



## City Council Meeting Agenda

Tuesday, June 28, 2022

6:00 PM

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- 1) **Call to Order**
- 2) **Roll Call of Members**
- 3) **Pledge of Allegiance**
- 4) **Presentations/Special Guests**
- 5) **Ordinances/Resolutions with visiting presenters**
  - A) Resolution 5-22 confirming the Mayor's appointments of members to the Architectural Review Board; the Board of Zoning Appeals and Planning; the Recreation and Parks Board; the Tree and Public Gardens Commission; the Board of Health; the Civil Service Commission; and the Community Reinvestment Area Housing Council introduced by Jen Robinson on June 14, 2022. This is the Second Reading of this resolution.
    - i) Patrick King - Candidate for Board of Zoning and Appeals Planning
  - B) Ordinance 22-22 to amend Section 1226.19(a), to allow alcohol at specific community events conditional upon approval by Council introduced by Troy Markham on May 24, 2022. This is the Third Reading of this ordinance.
    - i) Alex Silverman of Smoke X Fire Festival
- 6) **Public Comments (Speaker Slip Required)**
- 7) **President's Report**
  - A) Council Visit to Bexley Community Foundation
- 8) **City Attorney Report**
  - A) Council Discussion of 81 N. Drexel Appeal
- 9) **Auditor's Report**
  - A) Auditor's Report - June 28, 2022
- 10) **Administrative Update:**
  - A) Finance Department Update - Beecher Hale
  - B) Service Department Update - Andy Bashore

- C) Police Department Update - Interim Chief Gough
- D) Recreation and Parks Update - Mike Price
- E) Mayor's Update

**11) Consent Agenda: (No Speaker Slip Required)**

- A) Meeting Minutes - 06/14/22 City Council Meeting
- B) Ordinance 21-22 to unappropriate \$75,000 from the Pool Management Account (14-550-51190), and to remove \$75,000 from the Swimming Pool Fund Concession Stand Revenue line item introduced by Monique Lampke on May 24, 2022.
- C) Ordinance 23-22 to repeal Section 452.21, Skateboards and Roller Skates Prohibited in parking lots introduced by Sam Marcellino on May 24, 2022.
- D) Resolution 4-22 to adopt the tax budget for calendar year 2023 attached hereto as Exhibit A introduced by Monique Lampke on May 24, 2022.

**12) Third Readings: (No Speaker Slip Required)**

**13) Second Readings: (Speaker Slip Required)**

- A) Ordinance 25-22 to Amend Section 262.02(c)(3) to include Christmas Eve and New Year's Eve as holidays, and to Authorize the Mayor to Grant up to Four Additional Hours of Time Off Immediately Preceding Holidays for Non-Bargaining Unit Employees introduced by Monique Lampke on June 14, 2022.
- B) Ordinance 26-22 to amend Chapter 1476, Unsafe Buildings, to amend provisions for unsafe sites introduced by Matt Klingler on June 14, 2022
- C) Ordinance 27-22 to authorize appropriations of \$200,000 from the General Fund into the Grants Account, in order to accommodate additional appropriations for the Grant Reimbursed Expenditures line item and the State Capital Grant line item of the Grants Account, for the purpose of funding additional grant programs based upon recently awarded grants. introduced by Monique Lampke on June 14, 2022

**14) First Readings: (Speaker Slip Required)**

**15) Tabled Ordinances:**

- A) Ordinance 20-22 to approve the proposed Joint Livingston Avenue Plan introduced by Jen Robinson on May 10, 2022.
- B) Ordinance 14-22 to Amend Section 1266.14 Solar Panels, in order to provide for consistent regulation and a streamlined approval process for solar panel projects introduced by Matt Klingler on April 12, 2022
- C) Ordinance 41-21 accepting the proposed donation of the Columbia Place private street in the Columbia Place subdivision by the City of Bexley for a public street. (Introduced by Jessica Saad September 28, 2021)

**16) Zoning and Development Committee - Matt Klingler, Chair**

**17) Recreation and Parks Committee - Jessica Saad, Chair**

**18) Strategic Committee - Jen Robinson, Chair**

- 19) **Service and Environmental Committee - Lori Ann Feibel, Chair**
- 20) **Finance Committee - Monique Lampke, Chair**
- 21) **Safety and Health Committee - Sam Marcellino, Chair**
- 22) **Public Comments (No Speaker Slip Required)**
- 23) **Executive Session pursuant to 223.03 (a) To consider the appointment, employment, dismissal, discipline, promotion, demotion or compensation of a public employee or official, or the investigation of charges or complaints against a public employee or official**
- 24) **Adjourn**

*All agendas are subject to change.*

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**City Council Policy for Correspondence:**

All correspondence addressed to City Council or requested to be distributed to City Council by the sender is a matter of public record and will be placed on the City of Bexley Website ([www.bexley.org](http://www.bexley.org)) at Public Documents > City Council > Council Correspondence. If the subject of the correspondence is not on the Council Agenda, the sender may discuss the issue during Public Comments. If the subject of the correspondence is on the Council Agenda, the sender may discuss the issue at the time the issue is addressed during the Council meeting.

**City Council Policy for Public Comments:**

Members of the public are encouraged to provide comments to City Council at the following times:

**For issues that are not on Council's agenda:**

- At a designated public comment period near the beginning of the meeting

**For items on Council's agenda (when speaker slip has been filled out in advance):**

- During an ordinance or resolution that is being discussed
- Residents may submit up to two separate speaker slips per meeting
- Please note that the speaker slip must be filled out prior to entering Council chambers and must be promptly handed to the Council secretary

**For items on Council's agenda (when a speaker slip has not been filled out in advance):**

- During the public comment period after a motion has been made and seconded to adopt an ordinance or resolution (typically the third reading)
- During a designated public comment period at the end of the meeting

**Time limits for public comments:**

While City Council will not routinely impose time limits on either Agenda or Non-Agenda visitors who wish to address City Council, those commenting are asked to confine their remarks to approximately five (5) minutes and for Agenda items, to direct their comments to the subject matter being addressed in the legislation. This five minute limitation also applies to City Council members per 220.01 (rule 13).

**Additional guidelines for public comments:**

- Any speaker addressing Council shall provide his/her name and address.
- Undue interruption or other interference with the orderly conduct of remarks is not permitted.
- Defamatory or abusive remarks are always out of order.
- Violation of this policy may result in termination of the speaker's comments and/or removal from the meeting

**RESOLUTION NO. 05 - 22**

By: Jen Robinson

**A Resolution confirming the Mayor’s appointments of members to the Architectural Review Board; the Board of Zoning Appeals and Planning; the Recreation and Parks Board; the Tree and Public Gardens Commission; the Board of Health; the Civil Service Commission; and the Community Reinvestment Area Housing Council**

**BE IT RESOLVED BY THE COUNCIL OF THE CITY OF BEXLEY, OHIO:**

**Section 1.** That City Council hereby confirms the following appointments to the Architectural Review Board:

<b>Nominee</b>	<b>Position</b>	<b>Term Expiring</b>
Pete Scott	Member	June 30, 2025
Suzanne Toney	Member	June 30, 2025
Jocelyn Krosky	Member	June 30, 2024
Larry Helman	Alternate Member	June 30, 2024

**Section 2.** That City Council hereby confirms the following appointments to the Board of Zoning Appeals and Planning:

<b>Nominee</b>	<b>Position</b>	<b>Term Expiring</b>
Keith Hall	Member	June 30, 2025
Brian Marsh	Member	June 30, 2025
Heidi Wagner-Dorn	Member	June 30, 2024
Patrick King	Alternate Member	June 30, 2024

**Section 3.** That City Council hereby confirms the following appointments to the Recreation and Parks Board:

<b>Nominee</b>	<b>Position</b>	<b>Term Expiring</b>
Ann Brennan	Member	June 30, 2025
Aly DeAngelo	Member	June 30, 2025

**Section 4.** That City Council hereby confirms the following appointments to the Tree and Public Gardens Commission:

<b>Nominee</b>	<b>Position</b>	<b>Term Expiring</b>
Sheila Straub	Member	June 30, 2025
Celeste Williams	Member	June 30, 2025
Barb Giller	Alternate Member	June 30, 2025

**Section 5.** That City Council hereby confirms the following appointments to the Bexley Board of Health:

<b>Nominee</b>	<b>Position</b>	<b>Term Expiring</b>
Dr. Stephanie McClure	Member	June 30, 2025

**Section 6.** That City Council hereby confirms the following appointments to the Civil Service Commission:

<b>Nominee</b>	<b>Position</b>	<b>Term Expiring</b>
Lee Nathans	Member	June 30, 2025

**Section 7.** That City Council hereby appoints the following members to the Community Reinvestment Area Housing Council:

<b>Nominee</b>	<b>Position</b>	<b>Term Expiring</b>
Matt Klingler	Council Appointee	December 31, 2024
Jen Robinson	Council Appointee	December 31, 2024

**Section 8.**

That this Ordinance shall go into full force and effect at the earliest period allowed by law.

Passed \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_, 2022  
Matt McPeek, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin Kessler, Mayor

First Reading:

## Proposed Amended Ordinance 22 – 22

By: Troy Markham

### **An Ordinance to amend Section 1062.07, to allow alcohol at specific community events conditional upon approval by Council.**

**Whereas,** The Bexley Celebrations and Events Team wishes to allow for partnership with a brewery for the upcoming “Smoke and Fire Festival” cookout competition and Jazz in the Park at Schneider Park; and

**Whereas,** The code allows for the serving of alcohol at Jeffrey Park (made possible via Resolution 08-16) – a policy that was created in part to allow the City to host the Big Green Egg Festival in 2016 - but does not currently have a provision for similar concepts at other parks; and

**Whereas,** This proposed change provides for strict controls, requiring Council approval for each community event where the serving of alcohol is proposed;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY, OHIO:**

#### **Section 1:**

That Section 1062.07 be amended as follows:

#### **1062.07 ALCOHOLIC BEVERAGES, DRUGS, AND SMOKING.**

(a) No person shall take into or upon any public park any alcoholic beverage, narcotic drug or opiate. No person under the influence of alcohol, narcotic drugs or opiates shall be allowed to enter or remain within any public park.

**(b) Notwithstanding the foregoing, the Board may permit the use of alcoholic beverages within a public park may be permitted under the following circumstances:**

(i) In the Jeffrey Mansion building and immediate grounds subject to a Council-approved Jeffrey Mansion alcohol policy framework. Said alcohol policy framework shall specify the restrictions applicable to the use of alcohol at the Mansion, as well as the locations on the immediately surrounding grounds where alcohol use may be permitted. Notwithstanding whether Council has approved a Jeffrey Mansion alcohol policy framework or the Recreation Board has approved a Jeffrey Mansion alcohol policy, the Board may permit the use of alcoholic beverages in the Jeffrey Park grounds only for Board approved events, no more than twice in a calendar year.

**(ii) In any public park, other than Jeffrey or Commonwealth Park, at a specified community event in which the serving of alcohol has received approval by a voice vote of Council.**

(c) Smoking, as defined in Chapter 662, is prohibited in all public parks (as defined in Chapter 662), excepting that the Recreation and Parks Board may, but is not obligated to, designate a defined smoking area adjacent to Jeffrey Mansion.

**Section 2.**

That this Ordinance shall go into effect, and be in force from and after the earliest period allowed by law.

Passed: \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy D. Markham, President of Council

Attest: \_\_\_\_\_  
Matthew McPeek, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin Kessler, Mayor

First Reading: May 24, 2022

Second Reading:

Third Reading:



## Ordinance 22 – 22

By: Troy Markham

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**(b) Notwithstanding the foregoing, the Board may permit the use of alcoholic beverages within a public park may be permitted under the following circumstances:**

(i) In the Jeffrey Mansion building and immediate grounds subject to a Council-approved Jeffrey Mansion alcohol policy framework. Said alcohol policy framework shall specify the restrictions applicable to the use of alcohol at the Mansion, as well as the locations on the immediately surrounding grounds where alcohol use may be permitted. Notwithstanding whether Council has approved a Jeffrey Mansion alcohol policy framework or the Recreation Board has approved a Jeffrey Mansion alcohol policy, the Board may permit the use of alcoholic beverages in the Jeffrey Mansion building only for Board approved events, no more than twice in a calendar year.

**(ii) In any public park at a specified community event in which the serving of alcohol has received approval by a voice vote of Council.**

(c) Smoking, as defined in Chapter 662, is prohibited in all public parks (as defined in Chapter 662), excepting that the Recreation and Parks Board may, but is not obligated to, designate a defined smoking area adjacent to Jeffrey Mansion.

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Passed: \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy D. Markham, President of Council

Attest: \_\_\_\_\_  
Matthew McPeek, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin Kessler, Mayor

First Reading: May 24, 2022

Second Reading:

Third Reading:

# BEXLEY

community foundation

[www.BexleyCommunityFoundation.org](http://www.BexleyCommunityFoundation.org)



# Auditor's Report

- General Fund- performance to budget
- All Other Funds- performance to budget

## Topics

- HR Checklist
- Onboarding Emily Mid July
- Updates on Non General Fund accounts

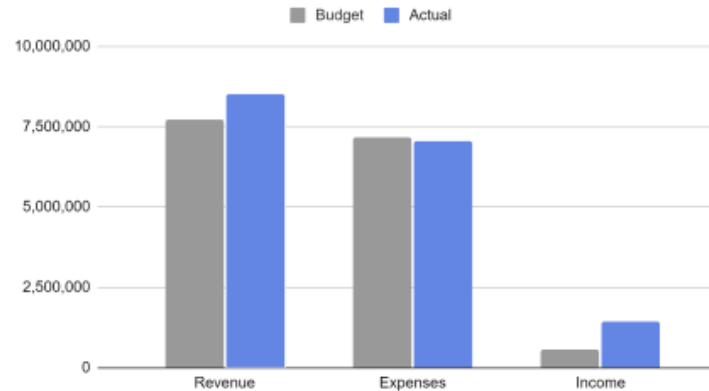
## No Actions

- Finance Ordinances

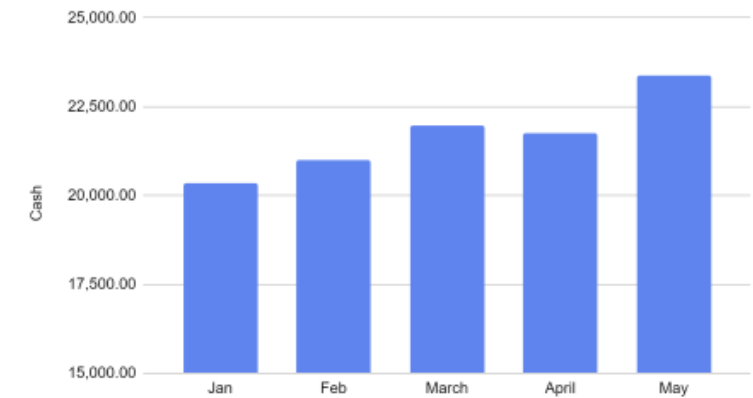
## Quick Reference

- **Moody's Rating- Aa1**- Places Bexley in top 20% of all Cities in the state of Ohio
- Key Links:
  - Monthly Financials- [Finance Department](#) and you can find all City Financials
  - 2022 Budgeted Revenue by [Fund and Revenue Type](#)
  - Payments to suppliers, etc on the [Ohio Checkbook](#) website. Information is limited. If you or a constituent is looking for detailed information please contact [bhale@bexley.org](mailto:bhale@bexley.org).

Year To Date 22



Cash



## General Fund-Year To Date Results

- Total Revenue is ahead of budget due to timing of tax payments to city. Will continue to monitor
- Total Expenses- remain light in most all cost centers.
- Income is now ahead of budget for the year.

## Key Items on Balance Sheet

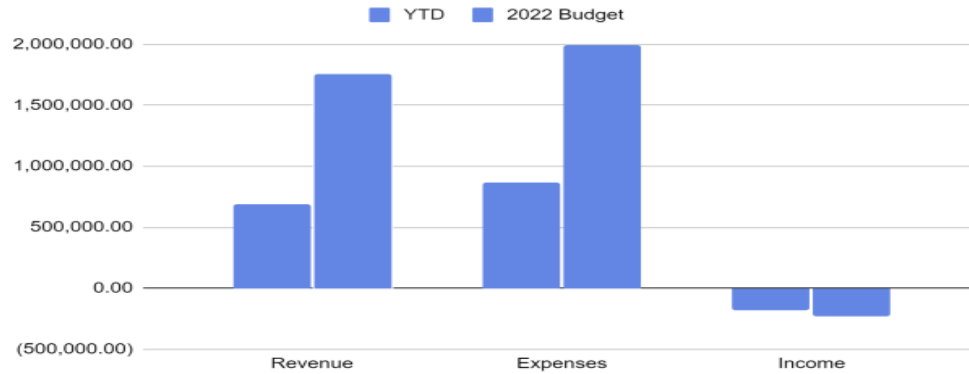
- Cash Balances- \$23,360,081
- Debt- \$32,439,586
  - Bonds- \$12,158,000
  - Interest Free OPWC- \$20,281,586
  - Annual Debt Service payments of all debt of \$2,383,695

# Fund Updates

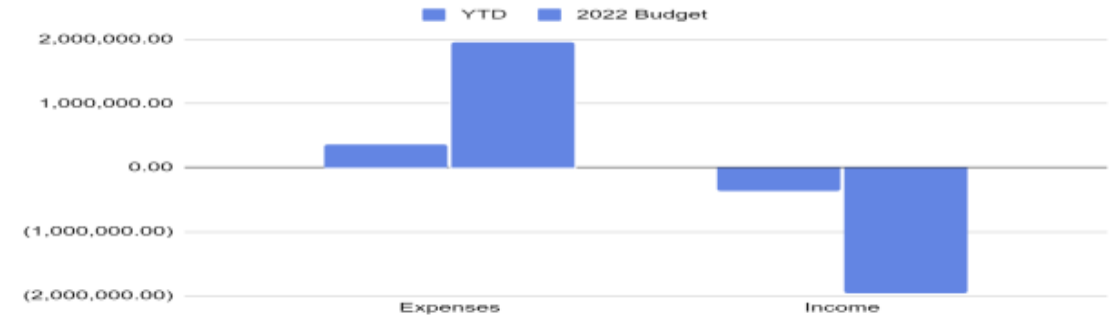
● General Fund- performance to budget

● All Other Funds- performance to budget

Year To Date 22



Year To Date 22



## Recreation Fund

- Goal- Support Recreation department activities including programming, aftercare, day care. Does not include pool
- Revenue- YTD, \$691K in total recreation fees, \$212K recreation programming, \$88K summer camp, \$34K rentals, \$126K pre-school, \$229K before & aftercare.
- Expenses- Primarily salaries of employees.
- We are performing in line with budget
- Cash Balances- \$369k balance

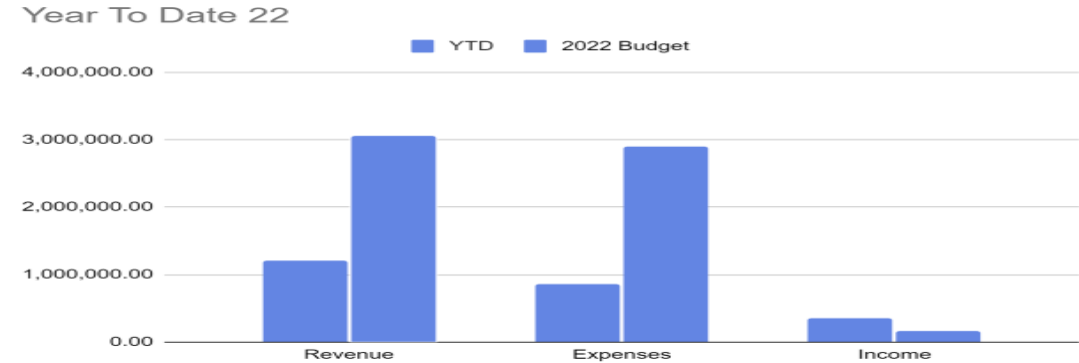
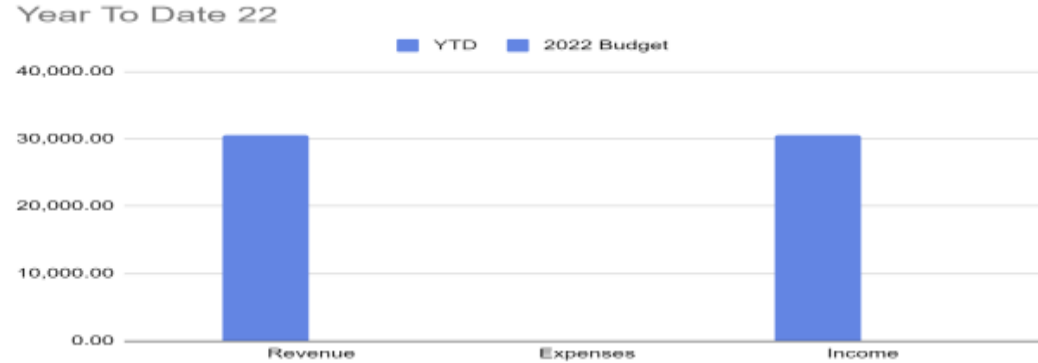
## Bond Retirement Fund

- Goal- Fund created to make payments for bond payments
- Revenue- Funds transferred from the general fund.
- Expenses- Funds are used to pay debt payments. No other expenses.
- We are performing in line with budget
- Cash Balances of Fund- \$1.5MM balance

# Fund Updates

● General Fund- performance to budget

● All Other Funds- performance to budget



## Special Assessments

- Goal- Collects assessments primarily for sidewalk repair
- Revenue- \$33K year to date
- Expenses- no expenses associated with this account year to date.
- We are performing in line with budget
- Cash Balances- \$125k balance

- Goal- Fund used to both collect revenue for city water services as well as cover expenses of water department
- Revenue- We collect revenue water used by community members (90%) and tap fees (10%)
- Expenses- Consist of payments to the city of Columbus for contract services (50%), salaries (10%), bond payments (20%) for infrastructure, with the balance misc.
- We are performing in line with budget
- Cash Balances of Fund- \$1.8MM balance



## Service Department Update

### Service Director

**Andy Bashore**

June 28th, 2022

#### **Street Department:**

The crews are working on asphalt patches. The crew has started to work on some brick work repairs on curbs. The crew will be working on July 4<sup>th</sup> preparations all week. The stars along the parade route have been painted.

#### **Water and Sewer Department:**

The Water/Sewer crew continues to clean and video the main lines. The crews finished the valve turning project and starting to repair valves that are faulty. The crews have been rebuilding catch basins that were found faulty. The crew finished the annual hydrant flushing starting June 21.

#### **Urban Forestry/Grounds Maintenance:**

The tree crews are working on tree pruning throughout the city. The grounds crews are mowing city grounds and continue to work on stump removals. The tree crew is also working on tree pruning along the parade route.

#### **Drexel Project**

Drexel-Main to Broad-Preliminary work is complete. The water main, storm, and sanitary work is underway. The project will include water line replacement, storm line improvements, and asphalt resurfacing. This is a joint project between the City and ODOT.

#### **Drexel Traffic Plan**

The Drexel traffic pattern will continue to have restrictions. This week northbound traffic from Main will be detoured to Cassady and Parkview. South bound traffic will be maintained. On

Friday July 1<sup>st</sup> Drexel will be opened up for the July 4<sup>th</sup> Holiday. Tuesday July 5<sup>th</sup>, the project will resume and the traffic plan will continue to be the same as the week of 6/20/22.

### **2022 Street Project-**

The project has started and currently the contractor is performing concrete work. The concrete work will take 5 to 6 weeks and the paving portion of the project will follow.

### **2022 Grandon Water line/Street Project**

This an OPWC project and the project will go out to bid in mid-July. The project should start in late summer.

### **2022 Sewer Lining Project**

The bids have come back for the 2022 lining project for (Chelsea/Grandon) and are under review. This will be a OPWC project.

The phase 2 lining project will go out to bid in early August.

### **2022 Sidewalk Project**

The 2022 sidewalk project area will be:

Stanwood to Gould in the north and central sections and Vernon to Chelsea in the south.

The sidewalk panels will be marked in the next couple of weeks and the project will be put out to bid in late July.

The 2021 project is complete. The project area was in the central area of the City and is roughly between Cassady to Remington.

## **Service Dept. Highlights**

- The flags have been installed on Main Street
- The fourth bike repair station has been installed at the pool, three have been installed at the Bexley schools.
- The traffic engineer is working on an enhanced safety plan for the College Ave. crosswalks.
- City street lights are being evaluated and replaced as needed.
- The Service Dept. will be starting an alley clean up in the next couple of weeks.
- 16 bike racks have been installed throughout the city.
- A fence contractor has been selected for the dog park and work will start late this summer.
- The street sweeper has been out and has already made four trips around the city.
- Fire hydrants were recently evaluated for their appearance and 75 hydrants have been painted throughout the city.
- The flower baskets have been installed throughout the city.
- The 2022 alley light project will be starting in late July.
- The annual fire hydrant flushing was performed last week and is complete.





# Council Update – Interim Chief of Police

June 28, 2022

**Community Interaction:** Last week, officers distributed popsicles to children at the pool on and at various locations around the city.

On June 22<sup>nd</sup>, representatives from BPD and City Hall attended the grand opening ceremony of the Metropolitan Emergency Communications Center (MECC) in Gahanna.

**Fourth of July Update:** We are planning for the upcoming Fourth of July celebration. The BPD will have a lead cruiser and honor guard in the parade as well as bike patrol officers riding along side and out in the community.

We are working with the Service Department to ensure road closures are made in a timely manner to ensure everyone has a safe and fun holiday.

Just a reminder that the recent House Bill 172, which takes effect on July 1<sup>st</sup>, contained a provision that allows municipalities to prohibit the activities permitted by the state law. Bexley's ordinance still bans the discharge, ignition, or explosion of fireworks within the jurisdiction of the Bexley city limits. The ordinance doesn't enact new restrictions; it just enforces the city's existing ban.

This ordinance, 52-21, will allow Bexley to maintain our current restrictions on the use of consumer-grade fireworks within city limits. This doesn't affect resident's ability to have sparklers, smoke bombs, or snaps. Bexley residents are welcome to enjoy the city's fireworks on July 4<sup>th</sup> but any plans for personal fireworks shows should be canceled. We have to remember that we all live within a community of 20 or 50 feet from one another and therefore must be respectful of our neighbors, their property, their families and their pets.

When responding to fireworks-related calls, the Bexley Police Department intends to focus on educating the public about the city's laws and deferring to a warning, as opposed to immediately taking enforcement action, when appropriate.

A first offense, however, would be a fourth-degree misdemeanor, punishable by a \$250 fine and/or up to 30 days in jail. Any subsequent offense would be a first-degree misdemeanor, which carries a possible penalty of a \$1,000 fine and/or up to 180 days in jail.

**Underspeed Motor Vehicles:** The department has received a few complaints regarding the operation of underspeed motor vehicles (golf carts). As a reminder, residents are required to make an appointment with the PD to have their vehicle inspected and certified in order to operate the vehicle within city limits. In addition, golf cart operators must have a valid driver's license.

**Ohio Revised Code Requirements:**

- Requires a valid driver’s license for any operation of motor vehicle on public or private property. ORC 4507.02 (A) (1)
- Must show proof of insurance. ORC 4509.101 (A) (1)
- Must be equipped with at least two (2) rear tail lights visible at a distance of 500 feet. ORC 4513.05
- Must have a windshield wiper. ORC 4513.24
- Must have at least two (2) working brake lights. ORC 4513.071
- Must have two (2) headlights, visible at a distance of 1000 feet. ORC 4513.04
- Must have a horn audible at a distance of 500 feet. ORC 4513.21
- Must have rear view mirror with an unobstructed view to the rear. ORC 4513.23
- Must have a windshield (glass or safety glass) free from discoloration, diffusion, cracks or obstructions. ORC 4513.24
- Must have self-illuminating, electrical or mechanical directional signals, visible from the front and rear. ORC 4513.261
- Must have one (1) license plate mounted on rear. ORC 4503.21
- Must have the ability to illuminate the rear license plate so that it is legible from a distance of 50 feet. ORC 4513.05
- Proper working steering mechanism. ORC 4501.30 02
- Tires free of major bumps, bulges, breaks, or any condition that would cause unsafe conditions. ORC 4501.30 02
- One (1) seatbelt PER OCCUPANT of the cart. ORC 4510.263
- A child safety seat installed to manufacturer specifications for any occupant under the age of four or under 40-lbs. in weight. ORC 4210.81

**Statistics:**

Start Date	End Date	Number of Days	Calls for Service	Incident & Offense Reports	Arrest Reports	Crash Reports	Total Reports	Theft	Motor Vehicle Theft	Burglary/B&E	Robbery
1/1/2022	6/23/2022	174	5886	424	185	80	689	98	12	24	2
1/1/2021	6/23/2022	539	18348	1,573	653	309	2,535	408	41	94	13
6/24/2021	6/23/2022	365	12519	1,028	450	214	1,692	299	31	73	5
6/24/2020	6/23/2021	365	11362	1,092	375	201	1,668	292	26	58	14

**Recreation Board Meeting:**

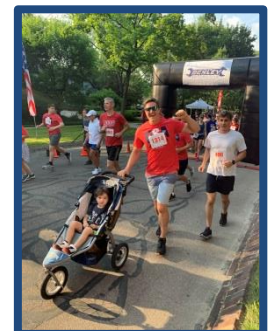
- The Recreation Board had a special meeting on Tue., June 21st.
  - The only item on the agenda was an update and discussion on the pool staffing shortage.

**David H. Madison Community Pool – Staffing Update:**

- We have continued to work with SwimSafe to recruit lifeguards, using a number of promotional efforts:
  - Social Media
  - The Bexley Blast
  - Email Blasts
  - Local college job posting network called Handshake
  - Indeed
- Worked with SwimSafe to increase their lifeguard pay from \$12/hr to \$14/hr. Current guards will also receive this pay increase.
- SwimSafe is also waiving all training fees and reimbursing current guards for any training fees they paid to SwimSafe earlier in the year.
- Update on the application/hiring process:
  - 60 Individuals showed interest in the position
  - 29 of them had interviews set up (some are still in the works)
  - 23 of them interviewed
  - 21 had offers sent to them
  - 20 of them accepted the offers
  - 18 of them have enrolled in training
  - 11 have been/are certified as of today. We are working on getting them onto the schedule.
- We will be working with SwimSafe over the next couple of days to understand the potential impact of these added guards on the pool schedule.
- As we look to increase pool hours our approach will be as follows:
  - As we add hours, it will be important that SwimSafe is confident that they will be able to maintain those hours going forward. We do not want inconsistent/fluctuating hours. We also do not want to take any steps backward.
  - We will prioritize adding weekday evening hours first as we understand the impact of the earlier closing on working families.
  - We will also focus on working to have all bodies of water opened when the facility is open.
  - As we can add hours we will add hours. Our approach will not be all or none. We will communicate any changes to the hours as soon as they are finalized.

**4<sup>th</sup> of July John Barr 5k Run:**

- As part of the 4<sup>th</sup> of July Celebration, Bexley Recreation will be holding the annual John Barr 5k Run at 8a at Jeffrey Mansion.
- Pre-registration is open until 12noon on Friday, July 1<sup>st</sup>. Runners can register by going to <https://runsignup.com/Race/OH/Bexley/JohnBarr5K>.
- Day of registration will be held in Jeffrey Mansion on Monday, July 4<sup>th</sup> starting at 7:00a.



- Thank you to the John Barr 5k Run Presenting Sponsor Bexley Automotive. Thank you for all of the support from race sponsors Bexley Community Foundation, Blocks Bagels, Johnson's Ice Cream, Drexel Theatre, Jimmy Johns, and Kensington Place.
- Special thank you to the many volunteers that line the race course and assist with race registration. We could not do this without all of their support!



# June 28, 2022 **MAYOR'S UPDATE**

## Coming up in Bexley:

June 29, 7:30 am:	Bexley Board of Education Special Meeting
June 29, 12:00 pm:	Tax Incentive Review Committee
June 30, 4:00 pm:	Farmer's Market (also on July 7, 14, 21, & 28 and August 4)
July 2, 9:00 am:	Re-Cycle Bikes Open Workshop
July 4, 8:00 am:	John Barr 5K Race - Jeffrey Mansion
July 4, 9:30 am:	Independence Day Parade
July 4, 6:00 pm:	Independence Day Community Celebration (Capital Front Lawn)
July 4, 10:00 pm:	Fireworks
July 9, 10:00 am:	Trail Town Assessment
July 11, 5:30 pm:	Historical Society
July 13, 4:00 pm:	Civil Service Commission Meeting
July 13, 6:00 pm:	Board of Education
July 14, 6:00 pm:	Architecture Review Board
July 19, 5:30 pm:	Board of Health
July 19, 7:00 pm:	Environmental Sustainability Advisory Committee
July 20, 4:00 pm:	Tree and Public Gardens Commission
July 28, 6:00 pm:	Board of Zoning and Planning
July 29, 6:00 pm:	Main Event and Pizza and Ice Cream Festival

## Some of What I've Been Up To:

- Weekly departmental meetings
- Routine staff and cabinet touch-base meetings
- Emails, calls, and planning for Fourth of July
- Assisted resident with landscape issue
- Correspondence with residents
- Follow up and work on solar panel planning
- Various code enforcement issue follow up
- Planning and Meetings for Year of the Parks
- Emails and calls regarding resident issues
- Research and calls on upcoming appeal
- Meeting with Franklin County on Main Street bridge
- Planning and facilitation of architectural peer review meeting
- OneOhio COMMA Appointment
- Alley of the Future meeting and planning
- Extensive work on TIRC reports for annual meeting
- Review of chief candidate resumes and organized and attended all day initial interviews
- Extensive work on police chief search process and interviews
- Drexel Avenue Follow Up and Meetings
- Noise ordinance research and drafting work
- Strategic Plan drafting
- Drexel Pocket Park review
- Dog park tour / planning

Keep in touch! To sign up for weekly email updates from the City of Bexley, including information on community events and timely notifications and reminders, visit: [www.bexley.org/blast](http://www.bexley.org/blast)



## Police Chief Search Update

Seven candidates for chief of police were interviewed by the interview committee last week. The interviews further underscored the depth and diversity of experience these candidates offer and also served to illuminate their individual personalities and communication styles. I'm excited by the exceptional candidates we interviewed and am eager to move into the next steps of this process.

The Finalist Candidates are:



Interim Chief Ken Gough  
Bexley PD



Deputy Chief Victor McDowell  
Cuyahoga Metropolitan Housing Authority  
Cleveland Metroparks  
Cleveland Metropolitan School District



Chief Gary Lewis  
Univ. of Louisville  
Cleveland State University  
Ohio State University  
Ohio State Highway Patrol



Major Wendy Stiver  
Charleston PD  
Dayton PD

## Town Hall & Community Input Details

The finalist candidate town hall is being set for the evening of July 6th. We'll announce details of the town hall on Friday's blast. Community input will continue to be a critical and central piece of the process, both by guiding the process based on feedback received to date, as well as through the town hall / public forum portion of the finalist interview process.

As a reminder, resources will continue to be posted to [bexley.org/chiefsearch](http://bexley.org/chiefsearch).

## Trail Town Assessment

One of the assignments we've given our Easton Future Visions Fellow this summer is to study the feasibility of Bexley being officially designated as a "trail town"

*"There aren't cash registers on the trail. So if you want cyclists to boost your local economy, you have to tap your town into that opportunity— actively. Pedal your whole community forward by transforming into a bike-friendly destination where people want to stay, explore and spend." - trailtowns.org*

An initial step in the process is conducting a "trail town assessment". On Saturday, July 9th, we'll be conducting a community-based trail town assessment, with cyclists invited to meet up at 10:00 am at City Hall.

