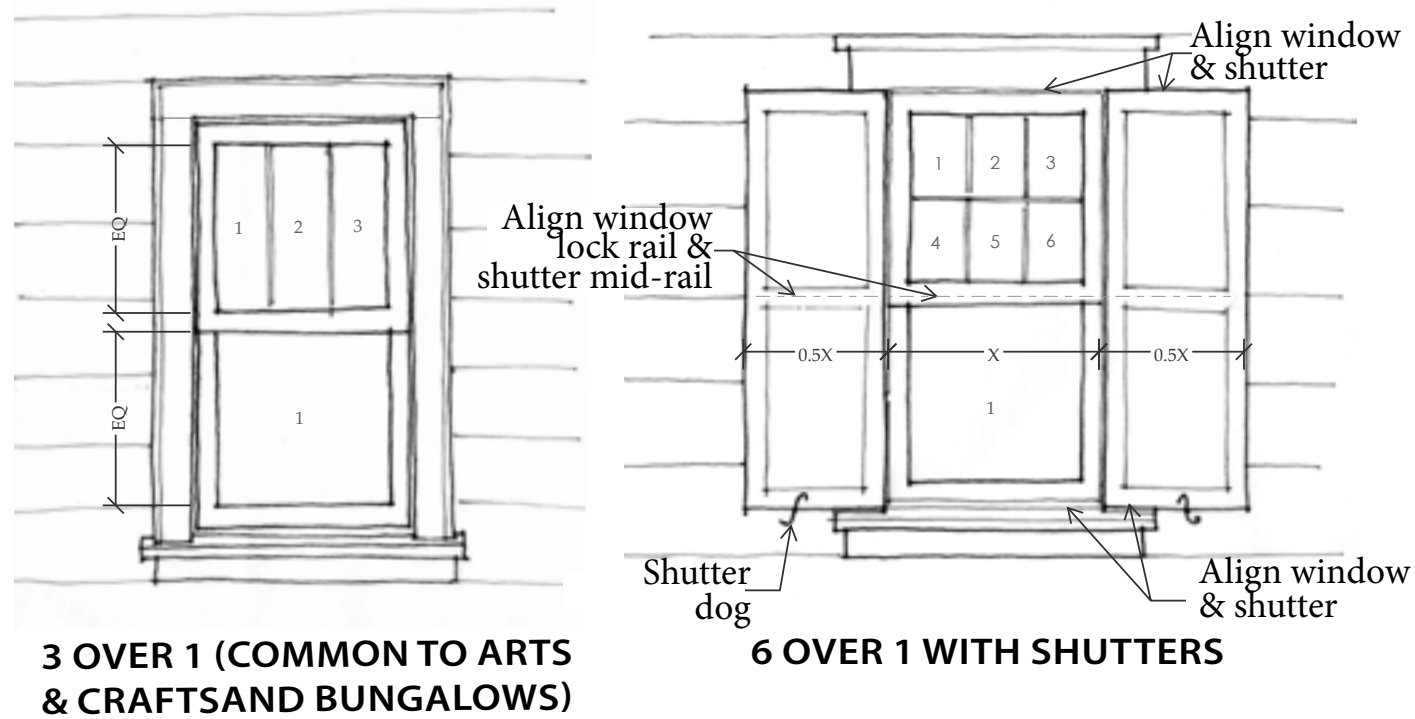


# WINDOW DETAILS

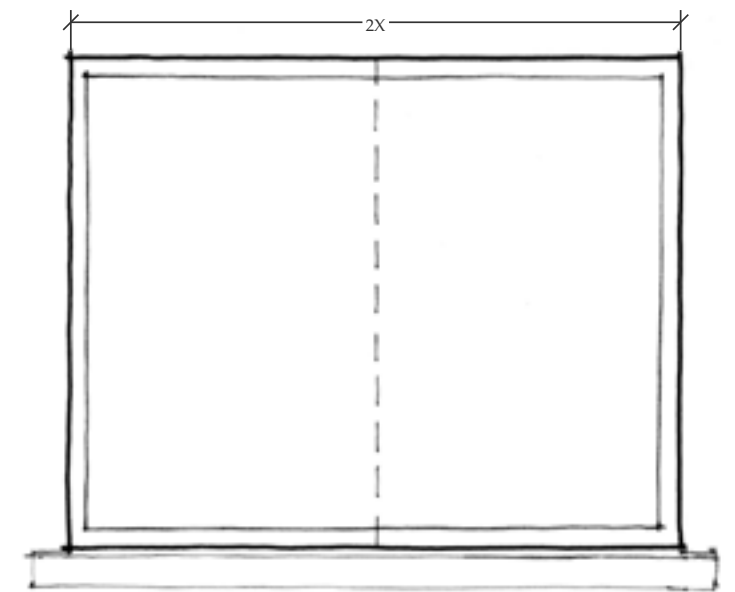


## TYPICAL WINDOW GLASS LITE PROPORTIONS

Though the illustration to the left is a “typical” glass lite proportion, many windows have other lite (grid) shapes and sizes. What is important in replacements, repairs, additions, etc... is that the new windows maintain the same proportions as the original design and maintain continuity and integrity of design.

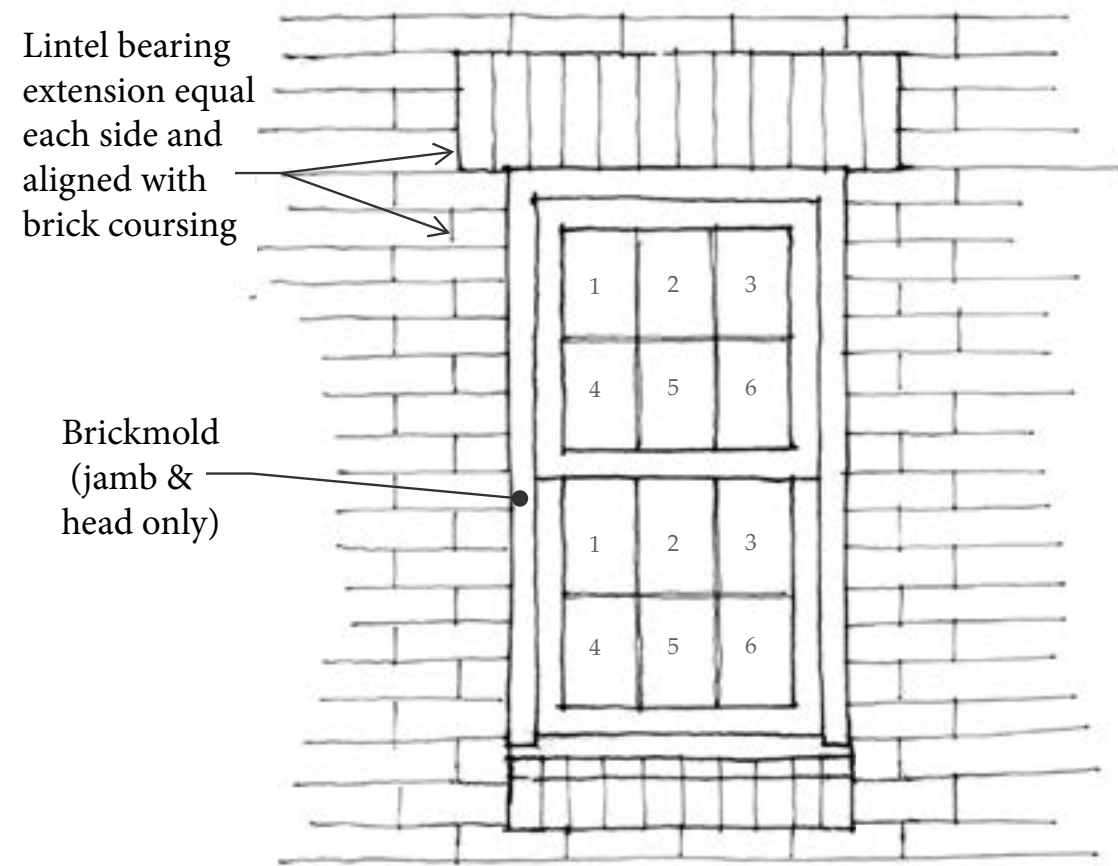


MID-CENTURY MODERN SINGLE WINDOW USING GOLDEN RATIO



“DOUBLE-SIZE” WINDOW USING GOLDEN RATIO

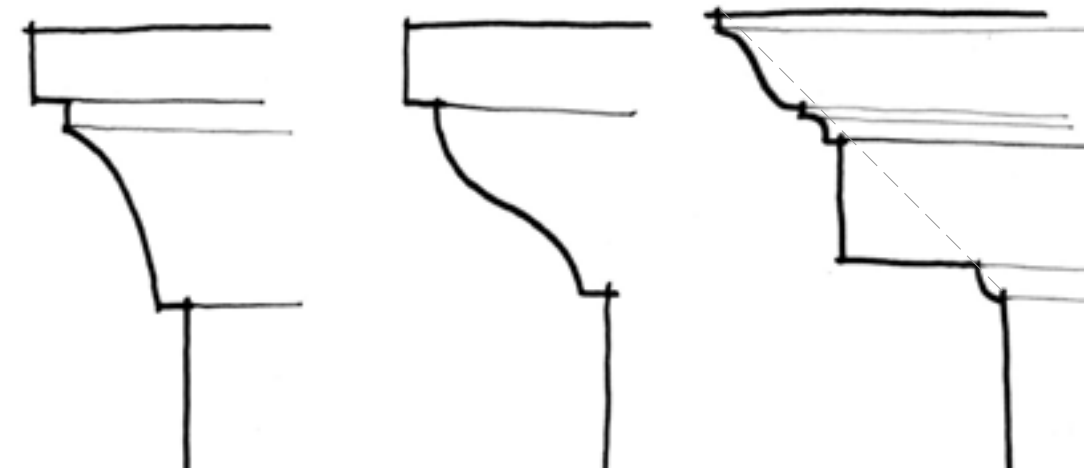
# WINDOW DETAILS



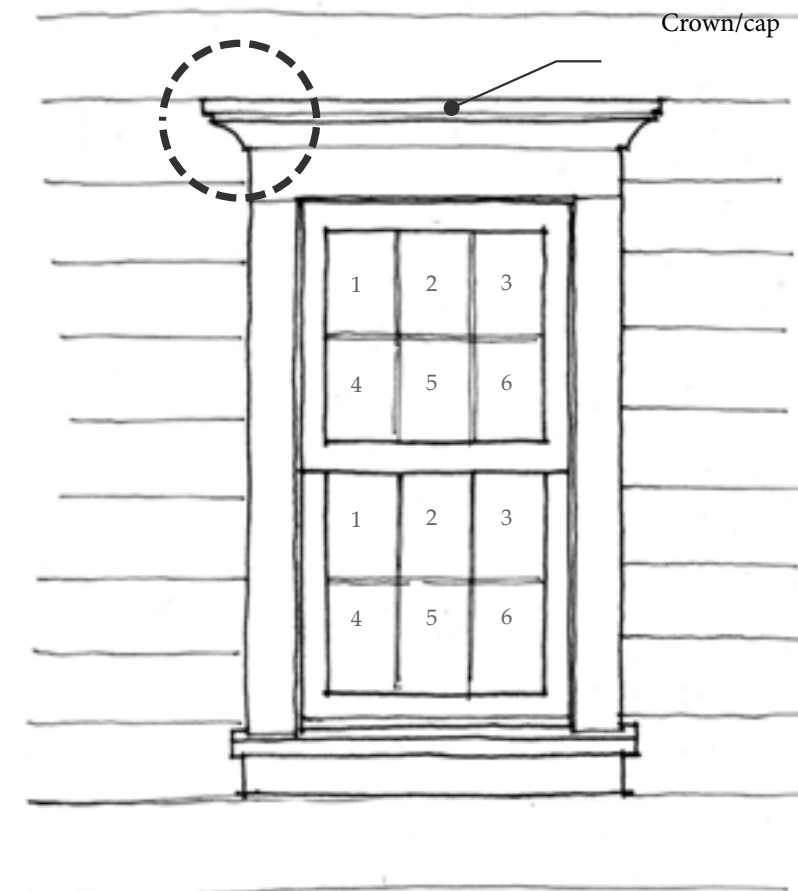
**WINDOW IN BRICK VENEER WITH BRICK LINTEL AND BRICK SILL**



**EXAMPLE BRICKMOLD PROFILE**



**WINDOW CASING CROWN EXAMPLES**

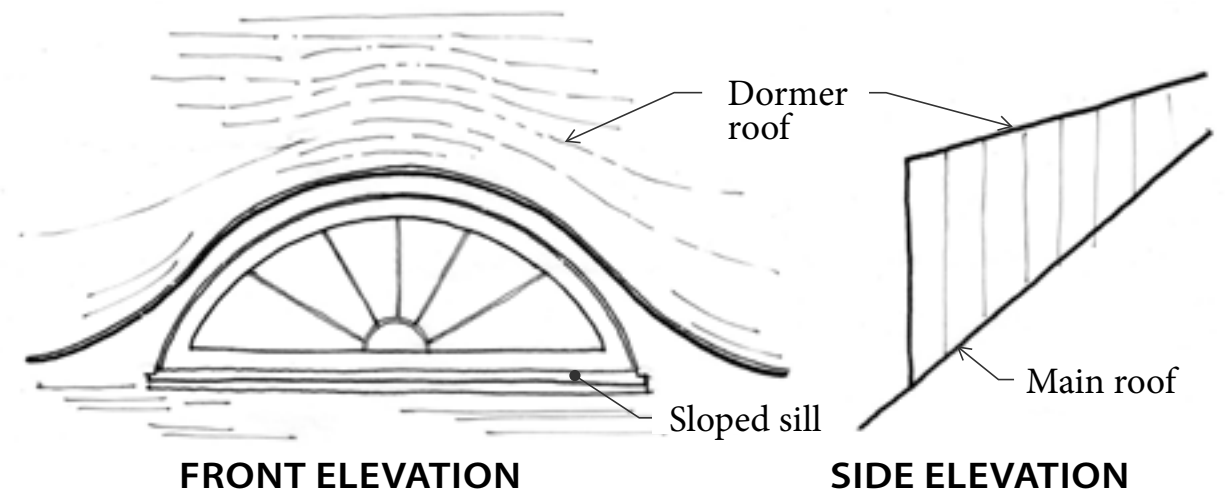
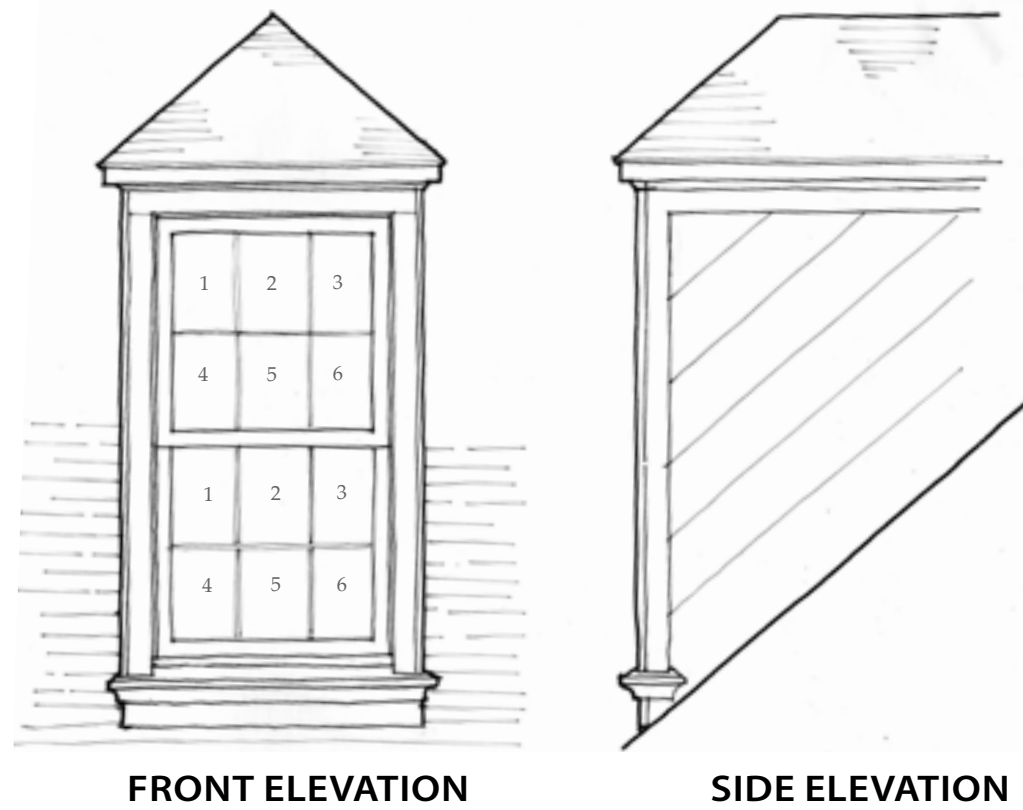
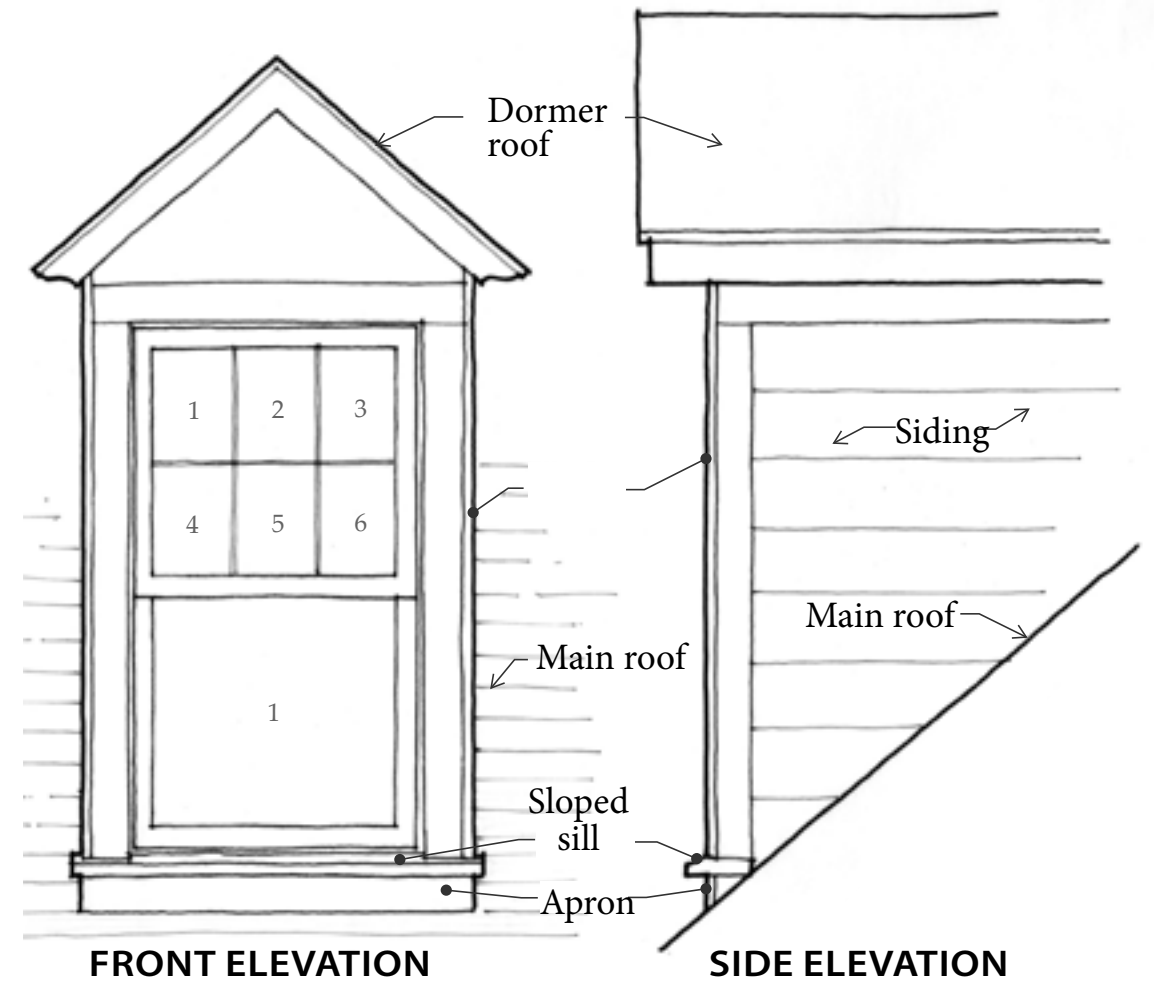
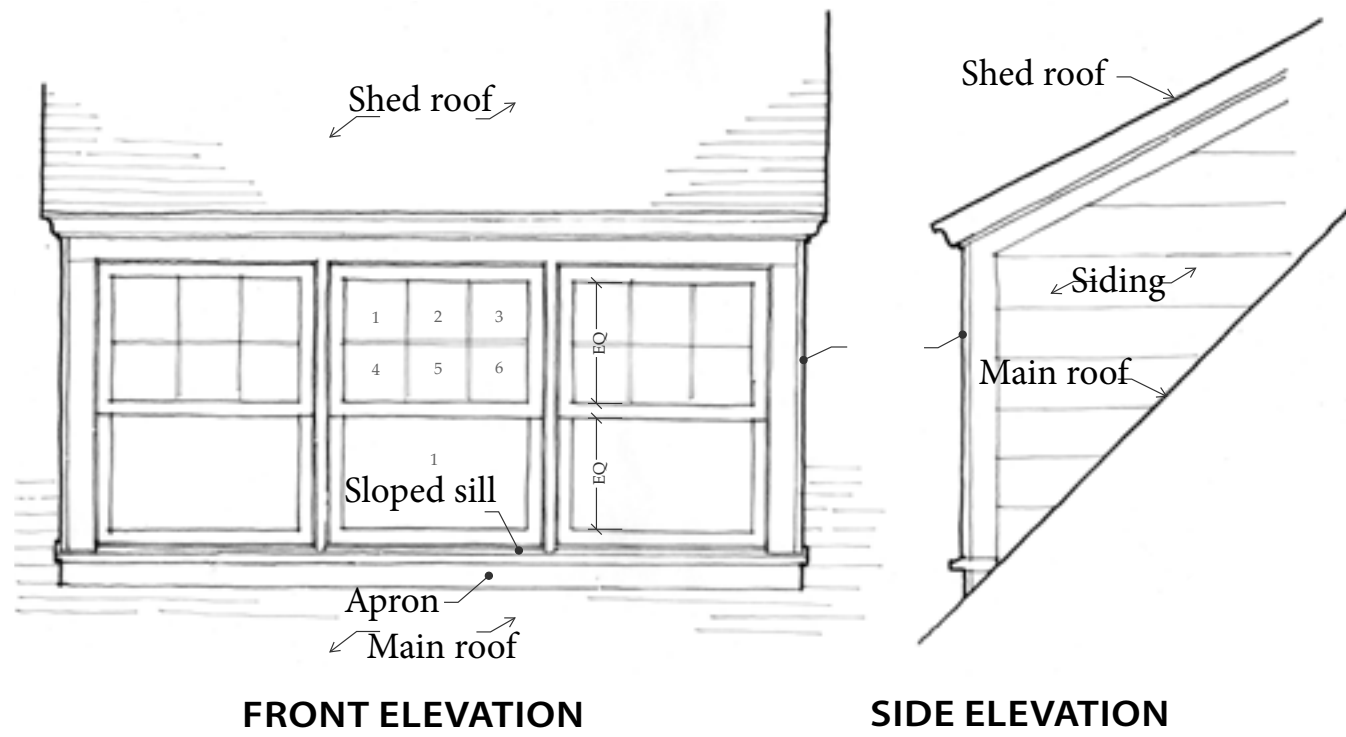


**6 OVER 6**

# SAMPLE DETAILS: DORMERS



# DORMER DETAILS



# DORMER TYPES

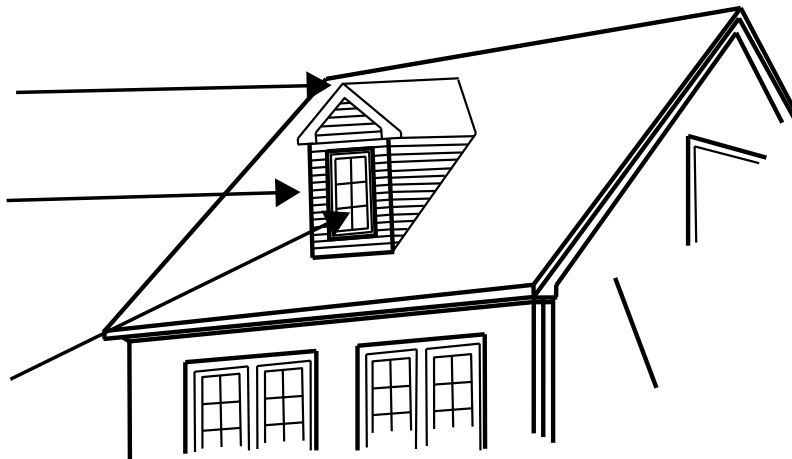
## GABLE DORMER:

A gable roof is formed by two sloping sections meeting at the top ridge, forming a triangular shape for the top of window wall of the dormer. The walls of the dormer that extend downward from the gable roof are vertical.

The dormer's ridge line should be below the top of the ridge of the primary roof.

The dormer face, or wall, is set back from the wall below so that it is secondary to the primary roof.

The windows of the dormer should make up most of the front wall, be evenly spaced and match the windows of the primary structure.



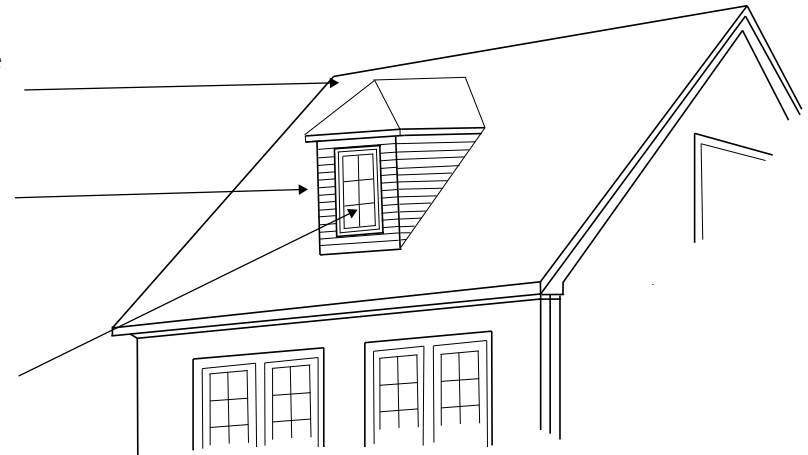
## HIP DORMER:

A gable roof is formed by two sloping sections meeting at the top ridge, forming a triangular shape for the top of window wall of the dormer. The walls of the dormer that extend downward from the gable roof are vertical.

The dormer's ridge line should be below the top of the ridge of the primary roof.

The dormer face, or wall, is set back from the wall below so that it is secondary to the primary roof.

The windows of the dormer should make up most of the front wall, be evenly spaced and match the windows of the primary structure.



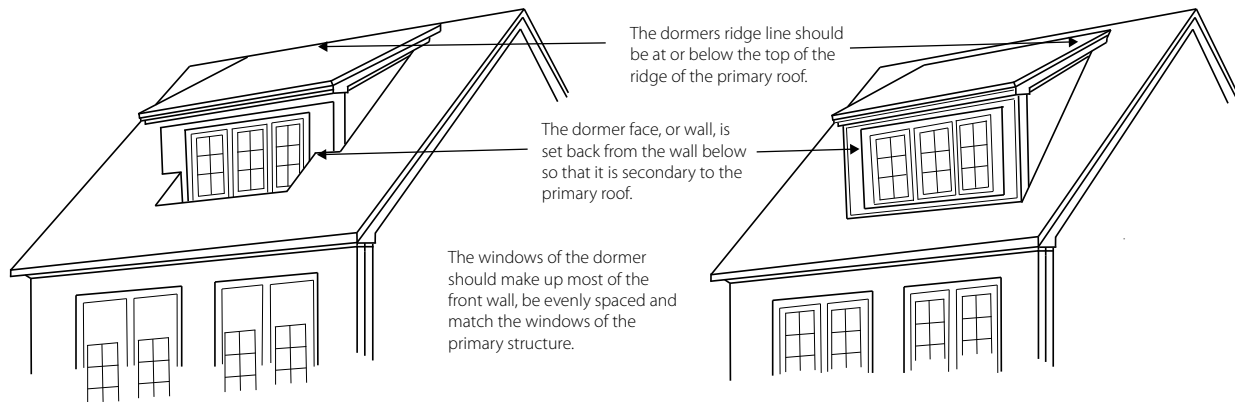
## SHED DORMER:

A dormer having a roof that slopes in the same direction as the roof in which the dormer is located.

The dormer's ridge line should be at or below the top of the ridge of the primary roof.

The dormer face, or wall, is set back from the wall below so that it is secondary to the primary roof.

The windows of the dormer should make up most of the front wall, be evenly spaced and match the windows of the primary structure.



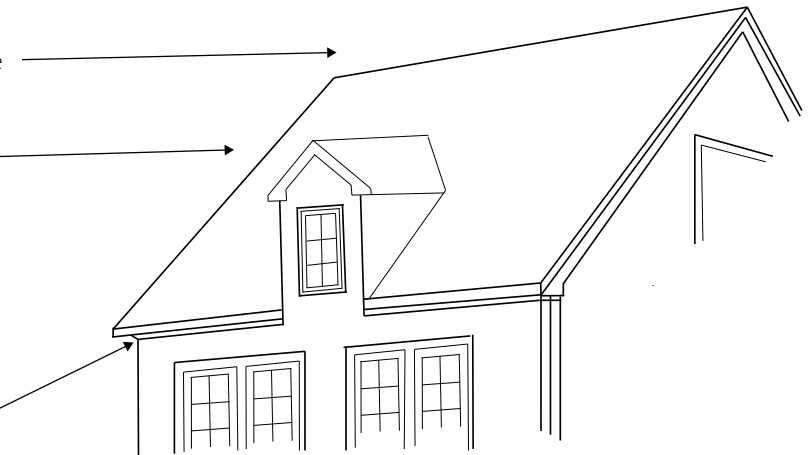
## WALL DORMER:

A gable roof is formed by two sloping sections meeting at the top ridge, forming a triangular shape for the top of window wall of the dormer. The walls of the dormer that extend downward from the gable roof are vertical.