# ALLEY OF THE FUTURE CONTEST



STORMWATER MANAGEMENT - COMMUNITY SPACES - ART - NATIVE PLANTINGS - BIKE/PED/PLAY FRIENDLY

## Alley of the Future Contest

Alleys have long served to provide access to properties, conduits for the provision of city services, and informal gathering and play spaces. The Alley of the Future contest asks community members to help us envision dynamic and community-building ways to better use the alleys that service approximately half of Bexley's homes. A successful Alley of the Future contender will help us address challenges and opportunities around:

### ENVIRONMENTAL SUSTAINABILITY

What changes to alley infrastructure and alley features can be made to address stormwater handling, native plantings and pollinators, light pollution, air quality, etc?

### SAFETY

Are there ways to encourage safer alley environments for all users?

### COMMUNITY BUILDING

How can alleys be designed to encourage social interaction, active play, physical fitness, etc?

### MULTI-MODAL TRANSPORTATION

How can alleys better accommodate a variety of transportation modes, including vehicular, bicycle, pedestrian, etc?

### PROVISION OF CITY SERVICES

How can we more effectively provide City services through alleys?

### ARTS AND CULTURAL CONNECTIVITY

How can alleys provide a canvas for artistic expression and cultural connectivity?

### BEAUTIFICATION

What efforts can be made to encourage naturally and architectural beautiful, tidy alley environments?

The winning Alley of the Future submission will be selected as a City infrastructure project for 2023. City staff will work with the winning applicant to hone the project scope. Budgetary and practical restrictions may limit the implementation of all parts of the winning alley submittal. The program will launch in mid-August with an initial workshop, with a follow-up workshop in early September, staff planning assistance in mid to late September, and an application deadline by late September.

Keep your eye on [www.bexley.org/future](http://www.bexley.org/future) for more information!







## City Council Meeting Minutes

Tuesday, June 14, 2022

6:00 PM

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**1) Call to Order**

Council President Markham called the meeting to order at 6:01 pm.

**2) Roll Call of Members**

Council Members in Attendance: Jen Robinson, Sam Marcellino, Troy Markham, Matt Klingler, Jessica Saad, Monique Lampke

President Markham remarked that Councilwoman Feibel did notify him of her absence this evening and asked for a motion.

President Markham moved to excuse Ms. Feibel's absence.

Ms. Lampke seconded.

All in Favor: Jen Robinson, Sam Marcellino, Troy Markham, Matt Klingler, Jessica Saad, Monique Lampke

Opposed: None

**Motion Passed 6-0.**

**3) Pledge of Allegiance**

**4) Presentations/Special Guests**

A) BCE Parade Route Discussion

Mr. Kessler provided an overview of the Bexley Celebrations and Events Committee that plans the parade and route. Mr. Kessler also discussed the reasoning behind last year's route change.

Marguerite Hernandez who lives at 728 S. Remington spoke in support of a shorter parade route, expressing concerns about the timing and distribution of the survey for the parade and issues with the survey itself as well as a history of the Bexley parade and safety concerns of a longer route.

Ronnie Ramito who lives at 728 S. Remington spoke in support of a deliberate process for the parade route decisions and spoke in favor of the shorter route followed in 2019.

Anna Wernicke of 733 Vernon Road spoke in support of the old parade route and spoke in regard to a long delay in the parade in South Bexley during the 2021 parade with the longer route.

Phoebe Kellerman of 977 South Remington Road spoke in favor of a shorter route but also in favor of more opportunity for community participation in deciding the route.

Lynda Sowers of 866 Grandon Avenue spoke in favor of the new, longer route and spoke about the challenges of seeing the parade in South Bexley and spoke in support of sharing the privilege of the parade route with new residents.

Debbie Clary of 752 South Roosevelt spoke in favor of the new extended route and mentioned the advantages of the width of the tree lawns on Roosevelt which allow viewers to spread out. Ms. Clary also read some comments from social media.

Dawn Freese of 886 South Roosevelt spoke about the process of the parade planning and factors for the decision. Dawn also invited community members to join the planning process.

Council President Markham remarked on the positive aspects of residents being involved and attending City Council meetings for input like this.

Mayor Kessler then spoke about next steps, stating that the Bexley Celebrations and Events Committee has indicated it is too late in the process to change the parade route for 2022; however, the mayor extended his thanks for the thoughtful feedback and expressed his commitment to ensuring the parade route discussion is opened to the public with more lead time for consideration of route changes.

**5) Public Comments (Speaker Slip Required)**

Richard Sharp spoke about Maslow's hierarchy of needs and encouraged Council to consider this and to consider biases of all types when considering matters in the City on housing and other topics, being careful to consider the differing needs of our residents and property owners.

**6) President's Report**

Mr. Markham has no report at this time.

**7) City Attorney Report**

Mr. Fishel provided an update on legislation regarding rental units and his opinion that our ordinance on Source of Income isn't impacted by this legislation.

**8) Auditor's Report**

No report at this time.

**9) Ordinances/Resolutions with visiting presenters**

A) Ordinance 20-22 to approve the proposed Joint Livingston Avenue Plan introduced by Jen Robinson on May 10, 2022.

B) Presentation by Sayee Mudholkar and Kim Way of NBBJ

Mr. Way of NBBJ provided an overview of the Livingston Avenue Plan presentation.

Ms. Saad thanked everyone for being part of the process and stated she's looking forward to the presentation.

Mr. Marcellino also expressed his excitement about the project, but also asked about the definition of long term which Mr. Way answered is somewhat up in the air, but could be 1-2 years or even 3-5 years. Mr. Marcellino asked a related question which Mr. Kessler answered.

Ms. Lampke thanked NBBJ for being there and for holding multiple workshops and making adjustments in response to residents' safety concerns.

Mr. Klingler asked about next steps in the process, especially on the City of Columbus's side.

Ms. Robinson asked about the process of resurfacing and what that might look like.

Mr. Markham talked about living and raising children near Livingston Avenue and his enthusiasm for this project.

Mr. Klingler asked an additional technical question.

Mr. Kessler provided more updates related to this and discussed some of the safety concerns and issues that have happened in the past in relation to accidents and such.

Hearing no more questions, Mr. Markham asked if anyone would like to take action.

Ms. Robinson acknowledged Ms. Lampke who served on the committee through the bulk of this project.

Ms. Robinson moved to table Ordinance 20-22.

Mr. Klingler seconded.

Mr. Kessler reminded Council that BZAP will need to review and approve this first due to the change to Zoning code.

Ms. Robinson withdrew her motion.

Mr. Klingler agreed to withdraw his second.

Hearing no disagreement from Council, Mr. Markham invited audience members to speak or ask questions if desired.

Mr. Richard Sharp of 845 College asked a question about traffic routes on similar projects and also asked about results of other traffic calming options, which Drew from Carpenter Marty answered.

Alex Silverman of 683 Vernon Road spoke of growing up in Berwick and asked about potential for future developments and spoke in support of the improvements and his belief that this is the time to invest in this corridor.

Ms. Robinson moved to Table Ordinance 20-22.

Mr. Klingler seconded.

All in Favor: Jen Robinson, Sam Marcellino, Troy Markham, Matt Klingler, Jessica Saad, Monique Lampke

Opposed: None

**Motion passed 6-0**

Mayor Kessler provided more detail on the tabling of this ordinance and the rationale behind it.

**10) Administrative Update:**

A) Service Department Update - Andy Bashore

Mr. Kessler asked for an update on the Drexel project, which Mr. Bashore provided. Council members commented and asked questions about this project with Mr. Bashore and Mr. Kessler answered.

Ms. Saad expressed her appreciation for Mr. Bashore's support in a recent community event.

B) Police Department Update - Interim Chief Gough

Interim Chief Gough had to depart unexpectedly. Mr. Kessler did speak about Ohio's new concealed carry law. The universal police script will now include asking if any individual in an interaction has a weapon due to the passage of Ohio's new concealed carry law.

C) Recreation and Parks Update - Mike Price

Mr. Price provided an overview of his report and a potential need for reduction of hours at the pool due to staffing issues with lifeguards. Ms. Saad and Mr. Kessler both spoke on this issue.

Mr. McPeek asked if there had been any outreach for lifeguards to the community and the potential of reduced hours which Mr. Price answered. Mr. McPeek also asked if there would be any evening hours.

Mr. Klingler asked if there are any specific hours that are problematic and Council and Mr. Price continued to discuss this topic.

D) Finance Department Update - Beecher Hale

Mr. Hale requested a motion for an invoice for Julian Grubbe (below) and then provided an overview of his report.

QUESTION??? (7:53pm) Mr. McPeek also mentioned that he would be providing an Auditor's Report at the next meeting. Mr. McPeek also asked if we can change up the Directors order for the future.

i) Motion to Approve Julian Grubbe Invoice Payment

Mr. Hale requested a motion for an invoice for Julian Grubbe due to a processing error with the opening of this PO and requested a motion to pay the attached invoice.

Ms. Lampke moved to approve payment of this invoice as shown.

Mr. Marcellino seconded.

All in Favor: Jen Robinson, Sam Marcellino, Troy Markham, Monique Lampke, Matt Klingler, Jessica Saad.

**Motion passed 6-0.**

E) Mayor's Update

Mr. Kessler provided an overview of his report including some great upcoming programs and highlighted some recent conversations on crossing guards specifically at Broad and Cassingham.

i) Motion to approve travel of Building and Zoning Director to American Planning Association conference in Louisville in late September.

Mr. Kessler asked for a motion to travel for a conference.

Mr. Marcellino asked about the cost, which Mr. Kessler answered.

Mr. Marcellino moved to approve this.

Mr. Klingler seconded.

All in Favor: Jen Robinson, Sam Marcellino, Troy Markham, Monique Lampke, Matt Klingler, Jessica Saad.

Motion passed 6-0.

Mr. Markham announced a brief recess at 8:02pm.

Mr. Markham resumed the meeting at 8:08pm.

**11) Consent Agenda: (No Speaker Slip Required)**

A) Meeting Minutes - 05/24/22 City Council Meeting

Mr. Fishel read the item on the Consent Agenda.

Mr. Markham moved to approve payment of this invoice as shown.

Mr. Klingler seconded.

All in Favor: Jen Robinson, Sam Marcellino, Troy Markham, Monique Lampke, Matt Klingler, Jessica Saad.

**Motion passed 6-0.**

**12) Third Readings: (No Speaker Slip Required)**

A) Ordinance 19-22 to amend 1226.19 Appeals to Council, in order to specify an appeals timeline based upon the date of receipt of a written decision and posting of written decision to website; to provide for City Council's ability to decline jurisdiction based upon conflicts of interest or for other cause; to provide for the suspension of active permits pertaining to those parts of an application that are under appeal; and to accommodate

additional procedural improvements. Introduced by Matt Klingler on May 10, 2022.  
Mr. Fishel read the ordinance and Mr. Klingler and Mr. Kessler provided some background and information on the proposed amendments.

Mr. Klingler moved to amend Ordinance 19-22 as shown.

Ms. Robinson seconded.

All in Favor: Jen Robinson, Sam Marcellino, Troy Markham, Monique Lampke, Matt Klingler, Jessica Saad.

**Motion passed 6-0.**

Mr. Klingler moved to pass Amended Ordinance 19-22.

Mr. Saad seconded.

All in Favor: Jen Robinson, Sam Marcellino, Troy Markham, Monique Lampke, Matt Klingler, Jessica Saad.

**Motion passed 6-0.**

**13) Second Readings: (Speaker Slip Required)**

A) Ordinance 21-22 to unappropriate \$75,000 from the Pool Management Account (14-550-51190), and to remove \$75,000 from the Swimming Pool Fund Concession Stand Revenue line item introduced by Monique Lampke on May 24, 2022.

Mr. Fishel read the ordinance and Ms. Lampke provided a brief reminder on the rationale of this ordinance. This ordinance will be moved to the consent agenda for the next meeting.

B) Ordinance 22-22 to amend Section 1226.19(a), to allow alcohol at specific community events conditional upon approval by Council introduced by Troy Markham on May 24, 2022

Mr. Fishel read this ordinance and Mr. Markham said we did receive some feedback from the Recreation Board and amendments will be introduced at the next meeting reflecting these recommendations, which will exclude the requirement for Council to approve Commonwealth or Jeffrey Park. Mr. Markham asked a clarifying question regarding the potential amendment. Mr. McPeek asked why there is inconsistency and who manages different parks.

Mr. Markham also provided a very brief Smoke and Fire Festival update at this time.

C) Ordinance 23-22 to repeal Section 452.21, Skateboards and Roller Skates Prohibited in parking lots introduced by Sam Marcellino on May 24, 2022.

Mr. Fishel read the ordinance and Mr. Marcellino provided an overview of this ordinance and the rationale behind it. This ordinance will be moved to the consent agenda for the next meeting.

D) Resolution 4-22 to adopt the tax budget for calendar year 2023 attached hereto as Exhibit A introduced by Monique Lampke on May 24, 2022.

Mr. Fishel read this ordinance and Ms. Lampke provided some background and rationale behind this ordinance. This ordinance will be moved to the consent agenda.

**14) First Readings: (Speaker Slip Required)**

A) Ordinance 24-22 to change the status of the Finance and Personnel Coordinator from part

time to full time with a pay range of \$24.84/hr. to 35.87/hr. and to transfer appropriations in the amount of \$39,282 from Other Expenditures to Personal Services within the department of the Auditor's Office introduced by Monique Lampke on June 14, 2022

Mr. Fishel read this ordinance and Ms. Lampke provided some information and rationale behind this ordinance and invited Mr. McPeek to provide more detail for the change. Mr. McPeek provided an update on the recruitment process and why this transition is required in reference to hours.

Mr. Klingler asked about any added scopes or responsibilities involved in the change from part time to full time which Mr. McPeek answered. Ms. Lampke also reminded Council that the goal with this ordinance is a suspension and adoption.

Ms. Lampke moved to suspend the three reading rule for Ordinance 24-22.

Mr. Klingler seconded.

All in Favor: Jen Robinson, Sam Marcellino, Troy Markham, Monique Lampke, Matt Klingler, Jessica Saad.

**Motion passed 6-0.**

Ms. Lampke moved to adopt Ordinance 24-22

Mr. Klingler seconded.

All in Favor: Jen Robinson, Sam Marcellino, Troy Markham, Monique Lampke, Matt Klingler, Jessica Saad.

**Motion passed 6-0.**

B) Ordinance 25-22 to Amend Section 262.02(c)(3) to include Christmas Eve and New Year's Eve as holidays, and to Authorize the Mayor to Grant up to Four Additional Hours of Time Off Immediately Preceding Holidays for Non-Bargaining Unit Employees introduced by Monique Lampke on June 14, 2022.

Mr. Fishel read the ordinance and Ms. Lampke invited Mr. Kessler and Mr. Fishel to provide some additional information on this. Mr. Kessler provided an update on the background of the tradition around this ordinance.

Mr. Marcellino asked about due dates, especially for Mayor's Court, which Mr. Kessler answered.

Ms. Lampke also requested some details on Section F, which Mr. Kessler clarified.

C) Ordinance 26-22 to amend Chapter 1476, Unsafe Buildings, to amend provisions for unsafe sites introduced by Matt Klingler on June 14, 2022

Mr. Fishel read this ordinance and Mr. Klingler provided some background and rationale behind this ordinance. Mr. Kessler also provided an update that there will be some additional tweaks to this based on recommendations from environmental counsel.

D) Ordinance 27-22 to authorize appropriations of \$200,000 from the General Fund into the Grants Account, in order to accommodate additional appropriations for the Grant Reimbursed Expenditures line item and the State Capital Grant line item of the Grants Account, for the purpose of funding additional grant programs based upon recently awarded grants. introduced by Monique Lampke on June 14, 2022

Mr. Fishel read the ordinance and Ms. Lampke invited Mr. Kessler to provide some background on this ordinance.

- E) Resolution 5-22 confirming the Mayor's appointments of members to the Architectural Review Board; the Board of Zoning Appeals and Planning; the Recreation and Parks Board; the Tree and Public Gardens Commission; the Board of Health; the Civil Service Commission; and the Community Reinvestment Area Housing Council introduced by Jen Robinson on June 14, 2022

Mr. Fishel read this ordinance and Ms. Robinson invited Mr. Kessler to provide some background.

**15) Tabled Ordinances:**

- A) Ordinance 14-22 to Amend Section 1266.14 Solar Panels, in order to provide for consistent regulation and a streamlined approval process for solar panel projects introduced by Matt Klingler on April 12, 2022
- B) Ordinance 41-21 accepting the proposed donation of the Columbia Place private street in the Columbia Place subdivision by the City of Bexley for a public street. (Introduced by Jessica Saad September 28, 2021)

No action on tabled ordinances at this time.

**16) Safety and Health Committee - Sam Marcellino, Chair**

No report at this time.

**17) Zoning and Development Committee - Matt Klingler, Chair**

Mr. Klingler noted the excessive heat warning in place until tomorrow evening.

**18) Recreation and Parks Committee - Jessica Saad, Chair**

No report at this time.

**19) Strategic Committee - Jen Robinson, Chair**

Ms. Robinson reported the Juneteenth celebration this Friday from 5:00-7:00 pm in the library parking lot with food, music, vendors, and dance performances

**20) Service and Environmental Committee - Lori Ann Feibel, Chair**

No report at this time.

**21) Finance Committee - Monique Lampke, Chair**

Ms. Lampke announced that June 17th at 10am City Council has been invited to the Grand Opening of Tropical Smoothie.

**22) Public Comments (No Speaker Slip Required)**

Ben Heckman of 2411 East Main Street complimented the Council members and said he hoped to see everyone on Friday,

**23) Adjourn**

Mr. Klingler moved to adjourn  
Ms. Robinson seconded.



All in Favor: Sam Marcellino, Monique Lampke, Jen Robinson, Jessica Saad, Troy Markham, Matt Klingler

Opposed: None

**Motion passed 6-0.**

Mr. Markham adjourned the meeting at 8:48 pm.

## ORDINANCE NO. 21 - 22

By: Monique Lampke:

**An ordinance to unappropriate \$75,000 from the Pool Management Account (14-550-51190), and to remove \$75,000 from the Swimming Pool Fund Concession Stand Revenue line item.**

**Whereas**, Ordinance 12-22, passed on April 12, 2022, appropriated \$75,000 for potential costs associated with the current pool management company, SwimSafe, taking over pool concession operations; and

**Whereas**, Ordinance 12-22 added a \$75,000 swimming pool fund concession stand revenue line item; and

**Whereas**, it was the intent of the administration to work to find a suitable vendor to take on pool concession operation with a contract in which operational costs were covered by the operator and a percentage of revenue was paid to the City of Bexley; and

**Whereas**, the administration conveyed to City Council that, in the event that the Recreation and Parks Department was able to find a suitable vendor and enter into contract for the 2022 pool concession stand operation, appropriations in Ordinance 12-22 associated with concession stand operations would be reduced: and

**Whereas**, the Recreation and Parks Department has entered into contract with 365 Midwest Concessions to operate the pool concession stand for 2022;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY:**

Section 1.

The Pool Management Account (14-550-51190) appropriation is reduced by \$75,000.

Section 2.

The swimming pool fund budget for 2022 will have the "Concession Stand" revenue line reduced by \$75,000.

Section 3.

That this ordinance shall go into effect and be in force from and after the earliest period allowed by law.

Passed: \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_  
Matt McPeck, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Ben Kessler, Mayor

First Reading: May 24, 2022

Second Reading:

Third Reading:

**Ordinance 23 – 22**

By: Sam Marcellino

**An Ordinance to repeal Section 452.21, Skateboards and Roller Skates Prohibited in parking lots.**

**Whereas,** Section 452.21, Skateboards and Roller Skates Prohibited in parking lots, prohibits the use of skateboards, roller blades, roller skates, sleds, toy vehicles, and bicycles to be used in public and private parking lots; and

**Whereas,** Residents commonly use multi-modal devices to access businesses and institutions, and the City is committed to supporting alternate forms of personal transportation and to encouraging active lifestyles;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY, OHIO:**

**Section 1:**

That Section 452.21 is hereby repealed.

**Section 2.**

That this Ordinance shall go into effect, and be in force from and after the earliest period allowed by law.

Passed: \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy D. Markham, President of Council

Attest: \_\_\_\_\_  
Matthew McPeek, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin Kessler, Mayor

First Reading: May 24, 2022

Second Reading:

Third Reading:

**RESOLUTION 4-22**

By Monique Lampke:

**A RESOLUTION TO ADOPT THE TAX BUDGET FOR CALENDAR YEAR 2023 ATTACHED  
HERETO AS EXHIBIT A.**

**Whereas**, Section 5705.28(A)(2) of the Ohio Revised Code requires the City to adopt and file the 2023 Tax Budget with the Franklin County Auditor’s Office on or before July 20, 2023.

**NOW THEREFORE BE IT RESOLVED BY THE COUNCIL OF THE CITY OF BEXLEY OHIO:**

This budget for the year beginning January 1, 2023 has been adopted by Bexley City Council and is herewith submitted for consideration of the County Budget Commission.

Passed: \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_  
Matt McPeek, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Ben Kessler, Mayor

First Reading: May 24, 2022  
Second Reading:  
Third Reading:

**City of Bexley  
General Fund 2023 Tax Budget**

	<b>2020 Actual</b>	<b>2021 Actual</b>	<b>2022 Forecast</b>	<b>2023 budget</b>
<b><u>Operating Revenue</u></b>				
City Income Tax	\$ 13,009,446	\$ 14,995,603	\$ 15,385,489	15,785,511
Local Government	442,657	523,652	500,000	500,000
Real Estate Tax	487,853	574,442	575,000	575,000
Interest	252,346	190,644	200,000	200,000
Building Permits	326,860	412,255	416,000	416,000
Franchise Fees	182,124	132,912	295,000	295,000
Grants	356,244	317,860	495,000	495,000
CIC Revenue	171,667	100,000	170,000	170,000
All Other	711,539	411,058	449,000	449,000
<b>Total Operating Revenue</b>	<b>\$ 15,940,736</b>	<b>\$ 17,658,427</b>	<b>\$ 18,485,489</b>	<b>18,885,511</b>
<b><u>Operating Expenses</u></b>				
<b>General Government</b>				
Personal Services	\$ 1,329,847	\$ 1,385,697	\$ 1,381,107	1,524,204
Grant Reimbursed Expenditures	389,320	596,101	495,000	495,000
Other	1,061,522	1,243,222	1,791,169	1,814,430
<b>Total General Government</b>	<b>\$ 2,780,689</b>	<b>\$ 3,225,020</b>	<b>\$ 3,667,276</b>	<b>3,833,634</b>
<b>Public Health and Safety</b>				
Personal Services	\$ 5,129,366	\$ 5,301,602	\$ 5,582,865	5,838,500
Other	3,377,712	3,264,070	3,323,377	3,560,796
<b>Total Public Health and Safety</b>	<b>\$ 8,507,078</b>	<b>\$ 8,565,672</b>	<b>\$ 8,906,242</b>	<b>9,399,296</b>
<b>Public Service</b>				
Personal Services	\$ 858,944	\$ 973,498	\$ 1,145,010	1,208,925
Other	420,797	570,387	679,125	708,898
<b>Total Public Service</b>	<b>\$ 1,279,741</b>	<b>\$ 1,543,885</b>	<b>\$ 1,824,135</b>	<b>1,917,823</b>
<b>Recreation</b>				
Personal Services	\$ 308,288	\$ 373,818	\$ 401,213	423,780
Other	333,177	399,457	527,570	468,794
<b>Total Recreation</b>	<b>\$ 641,465</b>	<b>\$ 773,275</b>	<b>\$ 928,783</b>	<b>892,574</b>
Debt service	\$ 1,088,014	\$ 649,486	\$ 988,385	1,230,215
Estimated Additional Appropriations			50,000	50,000
Estimated Unspent Appropriation			(267,000)	(267,000)
<b>Total Operating Expenditures</b>	<b>\$ 14,296,987</b>	<b>\$ 14,757,338</b>	<b>\$ 16,097,821</b>	<b>17,056,542</b>
<b>Revenue Over (Under ) Expenditures</b>	<b>\$ 1,643,749</b>	<b>\$ 2,901,089</b>	<b>\$ 2,387,668</b>	<b>1,828,970</b>
<b>Other Financing Sources</b>				
BWC Rebate		397,071		
Reduction to Prior Year Encum.				
Health Insurance Adjustment		2,446		
Debt Service repayment	307,476			
<b>Total Other Financing Sources</b>	<b>\$ 307,476</b>	<b>\$ 399,517</b>	<b>\$ 0</b>	<b>0</b>
<b>Other Financing Uses - Capital Expenditures</b>				
Transfer to Capital Improvements Fund	\$ 1,250,000	\$ 800,000	\$ 1,000,000	500,000
Transfer to Infrastructure Dev. Fund		1,100,000	900,000	900,000
Operating Transfers	100,000	30,000	230,000	230,000
Transfer to Budget Stability	100,000	100,000	150,000	150,000
<b>Total Other Financing Uses</b>	<b>\$ 1,450,000</b>	<b>\$ 2,030,000</b>	<b>\$ 2,280,000</b>	<b>1,780,000</b>
<b><u>Beginning Cash Fund Balance</u></b>				
Net Current Year Increase (Decrease)	\$ 3,079,601	\$ 3,277,243	\$ 4,207,555	3,533,624
Prior year Encumbrance Expenditures	501,225	1,270,606	107,668	48,970
Ending Cash Fund Balance	\$ (302,461)	\$ (340,294)	(781,599)	3,582,594
Year End Outstanding Encumbrances	3,278,365	4,207,555	3,533,624	3,582,594
<b>Ending Unencumbered Balance</b>	<b>\$ 3,278,365</b>	<b>\$ 3,265,578</b>	<b>3,533,624</b>	<b>3,582,594</b>

## Police Pension Fund 2023 Tax Budget

	<b>2020 Actual</b>	<b>2021 Actual</b>	<b>2022 Forecast</b>	<b>2023 Budget</b>
<b><u>Revenue</u></b>				
Property Tax Revenue	\$ 530,555	\$ 624,104	\$ 625,000	\$ 625,000
<b>Total Revenue</b>	<b>\$ 530,555</b>	<b>\$ 624,104</b>	<b>\$ 625,000</b>	<b>\$ 625,000</b>
<b><u>Expenditures</u></b>				
Personal Services	\$ 694,404	\$ 708,089	\$ 767,984	\$ 806,383
Other	6,803	8,036	6,500	6,500
	<b>\$ 701,207</b>	<b>\$ 716,135</b>	<b>\$ 774,484</b>	
Revenues Over(Under) Expenditures	\$ (170,652)	\$ (92,031)	\$ (142,984)	\$ (181,383)
<b><u>Other Financing Sources</u></b>				
Transfers from General Fund	\$ 188,271	\$ 92,031	\$ -	\$ -
<b>Total Other Sources</b>	<b>\$ 188,271</b>	<b>\$ 190,992</b>	<b>\$ -</b>	<b>\$ -</b>
<b><u>Other Financing Uses</u></b>				
Prior Year Encumbrances				
<b>Total Other Uses</b>				
<b><u>Beginning Fund Balance</u></b>	\$ 246,151	\$ 263,770	\$ 362,731	\$ 219,747
Net Increase (Decrease)	17,619	98,961	(142,984)	(181,383)
<b>Ending Fund Balance</b>	<b>\$ 263,770</b>	<b>\$ 362,731</b>	<b>\$ 219,747</b>	<b>\$ 38,364</b>

## Road and Alley Fund 2023 Tax Budget

	<u>2020 Actual</u>	<u>2021 Actual</u>	<u>2022 Forecast</u>	<u>2023 Budget</u>
<b>Revenue</b>				
Property Tax Revenue	\$ 2,021,443	\$ 2,050,346	\$ 2,050,000	\$ 2,050,000
Other Revenue	95,200	90,716	95,000 (1)	95,000
<b>Total Revenue</b>	<u>\$ 2,116,643</u>	<u>\$ 2,141,062</u>	<u>\$ 2,145,000</u>	<u>\$ 2,145,000</u>
<b>Expenditures</b>				
Operating Expenditures	\$ 886,309	\$ 928,286	\$ 1,326,150	\$ 1,326,150
Revenues Over(Under) Expenditures	\$ 1,230,334	\$ 1,212,776	\$ 818,850	\$ 818,850
<b>Other Financing Uses</b>				
Debt Service/Transfer to Bond Retirement Fund	\$ 565,925	\$ 939,019	\$ 698,880	\$ 473,311
Other Transfers		\$ 97,347		
Prior Year Encumbrances	\$ 212,213	\$ 431,687	\$ 174,168	
<b>Total Other Uses</b>	<u>\$ 778,138</u>	<u>\$ 1,468,053</u>	<u>\$ 873,048</u>	<u>\$ 473,311</u>
<b>Beginning Cash Balance</b>				
Net Increase (Decrease)	452,196	(255,277)	(54,198)	345,539
Ending Cash Balance	992,089	736,812	682,614	1,028,153
Encumbrances Carried Forward	495,828			
<b>Ending Unencumbered Balance</b>	<u>\$ 496,261</u>	<u>\$ 736,812</u>	<u>\$ 682,614</u>	<u>\$ 1,028,153</u>
<b>Reserved Fund Balance (2)</b>	<u>525,000</u>	<u>702,000</u>	<u>818,000</u>	<u>872,000</u>
Ending Unreserved Balance	<u>\$ (28,739)</u>	<u>\$ 34,812</u>	<u>\$ (135,386)</u>	<u>\$ 156,153</u>

(1) Reduced from the \$189,400 in the original budget.

(2) Resolution 21-18



## Main St. Public Imp. Tax Inc. Eq. Fund 2022 Tax Budget

	<u>2020 Actual</u>	<u>2021 actual</u>	<u>2022 Forecsat</u>	<u>2023 Budget</u>
<b><u>Revenue</u></b>				
Property Tax Revenue	\$ 304,685	\$ 338,226	\$ 338,226	\$ 338,226
Other Revenue				
<b>Total Revenue</b>	<u>\$ 304,685</u>	<u>\$ 338,226</u>	<u>\$ 338,226</u>	<u>\$ 338,226</u>
<b><u>Expenditures</u></b>				
Operating Expenditures	\$ 66,985	\$ 43,474	\$ 126,500	\$ 126,500
Revenues Over(Under) Expenditures	\$ 237,700	\$ 294,752	\$ 211,726	\$ 211,726
<b><u>Other Financing Uses</u></b>				
Debt Service/Transfer to Bond Retirement Fund	\$ 161,750	\$ 163,485	\$ 164,135	\$ 163,485
Prior Year Encumbrances	113,017	9,198	108,876	
<b>Total Other Uses</b>	<u>\$ 274,767</u>	<u>\$ 172,683</u>	<u>\$ 273,011</u>	<u>\$ 163,485</u>
<b><u>Beginning Fund Balance</u></b>				
Net Increase (Decrease)	<u>(37,067)</u>	<u>122,069</u>	<u>(61,285)</u>	<u>48,241</u>
<b>Ending Fund Balance</b>	<u><u>\$ 222,287</u></u>	<u><u>\$ 344,356</u></u>	<u><u>\$ 283,071</u></u>	<u><u>\$ 331,312</u></u>

## City Hall TIF Fund 2023 Tax Budget

	<u>2020 Actual</u>	<u>2021 Actual</u>	<u>2022 Forecast</u>	<u>2023 Budget</u>
<b><u>Revenue</u></b>				
TIF Revenue	\$ 108,132	\$ 109,723	\$ 108,200	\$ 108,400
Other Revenue				
<b>Total Revenue</b>	<u>\$ 108,132</u>	<u>\$ 109,723</u>	<u>\$ 108,200</u>	<u>\$ 108,400</u>
<b><u>Expenditures</u></b>				
Operating Expenditures	\$ 99,973	\$ 13,017	\$ 32,000	\$ 40,000
Revenues Over(Under) Expenditures	\$ 8,159	\$ 96,706	\$ 76,200	\$ 68,400
<b><u>Other Financing Sources</u></b>				
Transfer From General Fund		\$ 20,250		
<b><u>Other Financing Uses</u></b>				
Debt Service/Transfer to Bond Retirement Fund	\$ 90,950	\$ 88,700	\$ 45,725	\$ 88,700
Prior Year Encumbrances				
<b>Total Other Uses</b>	<u>\$ 90,950</u>	<u>\$ 88,700</u>	<u>\$ 45,725</u>	<u>\$ 88,700</u>
<b><u>Beginning Fund Balance</u></b>				
Prior Period Adjustment	\$ 77,069	\$ (26,171)	\$ 2,085	\$ 32,560
Net Increase (Decrease)	\$ (20,449)	28,256	30,475	(20,300)
<b>Ending Fund Balance</b>	<u>\$ (26,171)</u>	<u>\$ 2,085</u>	<u>\$ 32,560</u>	<u>\$ 12,260</u>

Funds Not Receiving Property Tax 2023 Tax Budget

Fund	12/31/2022 Unencumbered Balance	Projected 2023 Other Sources	Total Available Resources	Estimated Expenditures for Personal Services	Estimated Other Expenditures	Available Resources Year End 2023
<b>Special Revenue Funds</b>						
02 - STATE HIGHWAY Total	137,340	90,082	227,422	13,033	68,250	146,139
03 - STREET MAINTENANCE AND REPAIR Total	2,201	931,600	933,801	544,867	355,342	33,592
05 - RECREATION Total	50,414	2,157,000	2,207,414	1,552,563	623,291	31,560
14 - SWIMMING POOL Total	195,747	395,000	590,747	22,713	328,335	239,699
18 - LAW ENFORCEMENT TRUST FUND	10,251	1,300	11,551			11,551
20 - BEXLEY BEAUTIFICATION	3,808		3,808			3,808
23 - FRIENDS OF JEFFREY PARK FUND Total	2,510	1,500	4,010		1,200	2,810
24 - ENFORCEMENT AND EDUCATION FUND	21,384	610	21,994			21,994
26 - BEXLEY YOUTH ATHLETIC FUND Total	12,532	5,400	17,932		12,000	5,932
27 - TOURISM PROMOTION AND COMMUNITY	3,048	2,300	5,348		5,000	348
28 - EVENTS AND EQUIPMENT FUND Total	1,789		1,789		1,500	289
29 - MARYANNA HOLBROOK SCHOLARSHIP Tot	42,565	13,100	55,665		30,000	25,665
31 - MAYOR'S COURT COMPUTER FUND Total	465	1,500	1,965		1,500	465
35 - TAX INCENTIVE FUND	3,537		3,537			3,537
56 - Friends of Jeffrey Mansion Preschool Total	11,320	7,800	19,120		3,500	15,620
57 - NEIGHBORS HELPING NEIGHBORS	3,231		3,231			3,231
55 - FARMERS MARKET FUND	125		125			125
59 - BEXLEY CELEBRATIONS ASSOCIATION AND	112	65,000	65,112		65,000	112
70 - BEXLEY LAND BANK FUND	40,540		40,540			40,540
71 - LOCAL CORONAVIRUS RELIEF FUND Total	(0)		(0)	-		(0)
73 - AMERICAN RESCUE PLAN ACT Total	(6,820)	722,737	715,917		715,917	(0)
75 - INFRASTRUCTURE DEVELOPMENT FUND	1,100,000		1,100,000			1,100,000
<b>Total Special Revenue Funds</b>	<b>1,636,098</b>	<b>4,394,929</b>	<b>6,031,027</b>	<b>2,133,175</b>	<b>2,210,835</b>	<b>1,687,017</b>
<b>Debt Service Funds</b>						
06 - BOND RETIREMENT Total	467,507	1,979,913	2,447,420		1,979,913	467,507
51 - ECONOMIC DEVELOPMENT BOND SERV To	19,647	788,975	808,622		788,975	19,647
<b>Total Debt Service Funds</b>	<b>487,155</b>	<b>2,768,888</b>	<b>3,256,043</b>	<b>-</b>	<b>2,768,888</b>	<b>487,155</b>
<b>Capital Projects Funds</b>						
08 - SPECIAL ASSESSMENTS Total	494	95,000	95,494		94,000	1,494
13 - CAPITAL IMPROVEMENTS Total	626,186	1,000,000	1,626,186		1,000,000	626,186
55 - BROAD STREET FUND	8,580		8,580			8,580
64 - ASHBOURNE AND ROOSEVELT	164,884		164,884			164,884
<b>Total Capital Projects Funds</b>	<b>800,143</b>	<b>1,095,000</b>	<b>1,895,143</b>	<b>-</b>	<b>1,094,000</b>	<b>801,143</b>
<b>Enterprise Funds</b>						
09 - WATER Total	1,280,819	3,217,360	4,498,178	487,374	2,871,312	1,139,492
10 - SEWER Total	2,530,425	3,126,940	5,657,365	268,105	2,876,441	2,512,819
11 - REFUSE Total	1,310,776	1,373,653	2,684,429	185,775	1,390,725	1,107,928
<b>Total Enterprise Funds</b>	<b>5,122,019</b>	<b>7,717,953</b>	<b>12,839,972</b>	<b>941,255</b>	<b>7,138,478</b>	<b>4,760,239</b>
<b>Fiduciary Funds</b>						
25 - BLDG. STANDARDS FEE ASSESSMENT Total	10,594	1,767	12,361		1,800	10,561
32 - UNCLAIMED FUNDS	11,491		11,491			11,491
39 - SEWER CAPACITY FUND	14,873		14,873			14,873
60 - POLICE OFFICER OPTIONAL EQ. FUND	12,710		12,710			12,710
62 - HEALTH INSURANCE FUND Total	283,821	1,623,672	1,907,493		1,623,672	283,821
63 - Employee Separation Fund Total	58,733	30,000	88,733	30,000		58,733
<b>Total Fiduciary Funds</b>	<b>392,222</b>	<b>1,655,439</b>	<b>2,047,661</b>	<b>30,000</b>	<b>1,625,472</b>	<b>392,189</b>
<b>Grand Total</b>	<b>8,437,637</b>	<b>17,632,209</b>	<b>26,069,845</b>	<b>3,104,430</b>	<b>14,837,674</b>	<b>8,127,742</b>

(1)

(1) Contains balloon payment which completes the debt service on this issue.