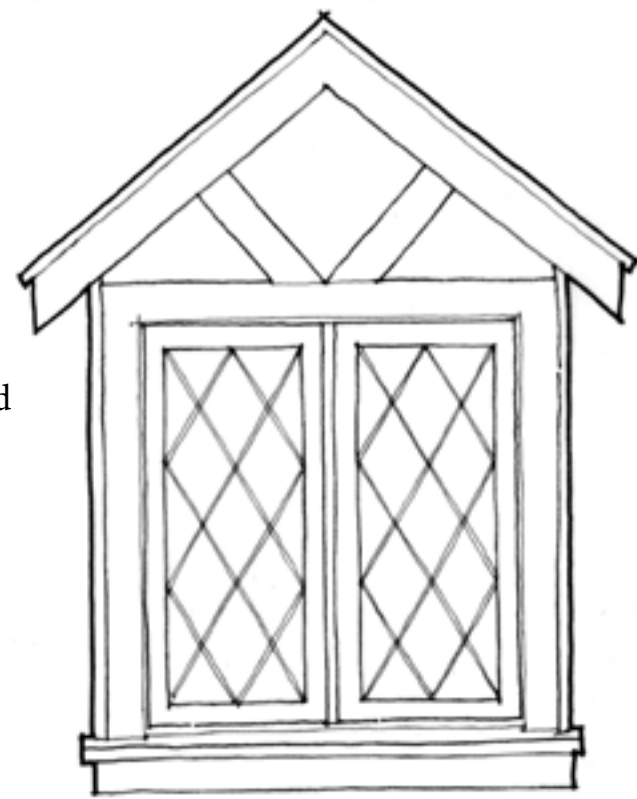
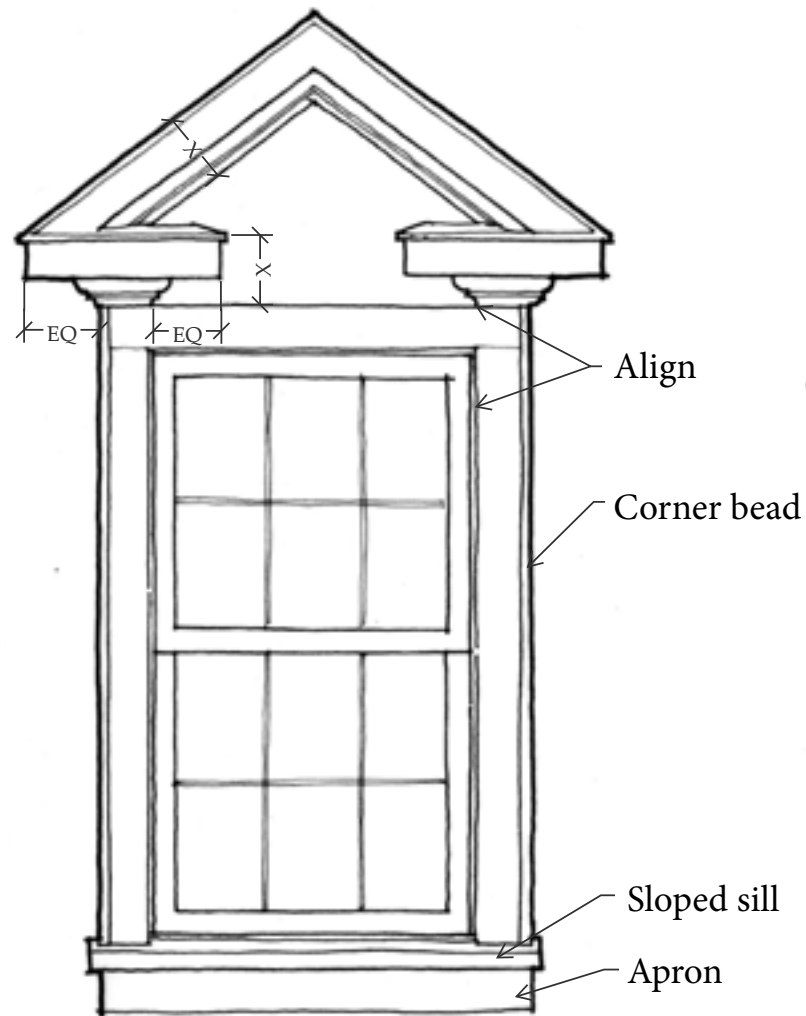
The dormer's ridge line should be below the top of the ridge of the primary roof.

The dormer face, or wall, is set back from the wall below so that it is secondary to the primary roof.

The windows of the dormer should make up most of the front wall, be evenly spaced and match the windows of the primary structure.

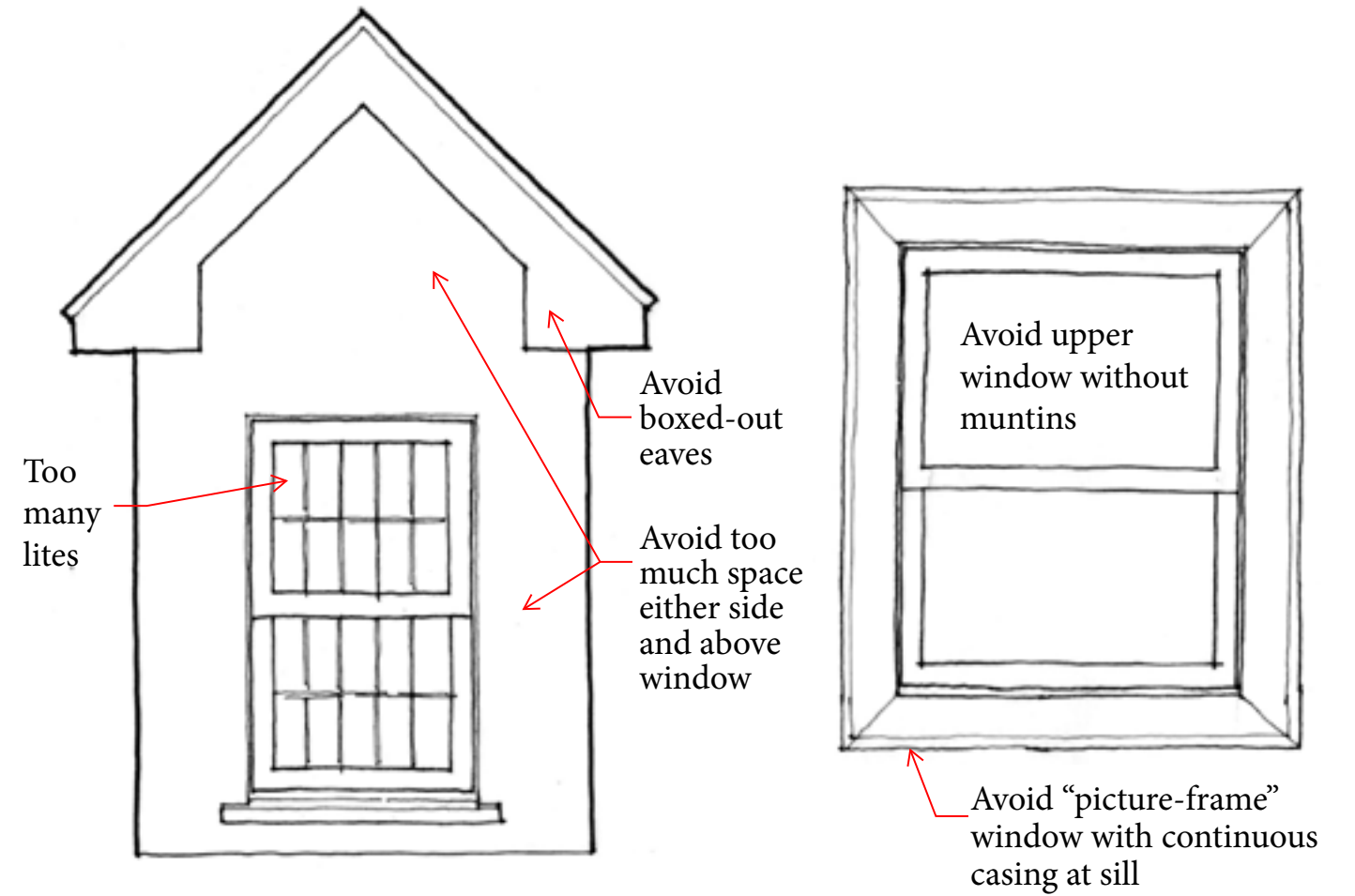


# DORMER DETAILS



Dormer with casement window and diamond pattern lites - these are historically leaded glass windows.

## DORMER DETAILS TO AVOID





# GARAGES BY LOT SIZE

## R-6: Lot Size Less than 6000 sq ft 50' x 120' (Typical)

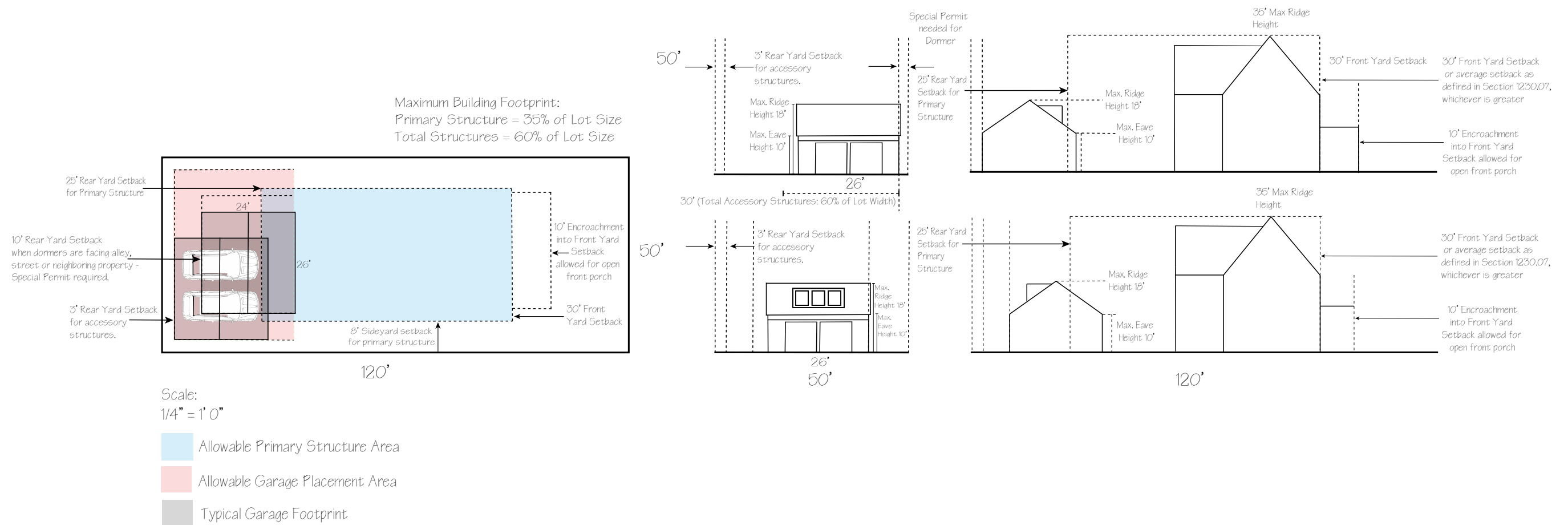
Max width of detached garage = 60% lot width

Max width of other accessory structures = 40% lot width

Maximum combined width of all accessory structures shall not exceed 60%

Detached garages shall not be less than 10' from principal structure

Special Permit needed if dormers are facing alley, street, or neighboring property

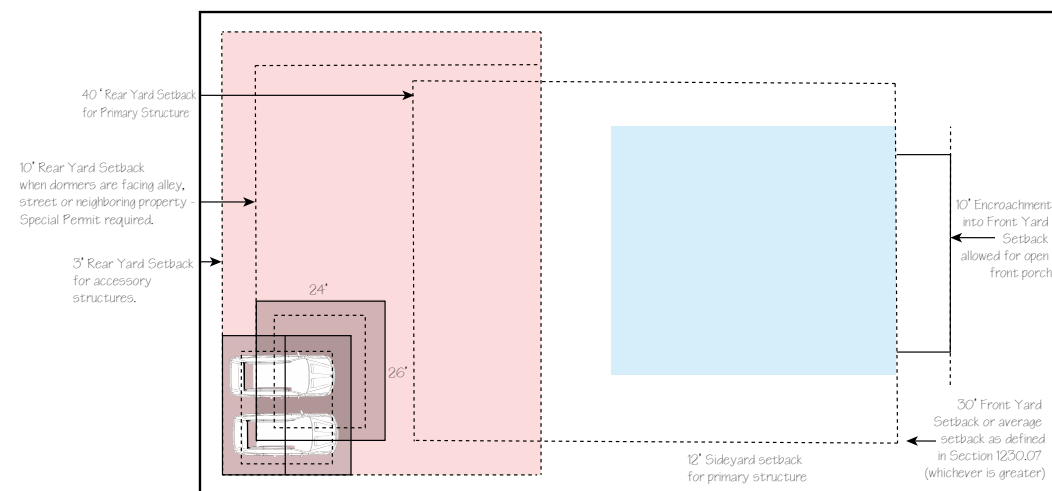


# GARAGES BY LOT SIZE, CONT.

R3: Lot Size 6,000 to 13,999 sq ft  
90' x 160' (Typical)

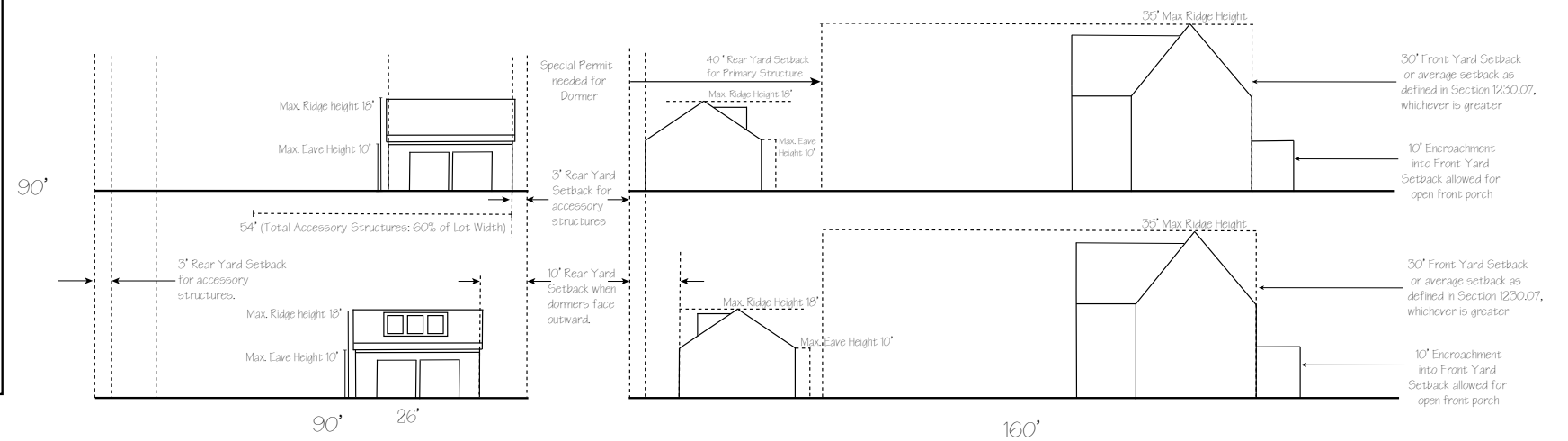
- Max width of detached garage = 60% lot width
- Max width of other accessory structures = 40% lot width
- Maximum combined width of all accessory structures shall not exceed 60%
- Detached garages shall not be less than 10' from principal structure
- Special Permit needed if dormers are facing alley, street, or neighboring property

Maximum Building Footprint:  
Primary Structure = 25% of Lot Size  
Total Structures = 40% of Lot Size



Scale:  
1/4" = 1' 0"

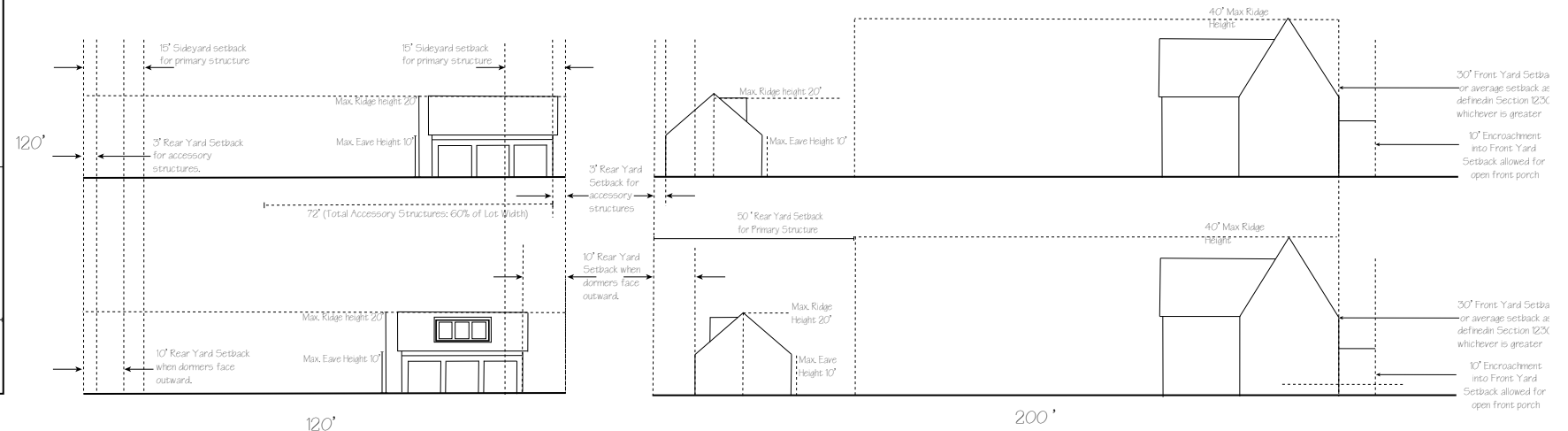
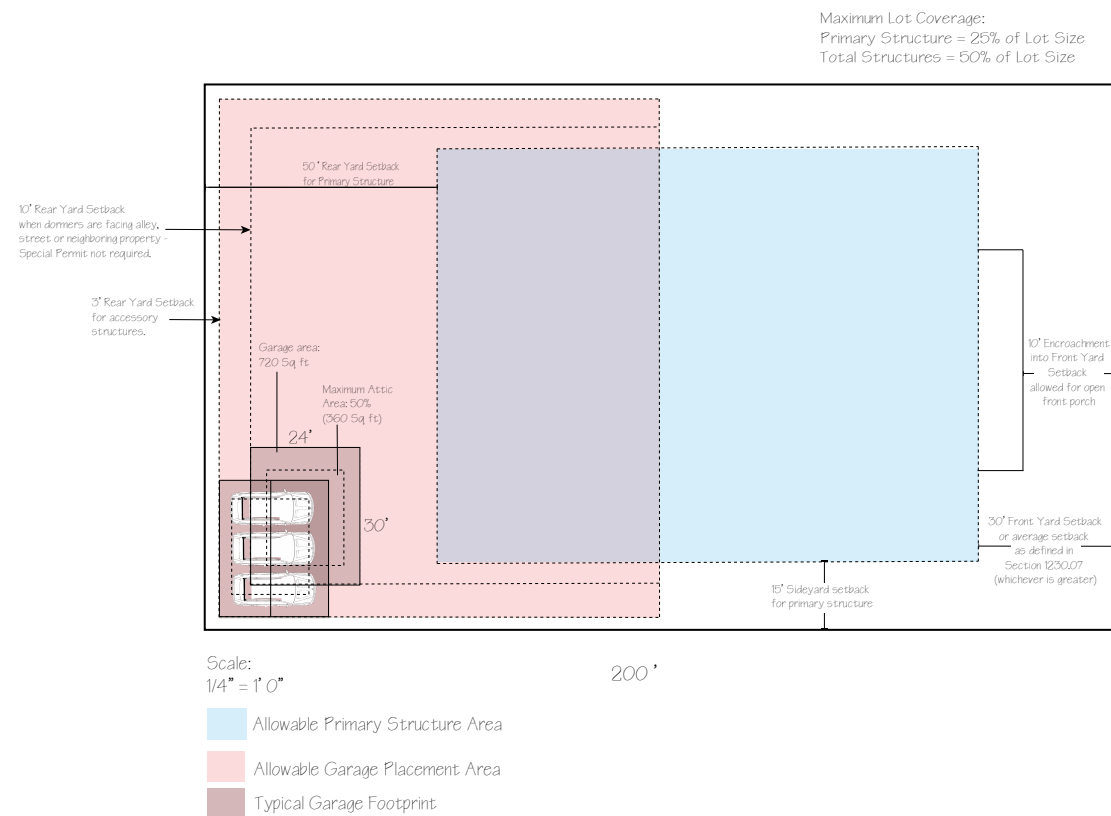
- Allowable Primary Structure Area
- Allowable Garage Placement Area
- Typical Garage Footprint



# GARAGES BY LOT SIZE, CONT.

R2: Lot Size 14,400 - 23,999 sq ft or greater  
120' x 200' (Typical)

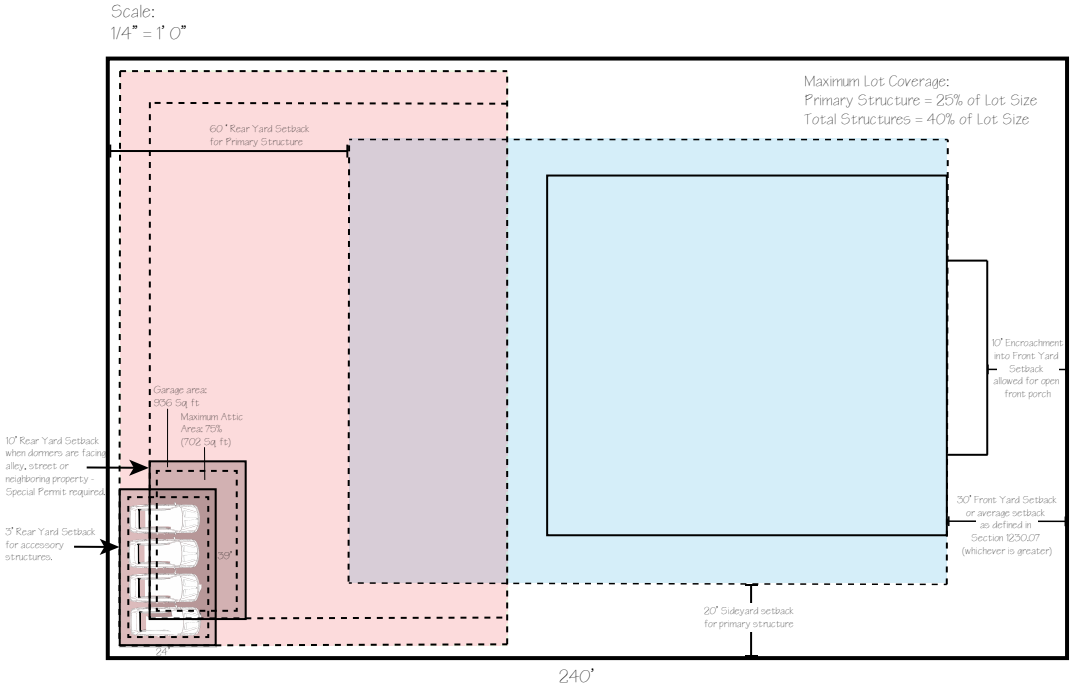
Max width of detached garage = 60% lot width  
Max width of other accessory structures = 40% lot width  
Maximum combined width of all accessory structures shall not exceed 60%  
Detached garages shall not be less than 10' from principal structure



# GARAGES BY LOT SIZE, CONT.

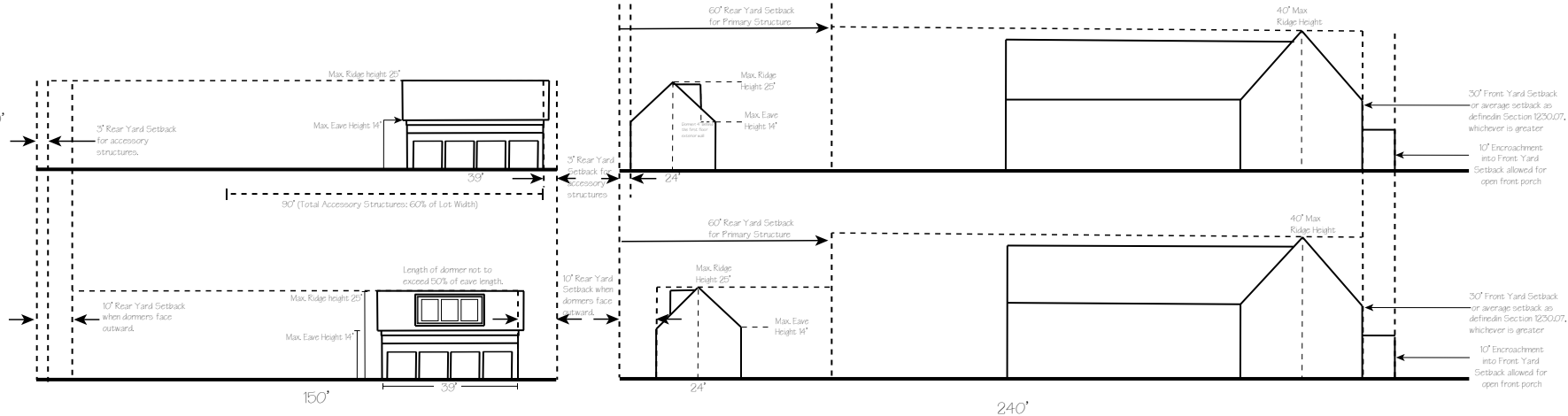
R1: Lot Size 24,000 sq ft or greater  
 150' x 240' (Typical)

Max width of detached garage = 60% lot width  
 Max width of other accessory structures = 40% lot width  
 Maximum combined width of all accessory structures shall not exceed 60%  
 Detached garages shall not be less than 10' from principal structure



Scale: 1/4" = 1' 0"

- Allowable Primary Structure Area
- Allowable Garage Placement Area
- Typical Garage Footprint



# NEW BUILDING SITE CONSIDERATIONS

FENCING CONSIDERATIONS

LIGHTING CONSIDERATIONS

PARKING CONSIDERATIONS

LANDSCAPING

# SUSTAINABILITY

MATERIAL CHOICES, ETC....

RESPECT/INTERACTION WITH THE ENVIRONMENT (TREE  
COMMISSION , ARBORETUM...)

LIFE CYCLE ANALYSIS (ASTM STANDARD) ANALYSIS OF  
HISTORICAL WINDOWS

RESTORATIVE ENVIRONMENTAL DESIGN STANDARDS  
(SEE QUOTES AT END OF THIS DOC)



# SUSTAINABILITY, CONT.

## SOLAR PANELS *(THIS SECTION INCLUDES PENDING ORDINANCE CHANGES BEFORE COUNCIL)*

Roof and flush-mounted solar panels shall be allowed, subject to staff review. Installations should be sensitive to the property, surrounding properties, and neighborhood context.

### Roof Mounted Solar Panels:

1. Rear and side locations are preferred. Any installations on the front roof facade shall be justified by providing an analysis of why the front facade is necessary in order to generate viable output.
2. The color of the solar panels and solar panel trim shall be complementary to roof color as determined by staff. For the purpose of this provision, “complimentary” does not mean that staff shall require panel or panel trim colors that are not standard selections that are readily available on the market.
3. The configuration and profile of the assembly shall be complementary to the roof line and roof façade as determined by staff review. Installations should minimize the number of corners, and should avoid complex and/or nonsymmetrical configurations.
4. Wiring and supporting infrastructure should be designed in such a way as to minimize visibility from the right-of-way.
5. Solar panels shall not project vertically above the peak of the roof to which it is attached, or project vertically more than four (4) feet above a flat roof installation.
6. In the event that Solar Panel Design Guidelines are adopted by the Architectural Review Board with approval by City Council, the application must substantially conform to said Solar Panel Design Guidelines.

### Ground Mounted Solar Panels:

1. Ground mounted solar panels exceeding two (2) square feet in area shall be located in aside or rear yard only, with the same setback requirement as accessory structures.
2. Ground mounted solar panels shall not exceed ten (10) feet in height.

### Exemptions:

The following installation types are not subject to the regulations set forth above.

1. Solar panels less than two (2) square feet in area.
2. Solar panels installed within the right-ofway by the City.

## SOLAR PANEL ROOF EXAMPLES

DO use regular patterns with the orientation the same direction.



DO use color choices that will match the details of the existing structure.



DO NOT use color choices that do not compliment the details of the existing structure or mix colors, shapes and sizes of panels.



# HISTORIC PRESERVATION AND DESIGN GUIDELINES FOR REHABILITATION

## GENERAL REHABILITATION ADVICE FROM THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION:

The Standards (Department of Interior regulations, 36 CFR 67) pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompass the exterior and the interior, related landscape features and the building's site and environment as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, taking into consideration economic and technical feasibility.

These standards are simply for reference and background information and, while highly recommended as a guide for rehabilitation, are not specific to Bexley. They have however been a resource for Bexley's own codified ordinances, Board reviews and staff reviews.

City staff and Board members strongly urge residence to follow the advice of the Secretary of Interior when undertaking a home renovation and/or rehabilitation.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.

## GENERAL REHABILITATION ADVICE FROM THE SECRETARY OF THE INTERIOR'S STANDARDS FOR REHABILITATION, CONT. :

4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or examples of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be substantiated by documentary, physical, or pictorial evidence.
7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structures, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.