**Proposed Amended Ordinance No. 25 - 22**

**By: Monique Lampke**

**An Ordinance to Amend Section 262.02(c)(3) to include Christmas Eve and New Year's Eve as holidays, and to Authorize the Mayor to Grant up to Four Additional Hours of Time Off Immediately Preceding or Following Holidays for Non-Bargaining Unit Employees.**

**Whereas**, Section 262.02(c)(3) sets forth certain paid holidays for non-bargaining unit City employees; and

**Whereas**, From time to time, the City desires to grant non-bargaining unit employees additional holiday time off as a reward for their service to the City;

**NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Bexley, Ohio that Section 262.03(c)(3) of the codified ordinances be amended as follows:**

Section 1

(3) Holidays.

A. Police Chief and Captain. Holidays for the Police Chief and Police Captain will be as follows:

- New Year's Day
- Martin Luther King Jr. Day
- President's Day
- Memorial Day
- Juneteenth
- Labor Day
- Bexley Day (Marking the day of Bexley's founding - observed second Monday in August)
- Veterans Day
- Thanksgiving Day
- Friday following Thanksgiving Day
- Christmas Day

Exempt employees shall not be entitled to holiday pay above and beyond normal salary.

B. All other Schedule I employees. Holidays for all other Schedule I employees will be as follows:

- New Year's Eve**
- New Year's Day
- Martin Luther King Jr. Day
- Presidents Day
- Memorial Day
- Independence Day

Bexley Day (Observed second Monday in August)

Labor Day

Thanksgiving Day

Friday following Thanksgiving Day

**Christmas Eve**

Christmas Day

C. Unless otherwise directed by the Mayor, an employee subject to this subsection will not work on a scheduled holiday.

D. Non-exempt employees subject to this subsection who are required to work on a holiday will receive double-time for hours worked, and exempt employees shall not be entitled to overtime pay for holidays worked by them. The extra pay will be included in the regular payroll in which the holiday occurs. Any person absent the working day before or after a holiday, without prior approval, shall not be paid for that holiday.

E. At the discretion of the Mayor, the City offices may remain open on Bexley Day, and this may be a floating holiday. Employees may request this day off with pay through the year. Bexley Day must be used by December 31st of each calendar year or it will be forfeited.

**F. The Mayor, at their sole discretion, may grant non-bargaining unit employees up to four (4) additional half-days (up to four hours) off work as a paid holiday. These additional holidays may be designated on the last work day ~~on the last work day immediately preceding or immediately following~~ one of the holidays set forth in this section.**

**Section 2.**

That this Ordinance shall go into full force and effect at the earliest period allowed by law.

Passed \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham President of Council

Attest: \_\_\_\_\_, 2022  
Matthew McPeak, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin Kessler, Mayor

First Reading:  
Second Reading:  
Third Reading:



**Ordinance No. 25 - 22**

**By: Monique Lampke**

**An Ordinance to Amend Section 262.02(c)(3) to include Christmas Eve and New Year's Eve as holidays, and to Authorize the Mayor to Grant up to Four Additional Hours of Time Off Immediately Preceding Holidays for Non-Bargaining Unit Employees.**

**Whereas**, Section 262.02(c)(3) sets forth certain paid holidays for non-bargaining unit City employees; and

**Whereas**, From time to time, the City desires to grant non-bargaining unit employees additional holiday time off as a reward for their service to the City;

**NOW, THEREFORE, BE IT ORDAINED by the Council of the City of Bexley, Ohio that Section 262.03(c)(3) of the codified ordinances be amended as follows:**

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Exempt employees shall not be entitled to holiday pay above and beyond normal salary.

B. All other Schedule I employees. Holidays for all other Schedule I employees will be as follows:

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- Presidents Day
- Memorial Day
- Independence Day

Bexley Day (Observed second Monday in August)

Labor Day

Thanksgiving Day

Friday following Thanksgiving Day

**Christmas Eve**

Christmas Day

C. Unless otherwise directed by the Mayor, an employee subject to this subsection will not work on a scheduled holiday.

D. Non-exempt employees subject to this subsection who are required to work on a holiday will receive double-time for hours worked, and exempt employees shall not be entitled to overtime pay for holidays worked by them. The extra pay will be included in the regular payroll in which the holiday occurs. Any person absent the working day before or after a holiday, without prior approval, shall not be paid for that holiday.

E. At the discretion of the Mayor, the City offices may remain open on Bexley Day, and this may be a floating holiday. Employees may request this day off with pay through the year. Bexley Day must be used by December 31st of each calendar year or it will be forfeited.

**F. The Mayor, at their sole discretion, may grant non-bargaining unit employees up to four (4) additional half-days (up to four hours) off work as a paid holiday. These additional holidays may be designated on the last work day immediately preceding one of the holidays set forth in this section.**

**Section 2.**

That this Ordinance shall go into full force and effect at the earliest period allowed by law.

Passed \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham President of Council

Attest: \_\_\_\_\_, 2022  
Matthew McPeak, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin Kessler, Mayor

First Reading:  
Second Reading:  
Third Reading:





**ORDINANCE NO. 26 - 22**

**By: Matt Klingler**

**An ordinance to amend Chapter 1476, Unsafe Buildings, to amend provisions for unsafe sites**

**WHEREAS,** The City of Bexley desires to protect human health and safety; and

**WHEREAS,** Bexley's current nuisance ordinance protects the community and its residents against unsafe structural conditions, but does not provide explicit protections against unsafe site conditions; and

**WHEREAS,** It is in the best interests of the community and its residents if the City provides for a process to remedy unsafe site conditions;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY, OHIO:**

**Section 1.**

That Chapter 1476.01 (b) be amended as follows:

(b) All sites which in relation to an existing use constitute a hazard to health by reason of inadequate maintenance, dilapidation or obsolescence, or upon which environmental contamination exceeds applicable state and federal environmental standards for **poses a risk or threat to human occupancy or human health**, are, for the purpose of this chapter, "unsafe sites." All such unsafe sites are hereby declared to be public nuisances and shall be abated by rehabilitation in accordance with the procedure set forth in this chapter.

**Section 2.**

That this Ordinance shall go into full force and effect at the earliest period allowed by law.

Passed \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_, 2022  
Matt McPeek, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin Kessler, Mayor

**ORDINANCE NO. 27 - 22**

By: Monique Lampke

**An ordinance to authorize appropriations of \$200,000 from the General Fund into the Grants Account, in order to accommodate additional appropriations for the Grant Reimbursed Expenditures line item and the State Capital Grant line item of the Grants Account, for the purpose of funding additional grant programs based upon recently awarded grants.**

**WHEREAS,** Projects currently awarded grants and funded through the Grant Reimbursed Expenditures line item of the Grants Account include the Livingston Avenue Plan; LoveYourAlley; Storywalks at Schneider Park; the Arbor Day Free Tree program; the Senior Center space grant; holiday lights grant; the DGB Kindness Park; Sustainable September; CPR mannequins; Jeffrey Mansion piano; and Jeffrey Mansion landscape; and

**WHEREAS,** There is inadequate capacity in the Grant Reimbursed Expenditures line item for additional grants being awarded in 2022; and

**WHEREAS,** Additional grants have been received, including a dog park grant for which there is not currently adequate appropriation and a State Capital Fund Grant of \$350,000, which exceeds the \$250,000 provided for in the budget; and

**WHEREAS,** There will be several additional grants applied for and potentially awarded throughout the remainder of the calendar year; and

**WHEREAS,** A State Capital Grant in the amount of \$350,000 has been awarded, exceeding available appropriations in that line item of \$100,000;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY**

**Section 1.**

That \$200,000 is hereby appropriated from the General Fund into the Grants Account.

**Section 2.**

That this ordinance shall go into effect and be in force from and after the earliest period allowed by law.

Passed: \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_  
Matt McPeek, Clerk of Council

Approved: \_\_\_\_\_, 2022

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Mayor Ben Kessler

First Reading: June 14, 2022

Second Reading:

Third Reading:

## Ordinance 20 - 22

By: Jen Robinson

**An ordinance adopting the 2022 Joint Livingston Avenue Plan, and amending Section 1254.12, Commercial Service District (CS) Design Standards to incorporate the design standards provided for in the Joint Livingston Avenue Plan.**

**WHEREAS**, The Livingston area bordering Berwick and Bexley is split between the jurisdictions of Bexley and Columbus; and

**WHEREAS**, The commercial section of the corridor is primarily located between Alum Creek and College Avenue, with current use in this area including service and convenience oriented retail along Livingston Avenue, institutional uses, multifamily residential, and parkland; and

**WHEREAS**, A variety of challenges exist that make it difficult for substantial redevelopment and improvement to occur within the East Livingston Area of Bexley and Berwick. On the other hand, this area presents a tremendous opportunity for two neighboring communities to unite behind a common vision for improvements to the corridor, bringing renewed value to the area that provides meaningful physical and cultural connectivity, and enhancements to pedestrian, cyclist, motorist, and public safety; and

**WHEREAS**, In 2021, the cities of Columbus and Bexley entered into a joint planning process to create the “Joint Livingston Avenue Plan”, involving a series of public workshops and public surveys facilitated through a steering committee that included representative stakeholders from a variety of community groups, institutions, and interests that intersected with the Livingston Avenue corridor; and

**WHEREAS**, The Joint Livingston Avenue Plan is the result of over a year-long partnership effort between the City of Columbus and City of Bexley with the mission of providing a safe, accessible, and attractive roadway corridor. To realize this mission, the Cities cooperatively developed a plan that would re-imagine the street corridor and revitalize its surrounding neighborhoods. Established jointly by both cities, the following objectives guided the planning process:

- Infrastructure improvements designed to enhance pedestrian, bicyclist, and motorist safety;
- A streetscape plan designed to beautify the corridor;
- Road diet and safety strategies in support of Vision Zero Columbus goals;
- Recommendations to guide future development and land use policies;
- Engage multiple stakeholders through the process to build support and consensus for future of the corridor.; and

**WHEREAS**, The recommendations within the plan build on the past planning efforts undertaken by both the cities including the 2017 Southwest Bexley Strategic Framework, Vision Zero Columbus, the 2019 Columbus Thoroughfare Plan, Blueprint Columbus, and streetscape standards for Columbus and Bexley. In turn, the recommendations within the Joint Livingston Avenue Plan will inform future zoning code updates for both the cities as well as future developments along the corridor; and

**WHEREAS**, Extensive dialogue with the Steering Committee and broad-based community input resulted in a plan that provides a framework for achieving:

- Pedestrian and bike safety
- Vehicular traffic safety
- Streetscape beautification
- Neighborhood serving uses
- Access to parks and amenities; and

**WHEREAS**, The Joint Livingston Avenue Plan provides a variety of near-term recommendations, long-term recommendations, urban design principles and streetscape design guidelines and implementation recommendations; and

**WHEREAS**, the cities of Bexley and Columbus have already begun the process of working collaboratively on elements of the plan; and

**WHEREAS**, in April of 2022 the Joint Livingston Avenue Plan steering committee voted overwhelmingly to approve and recommend the plan to both cities for adoption;

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY:**

**Section 1.**

That this Council hereby adopts the Joint Livingston Avenue Plan, and its vision for improvements and collaboration in and along the Livingston Avenue corridor as expressed via the series of recommendations with which future planning, development, and policy decisions can be made.

**Section 2.**

That Section 1254.12, Commercial Service District (CS) Design Standards shall be amended as follows:

**1254.12 COMMERCIAL SERVICE DISTRICT (CS) DESIGN STANDARDS.**

The purpose of the Commercial Service District (CS) Design Standards is to apply standards designed for corridors that typically include a mix of pedestrian and vehicle oriented development patterns. The design standards are intended to establish, reinforce and enhance the character and pedestrian-oriented development patterns of quasi-urban commercial corridors; implement appropriate building and parking setback standards that accommodate redevelopment and establish continuity and consistency along the corridors; and promote development that features landscaping, façade transparency, rear parking lots, user-friendly access, and appropriately scaled lighting.

**CATEGORY      DESIGN STANDARDS**

Applicability

- a. The placement, construction, or reconstruction of a principal building is subject to all standards and requirements of the Commercial Services (CS) Design Standards **and the standards enumerated in the 2022 Joint Livingston Avenue Plan**, except as applied to routine maintenance and in-kind replacement of materials. Facade renovations or exterior renovations are not considered reconstruction of a principal building.

- b. The expansion of a building's gross floor area by more than 50 percent is subject to all the provisions herein.
- c. The extension or expansion of a building towards a public street is subject to all the applicable provisions herein.
- d. Exterior alteration of a primary building frontage is subject to applicable provisions of Section 1254.12 below. For purposes of this requirement, the placement of window shutters, fabric canopies and awnings and/or building-mounted signage is not considered to be exterior alteration.
- e. The construction or installation of a new parking lot, graphic, exterior lighting, fence, or other accessory structure is subject to all the applicable provisions herein. Design standards do not apply to the re-striping or reconfiguration of existing parking lots.

## Buildings

- f. A principal building shall be oriented to address and be nearly parallel to a primary street. Nearly parallel means within 15 degrees of being parallel.
- g. The width of a principal building along a primary building frontage shall be a minimum of sixty (60) percent of the lot width.
- h. A primary building frontage shall incorporate a primary entrance door
- i. A building frontage that exceeds a width of 50 feet shall include vertical piers or other vertical visual elements to break the plane of the building frontage. The vertical piers or vertical elements shall be spaced at intervals of 15 feet to 35 feet along the entire building frontage
- j. For a primary building frontage of a commercial use, a minimum of 40 percent of the area between the height of two feet and ten feet above grade shall be in clear window glass that permits a full, unobstructed view of the interior to a depth of at least four feet. For the secondary building frontage, the pattern of window glass shall continue from the primary building frontage a minimum distance of ten feet.
- k. Any drive-thru, pickup window, or canopy shall be attached to the principal building and be located behind or to the side of the building.
- l. All roof-mounted mechanical equipment shall be screened from public view to the height of the equipment. The design, colors and materials used in screening shall be architecturally compatible with the rooftop and the aesthetic character of the building.

## Landscaping and screening

- m. A minimum 8-foot front yard landscape area shall be established, as measured from the north right-of-way line of Livingston Avenue. The front yard shall be planted with live vegetation and a shade tree(s) (in addition to any street tree requirements), except for paved areas expressly designed for vehicular and pedestrian use. The minimum number of shade trees required is determined by the formula of one tree per 30 lineal feet, or fraction thereof, of frontage.

- n. At the time of planting a new shade tree shall have a minimum two-inch caliper trunk and new shrubs for screening shall have a minimum height of 24-inches , and be maintained at that height or greater.
  - o. All such landscape plantings and features shall be properly maintained, weeded, and watered, and any loss of plant materials shall be replaced in keeping with the approved landscape plan, or within minor modification to the landscape plan according to City Staff approval. The installation and operation of an irrigation system may be required for any planting area. In such cases, the irrigation system must remain operable.
  - p. The use of landscape features such as pedestrian furniture, decorative railings, tree guards, trash receptacles, bollards and similar such accessories shall reference the ~~Main Street Design Guidelines~~ **Joint Livingston Avenue Plan**.
  - q. A fence shall be provided along a lot line that borders a residentially zoned or used property at a height of 8 feet, as per the requirements in Section 1264.05.
  - r. A surface parking lot or vehicular circulation area shall be screened from all abutting public streets with a wall or fence (excluding chain link, wire mesh or other similar material), or a continuous row of shrubs to a minimum height of 36 inches (24 inches at time of planting) and a maximum height of five feet. Screening shall be maintained to provide opacity of not less than 75 percent when in leaf.
  - s. Dumpsters shall be located behind the principal building and be screened from public view on all 4 sides, to the height of the dumpster.
  - t. Ground-mounted mechanical equipment shall be located behind the principal building and be screened from public view to the height of the equipment.
- Lighting
- u. The height of any parking lot light pole/fixture shall not exceed 18 feet above grade.
  - v. When located within 25 feet of a residential district the height of a light fixture shall not exceed 14 feet above grade.
- Parking and circulation
- w. Parking, stacking and circulation aisles are not permitted between the principal building and a street right-of-way line. This standard does not apply to existing buildings unless they are expanded by fifty (50) percent or more in gross floor area.



**Section 3.**

That this Ordinance shall go into effect and be in force from and after the earliest period allowed by law.

Passed: \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_  
Matt McPeek, Clerk of Council

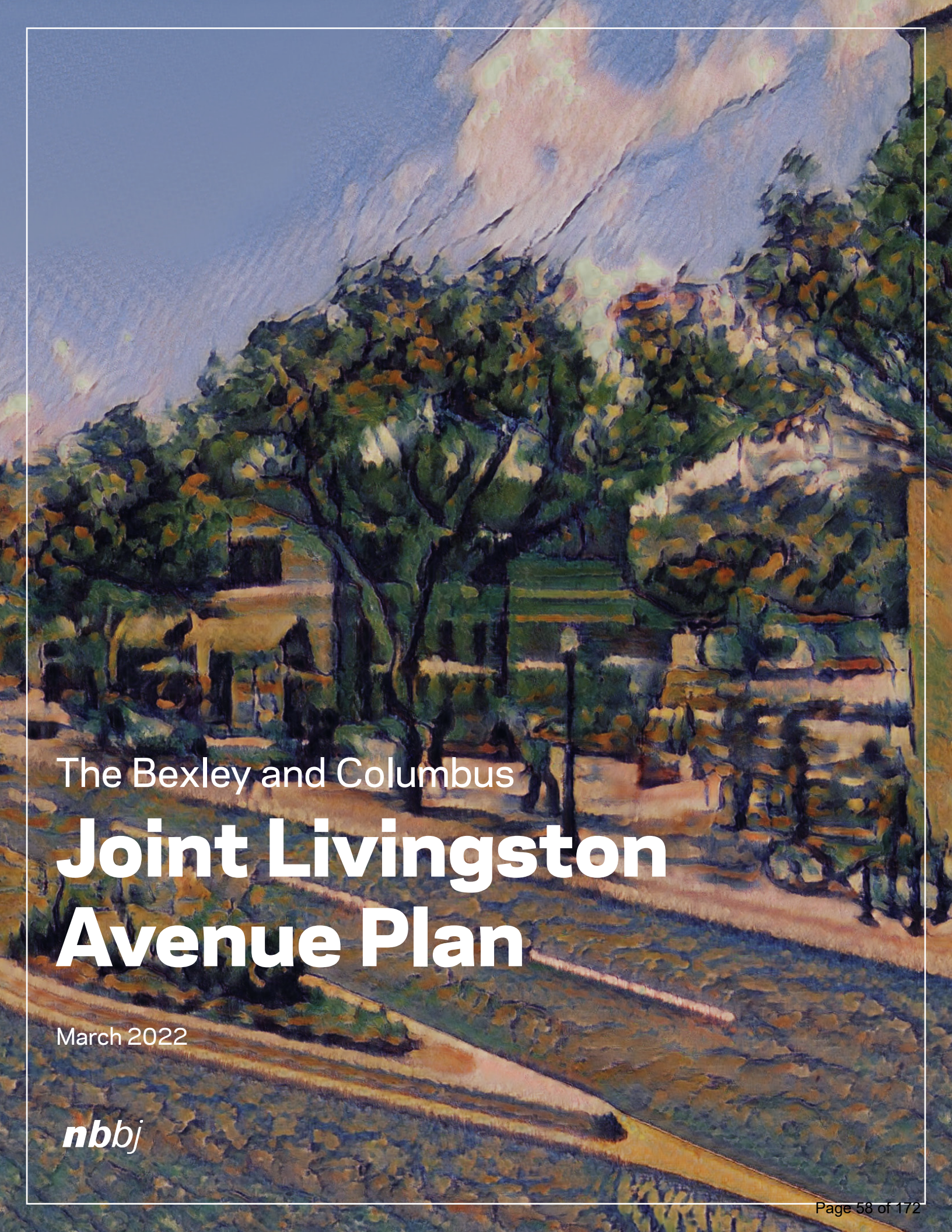
Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Ben Kessler, Mayor

First Reading:

Second Reading:

Third Reading:



The Bexley and Columbus

# Joint Livingston Avenue Plan

March 2022

*nbbj*



**CITY OF BEXLEY**

2242 E. Main Street,  
Bexley, OH 43209



**CITY OF COLUMBUS**

111 N. Front Street  
Columbus, OH 43215



**Urban Planning & Design**

250 S. High Street  
Columbus, OH 43215



**Transportation Planning**

6612 Singletree Dr,  
Columbus, OH 43229

# Acknowledgments

The Bexley and Columbus Joint Livingston Avenue Plan is co-authored by the many individuals that dedicated time and effort toward the completion of the study. Thank you to all community members who participated in the planning process and to the staff at All Saints Academy and the Jewish Community Center for their support in organizing the public meeting venue. Thank you to the Steering Committee members who volunteered their time and served in an official capacity during the entire length of the process.

## Southwest Bexley Steering Committee

### VOTING MEMBERS

Joe Armstrong, *Bexley Area Chamber of Commerce*

Quay Barnes, *Mideast Area Commission*

Gregory Lee, *Berwick Civic Association, Mideast Area Comm.*

David Gray, *Livingston Avenue Area Commission*

Larry Helman, *Bexley Board Commission*

Mike Klapper, *Jewish Community Center*

Liz Leach, *South Eastmoor Civic Association*

Tim Madison, *South Bexley Neighborhood Association*

Joel Marcovitch, *Jewish Columbus*

Cyntia Marshall, *Livingston Ave. Columbus Ohio Safety Group*

Alisha Mitchell, *Bexley City School District*

Maurice Oldham, *Columbus City School District*

Deanna Wagner, *Capital University*

Jeff Walker, *Bexley Community Improvement Corporation*

Ralph Walker, *Livingston Avenue Columbus Ohio Safety Group*

### EX-OFFICIO (NON VOTING) MEMBERS

Ben Kessler, *Mayor, City of Bexley*

Monique Lampke, *Bexley City Council*

Jen Robinson, *Bexley City Council*

## Working Group

Elena Andrews, *Staff Planner/PM, Bexley*

Andy Bashore, *Service Director, Bexley*

Mark Dravillas, *Planning Administrator, Columbus*

David Hooie, *Neighborhood Liason, Columbus*

Ben Kessler, *Mayor, Bexley*

Ariane May, *Traffic Engineer/Deputy PM, Columbus*

John Ryan, *Traffic Engineer/PM, Columbus*

Kelly Scocco, *Deputy Director -Public Service, Columbus*

Reynaldo Stargell, *Traffic Management, Columbus*

## Project Support

Randall Borntreger, *Assistant Director of Communications & Public Affairs, Columbus*

Sam Metcalf, *Communications & Community Affairs Manager, Bexley*

Charles Newman, *Public Relations Specialist II, Columbus*

Natalie Vawter, *Executive Assistant to the Mayor, Bexley*

## Community Partners (Public Meeting Hosts)

All Saints Academy

Jewish Community Center of Greater Columbus



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# 1

## Executive Summary

*Re-imagining the street as a community commons that prioritizes safety, pedestrian comfort, and instills neighborhood pride.*



# 1.0 Executive Summary



The Bexley and Columbus Joint Livingston Avenue planning area focuses on East Livingston Avenue between Nelson Road and James Road and is surrounded by diverse neighborhoods including: Driving Park, Bexley, Berwick, Hanford Village, South Eastmoor, Mayfair, and Linwood.

The Bexley and Columbus Joint Livingston Avenue Plan (“Joint Livingston Avenue Plan”) is the result of over a year-long partnership effort between the City of Columbus and City of Bexley with the mission of providing a safe, accessible, and attractive roadway corridor. To realize this mission, the Cities cooperatively developed a plan that would re-imagine the street corridor and revitalize its surrounding neighborhoods.

Established jointly by both cities, the following objectives guided the planning process:

- Infrastructure improvements designed to enhance pedestrian, bicyclist, and motorist safety;
- A streetscape plan designed to beautify the corridor;
- Road diet and safety strategies in support of Vision Zero Columbus goals;
- Recommendations to guide future development and land use policies;
- Engage multiple stakeholders through the process to build support and consensus for future of the corridor.



***“Vision Zero fundamentally changes the approach to traffic safety by looking holistically at our transportation system – using input from our local government agencies, institutions, and residents to prioritize safety for all users — motorists, bicyclists, pedestrians, and transit riders.”***

***- Vision Zero Columbus***

The recommendations within this plan build on the past planning efforts undertaken by both the cities including the 2017 Southwest Bexley Strategic Framework, Vision Zero Columbus, the 2019 Columbus Thoroughfare Plan, Blueprint Columbus, and streetscape standards for Columbus and Bexley. In turn, the recommendations within the Joint Livingston Avenue Plan will inform future zoning code updates for both the cities as well as future developments along the corridor.

Extensive dialogue with the Steering Committee and broad-based community input resulted in a plan that provides a framework for achieving:

- Pedestrian and bike safety
- Vehicular traffic safety
- Streetscape beautification
- Neighborhood serving uses
- Access to parks and amenities

Furthermore, the community unanimously expressed that the number one issue along the street was speeding motorists that are often clocking above posted speed limits resulting in a highly unsafe environment for pedestrians, bicyclists, and property owners. In addition to this, the community strongly voiced their concern around overall street safety, including criminal activities; both cities will continue their efforts to make this a safer street holistically.

Through in-depth traffic analysis and future modeling various potential changes to the current roadway were studied to determine the most effective option to slow traffic and meet all the other goals identified for this corridor. The preferred strategy, as described within this report, is based on community feedback on the various options studied, research into successful examples of street safety projects implemented in Columbus and Bexley, national best practices, and the professional recommendations of the consultant team.

The most effective solution is determined to be one that methodically invests in overhauling the street character from it's current non-descript "highway-like" reputation to a beautiful urban "neighborhood street." The specific strategies recommended include street reconfigurations by implementing a road-diet (lane reduction), enhancing pedestrian and bikeway infrastructure, and streetscape beautification. These traffic-calming measures are known to effectively slow down motorists, thus resulting in improved safety with minimal impact on traffic volume.

Implementing these strategies will require further engineering and detailed design, conversations around impact of right-of-way expansion on private property, as well as securing funding, which would put the time-frame for implementation at five to six years and as such are defined as the "long-term" strategies.

In response to the community's need for immediate change, the plan also recommends near-term traffic calming measures that can be implemented within a year. These near-term strategies include changing the street character along the commercial areas of Livingston Avenue by introducing temporary elements such as planter boxes, flower baskets on utility poles, street furniture, public art, etc. In the near-term, along the residential areas of the corridor, the plan proposes to reduce two driving lanes by painting and striping to take away a lane and introduce a painted median.

Finally, the plan also provides urban design principles and streetscape guidelines to guide implementation of the plan vision in a manner that lends a continuity of aesthetics along the length of the street in support of the recommendations of the Joint Livingston Avenue Plan.

The Joint Livingston Avenue Plan represents a unique opportunity for two cities and a host of neighboring communities to unite behind a common vision to transform the corridor; bringing renewed value to the area by providing meaningful physical and cultural connectivity, and enhancements to pedestrian, bicyclist, motorist, and public safety.

## Summary of Recommendations

### *Near-Term Recommendations*

- Explore tactical urbanism (temporary strategies) in the commercial area to enhance street character through elements such as public art, flower baskets, etc.
- Implement a road diet to reduce four driving lanes to two driving lanes with a painted median in the residential area and striping along the curb to reduce road width.

### *Long-Term Recommendations*

- Enhance pedestrian and bikeway infrastructure.
- Reconfigure the street to implement a road diet (lane reduction) with medians where feasible.
- Implement traffic calming measures and street beautification strategies.

### *Urban Design Principles and Streetscape Design Guidelines*

- Follow the urban design principles and streetscape design guidelines to guide implementation of the Joint Livingston Avenue Plan recommendations.

### *Implementation*

- The Cities of Columbus and Bexley should work collaboratively to implement these recommendations.
- The recommendations contained in this report are aspirational and will require further design studies and exploration prior to implementation.



# 2

## Planning Process



*A process designed to include the community as co-creators of the future vision.*

## 2.0 Planning Process

The planning study was the result of a collaboration between the City of Bexley and the City of Columbus. The cities partnered on this planning effort from early project definition and consultant selection to plan development and finalization. The cities provided project oversight by a “Working Group” composed of staff from Bexley and Columbus.

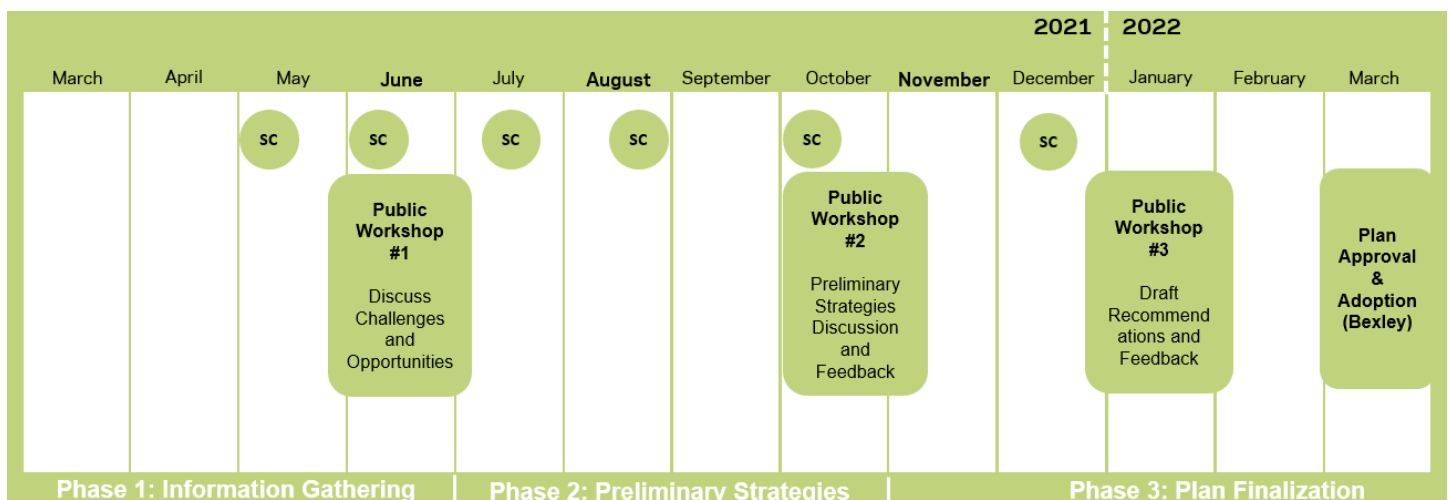
Spanning across thirteen months (March 2021 to March 2022), the planning process was designed around three primary phases: Information Gathering (visioning, needs, analysis), Preliminary Strategies (ideas exploration, preferred strategies) and Plan Finalization (recommendations, deliverables, approval). The process included community input throughout to ensure the future of the E. Livingston Avenue corridor responds to community needs.

A “Steering Committee,” jointly appointed by both the cities, provided overall guidance and helped



Display boards for public input at Bexley City Hall

build consensus on the recommendations. The Steering Committee represented the diversity of the communities adjoining E. Livingston Avenue and, as identified under the Acknowledgments page of this report, included representatives of the various neighborhood and civic associations, public school, key institutions, activists, and grassroot advocates. The Steering Committee met six times during the planning period.



SC Steering Committee Meetings

Project Timeline

The process was designed to provide opportunities for the community to be engaged throughout - ranging from virtual and in-person workshops to online surveys and feedback boards at Bexley City Hall. In some cases, the community members also provided their input directly to the Steering Committee members or members of the planning team.

The community was also updated via the project website at: <http://www.bexley.org/livingston>. Public presentation material and meeting recordings were posted on the website along with information regarding upcoming public meeting

dates and links to surveys. Meeting notifications and project updates were sent through Bexley Blast. Some of the Steering Committee volunteers also personally handed out fliers to residences within the study area.