# HISTORIC PRESERVATION AND DESIGN GUIDELINES FOR REHABILITATION, CONT.

## ROOF REPLACEMENT GUIDELINES:

Roofing materials are important contributing visual elements to the integrity of the building materials. Slate is one of the most aesthetically pleasing and durable of all roofing materials.

Staff must approve shingle color and style. New roofs shall be compatible in color and texture with the architectural style of the house.

Any variation from these standards may require an appearance before the ARB. Additionally, applicants whose projects have been reviewed by staff may request and apply for review and approval by the Board. The staff may also decline to review a project and refer it to the ARB.

Every effort should be made to replace deteriorated slate roofs with new slate and to develop an effective maintenance and repair program for slate roofs that can be retained.

Although slate, cedar shakes, and tile replacement roofs are expensive, the superiority of materials and craftsmanship will give years of continued service. If amortized over the life of the roof, the replacement cost can be very reasonable.

- Slate shingles are an administrative approval for replacement of the existing deteriorated slate roofs and for replacement of non-original asphalt shingle roofs in consultation with staff and in accordance with applicable guidelines.
- All hips and ridges recommended to be capped with galvanized metal ridge roll and not cut shingle tabs. Ridge rolls should extend to the ridge edges (flush with the fascia).
- Any and all necessary venting should be installed on the roof ridges underneath the metal ridge roll.
- All metal ridges, valleys and flashing should match the shingles as closely as possible.

(Below is taken from the National Park Service)

It is indicative at once of the awesome powers of nature which have formed it and the expertise and skill of the craftsman in handshaping and laying it on the roof. Installed properly, slate roofs require relatively little maintenance and will last 60 to 125 years or longer depending on the type of slate employed, roof configuration, and the geographical location of the property. Some slates have been known to last over 200 years. Found on virtually every class of structure, slate roofs are perhaps most often associated with institutional, ecclesiastical, and government buildings, where longevity is an especially important consideration in material choices. In the slate quarrying regions of the country, where supply is abundant, slate was often used on farm and agricultural buildings as well.

Because the pattern, detailing, and craftsmanship of slate roofs are important design elements of historic buildings, they should be repaired rather than replaced whenever possible. The purpose of this Preservation Brief is to assist property owners, architects, preservationists, and building managers in understanding the causes of slate roof failures and undertaking the repair and replacement of slate roofs. Details contributing to the character of historic slate roofs are described and guidance is offered on maintenance and the degree of intervention required at various levels of deterioration.

The relatively large percentage of historic buildings roofed with slate during the late nineteenth and early twentieth centuries means that many slate roofs, and the 60 to 125 year life span of the slates most commonly used, may be nearing the end of their serviceable lives at the end of the twentieth century. Too often, these roofs are being improperly repaired or replaced with alternative roofing materials, to the detriment of the historic integrity and appearance of the structure. Increased knowledge of the characteristics of slate and its detailing and installation on the roof can lead to more sensitive interventions in which original material is preserved and the building's historic character maintained. Every effort

# HISTORIC PRESERVATION AND DESIGN GUIDELINES FOR REHABILITATION, CONT.

## SLATE ROOF REPAIR AND REPLACEMENT:

Any/all proposed repairs to existing roofs require Staff/Administrative or Board approval.

There are 3 categories of roof repair and replacement:

1. Repair with original material
2. Replacement in kind
3. Replacement w non original roof material

The following information must be submitted as part of the application process:

### Repair Options:

For slate roofs being repaired, any/all missing, damaged, and deteriorated slate on all main and ancillary roofs should be repaired with new or used slate of same color and profile as existing, in accordance with the Architectural Review Board Design Guidelines and all applicable City Codes and industry standards.

### Removal and Replacement:

- A Certificate of Appropriateness granted by the Architectural Review Board for a roof replacement is required prior to the removal of a slate roof.
- Pictures showing all roof surfaces and dominant street views shall be included in the submission.
- Applicants should provide written estimates for slate repair as well as both replacement of the roof with slate and replacement with proposed new replacement material.
- In addition to a written description of the existing condition of the slate, all slate roof assessments should provide the type and style of slate.
- Applicants should address:
  - the remaining life of the existing slate roof
  - the estimated future life of the roof repaired and remaining slate
  - the estimated life expectancy of a non slate replacement roof.

It important to understand the life cycle value/cost of a roof repair/ replacement vs simply present cost.

Applicant should provide a written statement of the architectural importance of the existing slate roof (its prominence on the street, its significance to the architecture/architectural style of the home, etc...)

Applicants are to work with the Design Consultant to determine the additional level of documentation necessary for consideration of a slate roof removal. on secondary elevations. Information should include:

- Existing Conditions:
  - Damage
  - Photographs of flashing, leaks, underlayment, etc..
- Roof Maintenance History:
  - Documentation
  - Professionals used and qualifications
- Additional helpful information:
  - Is the structure on a primary street?
  - Does the existing roof contribute significantly to the architectural integrity of the design of the building?
  - The applicant should submit a minimum of two written slate roof assessment by a qualified slate roofing contractor regarding the existing condition of the slate roof, and documenting, to the commission's satisfaction, that the slate is beyond its serviceable life.
  - The City of Bexley may also engage a slate roofing contractor to evaluate the condition of the existing roof.
  - When slate removal has been determined to be appropriate/necessary, the maintenance and repair of the slate on the primary elevation(s) will be considered in conjunction with replacing the deteriorated slate
  - Roof Character Analysis and Further Considerations: The applicant must work with the Design Consultant to evaluate and document the following:
    - What is the significance or prominence of the primary elevations of the existing roof?

*(Explanations, processes, Illustrations and guidelines for the following to be added)...*

**COLOR**

**LANDSCAPE FEATURES**

**GUTTERS AND DOWNSPOUTS**

**ADAPTIVE USE**

**COMMERCIAL CORNICES, PARAPETS**

**AWNINGS**

**SIGNAGE**

**STOREFRONTS**

**ACCESS FOR THE DISABLED**

**ORDINANCE 1-23**

By Monique Lampke:

**An ordinance to appropriate \$61,924 to pay school revenue sharing based on 2021 payroll taxes collected from tenants of Bexley Gateway.**

**Whereas**, Based on the payroll taxes collected from the tenants of Bexley Gateway and the statutory formula for calculating the amount the City owes to the Bexley City School district, the City owes \$61,924 in revenue sharing for 2021.

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY, OHIO.**

**Section 1.**

That \$61,924 is hereby appropriated to revenue sharing to the school based on 2021 payroll taxes collected by the tenants of Bexley Gateway.

**Section 2.**

That this ordinance shall go into effect and be in force from and after the earliest period allowed by law.

Passed: \_\_\_\_\_

\_\_\_\_\_  
Troy Markham, Council President

Attest \_\_\_\_\_  
Matt McPeek, Clerk of Council

\_\_\_\_\_  
Mayor Ben Kessler

First Reading: January 24, 2023

Second Reading:

Third Reading:

**ORDINANCE NO. 2 - 23**

By: Monique Lampke

**AN ORDINANCE TO APPROPRIATE \$441,220 FROM THE ROAD AND ALLEY FUND AND TO PAY FOR THE UNCOMPLETED PORTION OF THE 2022 DREXEL AVE. AND GRANDON AVE. IMPROVEMENT PROJECT.**

**Whereas:** The completion of the Drexel Ave. and Grandon Ave. Improvement Project was delayed and unable to be completed in 2022; and

**Whereas:** There remained unexpended 2022 appropriation in the Road and Alley Fund for this project of \$441,220 at the end of 2022.

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY.**

**Section 1.**

That \$441,220 is hereby appropriated from the Road and Alley Fund to pay for the uncompleted portion of the 2022 Drexel Ave. and Grandon Ave. Improvement Project.

**Section 2.**

That this ordinance shall go into effect and be in force from and after the earliest period allowed by law.

Passed: \_\_\_\_\_, 2023

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_  
Matt McPeek, Clerk of Council

Approved: \_\_\_\_\_, 2023

\_\_\_\_\_  
Mayor Ben Kessler

ORDINANCE NO. 3-23

By: Monique Lampke

**An Ordinance to establish a special fund designated the North Columbia and South Remington Road Improvements Fund to record all revenue and expenses associated with the North Columbia and South Remington Road project, to appropriate \$4,969,075 from this fund to pay for the cost of the project.**

**Whereas:** The City of Bexley has received financing from the State of Ohio in the form of a \$1,237,2991 grant and a \$3,731,776 interest free loan from the Ohio Public Works Commission for the North Columbia and South Remington Avenue Improvements project, and

**Whereas:** The revenues and expenditures related to the project must be recorded in a separate project fund.

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY, OHIO:**

**Section 1.**

That a special fund designated the North Columbia and South Remington Road Improvements Fund is hereby established to record all revenue and expenses related this project.

**Section 2.**

That \$4,969,075 is hereby appropriated from the North Columbia and South Remington Road Improvements Fund for the purpose recording the expenses related to the project.

**Section 3.**

That all unexpended appropriation at the end of the year shall be automatically reappropriated and the beginning of the following year.

**Section 5.** That this ordinance shall go into effect and be in force from and after the earliest period allowed by law.

Passed: \_\_\_\_\_, 2023

---

Troy Markham, President of Council

Attest: \_\_\_\_\_  
Marr McPeck, Clerk of Council

\_\_\_\_\_  
Ben Kessler, Mayor

**Ordinance No. 4-23**

**By: Monique Lampke**

An Ordinance to Amend Section 262.02(c)(3), Holidays.

**Whereas**, Ordinance 25-22 amended Section 262.02(c)(3)(B) in order to add Christmas Eve and New Years Eve as holidays and to provide the Mayor with the ability to grant additional time off preceding or following paid holidays; and

**Whereas**, the changes in Ordinance 25-22 inadvertently caused calendar issues not anticipated prior to its passage;

**NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Bexley, Ohio that Section 262.03(c)(3) of the codified ordinances be amended as follows:**

Section 1

(3) Holidays.

A. Police Chief and Captain. Holidays for the Police Chief and Police Captain will be as follows:

- New Year's Day
- Martin Luther King Jr. Day
- President's Day
- Memorial Day
- Juneteenth
- Labor Day
- Bexley Day (Marking the day of Bexley's founding - observed second Monday in August)
- Veterans Day
- Thanksgiving Day
- Friday following Thanksgiving Day
- Christmas Day

Exempt employees shall not be entitled to holiday pay above and beyond normal salary.

B. All other Schedule I employees. Holidays for all other Schedule I employees will be as follows:

- ~~New Year's Eve~~
- New Year's Day
- Martin Luther King Jr. Day
- Presidents Day
- Memorial Day
- Independence Day
- Bexley Day (Observed second Monday in August)



Labor Day  
Thanksgiving Day  
Friday following Thanksgiving Day  
~~Christmas Eve~~  
Christmas Day

C. Unless otherwise directed by the Mayor, an employee subject to this subsection will not work on a scheduled holiday.

D. Non-exempt employees subject to this subsection who are required to work on a holiday will receive double-time for hours worked, and exempt employees shall not be entitled to overtime pay for holidays worked by them. The extra pay will be included in the regular payroll in which the holiday occurs. Any person absent the working day before or after a holiday, without prior approval, shall not be paid for that holiday.

E. At the discretion of the Mayor, the City offices may remain open on Bexley Day, and this may be a floating holiday. Employees may request this day off with pay through the year. Bexley Day must be used by December 31st of each calendar year or it will be forfeited.

F. The Mayor, at their sole discretion, may grant non-bargaining unit employees additional ~~up to four~~ hours off work on the work day ~~immediately~~ preceding or ~~immediately~~ following one of the holidays set forth in this section.

**Section 2.**

That this Ordinance shall go into full force and effect at the earliest period allowed by law.

Passed \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham President of Council

Attest: \_\_\_\_\_, 2022  
Matthew McPeak, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin Kessler, Mayor

First Reading:  
Second Reading:

Third Reading:

## RESOLUTION NO. 1-23

By: Jessica Saad

### **A resolution to amend the Jeffrey Mansion Alcohol Policy Framework.**

**WHEREAS**, the City of Bexley passed ordinance 37-12 which amended Section 1062.07 of the Bexley Codified Ordinances permitting the use of alcohol at Jeffrey Mansion; and

**WHEREAS**, Ordinance 37-12 included a Council approved Jeffrey Mansion Alcohol Policy Framework that specified the restrictions applicable to the use of alcohol at the Mansion; and

**WHEREAS**, Resolution 02-15 amended the Jeffrey Mansion Alcohol Policy Framework to include language authorizing the Recreation Director, with approval from the Mayor, to permit alcohol rentals on Mondays, Tuesday, Wednesdays, and Thursdays; and

**WHEREAS**, Resolution 08-15 amended the Jeffrey Mansion Alcohol Policy Framework to eliminate language which restricted alcohol rentals to Bexley Residents only; and

**WHEREAS**, Resolution 08-16 amended the Jeffrey Mansion Alcohol Policy Framework to allow the serving of alcohol within Jeffrey Park at no more than two Recreation Board permitted events per year; and

**WHEREAS**, Resolution 15-18 amended the Jeffrey Mansion Alcohol Policy Framework to set the parameters in which alcohol rentals can occur within the Jeffrey Mansion lower level and carriage court expansion; and

**WHEREAS**, on January 4, 2023, the Recreation Board approved board resolutions 01-23, 02-23, 03-23, and 04-23, all of which recommended changes to the Jeffrey Mansion Alcohol Framework in an effort to responsibly expand access to the facility and provide flexibility for recreation staff to administer the rental process; and

**WHEREAS**, this update to the Jeffrey Mansion Alcohol Policy Framework reflects Recreation Board recommended changes based on the past two years of experience renting the newly renovated Jeffrey Mansion;

**NOW THEREFORE, BE IT RESOLVED BY THE COUNCIL OF THE CITY OF BEXLEY, OHIO:**

#### **Section 1.**

The Jeffrey Mansion Alcohol Framework approved by Council is amended to create an exemption to the ending times for alcohol events on holidays.

#### **Section 2.**

The Jeffrey Mansion Alcohol Framework approved by Council is amended to remove the Bexley Resident requirement for Carriage Court alcohol event rentals at Jeffrey Mansion.

**Section 3.**

The Jeffrey Mansion Alcohol Framework approved by Council is amended to remove the limitation on the number of monthly Carriage Court alcohol event rentals at Jeffrey Mansion.

**Section 4.**

The Jeffrey Mansion Alcohol Framework approved by Council is amended to modify security provisions from requiring police officers to allowing security staff and providing flexibility for Bexley Recreation and Parks staff in determining which events need security staff present.

**Section 5.**

This Resolution shall go into full force and effect at the earliest period allowed by law.

Passed \_\_\_\_\_, 2023

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_, 2023  
Clerk of Council

Approved: \_\_\_\_\_, 2023

\_\_\_\_\_  
Ben Kessler, Mayor

First Reading: January 24, 2023

Second Reading:

Third Reading:

# Jeffrey Mansion Alcohol Policy Framework

Revised March 26, 2019

It is the intent of this Jeffrey Mansion Alcohol Policy Framework to allow for limited and responsible permitting of alcohol at Jeffrey Mansion during special events at the mansion.

## **Role of the Recreation Board**

The Recreation Board shall author and administer a Jeffrey Mansion Alcohol Policy. The Recreation Board has the right to define and restrict the Jeffrey Mansion alcohol policy beyond the framework outlined herein.

In addition to, or as a part of, the Recreation Board created Jeffrey Mansion Alcohol Policy, the Recreation Board shall establish clear internal standards and directives to address the following:

- **Evaluation:** Prior to the enactment of a Jeffrey Mansion Alcohol Policy, the Recreation Board shall establish a process and standards by which to regularly evaluate the effectiveness of the alcohol policy in promoting responsible stewardship of the mansion facility and the city's financial position.
- **Enforcement:** The Recreation Board shall establish methods by which to enforce responsible conformance to the Jeffrey Mansion Alcohol Policy by users of the facility.
- **Communication:** Requirements of users of the Mansion and enforcement measures must be clearly communicated in rental forms, etc., and in any promotional materials.
- **Creation and Modification of the Jeffrey Mansion Alcohol Policy:** The Jeffrey Mansion Alcohol Policy will not go into effect until voted on and passed by a simple majority of the Bexley Recreation Board. Any changes of the policy thereafter will also require passage by a simple majority of the Bexley Recreation Board.
- **Legal Issues:** The Recreation Board shall have the draft Jeffrey Mansion Alcohol Policy reviewed by legal counsel prior to submittal to Bexley City Council for review.

## **Rental Rate Structure**

It is not the intent of this policy to alter rental rates for events in which alcohol is not being permitted. Therefore, rental rate structures for Jeffrey Mansion will remain the same except for the following changes:

- An alcohol surcharge will be assessed to any event that would like to have the use of alcoholic beverages. The alcohol surcharge rate shall be established by the Recreation Board.

### **Frequency, Days, and Hours of Permitted Use**

- Rentals in which the serving of alcohol is permitted will be required to fall into specific time windows on Fridays, Saturdays and Sundays.
- All weekend events with alcohol must end by 11:30 pm.
- The Recreation Director, with approval from the Mayor, may permit alcohol rentals on Mondays, Tuesday, Wednesdays, and Thursdays, with an ending time of no later than 11:00 pm.
- Holidays are exempt from the designated end time.
- Only one private alcohol event can occur in the Mansion at the same time.

### **Additional Restrictions on Rentals of the Lower Level Carriage Court**

- Events in which alcohol is permitted and the number of guests exceeds the current Main Level maximum occupancy of 128 people requires a parking plan which may include valet parking at the cost of the renter.

### **The annual event limitation does not include:**

- Community events/city sponsored events such as, but not limited to, the BCF Annual Event, Mayor and Solicitors Dinner, DARN Shop Hop, etc.

### **Designated Areas for Events within Jeffrey Park**

- The Recreation Board may permit up to two events per year within the Jeffrey Park grounds which are open to the public and free of charge for general admission during which the serving of alcohol is permitted.

### **Approved Caterers**

A list of approved preferred caterers will be created for events.

- Preferred caterers will be required to obtain and maintain personal injury and/or property damage liability insurance coverage of no less than a \$1,000,000; automobile liability insurance of an amount no less than \$1,000,000; and liquor liability insurance of no less than \$1,000,000. The City of Bexley shall be included as an additional insured on the caterer's certificate of insurance.
- Caterers will pay a fee, as determined by the Recreation Board, to the Recreation Department for each event at which they serve.
- In order to have alcoholic beverages at an event, customers must work with one of the preferred caterers.
- Approved caterers will be interviewed and pre-approved by the Bexley Recreation Board.
- In order to remain on the preferred caterer's list, the caterer must leave the mansion in the condition it was in prior to the event, to the satisfaction of the Recreation Director.

### **Caterer's Responsibility**

- Caterers will have a separate contract with customers from that of the rental contract.

- Customer will make a payment to the Bexley Rec for the Jeffrey Mansion and a payment to the preferred caterer of choice for food services.

### **Security**

- Private alcohol events may be required to have a minimum of one security staff at the discretion of Bexley Recreation and Parks (BRP) staff. BRP staff reserve the right to require additional security staff.
- Priority for security coverage will be given to Bexley police officers.
- Alcohol consumption must comply with all Bexley Ordinances, Ohio Revised Code, and any and all governing laws.
- Security staff and BRP staff retain the authority to order the renters/participants to cease all activities and leave the premises if it is determined that is in the best interests of safety.

### **Designated Areas**

- Alcohol consumption is strictly limited to designated areas. The designated areas specified in this policy may be further restricted by action of the Recreation Board. These areas include the Jeffrey Mansion building including the carriage court expansion on the north side of the building, adjacent patio, south parking lot and the adjacent first landing located on the west side of the Jeffrey Mansion (Landing with the gazebo). The designated areas are shaded red in the aerial photograph below:



### **Review of the Jeffrey Mansion Alcohol Policy by Bexley City Council and Mayor**

- Within 30 days prior to voting on the passage of a new or modified Jeffrey Mansion Alcohol Policy, the Recreation Board shall provide members of Bexley City Council and the Mayor of Bexley a written copy of the same for review and comment.

### **Notice to Area Residents for Proposed Changes to the Jeffrey Mansion Alcohol Framework**

- If legislation is introduced at Bexley City Council to amend the Jeffrey Mansion Alcohol Policy Framework, notice will be mailed to Bexley residents within 500' of Jeffrey Mansion no later than 7 days after introduction of the legislation.



**Ordinance 35 - 22**

**By: Lori Ann Feibel**

**An Ordinance to amend Section 1060, in order to require recycling service to be provided at commercial, institutional, and multi-family properties within the City of Bexley.**

**WHEREAS**, The City of Bexley Zero Waste Plan has been adopted by Bexley City Council via Resolution 09-17; and

**WHEREAS**, the City of Bexley Zero Waste Plan calls for expanding recycling services to multifamily residential properties, businesses, and institutions; and

**WHEREAS**, the City of Bexley created recycling for single family households in 1990.

**WHEREAS**, governmental regulations are required in order for greenhouse gas emissions to not exceed more than 2 degrees above pre-industrial levels.

**WHEREAS**, significant action must be taken by municipalities prior to 2030, as determined by the International Panel on Climate Change; and

**WHEREAS**, environmental issues are human rights, health, and safety issues; and

**WHEREAS**, the United States is anticipated to re-commit to the Paris Accord in 2021; and

**WHEREAS**, the City of Bexley administration has been assisting with the creation of concepts for universal recycling, including pricing and legislative models; and

**WHEREAS**, the City of Bexley administration, with the support and assistance of the Environmental Sustainability Advisory Committee has been exploring concepts for universal recycling in Bexley; and

**WHEREAS**, in the Spring of 2020, the Environment, Economy, Development and Sustainability program of the School of Environment and Natural Resources at the Ohio State University assisted with researching similar programs throughout the country, and

**WHEREAS**, a substantial amount of waste would be diverted from the landfill and recycled as a result of universal recycling;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY, OHIO:**

**Section 1.**

1060.01 Definitions be amended to add the following definitions:

“Multifamily Property” means a property that contains more than one dwelling unit, and includes condominium complexes.

“Institutional Property” means a property used for educational or religious purposes, or as a supervised residential facility with 24-hour onsite staff, and which has a contiguous facility footprint in excess of 10,000 square feet.

**Section 2.**

That new Section “1060.16 Recycling Service at Commercial, Institutional, and Multifamily Properties” be created as follows:

1060.16 Recycling Service at Commercial, Institutional, and Multifamily Properties

- (a) All Commercial, Institutional, and Multifamily Residential properties shall be provided with onsite single-stream recycling collection service, with the following minimum criteria.
  - a. Collection to occur on a weekly basis at a minimum.
  - b. Minimum capacities:
    - i. In the case of commercial properties under 10,000 square feet, a minimum recycling capacity of a 96 gallon toter shall be provided for single stream recycling.
    - ii. In the case of commercial properties in excess of 10,000 square feet, a minimum recycling capacity of four yards shall be provided for single stream recycling.
    - iii. In the case of Multifamily Properties, a recycling capacity of 24 gallons per unit, with a minimum of one 96 gallon toter provided for single stream recycling.
    - iv. Institutional Properties shall create a recycling plan that adequately services the recycling capacity of their institutions, which shall be submitted to the City by January 1, 2023, and fully implemented after review and approval by the Environmental Sustainability Advisory Committee Executive Committee (ESACEC).
- (b) Administrative Exceptions:
  - a. In instances of commercial users with specialized recycling needs, or where single stream recycling service would be less impactful than a customized recycling service, an exception may be provided after review and approval by the

- ESACEC. In such cases, a minimum 96 gallon single stream toter may still be required by the ESACEC.
- b. In instances of commercial or Multifamily environments where site plans do not allow for adequate capacity, lesser onsite capacity may be allowed if combined with more frequent pickup, subject to review and approval by the ESACEC.
  - c. Lesser onsite capacity may be allowed if capacity is provided by adjoining shared facilities, subject to review and approval by the ESACEC.
- (c) Commercial, Multifamily, and Institutional negotiated rates
- a. The City shall negotiate with a hauler for weekly single-stream recycling service to Multifamily, Commercial, and Institutional properties, to be billed to properties on a quarterly basis. In instance of properties in which a pre-existing contract prohibits using the City's contracted hauler, or in which property owners are able to obtain comparable service which is in compliance with this Chapter, properties may apply for exemption from the quarterly recycling rate, subject to review by the ESACEC.
- (d) Right of Appeal of ESACEC Decisions
- a. Any decision rendered per this Section by the ESACEC may be appealed to a review board comprised of the President of Council, the Service Chair of Council, and the Auditor. The decision of the review board shall be final.
- (e) Charges
- a. To provide necessary funds for equipment, personnel and other expenses in connection with the collection and disposal of recyclable materials as specified in this Chapter, a monthly charge shall be assessed based upon the following schedule:
    - i. 96 Gallon Toters: \$12 per month
    - ii. 4 Yard Dumpster: \$ \_\_\_ per month
    - iii. 6 Yard Dumpster: \$ \_\_\_ per month
    - iv. 8 Yard Dumpster: \$ \_\_\_ per month
    - v. 10 Yard Dumpster: \$ \_\_\_ per month
  - b. Monthly charges shall be payable quarterly in advance, commencing January 1, 2023.
  - c. Whenever service begins between payment periods, a payment at the rate of one twelfth of the current annual charge per month, for the balance of the current period, shall be made before service commences.
  - d. For periods of ten days or less in any one month, no charge shall be made, but eleven days or more shall be charged for a full month.
  - e. No refund shall be made for any part of a payment if service is discontinued during such period.

**Commented [B01]:** This pricing is based upon a Rumpke quote of \$12 per toter per month for commercial toters. Pricing would need to be competitively quoted, and ordinance would need to be updated with actual figures prior to passage.

**Section 2.**

That this Ordinance shall go into effect and be in force from and after January 1, 2023.

Passed: \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham, President of Council

Attest:

\_\_\_\_\_  
Matt McPeck, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Ben Kessler, Mayor

First reading:

## ORDINANCE NO. 48 - 22

By: Sam Marcellino

### **An Ordinance to create Chapter 837, Tobacco Retail License and Regulations and to remove Chapter 636.16 of the Codified Ordinances, Illegal distribution of cigarettes, other tobacco products or alternate nicotine products.**

**Whereas**, The City of Bexley seeks to promote the health, wellness and safety of all residents; and,

**Whereas**, The City of Bexley has historically been a leader in anti-smoking efforts, being the first community in the State of Ohio to enact an indoor smoking ban; one of the first central Ohio communities to ban the sale of smoking products to persons under the age of 21; and the first to ban flavored vaping products; and,

**Whereas**, tobacco use remains the leading cause of preventable death in the United States, killing nearly half a million people each year. It causes or contributes to many forms of cancer, as well as heart disease and respiratory diseases, among other health disorders; and

**Whereas**, it is in the best interest of all parties to protect young people from flavored tobacco products, and these products also disproportionately impact minority populations who smoke menthol cigarettes as a result of targeted marketing practices; and

**Whereas**, commercial tobacco use is the foremost preventable cause of premature death in America, causing a half million deaths annually, and has been responsible for 20.8 million premature deaths in the U.S. since the first U.S. Surgeon General's report on smoking in 1964;

**Whereas**, 53% of e-cigarettes are purchased from convenience stores, food, drug and mass retail chains in comparison to 28% from online retailers and 19% from specialty/vape shops; and,

**Whereas**, the density of tobacco retailers, particularly in neighborhoods surrounding schools, has been associated with increased youth smoking rates; and

**Whereas**, several studies have found that the density of tobacco retailers near schools was positively associated with the prevalence of students reporting experimental smoking; and

**Whereas**, a local licensing system for tobacco retailers is appropriate to ensure that retailers comply with federal, state, and local tobacco control laws and business standards in order to protect the health, safety, and welfare of our residents;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY:**

**Section 1.**

That Chapter 837, Tobacco Retail License and Regulations, be created as follows:

**Chapter 837**

**Tobacco Retail License and Regulations**

**837.01 Purpose**

This chapter is created to ensure that retailers comply with federal, state, and local tobacco control laws and business standards in order to protect the health, safety, and welfare of our residents.

**837.02 Definition**

- (a) “Arm’s length transaction” means a sale in good faith and for valuable consideration that reflects the fair market value between two informed and willing parties, neither of which is under any compulsion to participate in the transaction.
- (b) “Compliance checks” mean the system the city uses to investigate and ensure that those authorized to sell tobacco products are following and complying with the requirements of this ordinance. Compliance Checks involve the use of persons over the age of 18, but under the age of 21 who purchase or attempt to purchase tobacco products. Compliance checks may also be conducted by the city or other units of government for educational, research, and training purposes or for investigating or enforcing federal, state, or local laws and regulations relating to tobacco products.
- (c) “Delivery sale” means the sale of any tobacco product to any person for personal consumption and not for resale when the sale is conducted by any means other than an in-person, over-the- counter sales transaction in a licensed retail establishment. Delivery Sale includes but is not limited to the sale of any tobacco product when the sale is conducted by telephone, other voice transmission, mail, the internet, or app-based service. Delivery Sale includes delivery by licensees or third parties by any means, including curbside pick-up.
- (d) “*Electronic smoking device*” means any device that may be used to deliver any aerosolized or vaporized substance to the person inhaling from the device, including, but not limited to, an e-cigarette, e-cigar, e-pipe, vape pen or e-hookah. Electronic

smoking device includes any component, part, or accessory of the device, and also includes any substance intended to be aerosolized or vaporized during the use of the device, whether or not the substance contains nicotine. Electronic smoking device does not include drugs, devices, or combination products authorized for sale by the U.S. Food and Drug Administration for cessation purposes, as those terms are defined in the Federal Food, Drug and Cosmetic Act.