The outreach resulted in a wealth of information and feedback that shaped the final outcomes. A summary of the key aspirations gathered from the Steering Committee and community input is listed on the following page. (Refer to Appendix for community input and comments received through the process)



Discussion with the Steering Committee





LONG TERM SAFETY IMPROVEMENTS WITH THE JEFFERSON UNIVERSITY  
Conceptual Residential Section of Leasing Corridor, Meridian Hill, Meridian Mall, and  
Pathway on both sides

## Community Aspirations

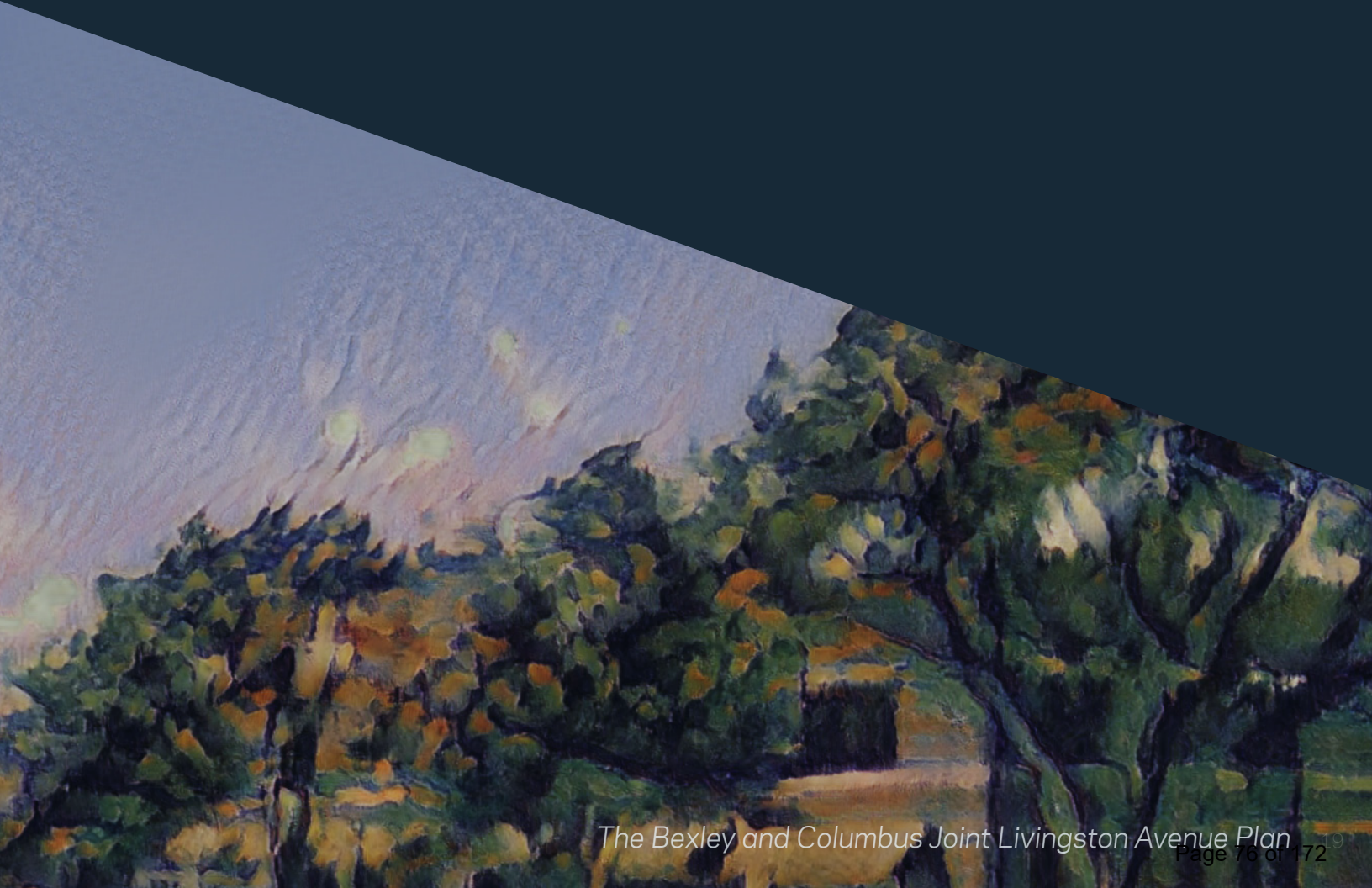
- Traffic safety is of highest priority
- Urgency expressed around making some immediate changes to address road safety, specifically stopping cars from crashing into homes
- Various roadway design and law enforcement solutions suggested
- Multi-use of corridor designed for bikes, pedestrians, and mass transit desired
- Need to improve streetscape with street trees and landscape elements
- Attract businesses that create walkable destinations, without displacing older small businesses
- Collaboration between Bexley and Columbus on implementation of streetscape improvements and development

# 3

## Existing Conditions Analysis

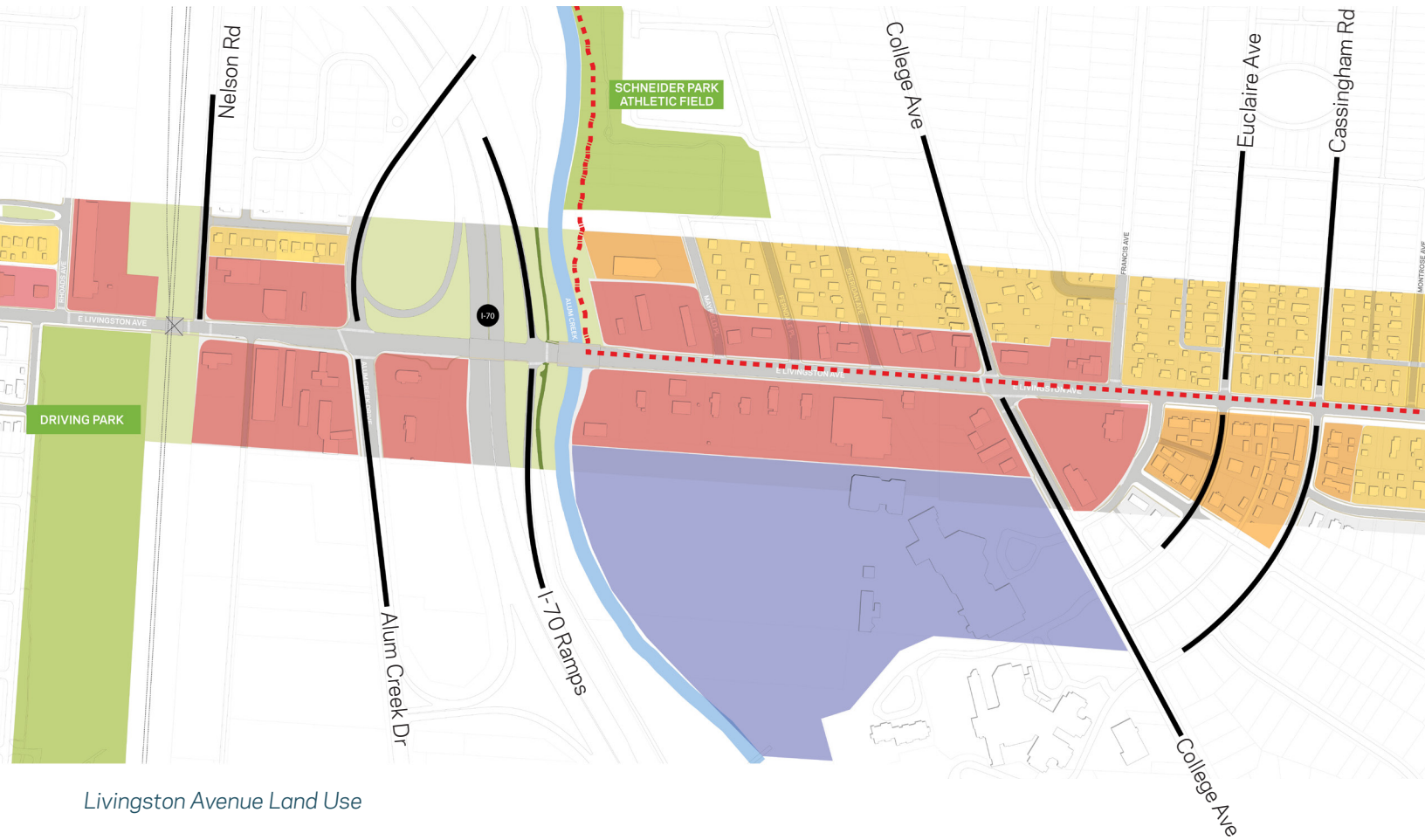


*The planning area focuses on E. Livingston Avenue between Nelson Road and James Road and is surrounded by a tapestry of neighborhoods including: Driving Park, Bexley, Berwick, Hanford Village, South Eastmoor, Mayfair, and Linwood.*

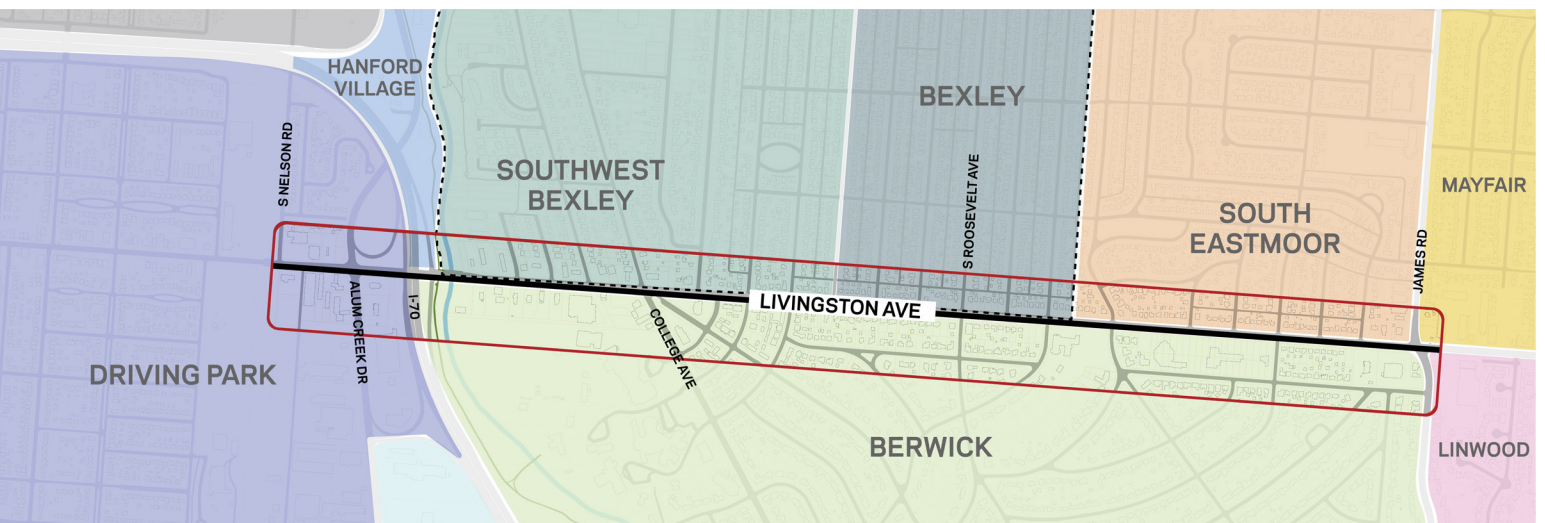


# 3.0 Existing Conditions Analysis

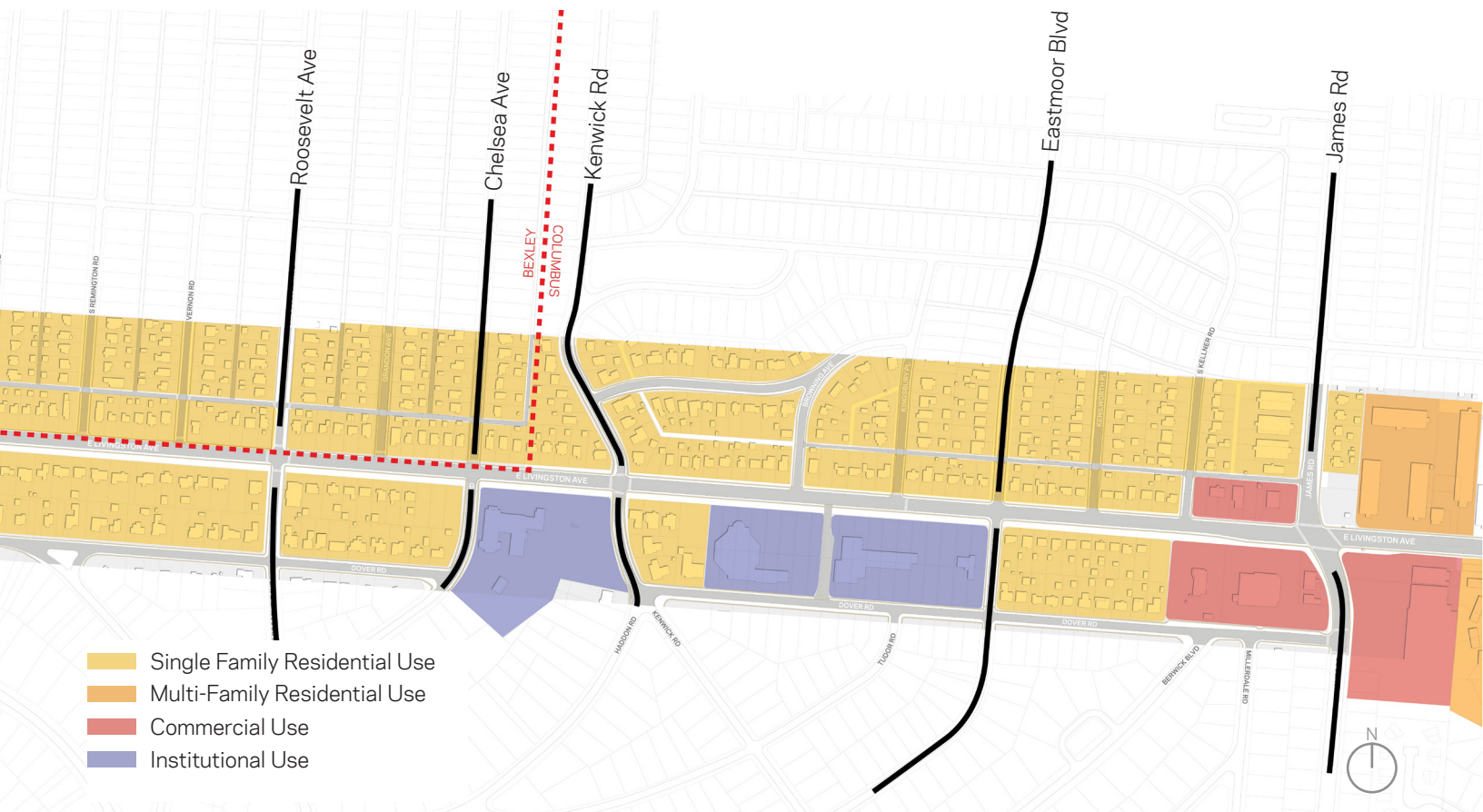
## 3.1 Neighborhoods and Land Use



Livingston Avenue Land Use



Neighborhoods along Livingston Avenue



The Joint Livingston Avenue Plan study area extends from Nelson Road and the railroad to the west and to James Road on the east. The corridor traverses the Bexley and South Bexley neighborhoods to the north and the Columbus neighborhoods of Hanford Village and South Eastmoor, to the north and Berwick to the south. The Driving Park neighborhood anchors the west end of the corridor and the Mayfair and Linwood neighborhoods anchor the east end.

The Livingston Avenue corridor is characterized by a mix of land uses. The area between Nelson Road and Francis Road predominately lined by auto oriented convenience commercial uses, as is the James Road intersection, extending west to Kellner

Road. The corridor area between Francis Road and Kellner Road is mostly single family residential with the exception of a small enclave of multi-family residential, south of Livingston Avenue, between Castlegate Road and South Cassingham Road.

There are also a number of institutional uses located along the south edge of the corridor; Brookwood Presbyterian Church, Christ the King Catholic Church and All Saints Academy. The Brookwood Presbyterian Church site has been sold and is now approved for development of a senior living facility. While not directly fronting on Livingston Avenue, the Jewish Community Center of Greater Columbus is a large and important institutional use that has impact on the corridor.

## 3.2 Community Perceptions

Needs to be a pedestrian street  
- need joint tree lined walks  
between Bexley and Columbus

Need some more mixed-use  
developments with a little  
more density

I don't enjoy my front lawn because of safety concerns  
- we end up using our backyard more - enjoy our  
neighbors over fences instead of open front yards - want  
to enjoy being able to ride our bikes along the boulevard.

Lots of stacking  
instances near  
College Ave

A micro-brewery as a  
destination would be cool!

Would like a more walkable  
street - walking to the  
businesses is very difficult

Maybe get some inputs  
from the business owners  
along this stretch - we need  
more opportunities for small  
businesses

Re-purpose Uses: Community  
Serving or Commercial (ex:  
medical services are lacking)

Need more trash/  
recycling bins

We spend a lot of time picking up trash  
and worrying about packages - It is  
missing the residential experience

Perception of Livingston needs to change - from a quick drive through to a residential street and a destination

Lots of curb cuts causing a safety issue (going both East and West) - lack of crosswalks makes it even more unsafe

We don't feel safe walking/biking along this corridor or in our homes

Too many curb cuts and turn lanes!

Intensification of land use - Need more mixed use & non-auto oriented uses

Solutions to improve transportation safety

Understanding both opportunities and constraints between the two cities - breaking down barriers.

It's a very unattractive corridor, soften it, make it pedestrian friendly

Maybe a boulevard and a tree lined street

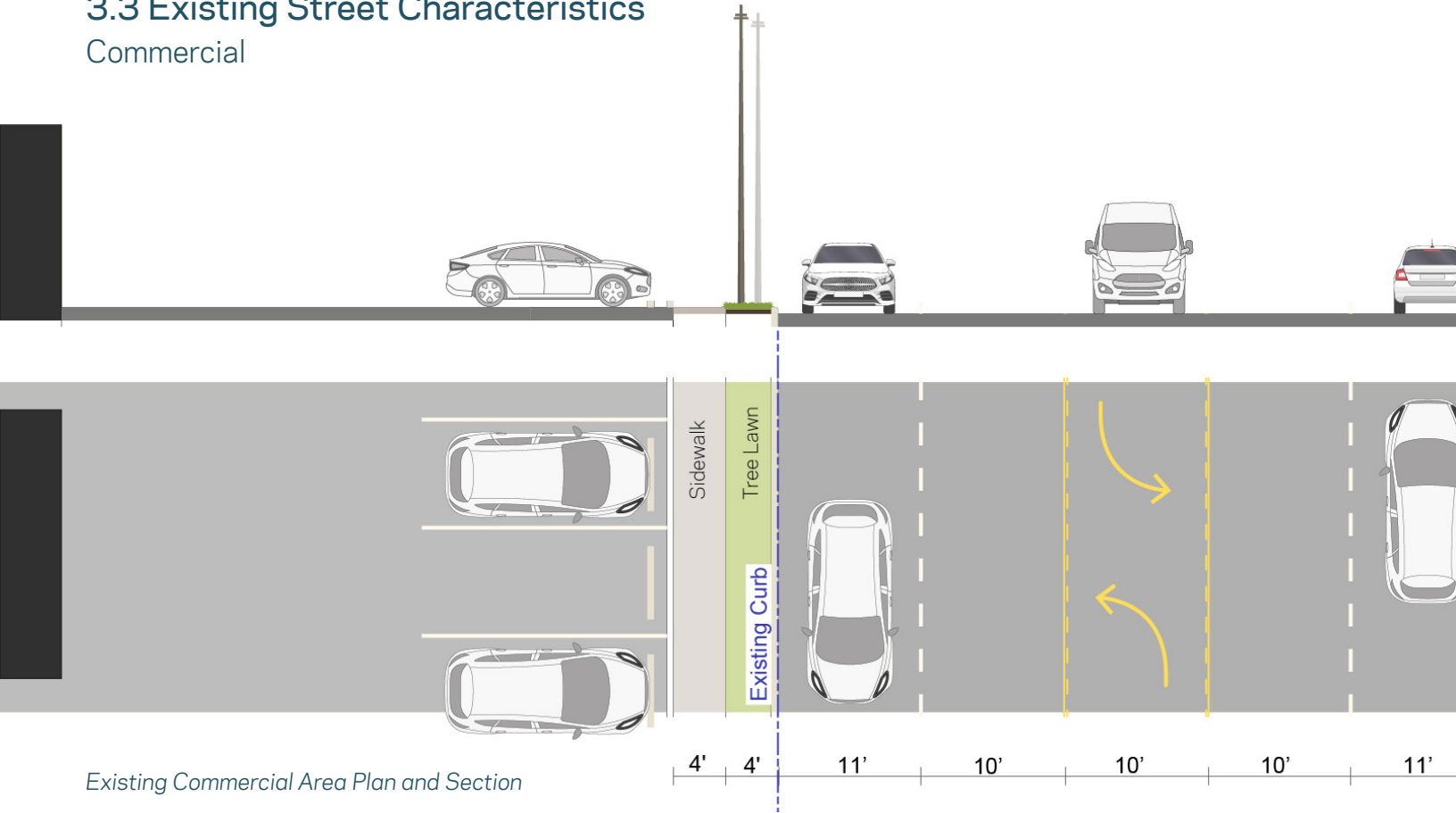
Definitely need a transition from auto/fast-food uses to more medical use/retail

Challenge the assumption that Livingston needs to be 4 lanes - it has far fewer traffic lights than other E-W streets

Put the front yard back in Livingston



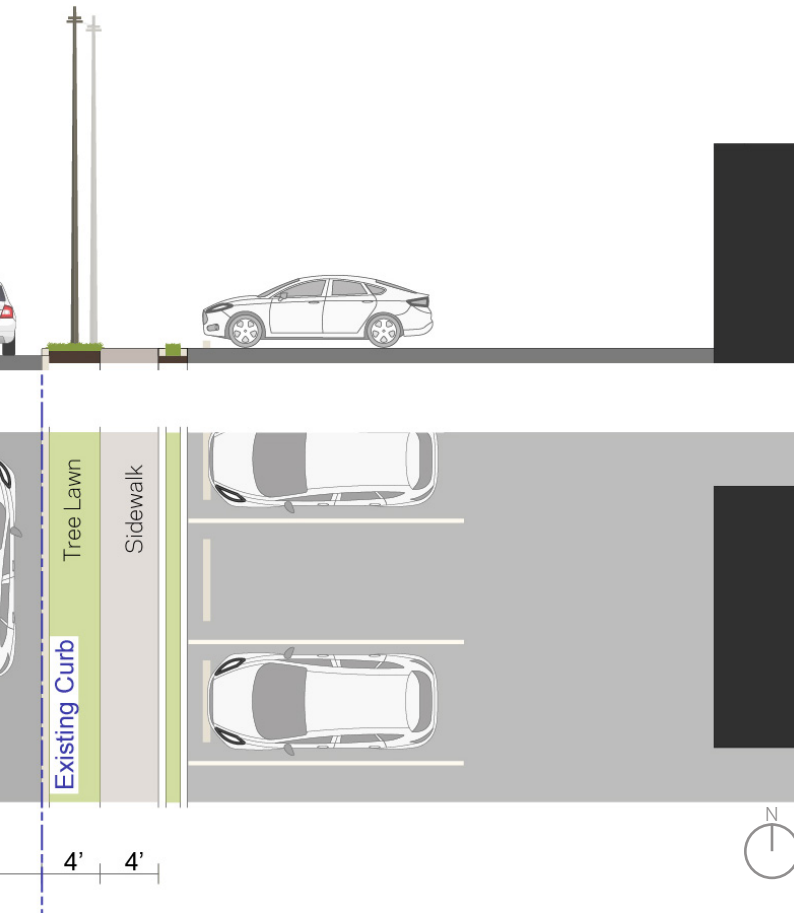
### 3.3 Existing Street Characteristics Commercial



Existing Commercial Area Plan and Section



Livingston Avenue Commercial Area



*“Lots of curb cuts cause a safety issue (going both East and West) - lack of crosswalks makes it even more unsafe”*

*-Steering Committee Member*

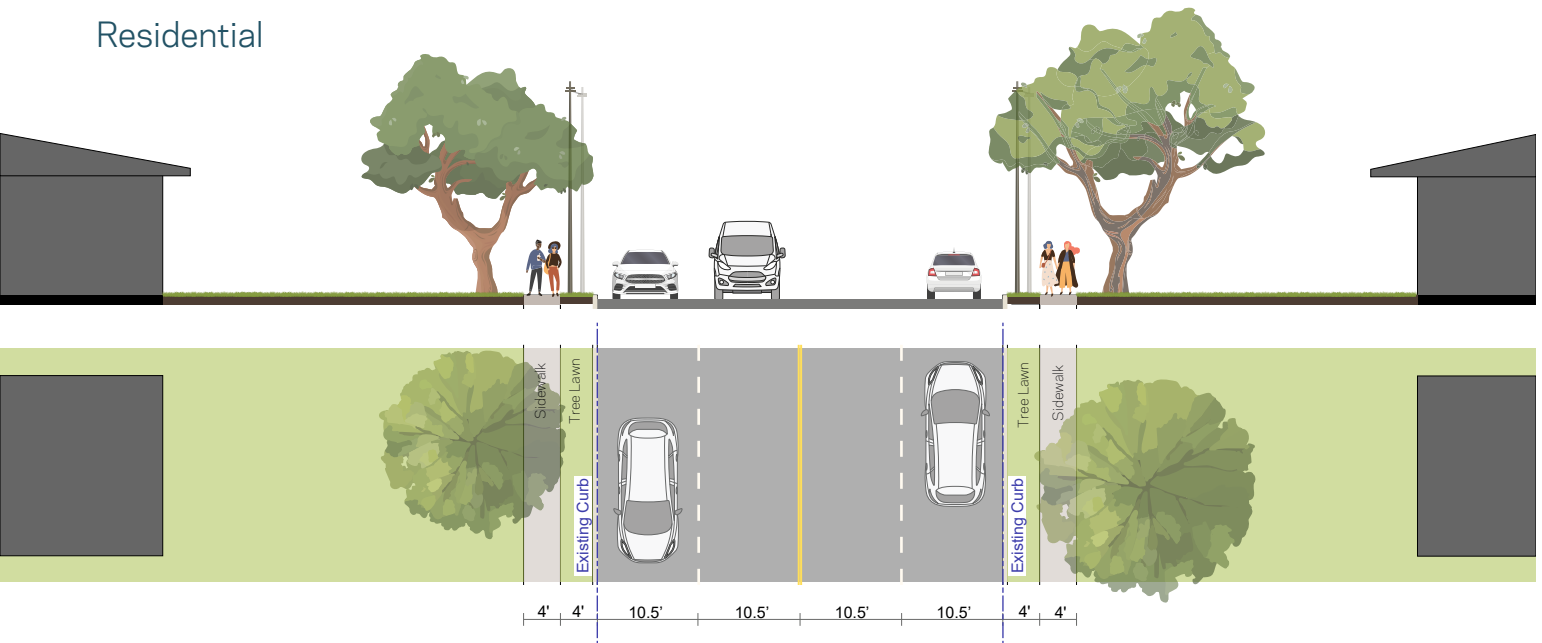
The character of the commercial and residential areas of E. Livingston Avenue are vastly different. However, they both share the same street corridor, which can be characterized by; high volume, fast moving traffic; a constant drone of car noise; minimal provisions for pedestrians and a heightened concern for the safety of pedestrians and for the residents and their homes along it.

The commercial areas of the corridor are characterized by auto oriented businesses with multiple curb cuts, buildings set back from the street, and with parking typically located in front of or sometimes surrounding the commercial building. The multiple curb cuts allow for

uncontrolled turning movements, across traffic, often not occurring in a safe manner and causing crashes. While narrow 4' wide sidewalks line both sides of the street, they are not well maintained, have multiple conflicts with curb cuts and moving vehicles and generally don't feel safe. In addition, the corridor is lined by utility poles and overhead lines, billboards and signage, inconsistent lighting and a lack of street trees and other streetscape elements.

### 3.3 Existing Street Characteristics

#### Residential



Existing Residential Area Plan and Section



Livingston Avenue Residential Area

The residential area of the corridor, in contrast, has a very robust landscape character with green lawns, attractive gardens and large shade trees that provide scale and beauty. These positive elements are unfortunately offset by the utility

poles and overhead lines, inconsistent lighting and narrow 4' wide poorly maintained sidewalks that are less than conducive for pedestrian and bicycle movement along the street.

### 3.4 Opportunities and Challenges

In addition to traffic analysis and street design considerations for E. Livingston Avenue, there are other challenges to overcome and opportunities to be embraced, that can help transform the corridor.

The railroad and Interstate 70 bridge over E. Livingston Avenue and present challenges along the corridor, by restricting traffic flow and pedestrian connectivity. Little can be done to physically change these obstacles, but if we consider them as community gateways, and upgrade them with fresh paint, new lighting, artwork, etc., they can become assets to the character and function of the corridor.

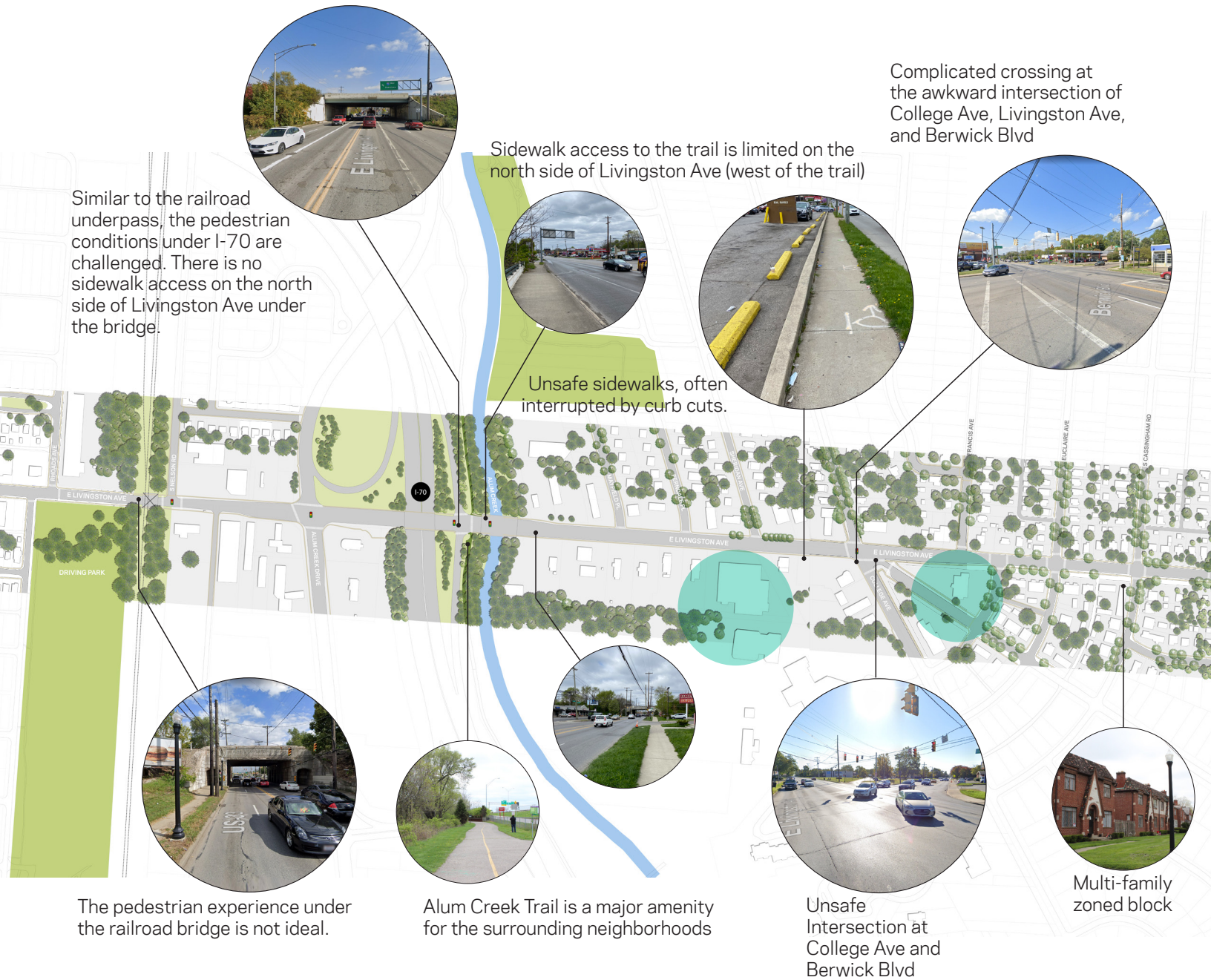
Alum Creek and the trail along it are great open space assets. The at-grade trail crossing at Livingston Avenue at the I-70 interchange is a challenge and safety concern. This creates the opportunity to consider a grade separated alternative, either a bridge over Livingston Avenue or rerouting the trail under the Livingston Avenue bridge that crosses Alum Creek.

The long-term redevelopment of the commercial properties along E. Livingston Avenue, between Alum Creek and College Avenue should consider the opportunity to create a strong open space and pedestrian connection to the Jewish Community Center. This connection would better link the redevelopment of Livingston Avenue with the spiritual, cultural, educational and recreational amenities that the center has to offer the community.

Berwick Boulevard intersects with Livingston Avenue at the College Avenue intersection, creating a five-way awkward and unsafe situation. Traffic on Berwick Boulevard is relative light and there are alternative routes to get to Livingston Avenue. Berwick Boulevard could be closed between Castlegate Road and Livingston Avenue, eliminating the awkward and unsafe challenges, but also creating land that could provide a public open space and placemaking opportunity along the corridor.

Bliss Run Tributary becomes an open stream corridor south of Livingston Avenue. This is a beautiful untapped natural amenity and open space opportunity. When combined with the former Brookwood Presbyterian Church overflow parking lot, this could be transformed into a neighborhood park and placemaking opportunity along the corridor.

### 3.4 Opportunities and Challenges



*Opportunities and Constraints along Livingston Avenue*



### 3.5 Access, Curb Cuts, and Crosswalks



*Vehicular access, curb cuts, and existing crosswalks along Livingston Ave*

Access to properties along E. Livingston Avenue is through single or multiple curb cuts in the commercial areas and driveway aprons in the residential area. A portion of residential properties in Bexley, on the north side of E. Livingston Avenue, between South Cassingham and Chelsea, have rear alley access and no front yard driveways.

Drive, Alum Creek Trail, College Avenue, South Roosevelt Avenue, Kenwick Road, Kingsbury Place (All Saints School crossing) and James Road.

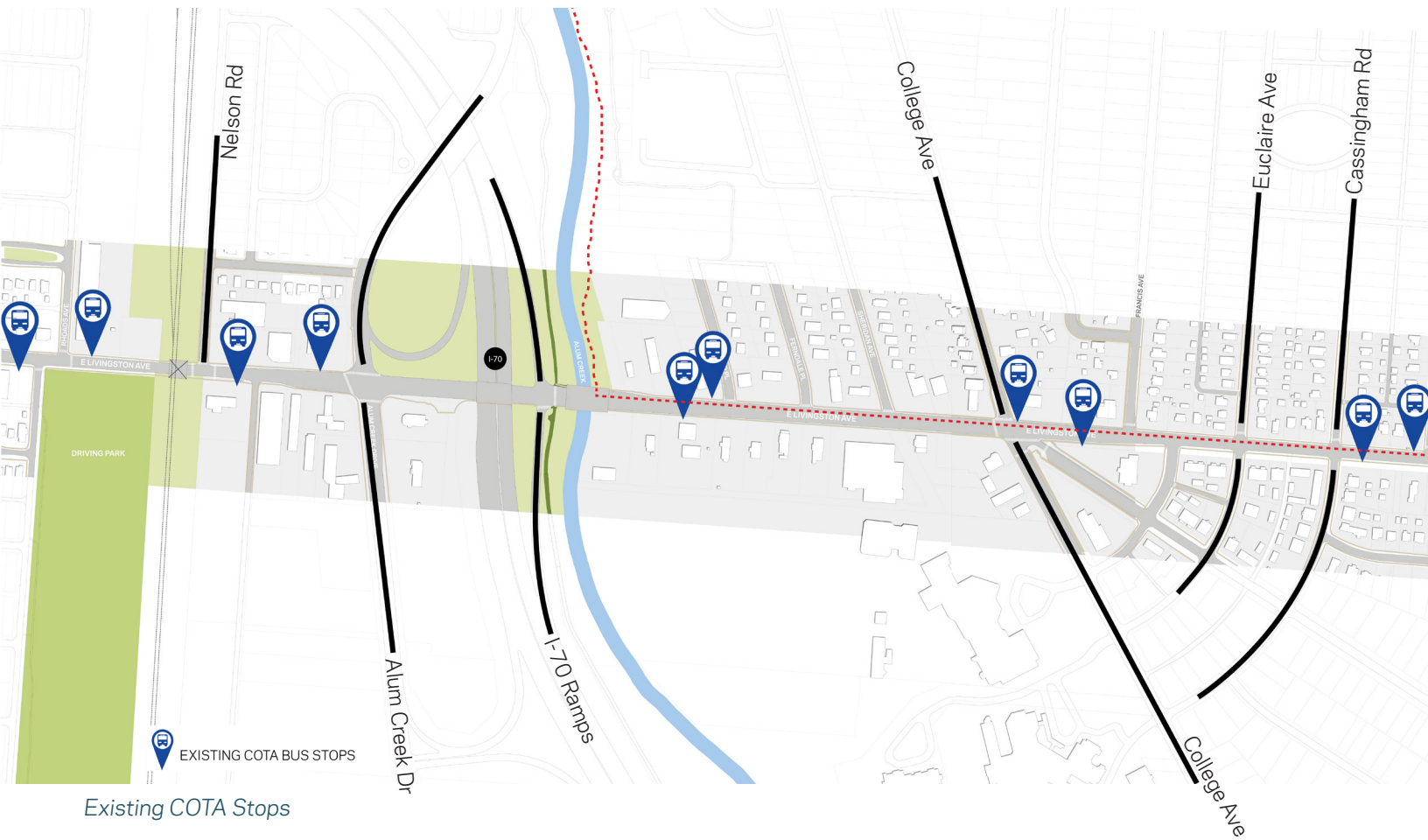
There are a number of existing crosswalks, mostly on the north side of E. Livingston Avenue that connect across the side streets. The existing crosswalks that connect across E. Livingston Avenue are limited to Nelson Road, Alum Creek



Multiple curb cuts along the commercial section of Livingston Ave



### 3.6 Transit

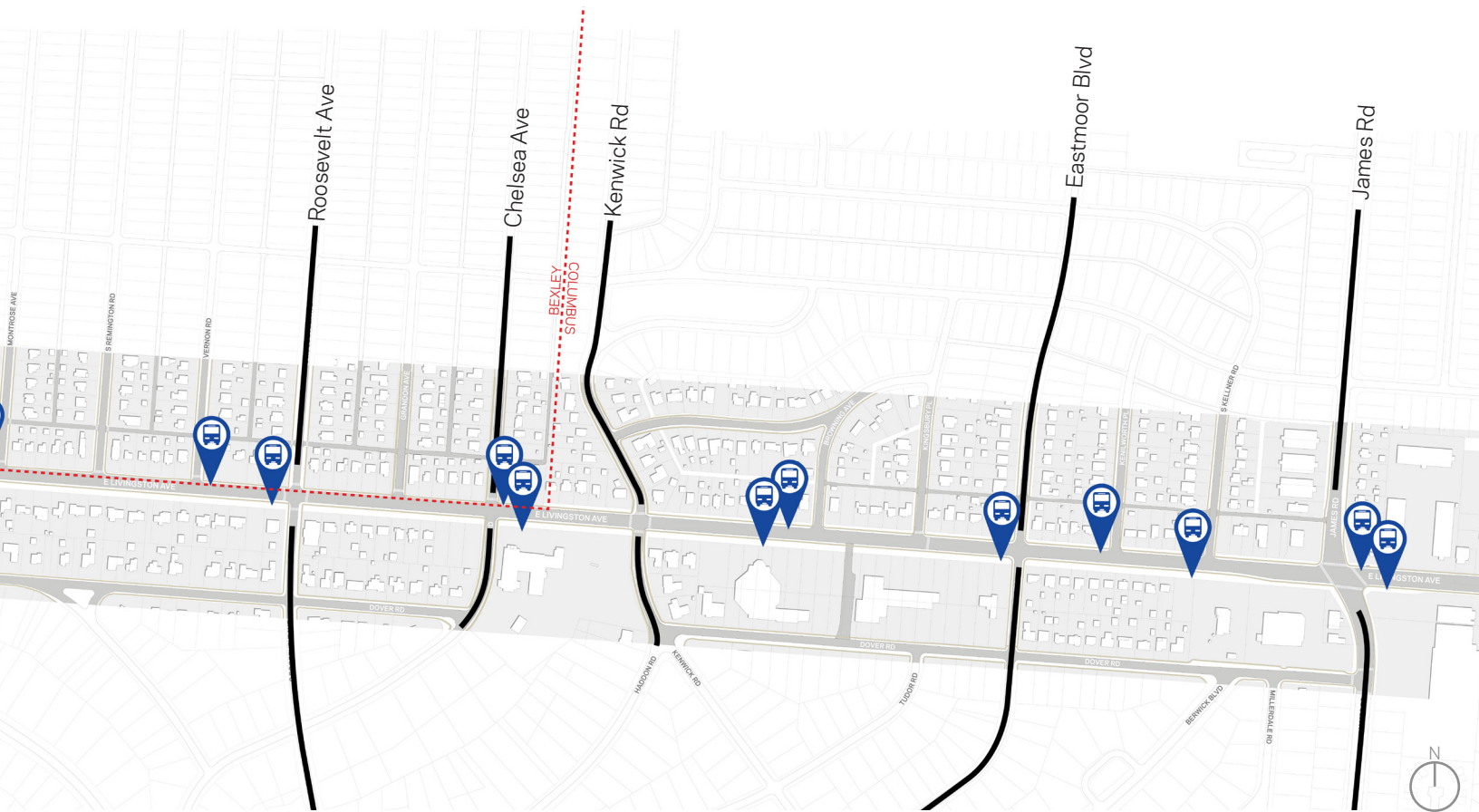


Livingston Avenue is a major street going through multiple municipal areas and local transit plays an important role in connecting these neighborhoods. Although transit analysis was not a part of the scope of this plan, the team met with COTA staff during the planning process and following were the outcomes of the discussion:

- Given the low COTA ridership along this corridor, buses stop only for about 30-50 seconds and will therefore not warrant a bus pull-off.
- Buses will continue stopping in the travel lane

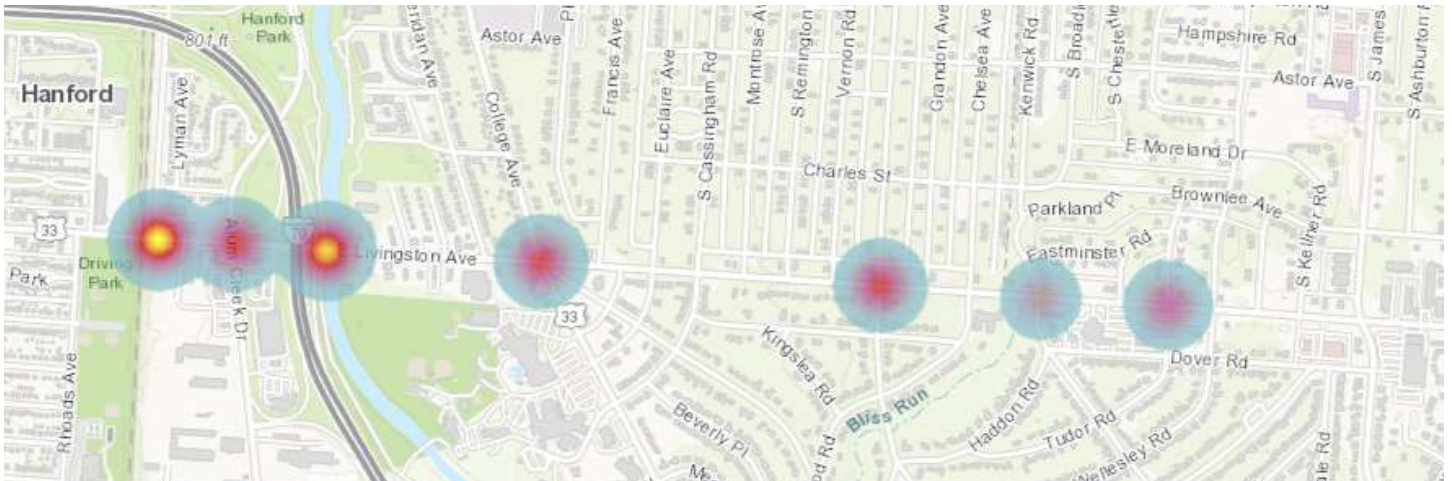
and will further aid traffic calming along the corridor.

- Bus stops will be relocated with pedestrian safety in mind
- Move bus stops closer to intersections and marked crosswalks when possible so pedestrians can cross the street behind the bus
- Explore funding opportunities for providing bus stop shelters with seating
- Both cities will continue working with COTA to streamline transit and access to bus stops along the corridor.



Existing COTA Stop on Livingston Avenue

### 3.7 Pedestrian Safety



Weekday Pedestrian Traffic Heat Map



Weekend Pedestrian Traffic Heat Map

Pedestrian safety along Livingston Avenue is very challenged. Traffic traveling over the 35mph speed limit, combined with multiple points where vehicles are turning in towards business establishments, driveways and side streets, is a top safety concern. Poorly maintained and narrow 4' wide sidewalks along both sides of the street, with limited or no vegetative or physical barriers between the street and the sidewalk, further compromises the feeling of a safe pedestrian space. The lack of well-marked and lit pedestrian crosswalks, especially

across Livingston Avenue, not only causes pedestrians to cross the street unsafely, but it limits connectivity between neighborhoods and the community.

E. Livingston Avenue currently has eight signalized pedestrian crossings between Nelson Road and James Road. There are 10 bus stops on the north side of E. Livingston Avenue and 11 bus stops on the south side. Pedestrian count data was collected for typical weekday (Tuesday-Thursday)



*Unsafe pedestrian/sidewalk conditions*



*Unsafe pedestrian/sidewalk conditions*

and Saturday pedestrian peak hour volumes at each intersection. The analysis and data are described in detail in the Traffic Volume Data and Calculations and the Crash Data and Analysis documents in the appendix section of this report.

The Crash Data and Analysis indicate there were 18 crashes involving pedestrians throughout the corridor. Five of these crashes occurred between the I-70 Ramps and College Avenue intersections where no mid-block crossings are present. More

information on the pedestrian crashes can be found in the Crash Data and Analysis in the appendix.

The image alongside summarizes the land uses, signalized and non-signalized crosswalks, current bus stop locations, and historical pedestrian crashes throughout the corridor. The analysis will be used by the City of Columbus as they conduct further studies to investigate where future crosswalks could be placed, and how bus stops could be relocated near crosswalk locations.

### 3.8 Traffic Volume and Capacity Analysis

Traffic analysis was conducted to ground this study in data for the current-state (2021) and projected future (2045) data. A summary of the methodology is shared below and described in detail in the appendix. Based on the analysis, the highest traffic volumes are seen at the E. Livingston Avenue intersections with Alum Creek Drive, I-70 Ramps, and James Road. The lowest traffic volumes are seen at the E. Livingston Avenue intersections with Roosevelt Avenue, Kenwick Road, and Kingsbury Drive. The College Avenue intersection acts as a transition between the high-volume intersections on the west end of the corridor and the lower-volume, more residential intersections on the east end of the corridor.

Based on these volumes and the capacity analysis, it is recommended that E. Livingston Avenue from S. Nelson Road to College Avenue be designed as a five-lane section, and from east of College Avenue to just west of James Road be designed as a three-lane section.

Turning movement count (TMC) data was collected over 12-hour (6:30 AM – 6:30 PM) on a typical weekday (Tuesday-Thursday) in April 2021 at the following E. Livingston Avenue intersections:

- S. Nelson Road
- IR-70 WB Ramps
- S. Roosevelt Avenue
- Kenwick Road
- Kingsbury Road

TMC data was collected by others and provided for the following E. Livingston Avenue intersections, with dates specified:

- Alum Creek Drive (January 22, 2020, from 7 AM – 7 PM)
- College Avenue/Berwick Boulevard (August 25, 2020, from 7 AM – 7 PM)

TMC data at the E. Livingston Avenue and James Road intersection was supplemented using StreetLight data averaging a typical weekday in 2019.

For all TMC data collected after March 2020, analysis was performed to determine if the data was impacted by the COVID-19 pandemic. The AM, PM, and total April 2021 IR-70 WB Ramps TMC data was compared to the AM, PM, and total January 2020 Alum Creek Drive TMC data. It was determined the 2021 PM data was within 2-3% of the 2020 PM data and 2021 total count data was very close to the total pre-pandemic data. However, the 2021 AM data was 14% different compared to pre-pandemic data. Therefore, an adjustment factor of 1.14 was applied to all intersections for the 2021 AM data only.

Linear annual growth rates were obtained from the Mid-Ohio Regional Planning Commission (MORPC). In general, 0.5% growth is assumed for all study intersection approaches, except for the following:

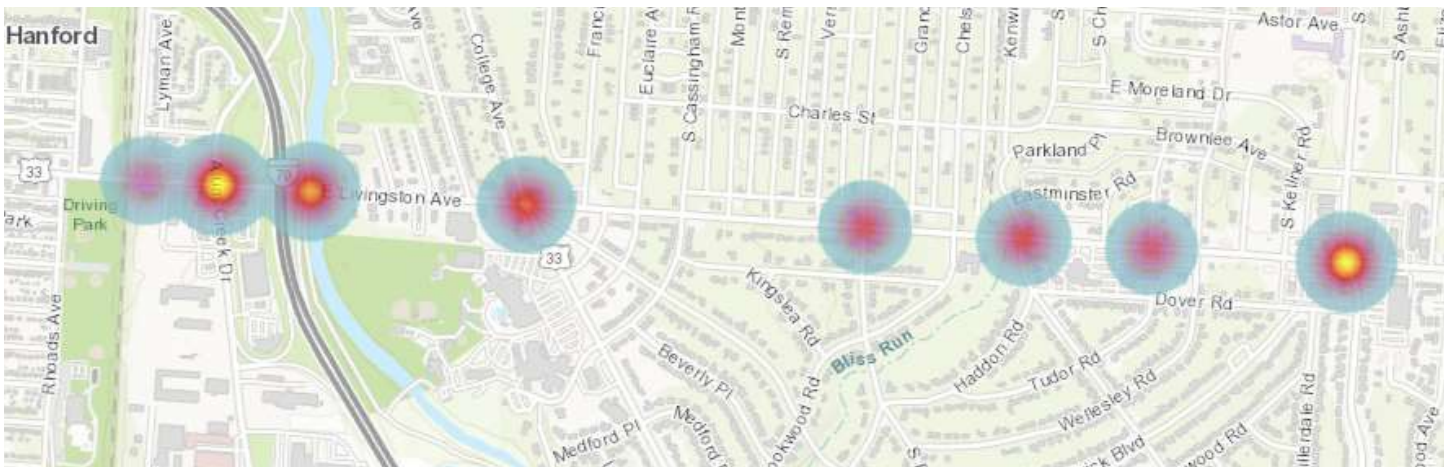
- 0.7% for Nelson Road north of E. Livingston Avenue
- 1.0% for IR-70 WB Ramp north of E. Livingston Avenue

- 0.8% for College Avenue north of E. Livingston Avenue

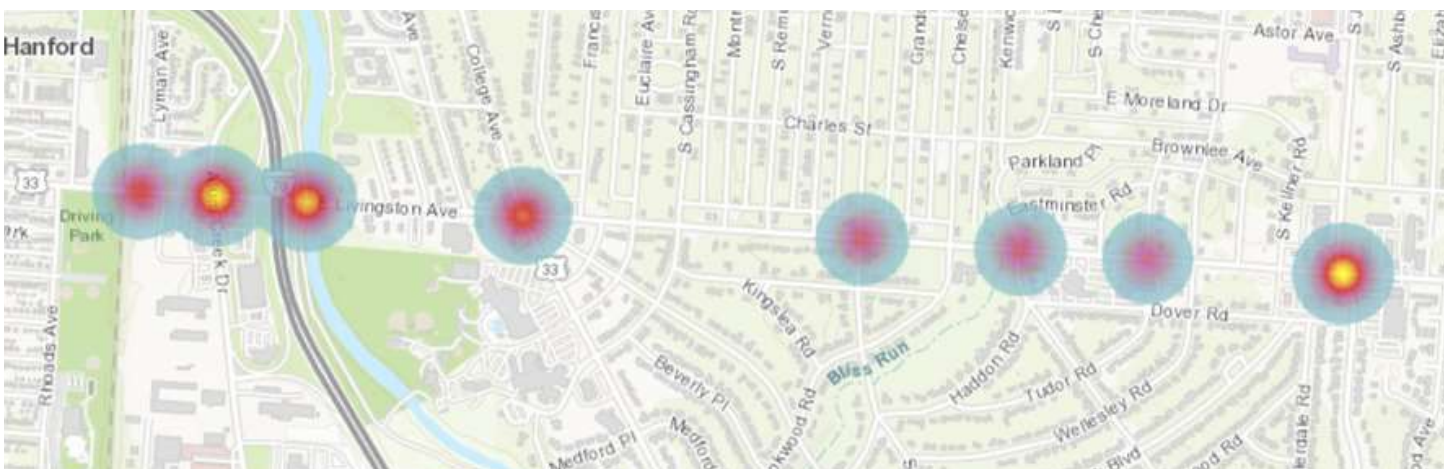
Traffic Volume Data and Calculations document in the appendix section of this report.

The growth rates were applied to the adjusted AM count data and the PM count data to develop 2021 existing year and 2045 horizon year background volumes. Average daily traffic (ADT) volumes were developed for 2021 existing year and 2045 horizon year build conditions using the ODOT Partial Count Factor spreadsheet. Detailed findings from this analysis are documented in the

Capacity analysis for existing year (2021) and horizon year (2045) at all study intersections under different future scenarios of road reconfiguration and lane reductions was also conducted. The findings of that analysis are documented in the Capacity And Queuing Analysis document in the appendix section of this report and inform the recommendations of this plan.



AM Peak Vehicle Traffic Heat Map



PM Peak Vehicle Traffic Heat Map

### 3.9 Crash Analysis

One of the most challenging issue for the Livingston Avenue corridor is speeding traffic and motorists that are often clocking above posted speed limits, resulting in a highly unsafe environment for pedestrians, bicyclists, and property owners.

Vehicle crash data along E. Livingston Avenue between Nelson Avenue and James Road was obtained from the Ohio Department of Transportation (ODOT) GIS Crash Analysis Tool (GCAT) for years 2017 through 2020. Additionally, pedestrian crash data along the same corridor was obtained for years 2015 through 2020. Note, 2020 data is provided for informational purposes and cannot necessarily be compared to be previous data years due to the COVID-19 impact on traffic volumes.

Each crash report was reviewed for accuracy of crash type, location, and other such characteristics. A total of 652 crashes were obtained and then plotted on an aerial image where each crash occurred. The detailed crash diagrams are provided in the appendix section of this report. Some notable crash statistics are listed in the table on the following page.

*News Release*

*March 02, 2021*

### **VISION ZERO COLUMBUS TO IMPLEMENT FIRST ACTION PLAN**

***“Columbus and the City of Bexley are partnering to implement Vision Zero strategies that address speed and the number of crashes on Livingston.”***

<https://www.columbus.gov/Templates/Detail.aspx?id=2147519364>

Crash Year	Number	Percent
2017	152	23.3%
2018	161	24.7%
2019	185	28.4%
2020	147	22.5%

Crash Severity	Number	Percent
Fatal Crash	4	0.6%
Injury Crash	211	32.4%
Property Damage Crash	437	67.0%

Crash Type	Number	Percent
Rear End	175	26.8%
Angle	173	26.5%
Sideswipe - Passing	127	19.5%
Left Turn	75	11.5%
Fixed Object	31	4.8%
Pedestrian	18	2.8%
Sideswipe - Meeting	13	2.0%
Head On	11	1.7%
Pedal cycles	10	1.5%
Parked Vehicle	10	1.5%
Backing	8	1.2%

Road Condition	Number	Percent
Dry	496	76.1%
Wet	136	20.9%
Snow/Ice	15	2.3%
Other/Unknown	5	0.8%

Hour of Day	Number	Percent
12:00 AM	9	1.4%
1:00 AM	7	1.1%
2:00 AM	9	1.4%
3:00 AM	5	0.8%
4:00 AM	1	0.2%
5:00 AM	5	0.8%
6:00 AM	11	1.7%
7:00 AM	16	2.5%
8:00 AM	29	4.4%
9:00 AM	36	5.5%
10:00 AM	24	3.7%
11:00 AM	35	5.4%
12:00 PM	40	6.1%
1:00 PM	34	5.2%
2:00 PM	43	6.6%
3:00 PM	47	7.2%
4:00 PM	58	8.9%
5:00 PM	79	12.1%
6:00 PM	46	7.1%
7:00 PM	32	4.9%
8:00 PM	29	4.4%
9:00 PM	23	3.5%
10:00 PM	20	3.1%
11:00 PM	14	2.1%

## Crash Statistics





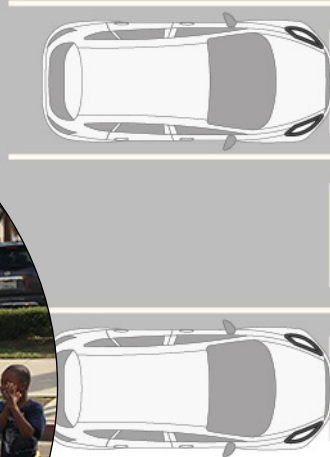
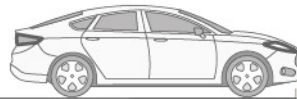
# 4

## Near-Term Recommendations

*Responding to the urgent need to create a safer neighborhood corridor for pedestrians, bicyclists, and motorists.*

# 4.0 Near-Term Recommendations

## 4.1 Commercial Area



Sidewalk

Tree Lawn

Existing Curb



4'

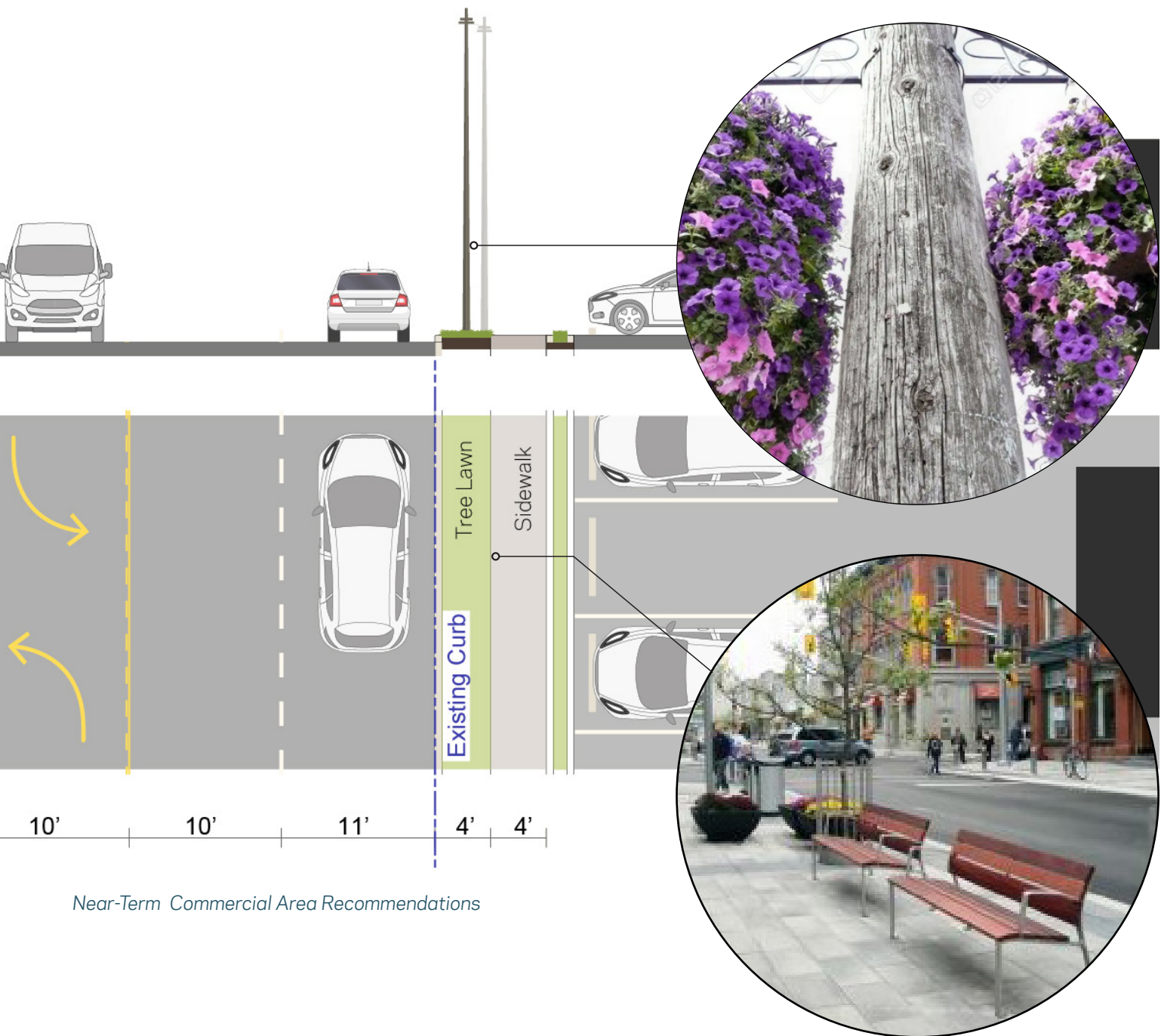
4'

11'

10'

The near-term road diet for E. Livingston Avenue has been divided into two sections; the commercial areas and the residential neighborhood. The commercial areas extend from the railroad tracks and Nelson Road to Francis Avenue, on the west end and from South Kellner Road to James Road on the east end of the corridor. The residential section extends from Francis Road to South Kellner Road.





Near-Term Commercial Area Recommendations

The existing five lane section of E. Livingston Avenue in the commercial areas will not change in the near-term due to the multiple curb cuts that serve the existing commercial businesses that lie along it. Changes in these areas will need to occur with redevelopment of the adjoining properties and the elimination of multiple curb cuts. See 5.0 Long-Term Improvements - Commercial Area.

While near-term road diet improvements are not possible, there is the opportunity to invest in the aesthetics of the corridor through enhanced landscaping, public art and street furniture.

These recommendations are aspirational and will require further exploration and coordination prior to implementation.

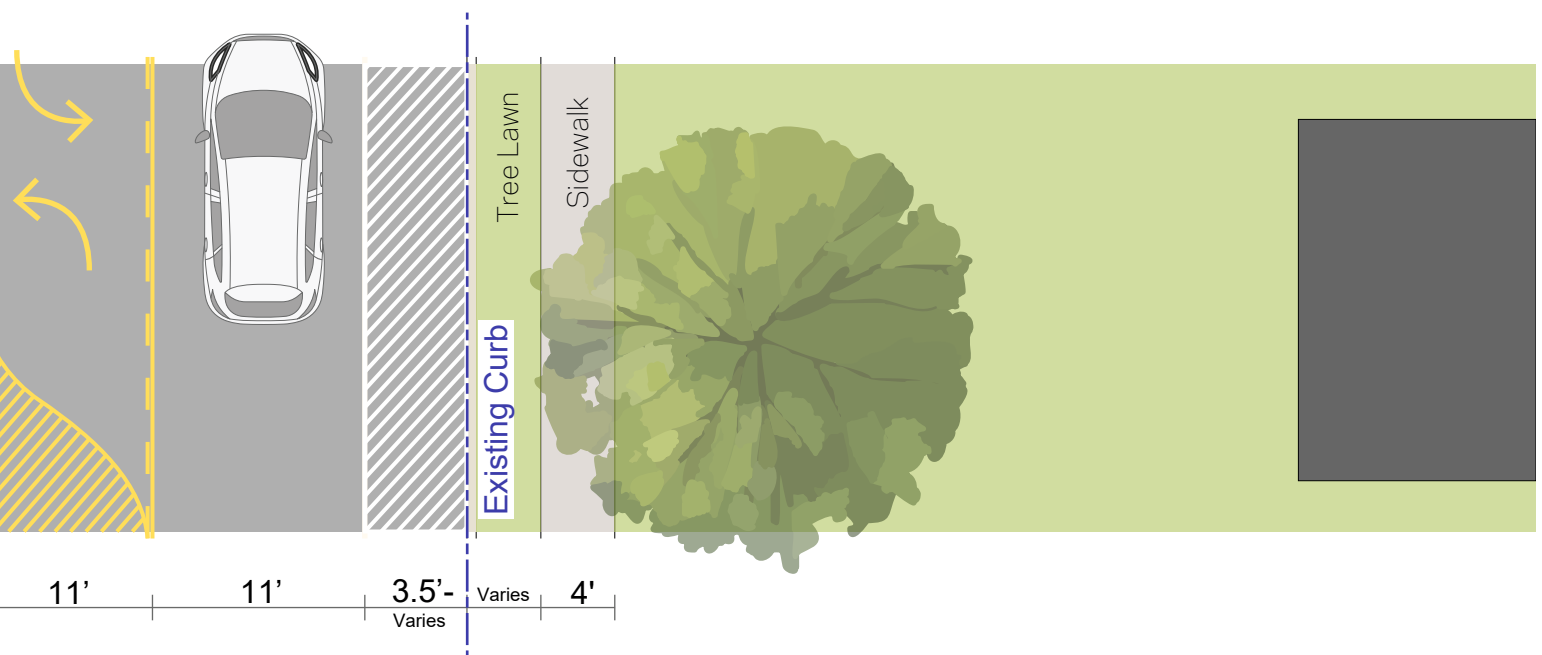
## 4.2 Residential Area



*Near-Term Residential Area Recommendations*

The near-term road diet improvements in the residential area of E. Livingston Avenue will reduce the number of lanes from four to three, with one 11' wide moving lane in each direction and a 11' wide turning lane in between through painted striping of the street. This proposed new cross section will keep the existing curbs on each side of the street with the three 11' wide lanes centered between the curb-lines. This will require additional striping on each side of the street

(approx. 3.5') to take up the width of the eliminated lane. Where applicable, this will also require the removal of off-peak street parking on Livingston Ave between College Ave and James Rd. In the near-term improvements there are no other proposed changes within the right-of-way to tree lawns or sidewalks. The long-term improvements recommend additional improvements to the Livingston Avenue streetscape. See 5.0 Long-Term Recommendations.



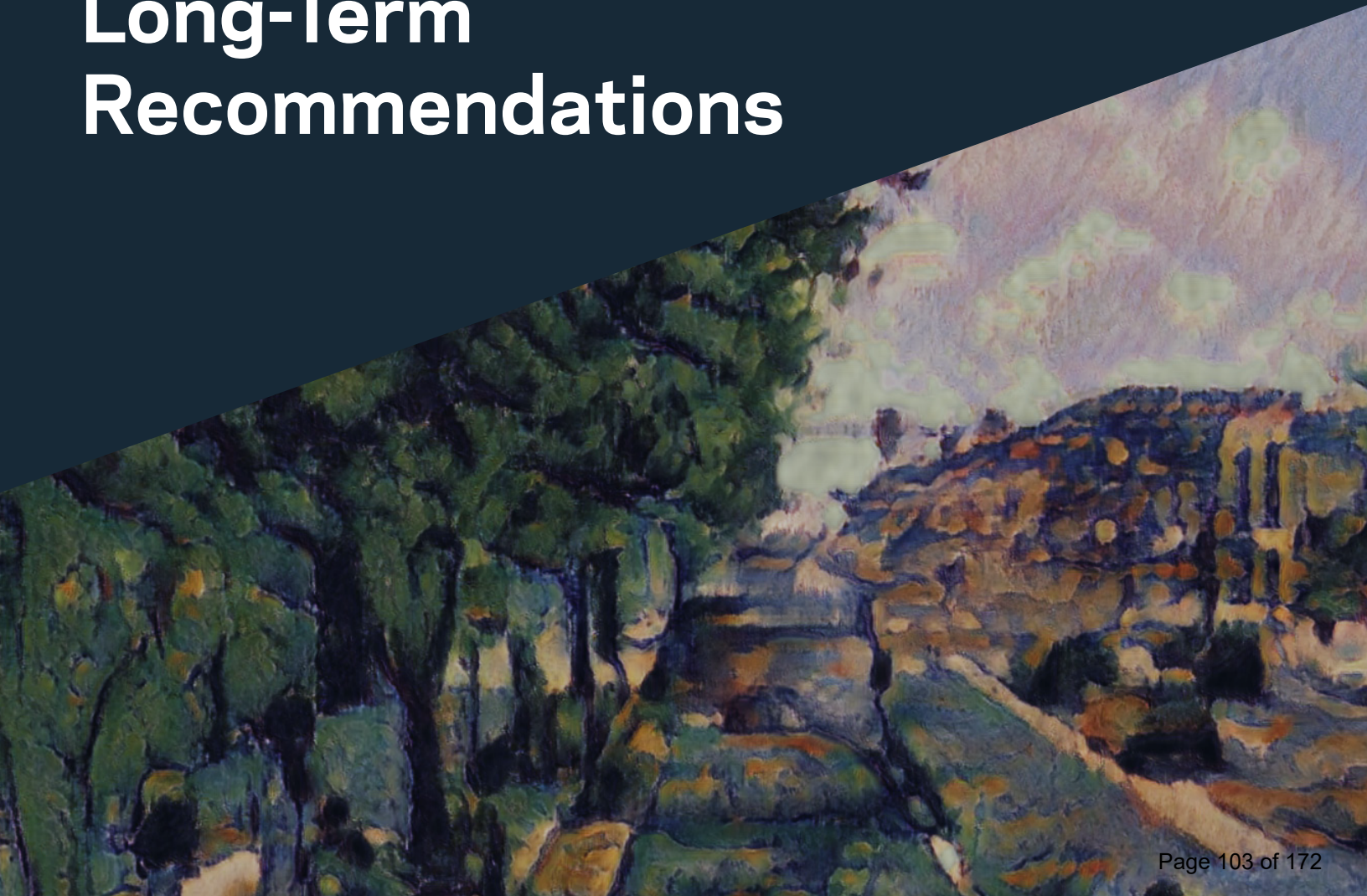
Parsons Ave Road Diet



Indianola Ave Road Diet

# 5

## Long-Term Recommendations



*A unique opportunity for two cities and the many neighborhoods to unite behind a common vision to bring meaningful and sustainable change in the community .*





## 5.0 Long-Term Recommendations

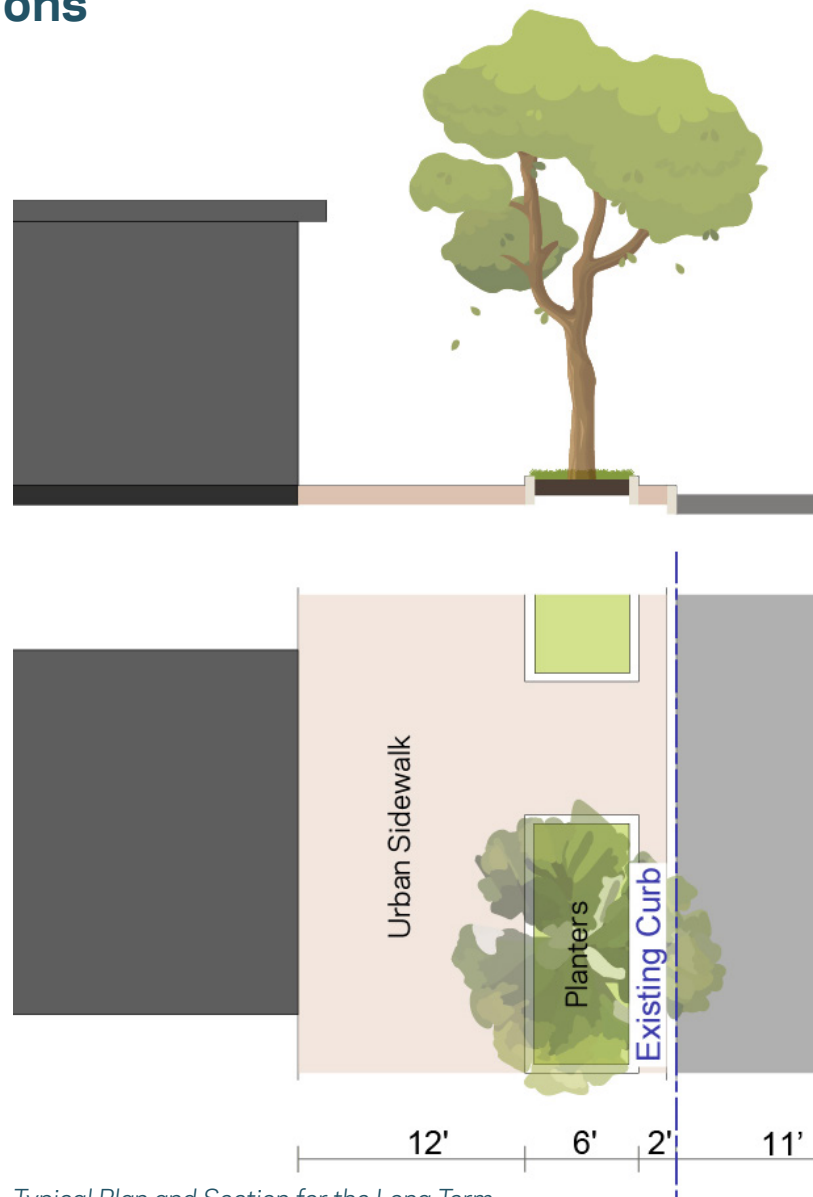
The long-term improvements for East Livingston Avenue have been divided into two sections; the commercial areas and the residential neighborhood. The commercial areas extend from the railroad tracks and Nelson Road to Francis Avenue, on the west end and from South Kellner Road to James Road on the east end of the corridor. The residential section extends from Francis Road to South Kellner Road.