- (e) “Flavored tobacco product” means any tobacco product that imparts a taste or smell, other than the taste or smell of tobacco, either prior to, or during the consumption of, a tobacco product, including, but not limited to, any taste or smell relating to fruit, menthol, mint, wintergreen, chocolate, cocoa, vanilla, honey, or any candy, dessert, alcoholic beverage, herb, or spice.
- (f) “Moveable place of business” means any form of business that is operated out of a kiosk, truck, van, automobile or other type of vehicle or transportable shelter and that is not a fixed address or other permanent type of structure licensed for over-the-counter sales transactions.
- (g) “Person” means any natural person.
- (h) “Purchaser” means any person who obtains or attempts to obtain a tobacco product.
- (i) “Sale” includes transfer or delivery of goods for money, trade, barter, gift, or other consideration.
- (j) “Self-service display” means any display from which customers may select a tobacco product without assistance from the tobacco retailer or the tobacco retailer’s agent or employee and without a direct person-to-person transfer between the purchaser and the tobacco retailer or tobacco retailer’s agent or employee.
- (k) “Tobacco product” means: (1) any product containing, made of, or derived from tobacco or nicotine that is intended for human consumption or is likely to be consumed, whether inhaled, absorbed, or ingested by any other means, including, but not limited to, a cigarette, a cigar, pipe tobacco, chewing tobacco, snuff, or snus; (2) any electronic smoking device and any substances that may be aerosolized or vaporized by such device, whether or not the substance contains nicotine; or (3) any component, part, or accessory of (1) or (2), whether or not any of these contain tobacco or nicotine, including but not limited to filters, rolling papers, blunt or hemp wraps, and pipes. Tobacco product does not include drugs, devices, or combination products authorized for sale by the U.S. Food and Drug Administration for cessation purposes, as those terms are defined in the Federal Food, Drug and Cosmetic Act.
- (l) “Tobacco retail establishment” means any place of business where tobacco products are available for sale to the general public. The term includes but is not limited to grocery stores, tobacco product shops, kiosks, convenience stores, gasoline service stations, bars, and restaurants.

- (m) "Tobacco retailer" means any person, partnership, joint venture, society, club, trustee, trust, association, organization, or corporation who owns, operates, or manages any tobacco retail establishment. Tobacco retailer does not mean the nonmanagement employees of any tobacco retail establishment.
- (n) "Youth-oriented facility" means any facility with residents, customers, visitors, or inhabitants of which 25 percent or more are regularly under the age of 21 or that primarily sells, rents, or offers services or products that are consumed or used primarily by persons under the age of 21. Youth-oriented facility includes, but is not limited to, a licensed care facility or preschool, day care centers, public or private schools, playgrounds, a library open to the public, recreation centers, and parks.

### **837.03 License Required**

- (a) Each individual tobacco retail establishment location engaging in the sale of tobacco products at a fixed tobacco retail establishment shall secure a tobacco retail license from Franklin County Public Health before engaging or continuing to engage in such business. The tobacco retail license shall be on display at the tobacco retail establishment all times. No tobacco retailer shall sell tobacco products without a valid tobacco retail sales license.
- (b) An application for a license to sell tobacco products must be made on a form provided by Franklin County Public Health. The application must contain the full name of the applicant, the applicant's residential and business addresses and telephone numbers, the name of the business for which the license is sought, and any additional information the city deems necessary.
- (c) Franklin County Public Health may approve or deny the application for a license, or it may delay action for a reasonable period of time to complete any investigation of the application or the applicant deemed necessary. If Franklin County Public Health approves the application, the license will be issued to the applicant. If Franklin County Public Health denies the application, notice of the denial will be given to the applicant along with notice of the applicant's right to appeal the decision.
- (d) Denial of License. Grounds for denying the issuance or renewal of a license include, but are not limited to, the following:
  - 1) the applicant is under 21 years of age;
  - 2) the applicant has been convicted within the past five years of any violation of a federal, state, or local law, ordinance provision, or other regulation relating to tobacco products;
  - 3) the applicant has had a tobacco retail license revoked due to violations of this ordinance within the preceding thirty-six (36) months of the date of application;



- 4) the applicant fails to provide the information required on the licensing application or provides false or misleading information;
  - 5) the applicant is prohibited by federal, state, or other local law, ordinance, or other regulation from holding a license;
  - 6) the applicant is in arrears with respect to any fine imposed for violation of this ordinance;
  - 7) the business for which the license is requested is a moveable place of business.  
Only fixed-location tobacco retail establishments are eligible to be licensed.
- (e) For purposes of subdivision (D) of this Section, “applicant” shall include entities with common ownership or management to the entity or natural person listed on the application.
- (f) If a license is mistakenly issued or renewed, the city shall revoke the license upon the discovery that the applicant was ineligible for the license under this ordinance. The city will provide the applicant or licensee with notice of the revocation, along with information on the right to appeal.
- (g) The fee for a tobacco retail sales license shall be set by the Health Department, who shall have the authority to adjust the fee as deemed necessary. Such fees shall be calculated to recover the cost of administration and enforcement of this Ordinance, including, but not limited to, issuing licenses, administering the license program, tobacco retailer education, tobacco retailer inspection and compliance checks, documentation of violations, and prosecution of violators. All fees and interest on proceeds from fees shall be used to exclusively fund the administration and enforcement of this Ordinance.
- (h) All licenses issued are valid only on the premises for which the license was issued and only for the applicant to which the license was issued. The transfer of any license to another location, person, or entity is prohibited.
- (i) Such license shall be renewed annually and is valid for a period beginning with the date of license to the first day of [Month] next succeeding the date of the license unless sooner revoked as allowed by penalties in this article, or unless the tobacco retailer to whom it was issued discontinues business, in either of which cases the holder of the license shall immediately return it to Franklin County Public Health. A license shall not be transferred from one tobacco retailer to another or from one location to another.
- (j) The issuance of a license is a privilege and does not entitle the license holder to an automatic renewal of the license.
- (k) No tobacco retail license shall be issued or renewed unless the tobacco retailer signs a form stating that the tobacco retailer has read this ordinance and has provided training to all employees on the sale of tobacco products. Such training shall include information that the sale of tobacco products to persons under 21 years of age is illegal and shall

subject the tobacco retailer to penalties, the types of identification legally acceptable for proof of age, and that the sale of flavored tobacco products is illegal and shall subject the tobacco retailer to penalties.

- (l) Tobacco retailing without a valid license. In addition to any other penalty authorized by law, if a court of competent jurisdiction determines, or the Department finds based on a preponderance of evidence, after notice and an opportunity to be heard, that any tobacco retailer has engaged in tobacco product retail sales at a location without a valid tobacco retail license, either directly or through the tobacco retailer's agents or employees, the tobacco retailer shall be ineligible to apply for, or to be issued, a tobacco retail license as follows:
  - 1) After a first violation of this section at a location within any 36-month period, the location shall receive a written warning from the Department (unless ownership of the business at the location has been transferred in an arm's length transaction).
  - 2) After a second violation of this section at a location within any 36-month period, no new license may issue for the tobacco retailer or the location (unless ownership of the business at the location has been transferred in an arm's length transaction), until ninety (90) days have passed from the date of the violation.
  - 3) After a third or subsequent violation of this section at a location within any 36-month period, no new license may issue for the tobacco retailer or the location (unless ownership of the business at the location has been transferred in an arm's length transaction), until five (5) years have passed from the date of the violation.

#### **837.04 Prohibited Sales**

- (a) Minimum Legal Sales Age for Tobacco Products

The sale of any tobacco product to a person under the age of 21 is prohibited.

- (b) Age Verification

Before distributing any tobacco product, the tobacco retailer or the tobacco retailer's agent or employee shall verify that the purchaser is at least 21 years of age. Each tobacco retailer or tobacco retailer's agent or employee shall examine the purchaser's government-issued photographic identification. No such verification is required for a person over the age of 30. That a purchaser appeared to be 30 years of age or older shall not constitute a defense to a violation of this section.

- (c) Signage

- 1) No tobacco retailer shall sell, permit the sale of, or furnish tobacco products in the City unless a notice, as proscribed in this section, is posted at all locations where tobacco products are available for purchase. All notices must be posted in a manner conspicuous to both employees and consumers, unobstructed from view in their entirety, and within six feet of each register where tobacco products are available for purchase. Franklin County Public Health shall provide this notice, which shall prominently state “No person under the age of 21 may be sold nicotine or tobacco products, including electronic smoking devices”. The notice must be at least 14” by 11” and the words on the notice must be legibly printed in such a way as to be highly visible and easily legible.
- 2) Selling tobacco products in any place that does not have a sign consistent with this section is prohibited by law and punishable under this Chapter.

(d) Flavored Tobacco Product Sales Prohibition.

- 1) It shall be unlawful for a tobacco retailer or its agent, employee, or representative to sell or offer for sale any flavored tobacco product.
- 2) There shall be a rebuttable presumption that a tobacco product is a flavored tobacco product if a tobacco retailer, manufacturer, or any employee or agent of a tobacco retailer or manufacturer:
  - i. makes a public statement or claim that a tobacco product imparts a taste or smell other than the taste or smell of tobacco; or
  - ii. uses text, images, or coloring on the tobacco product’s labeling or packaging to explicitly or implicitly indicate that the tobacco product imparts a taste or smell other than the taste or smell of tobacco.

(e) Delivery Sales

Delivery sales of tobacco products by any means are prohibited under this ordinance.

(f) Self Service Displays

No tobacco retailer or their employee or agent shall sell or otherwise distribute tobacco products by or from a self-service display, including through vending machines, except in places where persons under the age of 21 are not permitted access at any time.

## 837.05 Education

Franklin County Public Health shall engage in a continuing public health education program to explain and clarify the purposes and requirements of this ordinance to persons and entities affected by it, and to guide tobacco retailers and their agents or employees in their compliance. The program may include publication of a brochure for affected tobacco retailers explaining the provisions of this ordinance and signage mandated by this ordinance.

### **837.06 Proximity to youth-oriented facilities**

No license shall be granted to any person or entity for a tobacco retail establishment location that is within 1,000 feet of a youth-oriented facility, as measured by the shortest line from the property line of the space to be occupied by the proposed licensee to the nearest property line of a youth-oriented facility. This restriction does not apply to an existing license holder that holds a current state tax license for the sale of tobacco products in that same location for at least one year before the date this section was enacted into law.

### **837.07 Responsibility**

All licensees are responsible for the actions of their employees regarding the sale, offer to sell, and furnishing of tobacco products on the licensed premises. The sale, offer to sell, or furnishing of any tobacco product by an employee shall be considered an act of the licensee.

### **837.08 Enforcement**

Each individual licensed tobacco retail establishment shall be subject to at least two unannounced compliance checks per year. The [Health Department/Designated Authority] shall conduct compliance checks by engaging persons between the ages of 18 and 20 to enter the tobacco retail establishment to attempt to purchase tobacco products. Unannounced follow-up compliance checks of all non-compliant tobacco retailers are required within three months of any violation of this ordinance. The results of all compliance checks shall be published by Franklin County Public Health at least annually and made available to the public upon request.

### **837.09 Penalties**

#### **(a) Tobacco retailers**

Any tobacco retailer found to have violated this ordinance in person, by agent, representative, or employee or in any other way shall be subject to:

- 1) For a first violation, a fine no less than \$500;
- 2) For a second violation within a 36-month period, a fine no less than \$750 and the tobacco retailer shall be prohibited from distributing tobacco products for a minimum of seven days;

- 3) For a third violation within a 36-month period, a fine no less than \$1,000 and the tobacco retailer shall be prohibited from distributing tobacco products for a minimum of 30 days; and
- 4) For a fourth and any subsequent violation within a 36-month period, a fine no less than \$1,000, revocation of the current tobacco retail license, and prohibition from distributing tobacco products for a period of three years.

(b) Related violations

A violation of any federal, state, or local law, ordinance provision, or other regulation relating to tobacco products is also a violation of this ordinance and shall be considered an enumerated violation under this ordinance. In addition to any other penalty, a tobacco retailer who violates any provision of this ordinance or any federal, state, or local law, ordinance provision, or other regulation relating to tobacco products, shall be subject to penalties stated in this ordinance, including fines and a prohibition of the distribution of tobacco products.

(c) Exceptions

- 1) Nothing in this ordinance prohibits an underage person from handling tobacco products in the course of lawful employment by a tobacco retailer.
- 2) Nothing in this ordinance prevents the provision of tobacco products to any person as part of an indigenous practice or a lawfully recognized religious, spiritual, or cultural ceremony or practice.

**837.10 Rules and Regulations**

Franklin County Public Health is hereby authorized to promulgate rules and regulations to carry out the purpose and intent of this Ordinance in order to protect the public health, safety, and welfare.

**837.11 Liberal Construction**

This ordinance shall be liberally construed so as to further its purposes.

**837.12 Severability**

If any provision of this ordinance, or the application thereof to any person, entity, or circumstance, is held invalid, such invalidity shall not affect any other provision of this ordinance that can be given effect without the invalid provision or application. Each invalid provision or application of this ordinance is severable.

**Section 2.**

That Section 636.16 shall be removed from the Codified Ordinances and shall no longer be in effect.

**Section 3.**

That this Ordinance shall take effect and be in force from and after the earliest period allowed by law.

Passed: \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_  
Matt McPeek, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin J Kessler, Mayor

First Reading  
Second Reading  
Third Reading

**PROPOSED AMENDED ORDINANCE NO. 48- 22**

By: Sam Marcellino

**An Ordinance to create Chapter 837, Tobacco Retail License and Regulations and to remove Chapter 636.16 of the Codified Ordinances, Illegal distribution of cigarettes, other tobacco products or alternate nicotine products.**

**Whereas**, The City of Bexley seeks to promote the health, wellness and safety of all residents; and,

**Whereas**, The City of Bexley has historically been a leader in anti-smoking efforts, being the first community in the State of Ohio to enact an indoor smoking ban; one of the first central Ohio communities to ban the sale of smoking products to persons under the age of 21; and the first to ban flavored vaping products; and,

**Whereas**, tobacco use remains the leading cause of preventable death in the United States, killing nearly half a million people each year. It causes or contributes to many forms of cancer, as well as heart disease and respiratory diseases, among other health disorders; and

**Whereas**, it is in the best interest of all parties to protect young people from flavored tobacco products, and these products also disproportionately impact minority populations who smoke menthol cigarettes as a result of targeted marketing practices; and

**Whereas**, commercial tobacco use is the foremost preventable cause of premature death in America, causing a half million deaths annually, and has been responsible for 20.8 million premature deaths in the U.S. since the first U.S. Surgeon General's report on smoking in 1964;

**Whereas**, 53% of e-cigarettes are purchased from convenience stores, food, drug and mass retail chains in comparison to 28% from online retailers and 19% from specialty/vape shops; and,

**Whereas**, the density of tobacco retailers, particularly in neighborhoods surrounding schools, has been associated with increased youth smoking rates; and

**Whereas**, several studies have found that the density of tobacco retailers near schools was positively associated with the prevalence of students reporting experimental smoking; and

**Whereas**, a local licensing system for tobacco retailers is appropriate to ensure that retailers comply with federal, state, and local tobacco control laws and business standards in order to protect the health, safety, and welfare of our residents;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY:**

**Section 1.**

That Chapter 837, Tobacco Retail License and Regulations, be created as follows:

**Chapter 837**

**Tobacco Retail License and Regulations**

**837.01 Purpose**

This chapter is created to ensure that retailers comply with federal, state, and local tobacco control laws and business standards in order to protect the health, safety, and welfare of our residents.

**837.02 Definition**

- (a) “Arm’s length transaction” means a sale in good faith and for valuable consideration that reflects the fair market value between two informed and willing parties, neither of which is under any compulsion to participate in the transaction.
- (b) “Compliance checks” mean the system the city uses to investigate and ensure that those authorized to sell tobacco products are following and complying with the requirements of this ordinance. Compliance Checks involve the use of persons over the age of 18, but under the age of 21 who purchase or attempt to purchase tobacco products. Compliance checks may also be conducted by the city or other units of government for educational, research, and training purposes or for investigating or enforcing federal, state, or local laws and regulations relating to tobacco products.
- (c) “Delivery sale” means the sale of any tobacco product to any person for personal consumption and not for resale when the sale is conducted by any means other than an in-person, over-the- counter sales transaction in a licensed retail establishment. Delivery Sale includes but is not limited to the sale of any tobacco product when the sale is conducted by telephone, other voice transmission, mail, the internet, or app-based service. Delivery Sale includes delivery by licensees or third parties by any means, including curbside pick-up.
- (d) “*Electronic smoking device*” means any device that may be used to deliver any aerosolized or vaporized substance to the person inhaling from the device, including, but not limited to, an e-cigarette, e-cigar, e-pipe, vape pen or e-hookah. Electronic



smoking device includes any component, part, or accessory of the device, and also includes any substance intended to be aerosolized or vaporized during the use of the device, whether or not the substance contains nicotine. Electronic smoking device does not include drugs, devices, or combination products authorized for sale by the U.S. Food and Drug Administration for cessation purposes, as those terms are defined in the Federal Food, Drug and Cosmetic Act.

- (e) “Flavored tobacco product” means any tobacco product that imparts a taste or smell, other than the taste or smell of tobacco, either prior to, or during the consumption of, a tobacco product, including, but not limited to, any taste or smell relating to fruit, menthol, mint, wintergreen, chocolate, cocoa, vanilla, honey, or any candy, dessert, alcoholic beverage, herb, or spice.
- (f) “Moveable place of business” means any form of business that is operated out of a kiosk, truck, van, automobile or other type of vehicle or transportable shelter and that is not a fixed address or other permanent type of structure licensed for over-the-counter sales transactions.
- (g) “Person” means any natural person.
- (h) “Purchaser” means any person who obtains or attempts to obtain a tobacco product.
- (i) “Sale” includes transfer or delivery of goods for money, trade, barter, gift, or other consideration.
- (j) “Self-service display” means any display from which customers may select a tobacco product without assistance from the tobacco retailer or the tobacco retailer’s agent or employee and without a direct person-to-person transfer between the purchaser and the tobacco retailer or tobacco retailer’s agent or employee.
- (k) “Tobacco product” means: (1) any product containing, made of, or derived from tobacco or nicotine that is intended for human consumption or is likely to be consumed, whether inhaled, absorbed, or ingested by any other means, including, but not limited to, a cigarette, a cigar, pipe tobacco, chewing tobacco, snuff, or snus; (2) any electronic smoking device and any substances that may be aerosolized or vaporized by such device, whether or not the substance contains nicotine; or (3) any component, part, or accessory of (1) or (2), whether or not any of these contain tobacco or nicotine, including but not limited to filters, rolling papers, blunt or hemp wraps, and pipes. Tobacco product does not include drugs, devices, or combination products authorized for sale by the U.S. Food and Drug Administration for cessation purposes, as those terms are defined in the Federal Food, Drug and Cosmetic Act.
- (l) “Tobacco retail establishment” means any place of business where tobacco products are available for sale to the general public. The term includes but is not limited to grocery stores, tobacco product shops, kiosks, convenience stores, gasoline service stations, bars, and restaurants.

- (m) “Tobacco retailer” means any person, partnership, joint venture, society, club, trustee, trust, association, organization, or corporation who owns, operates, or manages any tobacco retail establishment. Tobacco retailer does not mean the nonmanagement employees of any tobacco retail establishment.
- (n) “Youth-oriented facility” means any facility with residents, customers, visitors, or inhabitants of which 25 percent or more are regularly under the age of 21 or that primarily sells, rents, or offers services or products that are consumed or used primarily by persons under the age of 21. Youth- oriented facility includes, but is not limited to, a licensed care facility or preschool, day care centers, public or private schools, playgrounds, a library open to the public, recreation centers, and parks.

### **837.03 License Required**

- (a) Each individual tobacco retail establishment location engaging in the sale of tobacco products at a fixed tobacco retail establishment shall secure a tobacco retail license from Franklin County Public Health before engaging or continuing to engage in such business. The tobacco retail license shall be on display at the tobacco retail establishment all times. No tobacco retailer shall sell tobacco products without a valid tobacco retail sales license.
- (b) An application for a license to sell tobacco products must be made on a form provided by Franklin County Public Health. The application must contain the full name of the applicant, the applicant’s residential and business addresses and telephone numbers, the name of the business for which the license is sought, and any additional information the city deems necessary.
- (c) Franklin County Public Health may approve or deny the application for a license, or it may delay action for a reasonable period of time to complete any investigation of the application or the applicant deemed necessary. If Franklin County Public Health approves the application, the license will be issued to the applicant. If Franklin County Public Health denies the application, notice of the denial will be given to the applicant along with notice of the applicant’s right to appeal the decision.
- (d) Denial of License. Grounds for denying the issuance or renewal of a license include, but are not limited to, the following:
  - 1) the applicant is under 21 years of age;
  - 2) the applicant has been convicted within the past five years of any violation of a federal, state, or local law, ordinance provision, or other regulation relating to tobacco products;
  - 3) the applicant has had a tobacco retail license revoked due to violations of this ordinance within the preceding thirty-six (36) months of the date of application;

- 4) the applicant fails to provide the information required on the licensing application or provides false or misleading information;
  - 5) the applicant is prohibited by federal, state, or other local law, ordinance, or other regulation from holding a license;
  - 6) the applicant is in arrears with respect to any fine imposed for violation of this ordinance;
  - 7) the business for which the license is requested is a moveable place of business.
- Only fixed-location tobacco retail establishments are eligible to be licensed.
- (e) For purposes of subdivision (D) of this Section, “applicant” shall include entities with common ownership or management to the entity or natural person listed on the application.
  - (f) If a license is mistakenly issued or renewed, Franklin County Public Health shall revoke the license upon the discovery that the applicant was ineligible for the license under this ordinance. The city will provide the applicant or licensee with notice of the revocation, along with information on the right to appeal.
  - (g) The fee for a tobacco retail sales license shall be set by Franklin County Public Health, who shall have the authority to adjust the fee as deemed necessary. Such fees shall be calculated to recover the cost of administration and enforcement of this Ordinance, including, but not limited to, issuing licenses, administering the license program, tobacco retailer education, tobacco retailer inspection and compliance checks, documentation of violations, and prosecution of violators. All fees and interest on proceeds from fees shall be used to exclusively fund the administration and enforcement of this Ordinance.
  - (h) All licenses issued are valid only on the premises for which the license was issued and only for the applicant to which the license was issued. The transfer of any license to another location, person, or entity is prohibited.
  - (i) Such license shall be renewed annually and is valid for a period beginning with the date of license to the first day of [Month] next succeeding the date of the license unless sooner revoked as allowed by penalties in this section, or unless the tobacco retailer to whom it was issued discontinues business, in either of which cases the holder of the license shall immediately return it to Franklin County Public Health. A license shall not be transferred from one tobacco retailer to another or from one location to another.
  - (j) The issuance of a license is a privilege and does not entitle the license holder to an automatic renewal of the license.
  - (k) No tobacco retail license shall be issued or renewed unless the tobacco retailer signs a form stating that the tobacco retailer has read this ordinance and has provided training to all employees on the sale of tobacco products. Such training shall include information that the sale of tobacco products to persons under 21 years of age is illegal and shall

subject the tobacco retailer to penalties, the types of identification legally acceptable for proof of age, and that the sale of flavored tobacco products is illegal and shall subject the tobacco retailer to penalties.

- (l) Tobacco retailing without a valid license. In addition to any other penalty authorized by law, if a court of competent jurisdiction determines, or the Health Department finds based on a preponderance of evidence, after notice and an opportunity to be heard, that any tobacco retailer has engaged in tobacco product retail sales at a location without a valid tobacco retail license, either directly or through the tobacco retailer's agents or employees, the tobacco retailer shall be ineligible to apply for, or to be issued, a tobacco retail license as follows:
- 1) After a first violation of this section at a location within any 36-month period, the location shall receive a written warning from the Department (unless ownership of the business at the location has been transferred in an arm's length transaction).
  - 2) After a second violation of this section at a location within any 36-month period, no new license may issue for the tobacco retailer or the location (unless ownership of the business at the location has been transferred in an arm's length transaction), until ninety (90) days have passed from the date of the violation.
  - 3) After a third or subsequent violation of this section at a location within any 36-month period, no new license may issue for the tobacco retailer or the location (unless ownership of the business at the location has been transferred in an arm's length transaction), until five (5) years have passed from the date of the violation.

#### **837.04 Prohibited Sales**

(a) Minimum Legal Sales Age for Tobacco Products

The sale of any tobacco product to a person under the age of 21 is prohibited.

(b) Age Verification

Before distributing any tobacco product, the tobacco retailer or the tobacco retailer's agent or employee shall verify that the purchaser is at least 21 years of age. Each tobacco retailer or tobacco retailer's agent or employee shall examine the purchaser's government-issued photographic identification. No such verification is required for a person over the age of 30. That a purchaser appeared to be 30 years of age or older shall not constitute a defense to a violation of this section.

(c) Signage

- 1) No tobacco retailer shall sell, permit the sale of, or furnish tobacco products in the City unless a notice, as proscribed in this section, is posted at all locations where tobacco products are available for purchase. All notices must be posted in a manner conspicuous to both employees and consumers, unobstructed from view in their entirety, and within six feet of each register where tobacco products are available for purchase. Franklin County Public Health shall provide this notice, which shall prominently state “No person under the age of 21 may be sold nicotine or tobacco products, including electronic smoking devices”. The notice must be at least 14” by 11” and the words on the notice must be legibly printed in such a way as to be highly visible and easily legible.
- 2) Selling tobacco products in any place that does not have a sign consistent with this section is prohibited by law and punishable under this Chapter.

(d) Flavored Tobacco Product Sales Prohibition.

- 1) It shall be unlawful for a tobacco retailer or its agent, employee, or representative to sell or offer for sale any flavored tobacco product.
- 2) There shall be a rebuttable presumption that a tobacco product is a flavored tobacco product if a tobacco retailer, manufacturer, or any employee or agent of a tobacco retailer or manufacturer:
  - i. makes a public statement or claim that a tobacco product imparts a taste or smell other than the taste or smell of tobacco; or
  - ii. uses text, images, or coloring on the tobacco product’s labeling or packaging to explicitly or implicitly indicate that the tobacco product imparts a taste or smell other than the taste or smell of tobacco.

(e) Delivery Sales

Delivery sales of tobacco products by any means are prohibited under this ordinance.

(f) Self Service Displays

No tobacco retailer or their employee or agent shall sell or otherwise distribute tobacco products by or from a self-service display, including through vending machines, except in places where persons under the age of 21 are not permitted access at any time.

## 837.05 Education

Franklin County Public Health shall engage in a continuing public health education program to explain and clarify the purposes and requirements of this ordinance to persons and entities affected by it, and to guide tobacco retailers and their agents or employees in their compliance. The program may include publication of a brochure for affected tobacco retailers explaining the provisions of this ordinance and signage mandated by this ordinance.

#### **837.06 Proximity to youth-oriented facilities**

No license shall be granted to any person or entity for a tobacco retail establishment location that is within 1,000 feet of a youth-oriented facility, as measured by the shortest line from the property line of the space to be occupied by the proposed licensee to the nearest property line of a youth-oriented facility. This restriction does not apply to an existing license holder that holds a current state tax license for the sale of tobacco products in that same location for at least one year before the date this section was enacted into law.

#### **837.07 Responsibility**

All licensees are responsible for the actions of their employees regarding the sale, offer to sell, and furnishing of tobacco products on the licensed premises. The sale, offer to sell, or furnishing of any tobacco product by an employee shall be considered an act of the licensee.

#### **837.08 Enforcement**

Each individual licensed tobacco retail establishment shall be subject to at least two unannounced compliance checks per year. The [Health Department/Designated Authority] shall conduct compliance checks by engaging persons between the ages of 18 and 20 to enter the tobacco retail establishment to attempt to purchase tobacco products. Unannounced follow-up compliance checks of all non-compliant tobacco retailers are required within three months of any violation of this ordinance. The results of all compliance checks shall be published by Franklin County Public Health at least annually and made available to the public upon request.

#### **837.09 Penalties**

(a) Tobacco retailers

Any tobacco retailer found to have violated this ordinance in person, by agent, representative, or employee or in any other way shall be subject to:

- 1) For a first violation, a fine no less than \$500;
- 2) For a second violation within a 36-month period, a fine no less than \$750 and the tobacco retailer shall be prohibited from distributing tobacco products for a minimum of seven days;

- 3) For a third violation within a 36-month period, a fine no less than \$1,000 and the tobacco retailer shall be prohibited from distributing tobacco products for a minimum of 30 days; and
- 4) For a fourth and any subsequent violation within a 36-month period, a fine no less than \$1,000, revocation of the current tobacco retail license, and prohibition from distributing tobacco products for a period of three years.

(b) Related violations

A violation of any federal, state, or local law, ordinance provision, or other regulation relating to tobacco products is also a violation of this ordinance and shall be considered an enumerated violation under this ordinance. In addition to any other penalty, a tobacco retailer who violates any provision of this ordinance or any federal, state, or local law, ordinance provision, or other regulation relating to tobacco products, shall be subject to penalties stated in this ordinance, including fines and a prohibition of the distribution of tobacco products.

(c) Exceptions

- 1) Nothing in this ordinance prohibits an underage person from handling tobacco products in the course of lawful employment by a tobacco retailer.
- 2) Nothing in this ordinance prevents the provision of tobacco products to any person as part of an indigenous practice or a lawfully recognized religious, spiritual, or cultural ceremony or practice.

**837.10 Rules and Regulations**

Franklin County Public Health is hereby authorized to promulgate rules and regulations to carry out the purpose and intent of this Ordinance in order to protect the public health, safety, and welfare.

**837.11 Liberal Construction**

This ordinance shall be liberally construed so as to further its purposes.

**837.12 Severability**

If any provision of this ordinance, or the application thereof to any person, entity, or circumstance, is held invalid, such invalidity shall not affect any other provision of this ordinance that can be given effect without the invalid provision or application. Each invalid provision or application of this ordinance is severable.

**Section 2.**

That Section 636.16 shall be removed from the Codified Ordinances and shall no longer be in effect.

**Section 3.**

That this Ordinance shall take effect and be in force from and after March 1, 2022.

Passed: \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_

Matt McPeck, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin J Kessler, Mayor

First Reading  
Second Reading  
Third Reading