These recommendations are aspirational and will require further design exploration and coordination prior to implementation.

### 5.1 Commercial Area

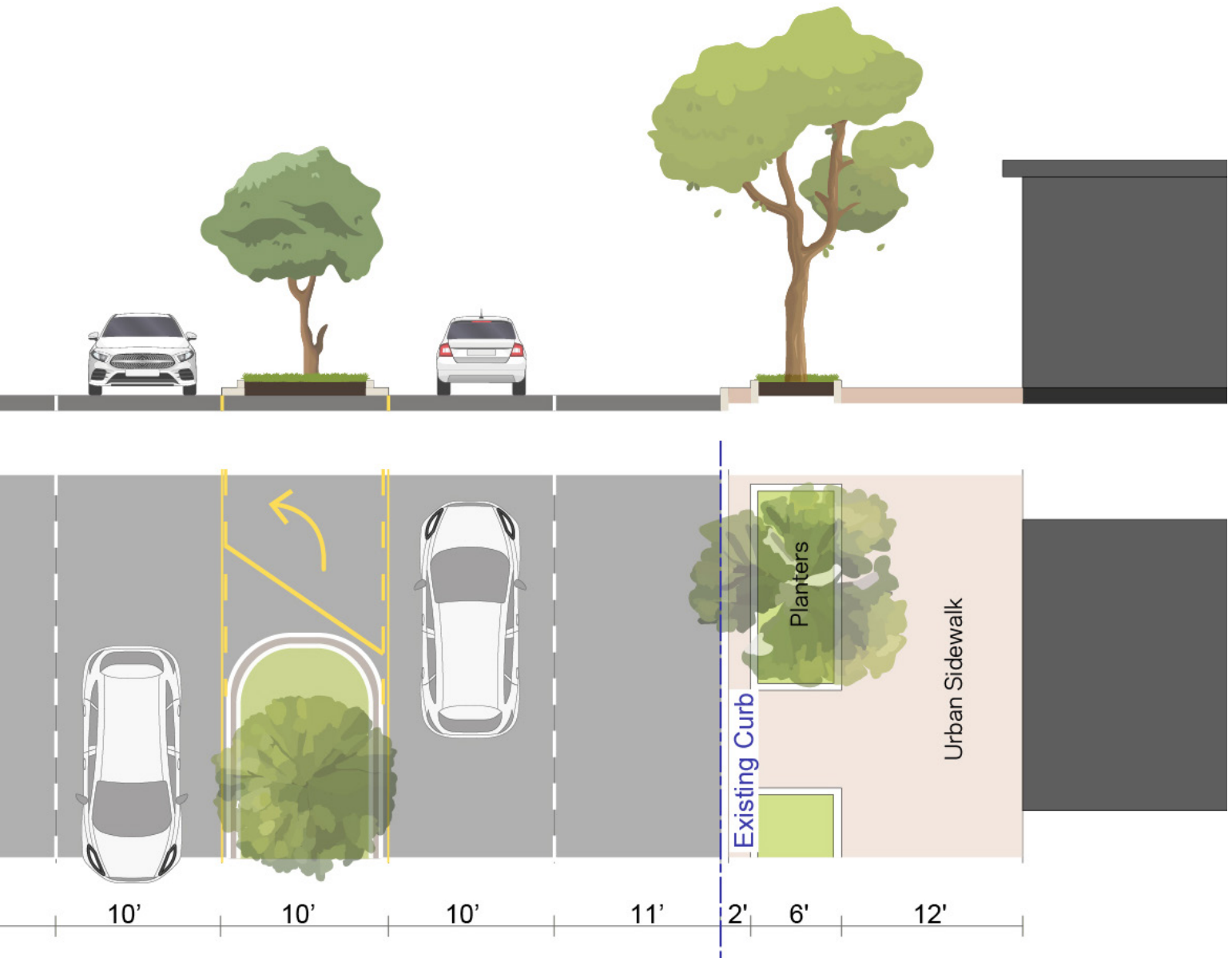
The long-term improvements to E. Livingston Avenue in the commercial areas will be implemented in conjunction with the redevelopment of the commercial property that line the street with a goal of reducing curb cuts and vehicular turning movements, bringing new buildings to the right-of-way line and locating parking behind the buildings with rear driveway access. This goal establishes a more urban street cross-section, an active and walkable streetscape environment and an inherently slower safer Livingston Avenue.

As the commercial areas are redeveloped, changes to the street can be considered. E. Livingston Avenue through the commercial areas will need to continue as five lane cross sections, with an 11' wide curb lane on each side, a 10' wide inside lane



*Typical Plan and Section for the Long-Term Commercial Recommendations*

in each direction and the ability to accommodate a 10' wide turn lane. With the reduction in curb cuts, the long-term improvements also recommend the addition of a 10' wide central landscaped median that integrates the turn lane and scales down the street to encourage slower vehicular movement. The reduction in curb cuts and limited left turns along Livingston Ave will be aided with back access roads and dedicated left turn lanes at key intersections.



The urban streetscape will incorporate street trees in planters, street lighting, street furniture and other pedestrian amenities. The ground floors of buildings should have active, forward facing uses that animate the sidewalk. A variety of building setbacks, building heights and massing, changes in building materials and interstitial spaces within and between buildings will encourage social gathering, enhance placemaking and elevate the human experience.

\* Any median locations, dimensions, and actual feasibility will be determined in the next phase of the project.

# 5.1 Commercial Area - Long-Term Vision



Multi-use Pathway

Large Shade  
Trees In Planters

Enhanced Crosswalks

Median with Left  
Turn Lanes

Long-Term Commercial Vision



Multi-use Pathway

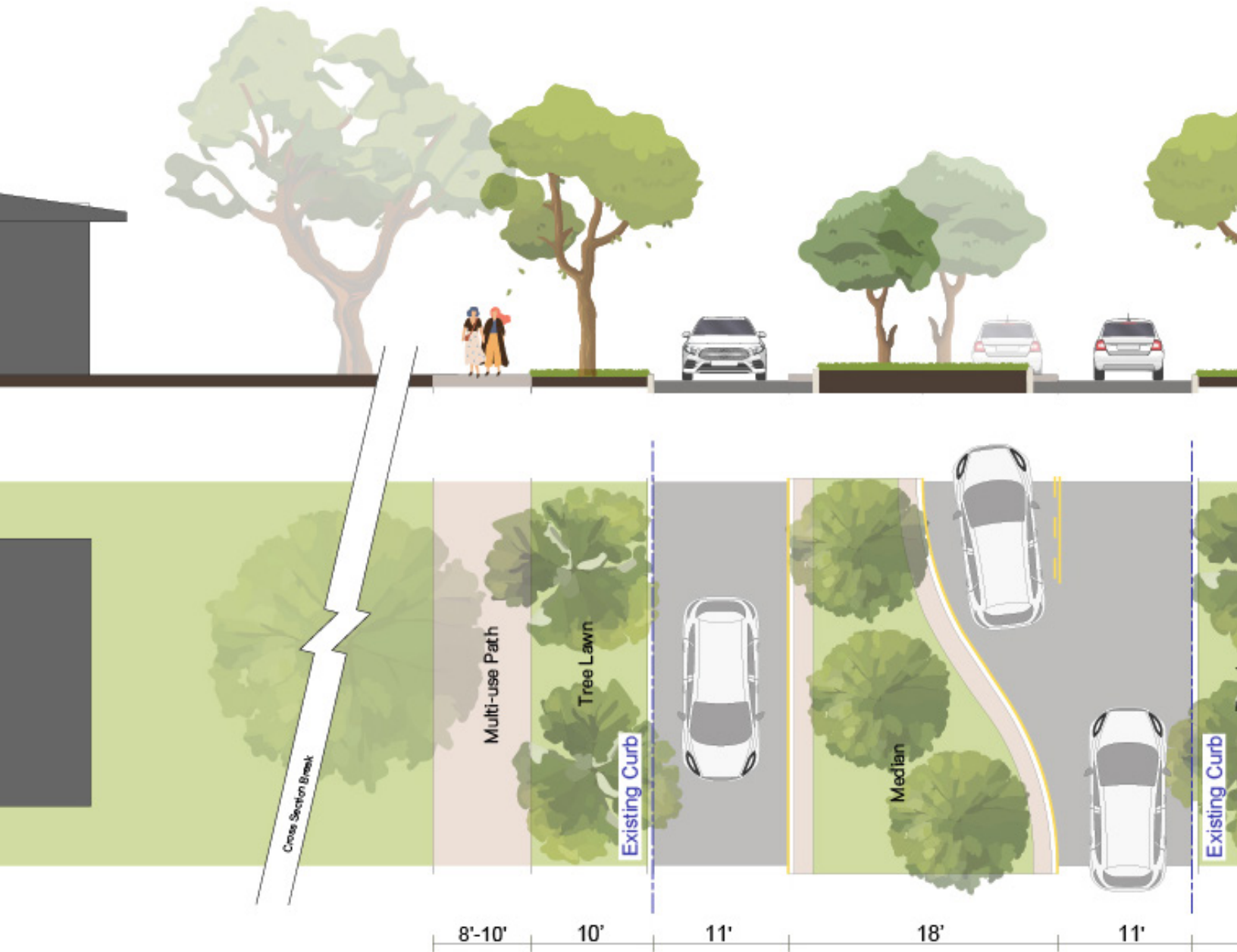
Large Shade  
Trees In Planters

Ground Level  
Activating Uses

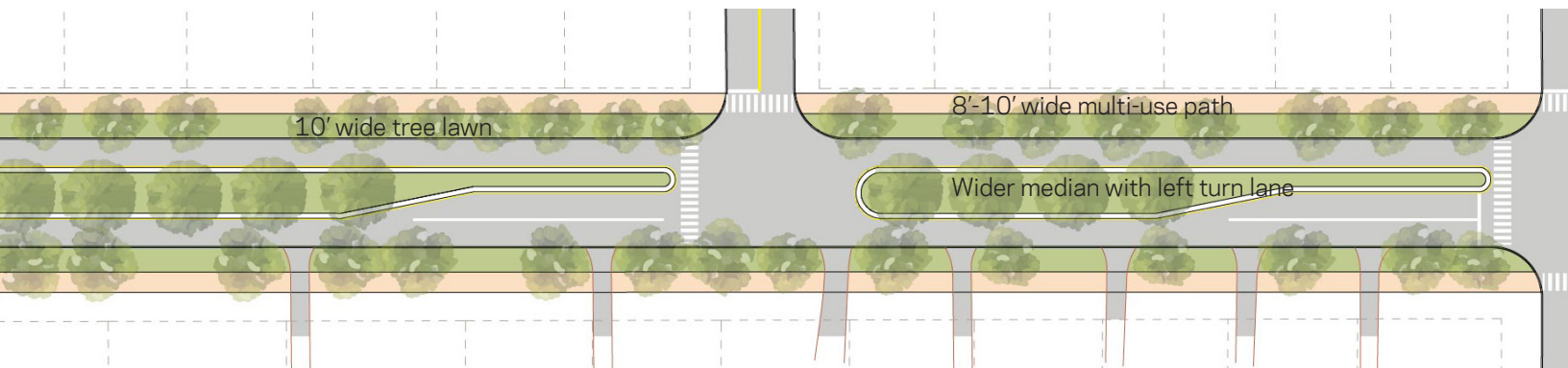
Street Lighting

Access Road and  
Parking Behind New  
Development

\* Any median locations, lengths and actual feasibility will be determined in the next phase of the project. Follow City of Columbus Traffic Design Manual for mast arm traffic signals design guidance.



Typical Plan and Section for the Long-Term Residential Recommendations

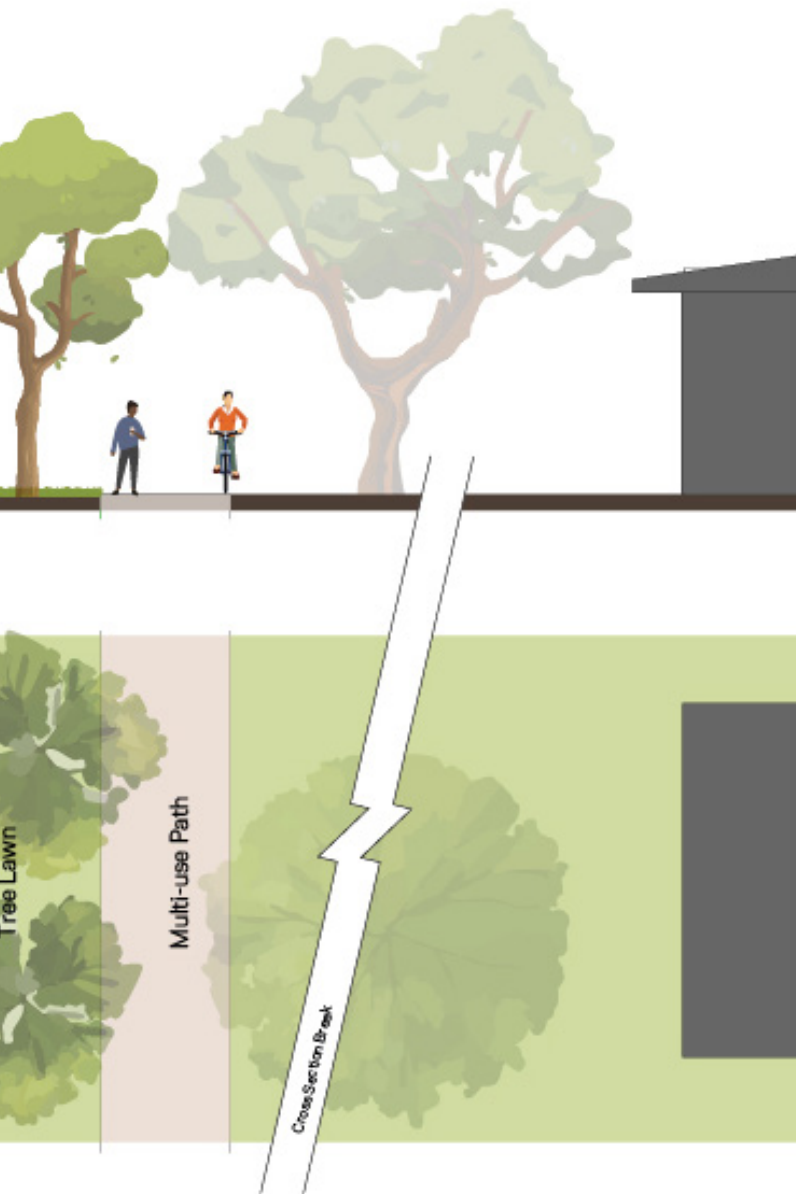


Generalized Plan For Two Moving Lanes With Median/Turn lane In The Residential Area

## 5.2 Residential Area

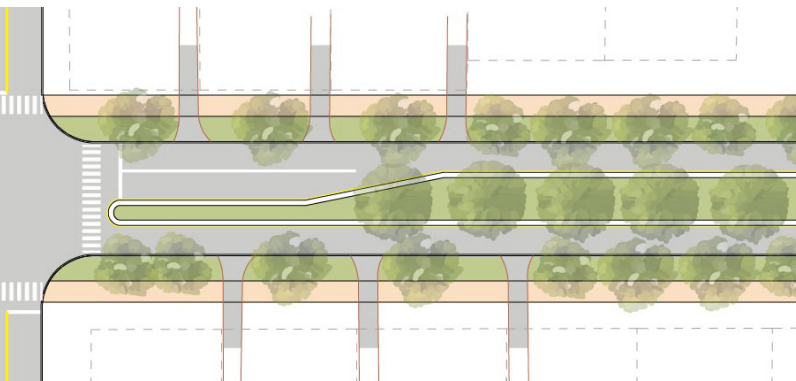
The long-term improvements in the residential area of E. Livingston Avenue build on the near-term improvements and continues a three-lane cross-section. The existing curb line will remain with one 11' wide moving lane along the curb in each direction. The remaining space, in the middle of the street, will be dedicated to an 18' wide landscaped median, with 11' wide turning lanes at key intersections. In addition to the already established road diet in the near-term plan, the median will further act to slow traffic down on Livingston Avenue and provide tremendous value in beautifying the corridor.

The long-term improvements also include a 10' wide tree lawn on both sides of the street and an 8'-10' wide multi-use path/sidewalk. While these are the recommended long-term improvements, the final design is subject to detailed engineering studies which may require modifications. In addition, to accomplish the wide tree lawns and wide multi-use path/sidewalk, additional right-of-way may need to be acquired.



10' | 8'-10'

\* Any median locations, dimensions, and actual feasibility will be determined in the next phase of the project.



A typical plan view of the long-term improvements highlights the integration of turn lanes with the median and the provision for pedestrian crosswalks at side streets and across Livingston Avenue at key intersections. The plan also highlights portions of the corridor where residential properties fronting the street have direct driveway access to Livingston Avenue. The proposed median will restrict movement onto Livingston Avenue from these driveways.

## 5.2 Residential Area - Long-Term Vision - With Painted Median



Mature Existing  
Trees Maintained  
Where Feasible

Multi-use Pathway

Street Lighting

Long-Term Residential Vision with Painted Median



Enhanced Crosswalks

Large Shade Trees

Painted Median with  
Left Turn Lane

\* Any median locations, lengths and actual feasibility will be determined in the next phase of the project. Follow City of Columbus Traffic Design Manual for mast arm traffic signals design guidance.



## 5.2 Residential Area - Long-Term Vision - With Planted Median



Long-Term Residential Vision with Planted Median



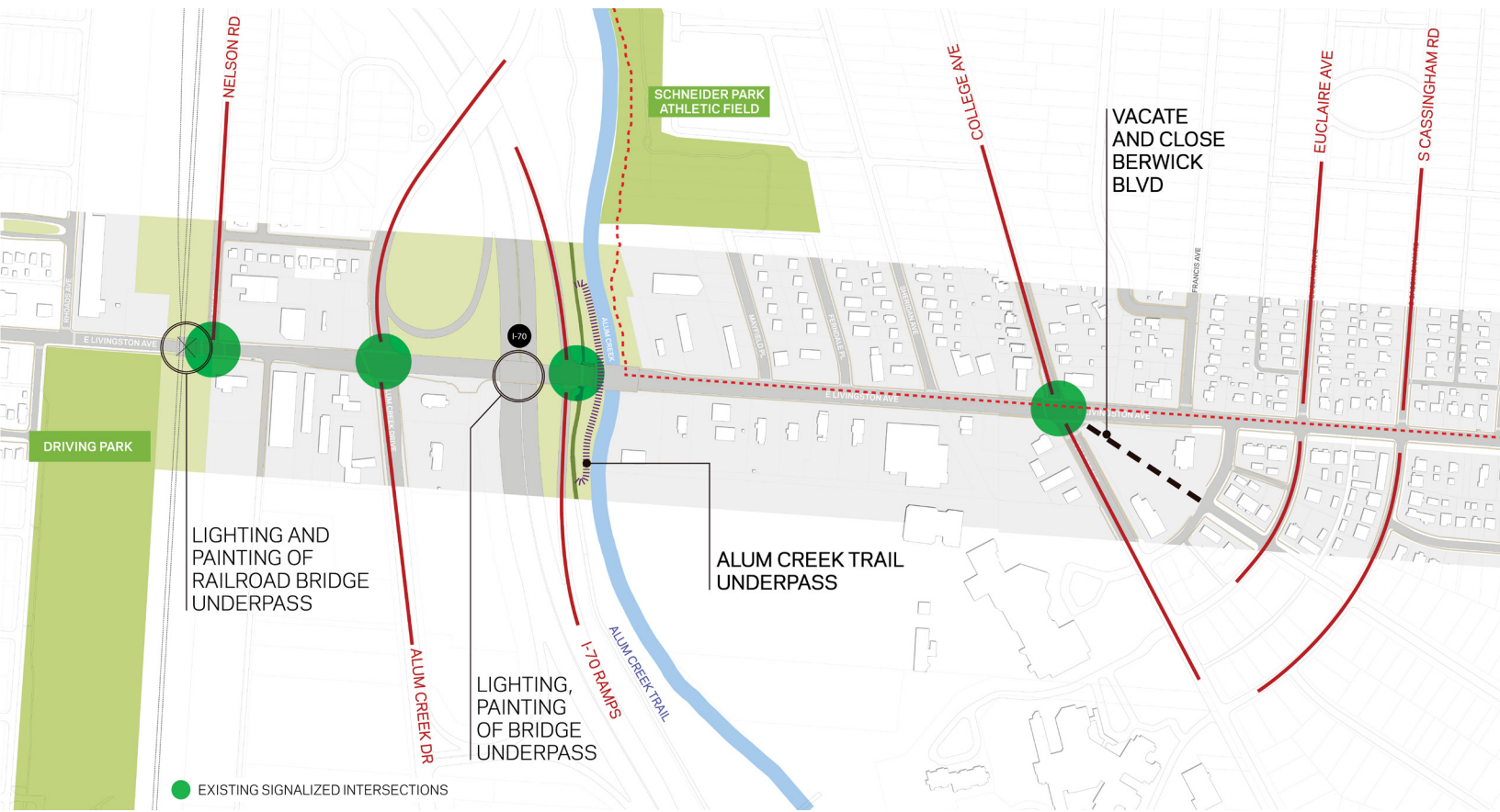
Enhanced Crosswalks

Large Shade Trees

Planted Median with  
Left Turn Lane

\* Any median locations, lengths and actual feasibility will be determined in the next phase of the project. Follow City of Columbus Traffic Design Manual for mast arm traffic signals design guidance.

## 5.3 Other Recommendations



Other Livingston Avenue Recommendations

Apart from the overarching street improvement recommendations, certain key intersections along the corridor will also benefit from design and tactical interventions.

The commercial area at the west end of the study has two major underpasses - the railroad bridge west of Nelson Road and the I-70 underpass. Both underpasses are in a state of disrepair and provide an extremely unsafe pedestrian experience. To help enhance the character of these 'gateways' and increase pedestrian visibility, it is recommended that both underpasses be made safer and

more welcoming through painting and lighting improvements.

The Alum Creek Trail is a major asset to the community along the corridor, however, the key access points to this trail are located just adjacent to the extremely busy I-70 on and off ramps.

Further, due to the lack of a sidewalk connection to the trail north of the corridor, pedestrians have no choice but to cross Livingston Avenue at this very busy intersection. To avoid this at grade crossing, it is recommended that an accessible, well-lit, and



safe underpass connection to the trail be explored at this intersection.

Finally, it is recommended that Berwick Boulevard be vacated and closed from Livingston Avenue to Castlegate Road. This will allow for a safer pedestrian crossing at the College Avenue intersection and will streamline traffic flow by eliminating additional traffic from Berwick Boulevard.

An impressionist landscape painting featuring a large, leafy tree on the left, a winding path or stream in the center, and a hazy, colorful sky. The style uses visible brushstrokes and a rich palette of greens, blues, and earthy tones.

# 6

## Streetscape Design Guidelines

*From vision to implementation - design guidelines serve as a tool to ensure implementation reflect the spirit contained with the recommendations of the Joint Livingston Avenue Plan.*



## 6.0 Streetscape Design Guidelines

The purpose of the streetscape guidelines is to guide development of the streetscape for E. Livingston Avenue between Nelson Road and James Road. The intent of these guidelines is to lend a continuity of aesthetics along the length of the street in support of the recommendations of the Joint Livingston Avenue Plan and in keeping with City of Columbus and City of Bexley streetscape standards, best practices for street safety, operations, maintenance, and stormwater management.

Columbus City Code outlines maintenance responsibility within the ROW (Right of Way). This guide is a long-term vision for the corridor, however, maintenance responsibility for streetscape items beyond what Columbus maintains will need to be determined with any long-term improvement project.

The following summarize the aspirations driving the guidelines:

- Create a beautiful street
- Lend a continuity of aesthetics along the street
- Create a safer corridor
- Prioritize pedestrian experience
- Create a safe bikeway
- Improve vehicular safety
- Reflect urban neighborhood street character

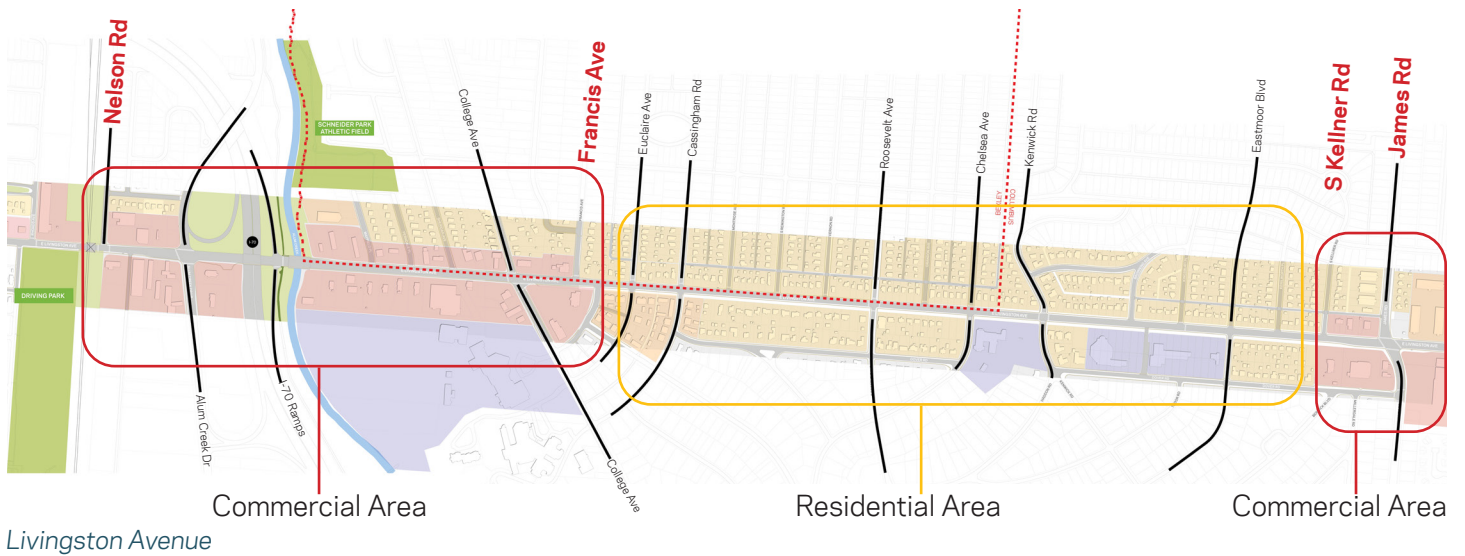
The guidelines have been organized into the following sections

- How to use this Guide
- Commercial Section Streetscape Design Guidelines
- Residential Section Streetscape Design Guidelines
- Reference Standards



# 6.0 Streetscape Design Guidelines

## 6.1 How to Use This Guide



### Components of the street

The guidelines are categorized into Commercial and Residential Sections. As shown in the key map to the top of this page, the Commercial Section guidelines apply to E Livingston Avenue between Nelson Road & Francis Ave and between S Kellner Rd to James Road. The Residential Section guidelines apply to E Livingston Avenue between Francis Ave and S Kellner Rd.

Within each section, the guidelines are organized under four key components of the street: moving lanes, medians, sidewalks/multi-use paths, and pedestrian realm.

#### A. Moving Lanes



#### B. Medians



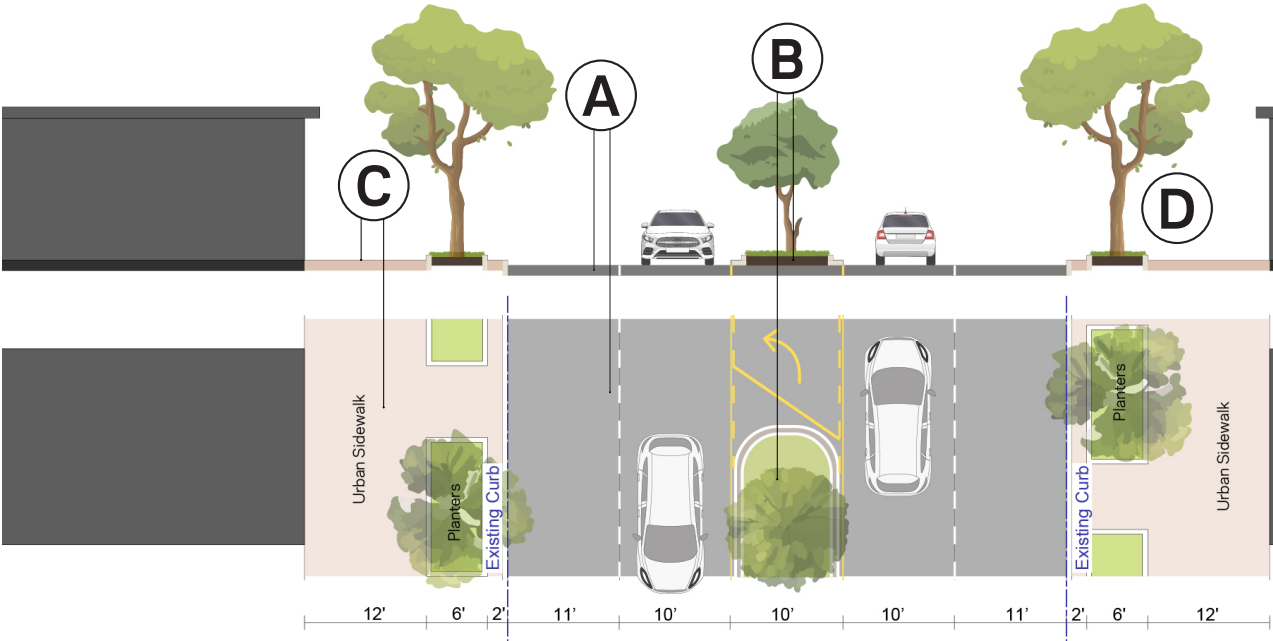
#### C. Sidewalks



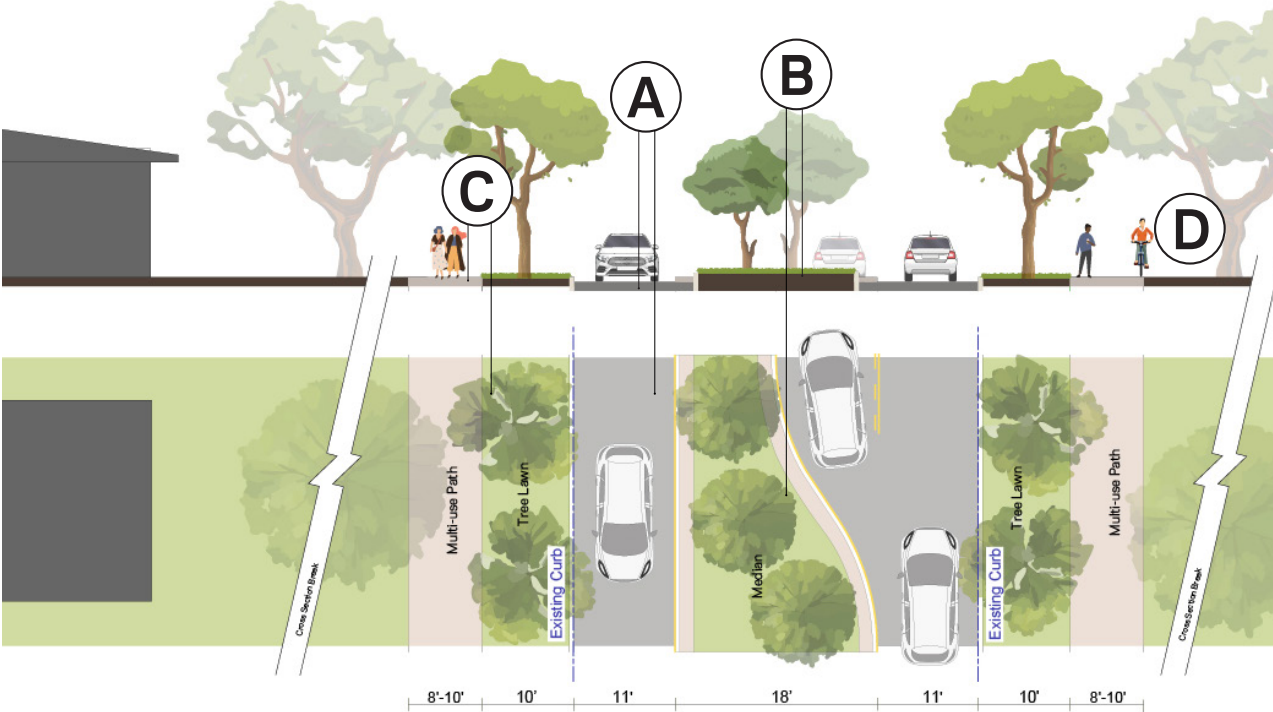
#### D. Pedestrian Realm



Components of the street

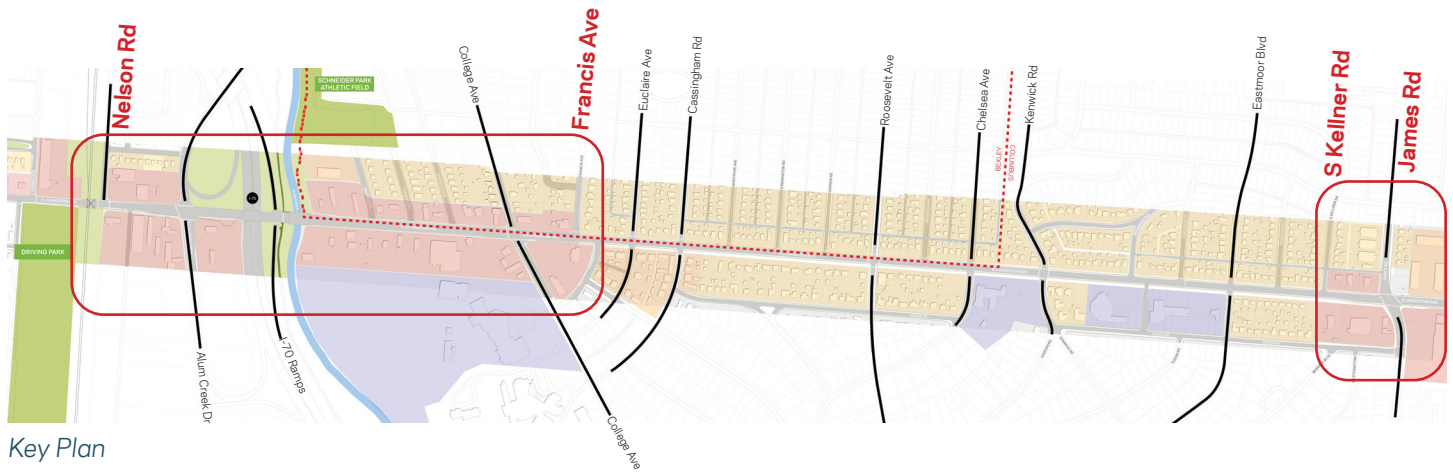


A Prototypical Livingston Ave Plan and Section in the Recommended Commercial Area



A Prototypical Livingston Ave Plan and Section in the Recommended Residential Area

## 6.2 Commercial Area



Key Plan

### A. Moving Lanes



Typical section through moving lanes (street)

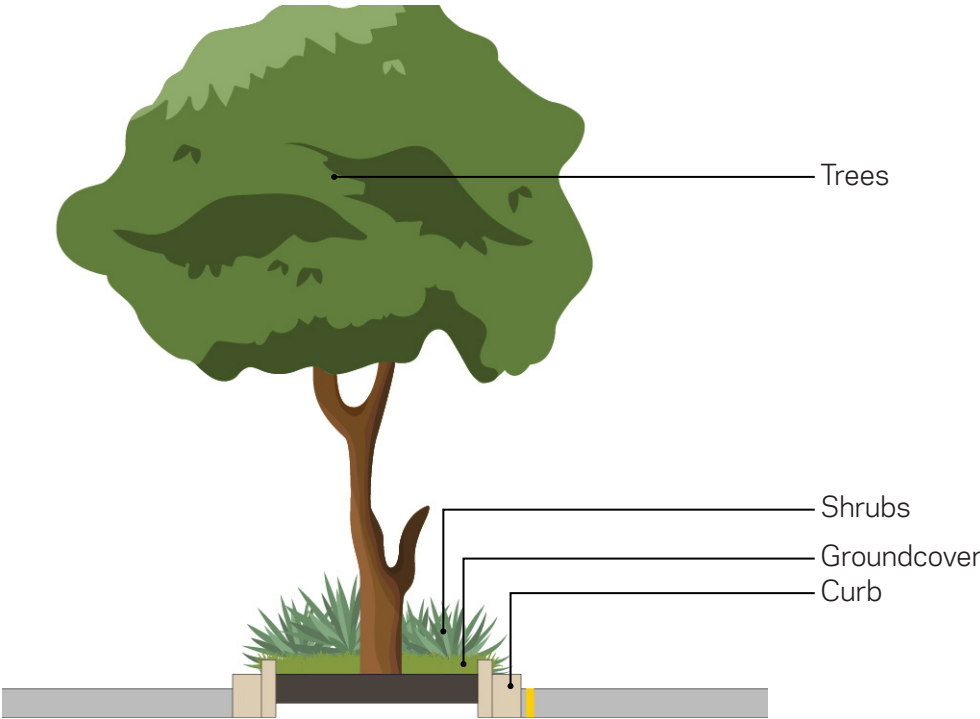


### A3. Crosswalks

Enhanced style of crosswalks to be used along Livingston Ave

- Refer COC Document 640 Pavement Marking

### B. Medians



#### B1. Curbs

Concrete curbs for medians to be consistent with recent median improvements on Livingston Ave near Children’s Hospital.

- Refer to COC CMS 609 - Curbing, Concrete Medians, and Traffic Islands



## 6.2 Commercial Area

### B. Medians



#### B2. Groundcover

Evergreen, salt-resistant ground cover is recommended for medians.

- Refer to American Association of Nurserymen's American Standard for Nursery Stock

#### B4. Shrubs

Evergreen, salt-resistant shrubs are recommended for medians in combination with appropriate trees and ground cover.

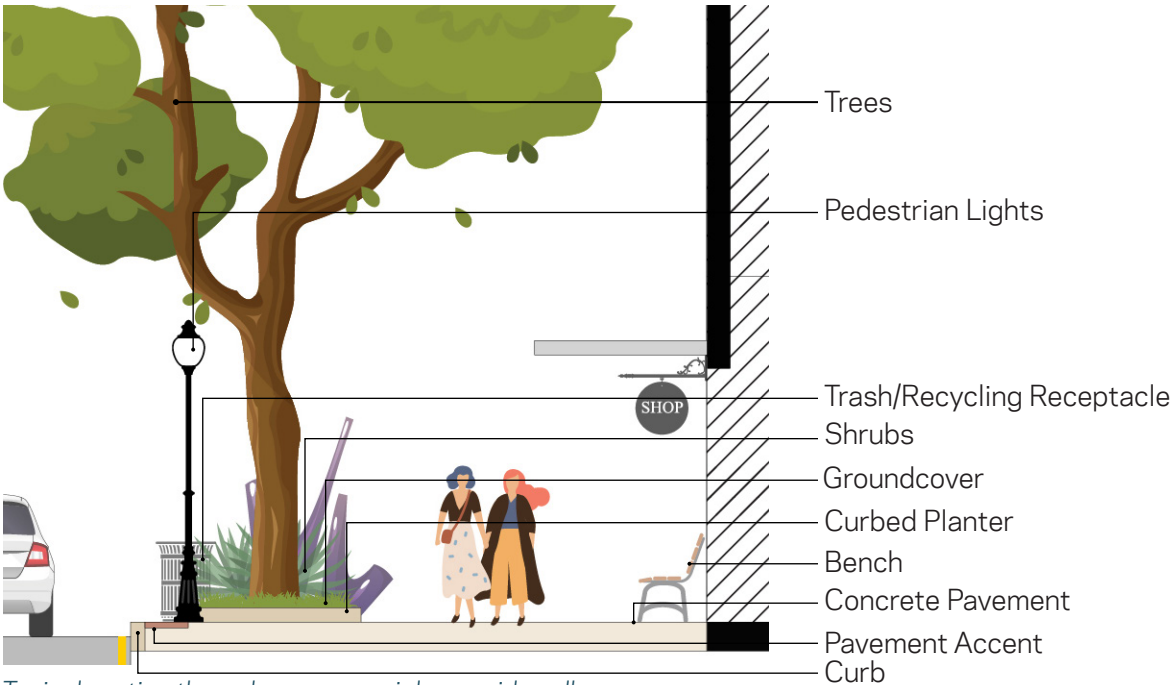
- American Association of Nurserymen's American Standard for Nursery Stock
- COC CMS 661 (Trees, shrubs, and vines)

#### B3. Trees

For narrow medians (10'-11'), ornamental trees are recommended. For wider medians (18'-21'), a combination of ornamental and shade trees is recommended to create a vibrant tree canopy.

- American Association of Nurserymen's American Standard for Nursery Stock
- COC CMS 661 (Trees, shrubs, and vines)

### C. Sidewalks/Multi-use Paths



Typical section through a commercial area sidewalk

#### C1. Paving

Sidewalks and Multi-use Paths shall be gray concrete with a light to medium broom finish or buff wash finish in the commercial areas.

- Refer COC CMS 608 and COC Std. Dwg. 2300 (Concrete Sidewalk)



## 6.2 Commercial Area

### C. Sidewalks/Multi-use Paths



#### **C2. Curbs**

Concrete curbs for sidewalks to be consistent with recent sidewalk improvements on Livingston Ave.

- Refer to COC CMS 609 - Curbing, Concrete Medians, and Traffic Islands



#### **C3. Curbed Planters -**

Planter curbs will be concrete and are to be set back 2'6" (30") from face of street curb to face of planter curb. Planter width should not be less than 6', unless required for special circumstances.

- Refer COC CMS 609 - Curbing, Concrete Medians, and Traffic Islands

## C. Sidewalks/Multi-use Paths



### C4. Groundcover

Evergreen, salt-resistant ground cover is recommended for medians.

- Refer to American Association of Nurserymen's American Standard for Nursery Stock



### C5. Shrubs

Evergreen, salt-resistant shrubs are recommended for medians in combination with appropriate trees and ground cover.

- Refer to American Association of Nurserymen's American Standard for Nursery Stock
- COC CMS 661 (Trees, shrubs, and vines)



### C6. Trees

For narrow medians (10'-11'), ornamental trees are recommended. For wider medians (18'-21'), a combination of ornamental and shade trees is recommended to create a vibrant tree canopy.

- Refer to American Association of Nurserymen's American Standard for Nursery Stock
- COC CMS 661 (Trees, shrubs, and vines)



## 6.2 Commercial Area

### C. Sidewalks/Multi-use Paths



#### C7. Stormwater Management

Green Infrastructure strategies are to be implemented upon restructuring of the street. Bio-retention basins will have granite/concrete curbs that match the tree planters. They will also have a similar size and placement.

- For planting, soil, and construction details, refer Blueprint Columbus Green Infrastructure Design and Implementation Guidelines.
- Refer COC Stormwater Drainage Manual



#### C8. Furniture -

##### Seating

All seating will be permanently installed in pavement and will have a black finish.

Benches may be the Victor Stanley Models (RB-12, RB-28) or any other bench with a similar design.

## C. Sidewalks/Multi-use Paths



### C8. Furniture -

#### Trash/Recycling Receptacles

All trash and recycling receptacles will have a black finish and will be installed per City standards. The receptacles may be the Dumor (Model 107 or 157) or any other receptacle with a similar design.

- All receptacles will have the appropriate signs on it.
- COC CMS 608 for concrete sidewalks
- COC Std. Dwg. 2400 (Litter Receptacle)



#### Bike Racks

All bike racks will be permanently installed in pavement and will have a black finish.

Bike racks may be Huntco (Model BR3), DuMor (Model Bike Rack 83), Dero Bike Hitch or any decorative bike racks with a similar design.

- COC CMS 608 for concrete sidewalks

## 6.2 Commercial Area

### C. Sidewalks/Multi-use Paths



#### C9. Lighting

In the commercial section, all street lights will be painted black and will have single acorn luminaires with a provision for flower baskets.

- Refer to COC Street Light Specifications (fixture and pole types, lighting source, light distribution pattern, foot-candle levels)
- Refer COC document MIS 307 for pole specifications
- Refer COC document MIS 802 for luminaire specifications.



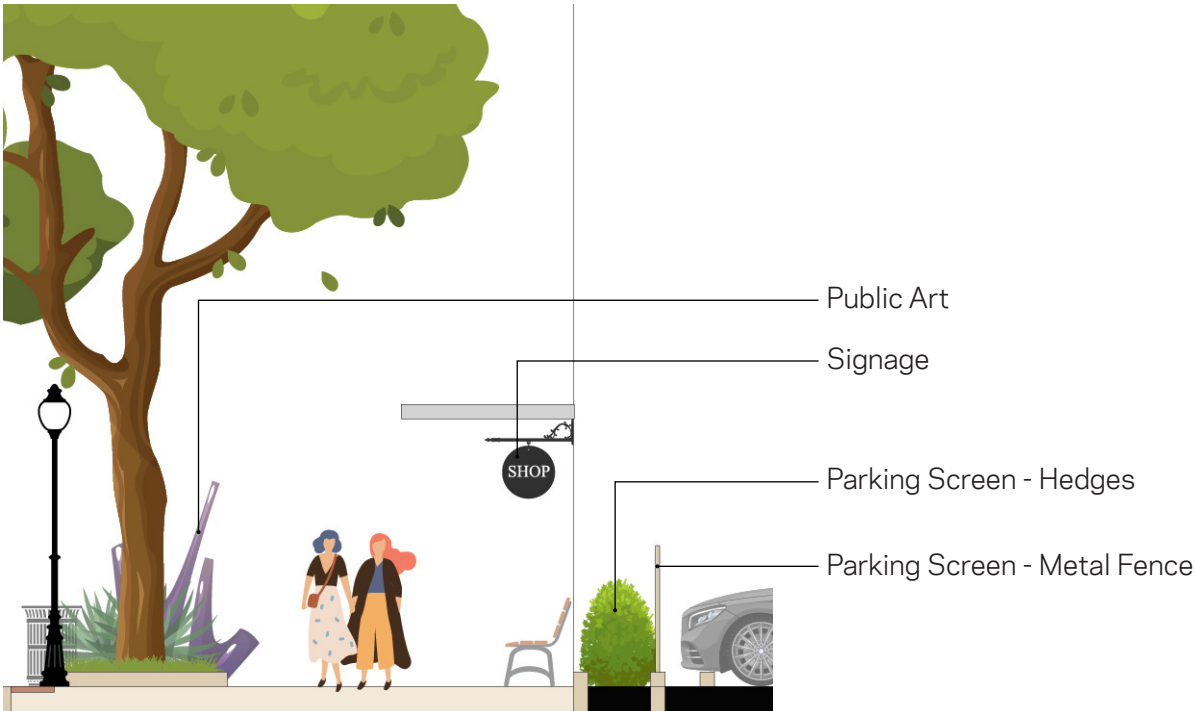
#### C10. Traffic Signals

All new mast arm traffic signals at warranted intersections to be finished with black powder coating per COC standards.

- Refer to COC Traffic Signal Design Manual

# 6.2 Commercial Area

## D. Pedestrian Realm



Typical section through the commercial pedestrian realm

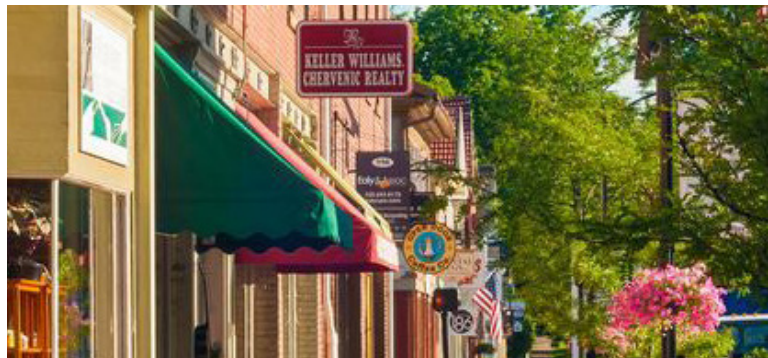
### D1. Public Art -

- Follow COC Guidelines for Public Art
- Columbus Art Commission (City Code Section 3315)
- Explore public art on utility poles where possible.



## 6.2 Commercial Area

### D. Pedestrian Realm



#### D2. Parking Screens

When surface lots are adjacent to sidewalks, they shall be screened with landscaped hedges or a combination of decorative metal fences and landscaped elements such as hedges or vines on the fences.

- Refer Bexley zoning ordinance for screening requirements.
- Screening not required for single family units
- Explore grants for parking lot screening for business owners in the commercial area
- Follow COC standards for screening materials

#### D3. Signage

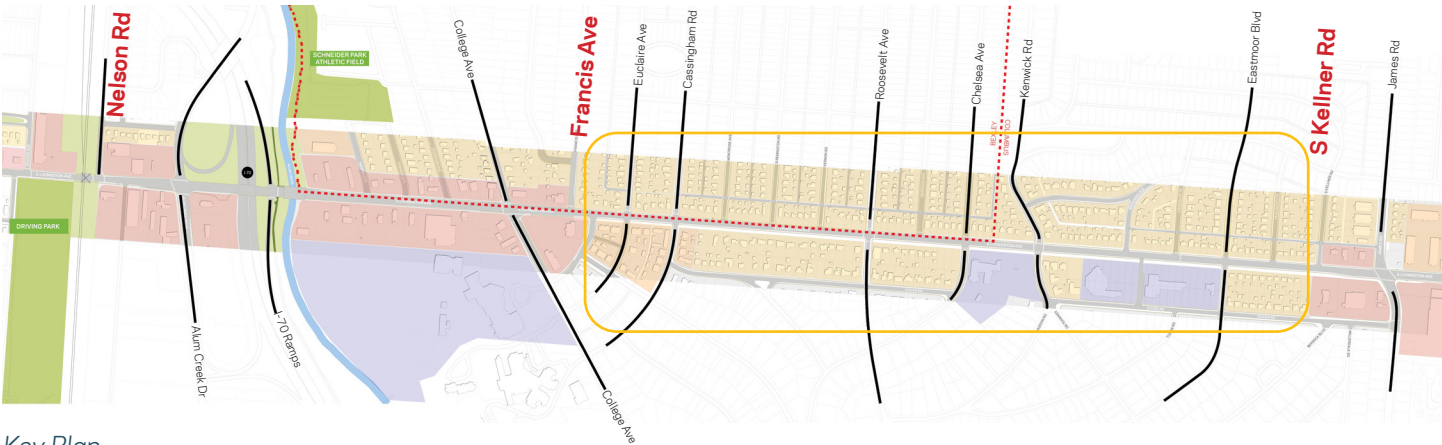
Refer to COC Guidelines for all signage design and placement on Livingston Avenue and Columbus jurisdiction. Refer Bexley signage design and placement guidelines for Bexley jurisdiction.

#### D4. Transit

Transit includes COTA bus stops and bus shelters. Co-ordinate with COTA and follow COC and COTA design guidelines for specifications.

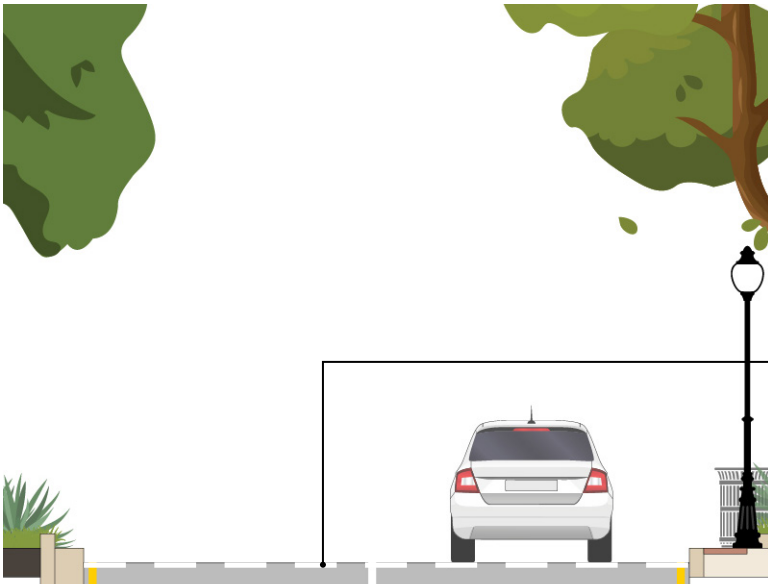
- Refer COTA Transit Stop Design Guide.

### 6.3 Residential Area



Key Plan

### A. Moving Lanes



Typical section through the moving lanes (street)

Crosswalk



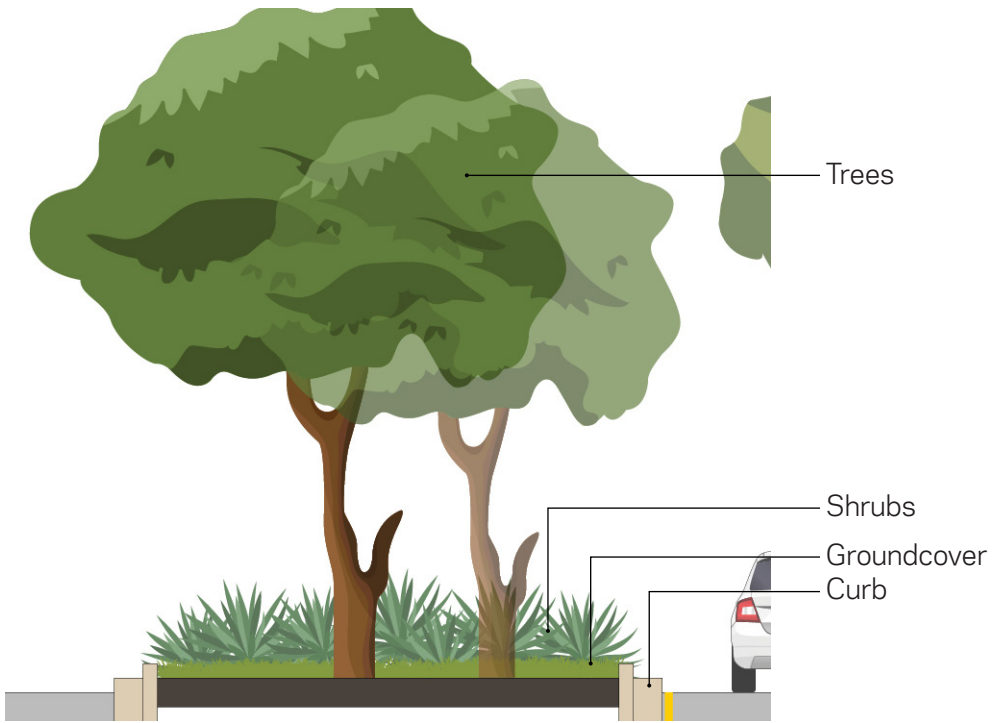
#### A1. Crosswalks

Enhanced style of crosswalks to be used along Livingston Ave

- Refer COC Document 640 Pavement Marking

## 6.3 Residential Area

### B. Medians



*Typical section through a residential median*



#### **B1. Curbs**

Concrete curbs for medians to be consistent with recent median improvements on Livingston Ave near Children's Hospital.

- Refer to COC CMS 609 - Curbing, Concrete Medians, and Traffic Islands

## B. Medians



### B2. Groundcover

Evergreen, salt-resistant ground cover is recommended for medians.

- American Association of Nurserymen's American Standard for Nursery Stock



### B3. Shrubs

Evergreen, salt-resistant shrubs are recommended for medians in combination with appropriate trees and ground cover.

- American Association of Nurserymen's American Standard for Nursery Stock
- COC CMS 661 (Trees, shrubs, and vines)



### B4. Trees

For narrow medians (10'-11'), ornamental trees are recommended. For wider medians (18'-21'), a combination of ornamental and shade trees is recommended to create a vibrant tree canopy.

- American Association of Nurserymen's American Standard for Nursery Stock
- COC CMS 661 (Trees, shrubs, and vines)



## 6.3 Residential Area

### B. Medians



#### **B7. Stormwater Management**

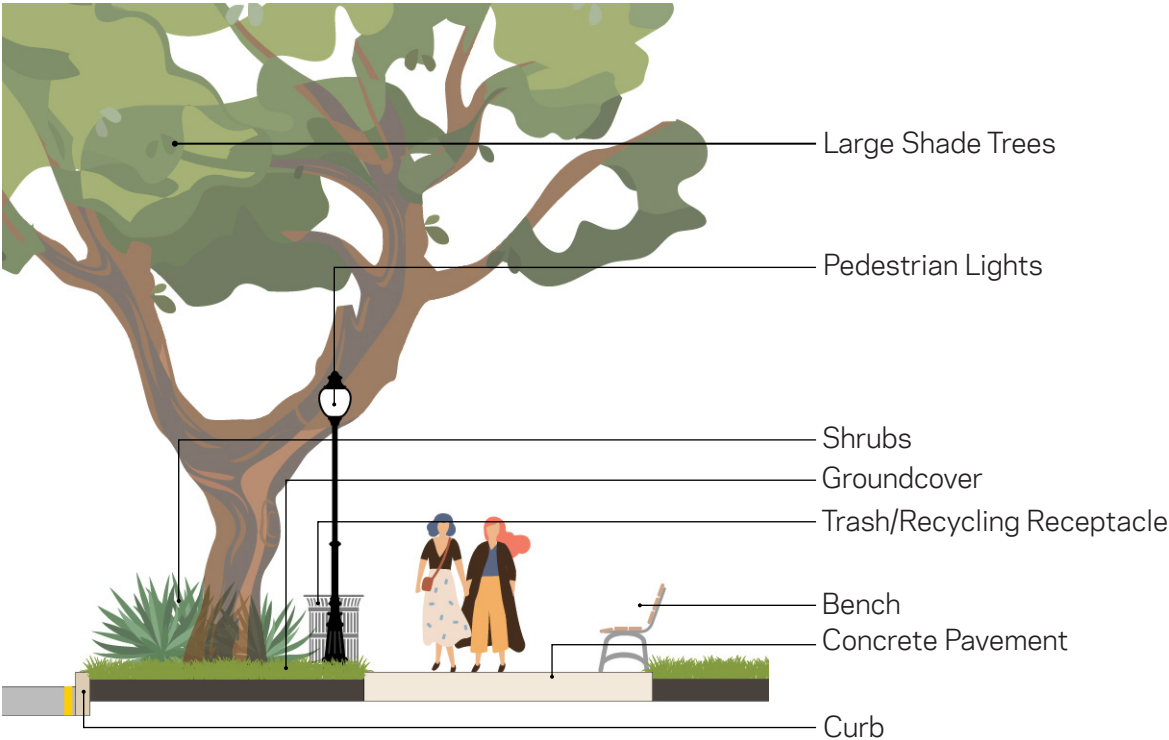
Green Infrastructure strategies are to be implemented upon restructuring of the street.

Bio-retention basins will have concrete curbs that match the median curbs. They will also have a similar size and placement. Street design can be explored to use medians as rain gardens.

- For planting, soil, and construction details, refer Blueprint Columbus Green Infrastructure Design and Implementation Guidelines.
- Refer COC Stormwater Drainage Manual

### 6.3 Residential Area

#### C. Sidewalks/Multi-use Path



Typical section through a residential sidewalks



#### C1. Curbs

Concrete curbs for sidewalks to be consistent with recent sidewalk improvements on Livingston Ave.

- Refer to COC CMS 609 - Curbing, Concrete Medians, and Traffic Islands

## 6.3 Residential Area

### C. Sidewalks/Multi-use Path



#### C2. Paving

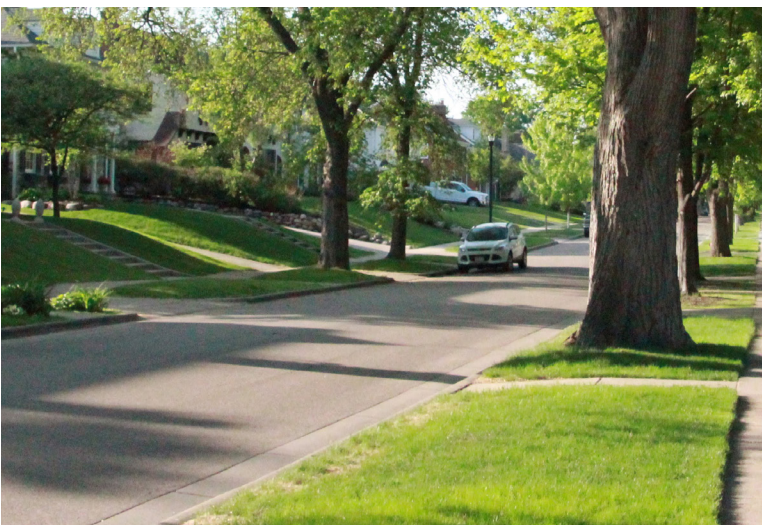
Designated sidewalks shall be gray concrete with a light to medium broom finish or buff wash finish.

- Refer COC CMS 608 and COC Std. Dwg. 2300 (Concrete Sidewalk)



For designated multi-use paths, refer COC/ Bexley standards.

- Refer COC CMS 448 (Asphalt Pavement)



#### C3. Tree Lawns-

Maximize tree lawns to 10ft wide where possible along the residential section of Livingston Ave.

## C. Sidewalks/Multi-use Path



### C4. Trees

A combination of ornamental trees and large shade trees with a large canopy recommended for tree lawns in the residential section.

- For ideal tree types, placement guidelines, and structural soil requirements, refer COC Recreation and Parks Department's Urban Forestry section.



### C5. Stormwater Management

Green Infrastructure strategies are to be implemented upon restructuring of the street. Bio-retention basins will have granite/concrete curbs that match the tree planters. They will also have a similar size and placement.

- For planting, soil, and construction details, refer Blueprint Columbus Green Infrastructure Design and Implementation Guidelines.
- Refer COC Stormwater Drainage Manual

## 6.3 Residential Area

### C. Sidewalks/Multi-use Path



#### **C6. Furniture -**

##### **Seating**

All seating will be permanently installed in pavement and will have a black finish.

Benches may be the Victor Stanley Models (RB-12, RB-28) or any other bench with a similar design.

##### **Trash/Recycling Receptacles**

All trash and recycling receptacles will have a black finish and will be installed per City standards. The receptacles may be the Dumor (Model 107 or 157) or any other receptacle with a similar design.

- All receptacles will have the appropriate signs on it.
- COC CMS 608 for concrete sidewalks
- COC Std. Dwg. 2400 (Litter Receptacle)

## C. Sidewalks/Multi-use Path



### **Bike Racks**

All bike racks will be permanently installed in pavement and will have a black finish.

Bike racks may be Huntco (Model BR3), DuMor (Model Bike Rack 83), Dero Bike Hitch or any decorative bike racks with a similar design.

- COC CMS 608 for concrete sidewalks

## 6.3 Residential Area

### C. Sidewalks/Multi-use Path



#### C7. Lighting

In the residential area, all pedestrian lights will be painted black and will have single acorn luminaires.

- COC Street Light Specifications (fixture and pole types, lighting source, light distribution pattern, foot-candle levels)
- Refer COC document MIS 307 for pole specifications
- Refer COC document MIS 802 for luminaire specifications.



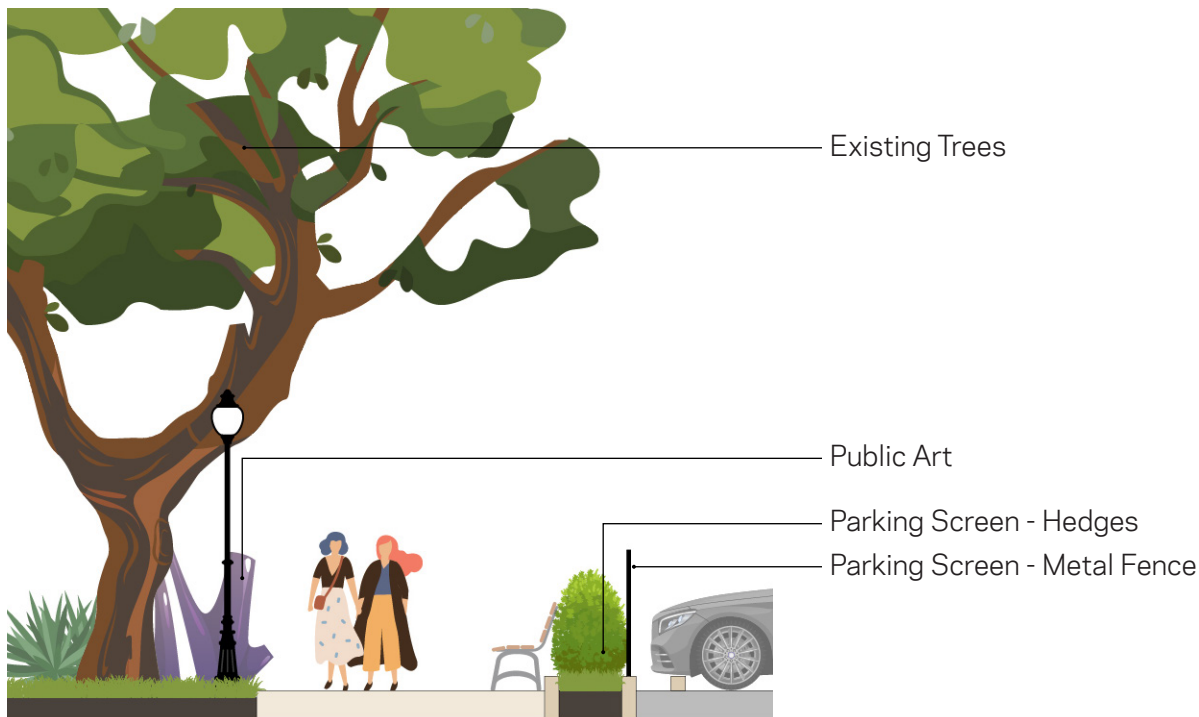
#### C8. Traffic Signals

All new mast arm traffic signals at warranted intersections to be finished with black powder coating per COC standards.

- Refer to COC Traffic Signal Design Manual

## 6.3 Residential Area

### D. Pedestrian Realm



#### D1. Existing Trees

Retain existing, well-established, mature, healthy trees where possible. It is anticipated that in order to accomplish elements of this plan, mature tree removal may need to occur. Should that happen, the Cities will make every effort to ensure that it is replaced with a new tree.

- Follow COC and City of Bexley guidelines for tree preservation/removal and remediation techniques.



## 6.3 Residential Area

### D. Pedestrian Realm



#### D2. Parking Screens

When surface lots are adjacent to sidewalks, they shall be screened with landscaped hedges or a combination of decorative metal fences and landscaped elements such as hedges or vines on the fences.

Note: Surface lot screening requirements are not applicable to single family units.

- Refer Bexley zoning ordinance for screening requirements.
- Screening not required for single family units
- Explore grants for parking lot screening for business owners in the commercial area
- Follow COC standards for screening materials

#### D4. Transit

Transit includes COTA bus stops and bus shelters. Co-ordinate with COTA and follow COC and COTA design guidelines for specifications.

- Refer COTA Transit Stop Design Guide.

---

## 6.4 Reference Standards

COTA Transit Stop Design Guide

<https://prodwww.cota.com/static/ab242d40b9dcb3c19f0ccab09f681c5a/COTA-Transit-Stop-Design-Guide.pdf>

Blueprint Columbus

<https://www.columbus.gov/utilities/projects/blueprint/Green-Infrastructure-Design-Guidelines-and-Supplemental-Specifications/>

Columbus Recreation and Parks - Urban Forestry

<https://www.columbus.gov/recreationandparks/Urban-Forestry/>

City of Columbus Manuals

- COC CMS 608 and COC Std. Dwg. 2300 (Concrete Sidewalk)
- COC CMS 641 (Pavement Marking)
- COC Std. Dwg. 2319 (Detectable Warning Surface)
- Ohio Manual of Uniform Traffic Control Devices, Section 3B.18 (Crosswalk Markings)
- COC CMS 609 (Curbing)
- COC Std. Dwg. 2000
- COC Street Light Specifications (fixture and pole types, lighting source, light distribution pattern, foot-candle levels)
- COC Traffic Signal Design Manual

## 6.5 Commercial Area - Long-Term Vision



Long-Term Commercial Vision



Multi-use Pathway

Large Shade  
Trees In Planters

Ground Level  
Activating Uses

Street Lighting

Access Road and  
Parking Behind New  
Development

\* Any median locations, lengths and actual feasibility will be determined in the next phase of the project. Follow City of Columbus Traffic Design Manual for mast arm traffic signals design guidance.

## 6.5 Residential Area - Long-Term Vision - With Painted Median



*Long-Term Residential Vision with Painted Median*



Enhanced Crosswalks

Large Shade Trees

Painted Median with  
Left Turn Lane

\* Any median locations, lengths and actual feasibility will be determined in the next phase of the project. Follow City of Columbus Traffic Design Manual for mast arm traffic signals design guidance.

## 6.5 Residential Area - Long-Term Vision - With Planted Median



*Long-Term Residential Vision with Planted Median*



Enhanced Crosswalks

Large Shade Trees

Planted Median with  
Left Turn Lane

\* Any median locations, lengths and actual feasibility will be determined in the next phase of the project. Follow City of Columbus Traffic Design Manual for mast arm traffic signals design guidance.





# 7

## Commercial Area Urban Development Principles



*Strengthening neighborhood identity with  
a thriving, pedestrian friendly, mixed-use  
neighborhood corridor.*

# 7.0 The Joint Livingston Ave Commercial Area Urban Development Principles

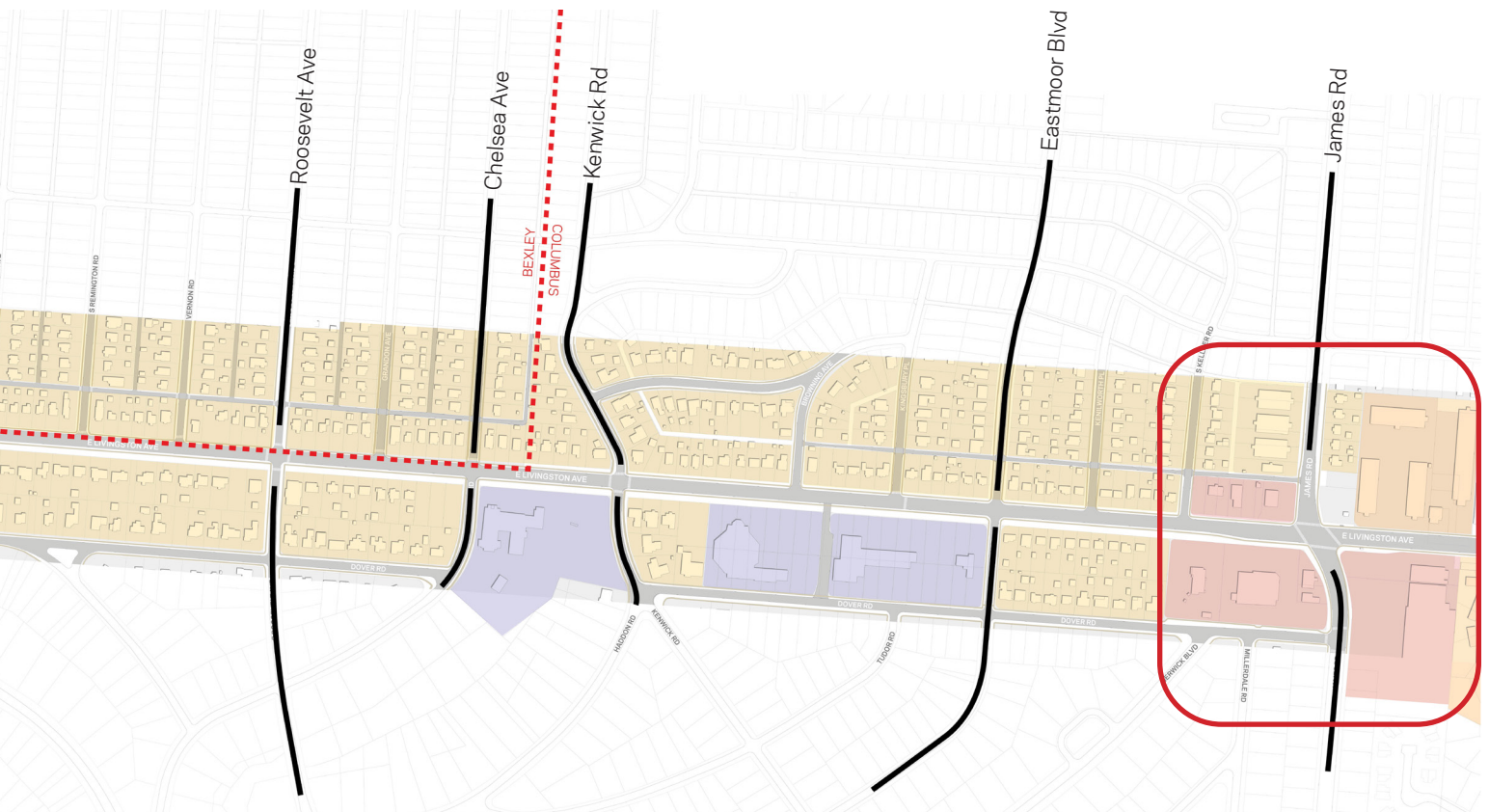


## 7.1 Guiding Principles Overview

The Joint Livingston Ave Commercial Area Urban Development Principles will inform future zoning code updates and development for the areas of the cities of Columbus and Bexley included within the study boundaries.

These principles have been created to work in tandem with the existing Columbus Citywide Planning Policies (C2P2 - current Land Use

Guidelines), the Livingston East Area Community Commercial Overlay (CCO - current Zoning Code) as well as applicable City of Bexley plans, studies, and zoning code. These principles will provide best practices to further the goals of the existing planning documents and code (C2P2/CCO) and will inform any future zoning code updates and future developments for the cities of Columbus and Bexley.






The purpose of these guiding principles is to advance and support community oriented urban (re)development through:

- Improved pedestrian access and safety
- Streamlined vehicular circulation and parking
- A cohesive and visually enhanced built environment



## 7.2 Commercial Area Urban Development Principles

- *New buildings should front Livingston Avenue and be located with limited or zero setback along Livingston Avenue right-of-way, but modulation in this setback is encouraged to add architectural interest.*
  - *New buildings should be multi-story with a mix of uses. Commercial uses on the ground floor to create street level activity with residential above, which includes affordable and market rate housing, is recommended.*
  - *Parking should be located at the rear of new development.*
  - *Preserve existing rear access roads as primary vehicular access to the Livingston Avenue frontage properties.*
- 

- 
- *Include rear access roads and alleys as the primary access for properties that front Livingston Avenue in proposed site plans. Rear parking should be designed for vehicular access and circulation to adjacent properties if space is not available for an access road or alley.*
  - *Existing parking lots along Livingston Avenue should be screened using the Livingston Ave Streetscape Design Guidelines. This screening should occur where parcel redevelopment is not occurring in the short-term.*
  - *To allow for adequate access, vehicular circulation, and recommended lot development, re-zoning of adjacent residential property on the north side of Livingston Avenue between College Avenue and Alum Creek may need to occur due to a shortage of adequate lot depth in that area.*
- 

# 8

## Appendix

The following documents were produced as part of the planning process and inform the findings and recommendations of the Joint Livingston Avenue Plan. They can be obtained at: <http://www.bexley.org/livingston>

1. Traffic Volume Data and Calculations
2. Crash Data and Analysis
3. Turn Lane Length Calculations
4. Capacity and Queuing Analysis
5. Pedestrian Analysis
6. Highway Safety Manual and Benefit-Cost Analysis
7. Long Term Capacity Improvements Cost Estimate
8. Community Input
9. Livingston Avenue Design Options Considered



**Ordinance 14 – 22**

By: Matt Klingler

**An ordinance to Amend Section 1266.14 Solar Panels, in order to provide for consistent regulation and a streamlined approval process for solar panel projects.**

**Whereas,** City staff has been reviewing the City’s solar panel code in light of recommendations provided through the City’s climate action planning process; and

**Whereas,** This proposed ordinance provides for more streamlined approval of solar panel installations, while simultaneously preserving aesthetic controls; and

**NOW, THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF BEXLEY:**

**Section 1.**

That Section 1266.14 shall be amended as follows:

**1266.14 SOLAR PANELS.**

A solar photovoltaic panel, or solar hot air or water panel collector device, which relies upon solar radiation as an energy source for the generation of electricity or transfer of stored heat, shall comply with the following restrictions:

(a) Location.

(1) Ground mounted solar panels exceeding two (2) square feet in area shall be located in a side or rear yard only, **with the same setback requirement as accessory structures.** ~~shall maintain a setback of ten (10) feet from property lines.~~

(2) Roof and flush-mounted solar panels shall be allowed, subject to ~~architectural review~~ **staff review.**

~~Architectural~~ **Staff** review will consider the following:

A. Rear and side locations are preferred. Any installations on the front roof facade shall be justified by providing an analysis of why the front facade is necessary in order to generate viable output.

B. The color of the solar panels **and solar panel trim** shall be complementary to roof color as determined by staff ~~the Architectural Review Board.~~ **For the purpose of this provision, “complimentary” does not mean that staff shall require panel or panel trim colors that are not standard selections that are readily available on the market.**

C. The configuration and profile of the assembly shall be complementary to the roof line **and roof façade** as determined by **staff review** ~~the Architectural Review Board.~~ Installations should minimize the number of corners, and should avoid complex and/or nonsymmetrical configurations.

D. Wiring and supporting infrastructure should be designed in such a way as to minimize visibility from the right-of-way.

E. Installations should be sensitive to the property, surrounding properties, and neighborhood context.

(b) Height.

(1) Ground mounted solar panels shall not exceed **the height limit for accessory structures.** ~~six (6) feet in height.~~

(2) Roof and flush-mounted solar panels shall not project vertically above the peak of the roof to which it is attached, or project vertically more than four (4) feet above a flat roof installation.

~~—(c) Aesthetic Consideration. Ground mounted solar panels shall be fully screened at grade from adjacent properties by fencing or structures (detached garages, neighboring accessory structures, etc) or a combination of evergreen and deciduous plantings. Flat roof solar installations shall be appropriately screened, as determined by the Architectural Review Board and applicable design guidelines.~~

~~—(d) Glare. No glare, lights, or reflection shall be permitted which are a nuisance to other property owners or tenants or which could impair the vision of a driver or any motor vehicle or which are detrimental to public health, safety, and welfare.~~

(e) Exemptions.

(1) Solar panels less than two (2) square feet in area and those installed within the right-of-way by the City are not subject to the regulations set forth above.

~~—(2) Solar panels that are not facing an adjacent street right-of-way are exempt from review by the Architectural Review Board and are subject to review and approval by the Zoning Officer, applying the standards set forth in this section.~~

Passed \_\_\_\_\_, 2022

\_\_\_\_\_  
Troy Markham, President of Council

Attest: \_\_\_\_\_, 2022  
Matt McPeek, Clerk of Council

Approved: \_\_\_\_\_, 2022

\_\_\_\_\_  
Benjamin Kessler, Mayor

First Reading: April 12, 2022

Second Reading:

Third Reading:

**ORDINANCE NO. 41-21**

By: \_\_\_\_\_

**An Ordinance accepting the proposed donation of the Columbia Place private street in the Columbia Place subdivision by the City of Bexley for a public street.**

**WHEREAS**, the Columbia Place Association, an Ohio nonprofit corporation in good standing in the State of Ohio, is the owner of a certain private street known as “Columbia Place” located in the Columbus Place Subdivision and Resubdivision, located entirely in the City of Bexley, being Franklin County Auditor’s Parcel No. 020020-004617 and platted as a private street in Plat Book 58, Page 10 and Plat Book 61, Page 86; and

**WHEREAS**, the Columbia Place Association filed Case No. 21 CV 907 in Franklin County Common Pleas Court to resolve any discrepancy in its title and ownership of Columbia Place (Private Drive) and received judgment declaring the Association owns fee simple title to all of the Columbia Place private drive, being Franklin County Parcel No. 020-004617; and

**WHEREAS**, the Columbia Place Association has offered to donate and convey to the City of Bexley that private street known as “Columbia Place” to be owned by the City of Bexley and become a public street; and

**WHEREAS**, it is in the interest and benefit of the City of Bexley and public at large that the City accept the donation of such Columbia Place as and for a public street.

**NOW THEREFORE, BE IT ORDAINED** by the Council of the City of Bexley, County of Franklin, State of Ohio, that:

**Section 1.** The City of Bexley accepts donation of the private street known as Columbia Place as platted in the Columbia Place subdivision recorded in Plat Book 58, Page 10 and platted in the Resubdivision of Reserve “A” of the Columbia Place subdivision recorded in Plat Book 61, Page 86 from the Columbia Place Association to the City of Bexley as and for public use and a public street, by General Warranty Deed in a form substantially similar as the General Warranty Deed attached hereto as Exhibit 1.

**Section 2.** The Mayor is authorized to do all acts and to execute all agreements and instruments appropriate or necessary to facilitate and carry out the donation and acceptance of the property and property interests identified in this ordinance, and to make any minor modifications to the instruments attached to this ordinance that are necessary to carry out the intent of this ordinance and the recording of the deed and any related easements.

**Section 3.** This Ordinance shall become effective from and after the earliest period provided by law.

Passed \_\_\_\_\_, 2021

\_\_\_\_\_  
Lori Ann Feibel, President of Council

Attest: \_\_\_\_\_  
William Harvey, Clerk of Council

Approved: \_\_\_\_\_, 2021

\_\_\_\_\_  
Ben Kessler, Mayor

First Reading:

Second Reading:

Third Reading:

Passed:

ORDINANCE NO. \_\_\_\_\_

**EXHIBIT A**

**GENERAL WARRANTY DEED**

COLUMBIA PLACE ASSOCIATION, an Ohio Nonprofit Corporation, for valuable consideration paid, grants, with general warranty covenants, to THE CITY OF BEXLEY, Ohio, whose tax-mailing address is 2242 East Main Street, Bexley, Ohio 43209, the following real property as situated in the County of Franklin, in the State of Ohio, and in the City of Bexley, and bounded and described as follows:

Being all of that private drive known as "Columbia Place" as shown on the Columbia Place plat recorded in Plat Book 58, Page 10 and that "Private Drive" as shown in the Resubdivision of Reserve A of Columbia Place plat of record in Plat Book 61 page 86, in the Recorder's office, Franklin County, Ohio.

Parcel ID: 020-004617-00

Prior Instrument Reference: Grantor claims title to the property by virtue of Instrument No. 198206300073134 as recorded with the Franklin County, Ohio Recorder, as clarified by the *Judgment Entry* filed on August 24, 2021, in Franklin County Common Pleas Case No. 21 CV 907.

**IN WITNESS WHEREOF**, the said Grantor hereunto has set its hand, this \_\_\_\_ day of \_\_\_\_\_, 2021.

COLUMBIA PLACE ASSOCIATION

\_\_\_\_\_  
Karen McCoy, M.D., President

STATE OF OHIO

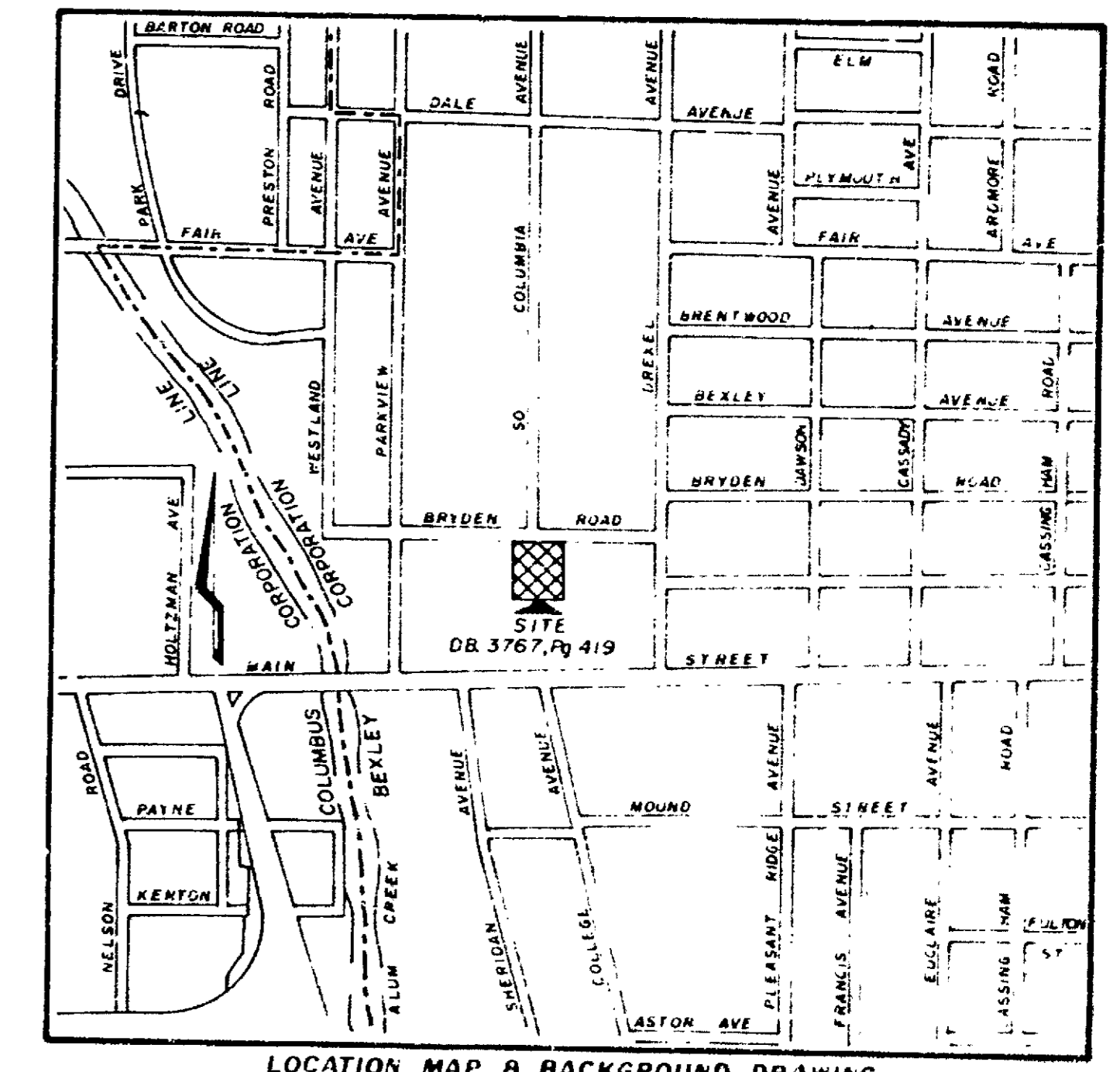
COUNTY OF FRANKLIN SS:

Executed before me on the \_\_ day of \_\_\_\_\_, 2021, by Karen McCoy, M.D., president of the Columbia Place Association, who acknowledged the same to be her free and voluntary act on behalf of the Columbia Place Association.

\_\_\_\_\_  
Notary Public

**Prepared by and return to:** THE BEHAL LAW GROUP LLC, 501 South High, Columbus, Ohio 43215

# COLUMBIA PLACE



Situated in the State of Ohio, County of Franklin, City of Bexley, located in Half Section 20, Section 13, Township 5, Range 22, Refugee Lands, and being part of Lots 48, 49 and 50 of Rownd and Knauss' Park View Subdivision of record in Plat Book 4, Page 47, and containing 1.3196 acres of land, more or less, being also the same premises as conveyed to BEXLEY PROPERTIES, by deed of record in Deed Book 3767, Pages 419 and 420, all references being to those of record in the Recorder's Office, Franklin County, Ohio.

The undersigned BEXLEY PROPERTIES, an Ohio General Partnership, by JEFFREY PAINE, PETER LORMS and SIDNEY BLATT, as Partners, duly authorized in the premises, does hereby certify that the attached plat correctly represents its "COLUMBIA PLACE", a resubdivision of part of Lots 48, 49 and 50 of Rownd and Knauss' Park View Subdivision, and a new subdivision of Lots 1 thru 3, inclusive, Reserve "A", Private Drive and Buffer Strips (Future Common Areas) and does hereby accept this plat of same.

Easements are reserved where indicated on the plat, for the construction, operation and maintenance of all public and private utilities above and beneath the surface of the ground and where necessary are for the construction, operation and maintenance of service connections to all adjacent lots and lands and for storm water drainage.

In Witness Whereof, JEFFREY PAINE, PETER LORMS and SIDNEY BLATT, Partners of BEXLEY PROPERTIES, an Ohio General Partnership, have hereunto set their hands this 3<sup>rd</sup> day of December, 1980.

**WITNESSES**

**BEXLEY PROPERTIES**  
an Ohio General Partnership

By Jeffrey Paine Partner  
and Peter Lorms Partner  
and Sidney Blatt Partner

**STATE OF OHIO**

Before me, a Notary Public in and for said State, personally appeared JEFFREY PAINE, PETER LORMS and SIDNEY BLATT, as Partners of BEXLEY PROPERTIES, who acknowledged the signing of the foregoing instrument to be their voluntary act and deed and the voluntary Partnership act and deed of said BEXLEY PROPERTIES, for the uses and purposes expressed herein.

In Witness Whereof, I have hereunto set my hand and affixed my official seal this 3<sup>rd</sup> day of December, 1980.

My Commission Expires August 9, 1984

Approved this 11<sup>th</sup> day of December, 1980.

Approved this 3<sup>rd</sup> day of December, 1980.

Approved and accepted this 3<sup>rd</sup> day of December, 1980, by Ordinance No. 28-80 by the Council, for the City of Bexley, Ohio.

David W. Madson Mayor, Bexley, Ohio

Accepted for platting this 9<sup>th</sup> day of JAN., 1980.

Filed for record this 9<sup>th</sup> day of JAN.

1980 at 1:45 P.M. Fee \$ 17.30 File No. 01561

Recorded this 9<sup>th</sup> day of Jan., 1980.

Plat Book 58 Page 10

Valerie Park Olicie  
Notary Public, State of Ohio

The Jennings-Lawrence Co. by: Claude White  
City Engineer, Bexley, Ohio

Judith Y. Brackman  
Chairman, Planning Commission, Bexley, Ohio

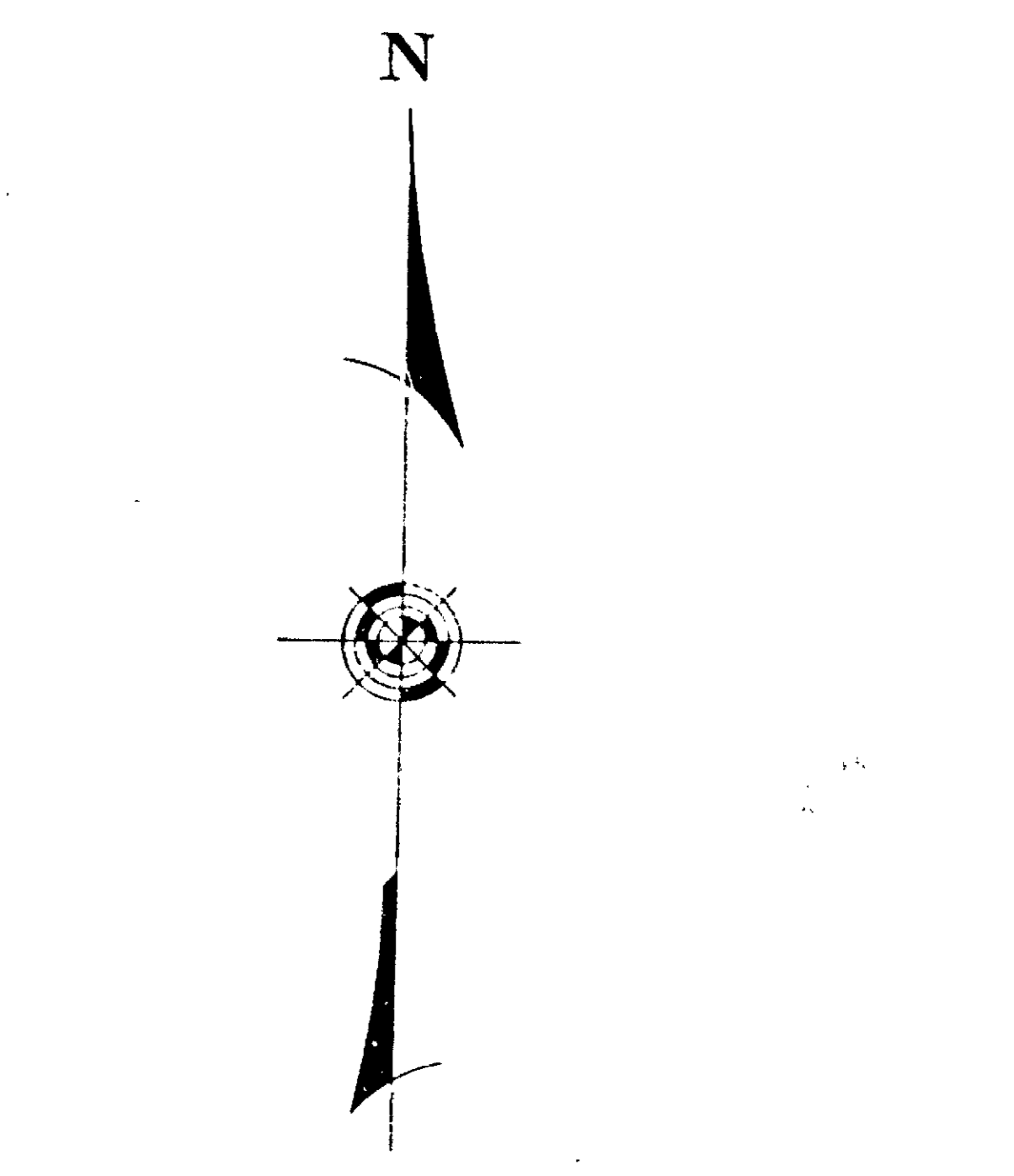
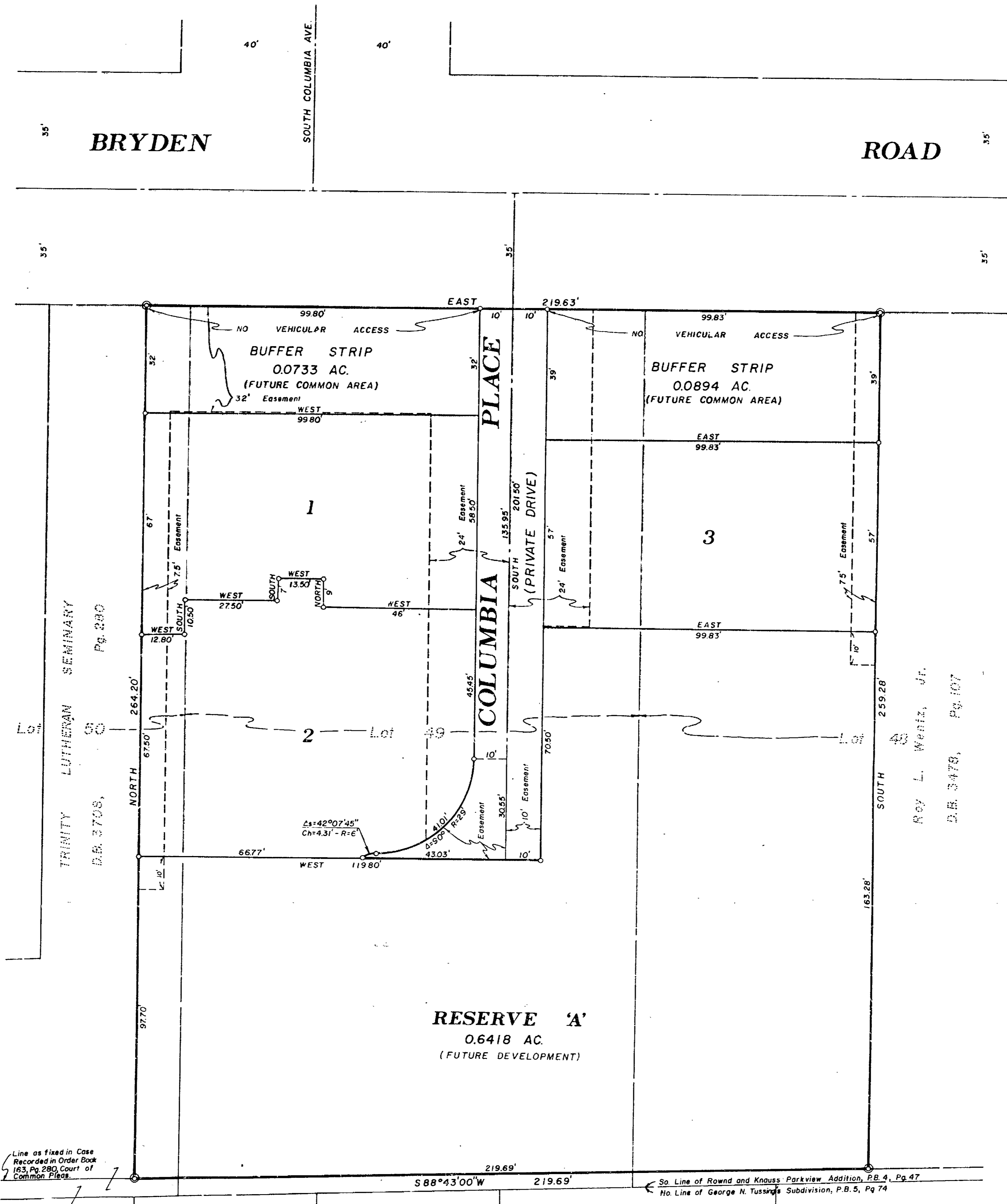
John W. Harky  
Clerk, Bexley, Ohio

Roger W. Tracy, Jr.  
Auditor, Franklin County, Ohio

Dorothy Towner  
Deputy Auditor, Franklin County, Ohio

Robert C. McNeal  
Recorder, Franklin County, Ohio

Richard Burgstaller  
Deputy Recorder, Franklin County, Ohio



**SURVEY DATA:**  
IRON PINS Where indicated unless otherwise noted are to be set and are thirteen eighths (13/16) inch 1 D thirty inches long with a plastic plug placed in the top bearing the initials E.M.H.T. INC.

**PERMANENT MARKERS** Where indicated unless otherwise noted are to be set and are one (1) inch 1 D thirty (30) inches long bored one (1) foot in depth with a plastic plug placed in the top bearing the initials E.M.H.T. INC.

**BASIS OF BEARINGS:** The bearing system on this plat was assigned

**SOURCE OF DATA:** Deed of subject property Deed Book 3767 Pages 419 & 420 Related deeds Deed Book 3478 Page 107 and Deed Book 3708 Page 280 Other Plat Book 4 Page 47 All deed references being to those of record in the Recorder's Office Franklin County, Ohio

SURVEYED & PLATTED BY  
**EVANS, MECHWART, HAMBLETON & TILTON, INC.**  
CONSULTING ENGINEERS & SURVEYORS  
GAHANNA, OHIO

December, 1980

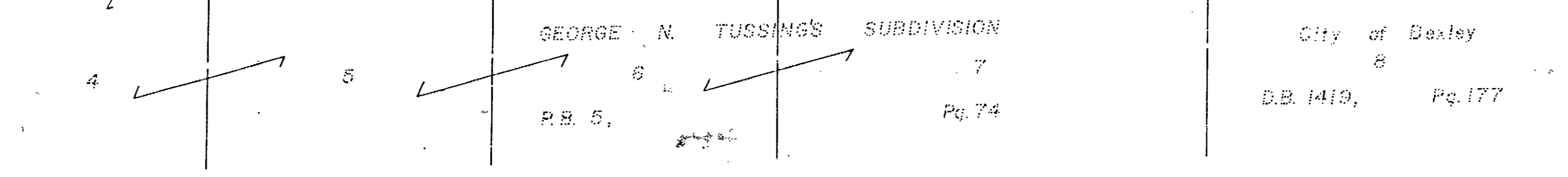
We do hereby certify that we have surveyed the above premises, prepared the attached plat, and that said plat is correct. All dimensions are in feet and decimal parts thereof. Dimensions shown on curves are chord measurements.

By E.E. Maddy  
E.E. MADDY, Registered Surveyor No. 4965



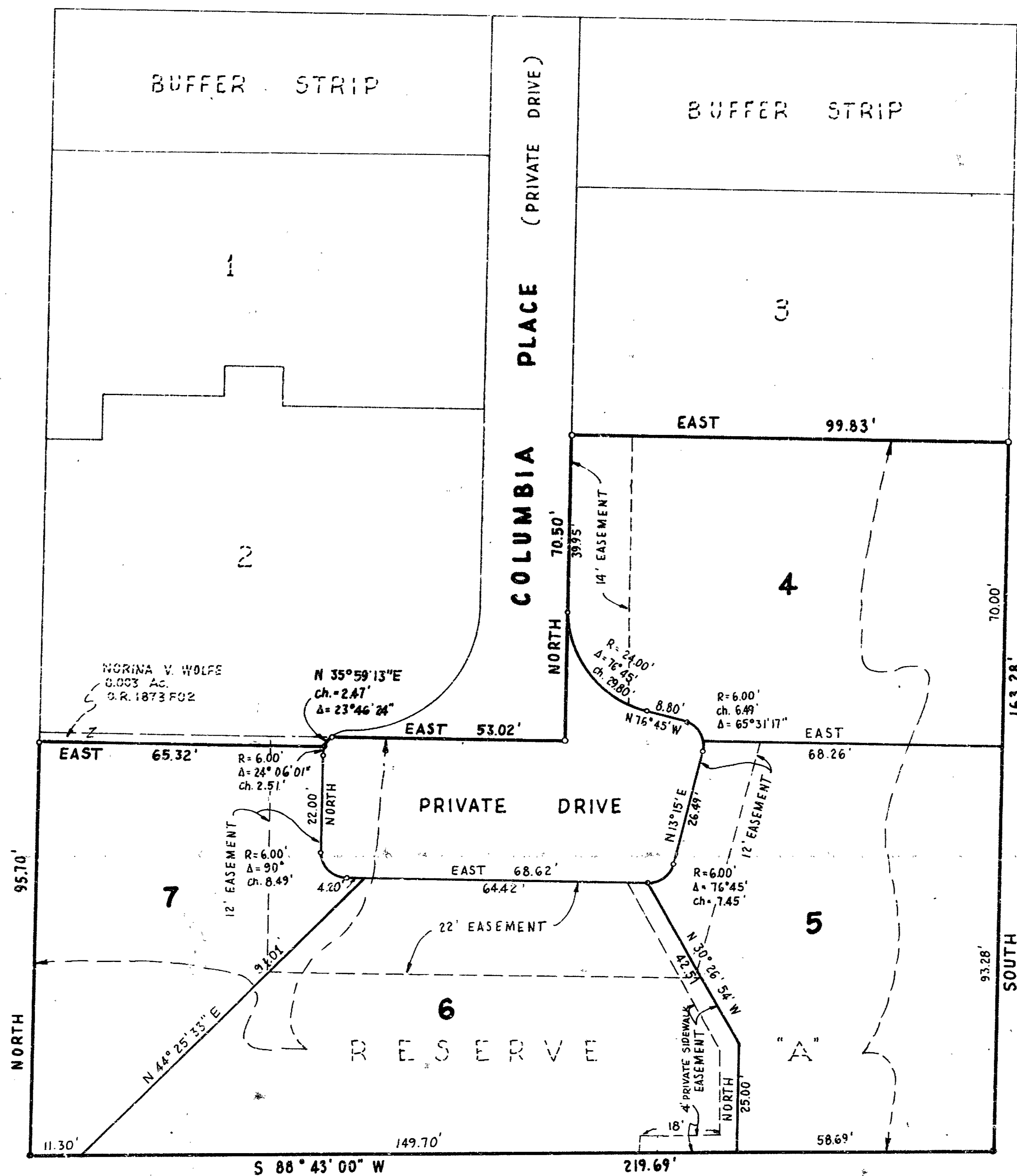
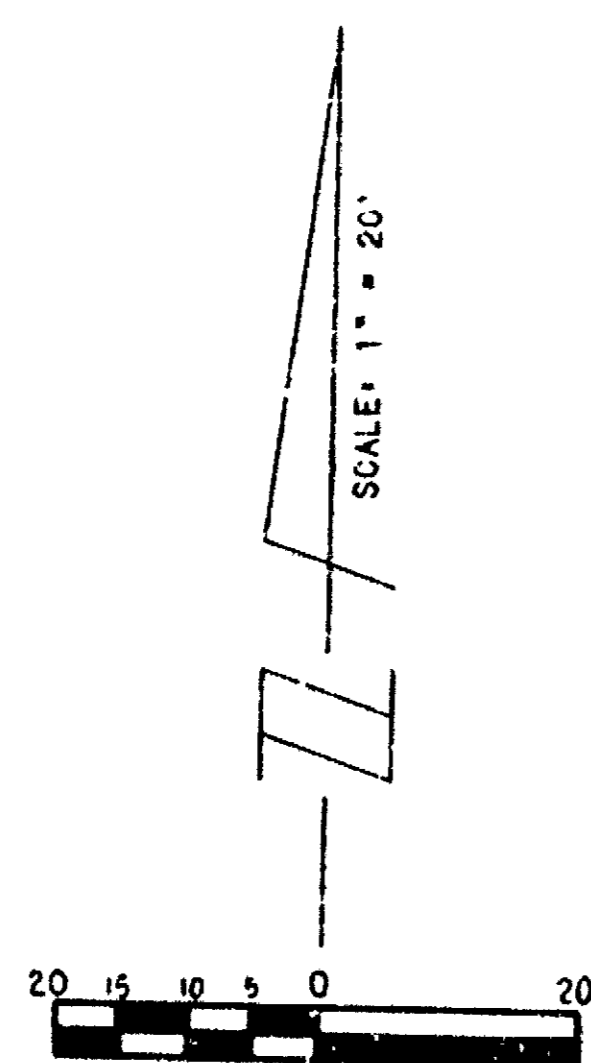
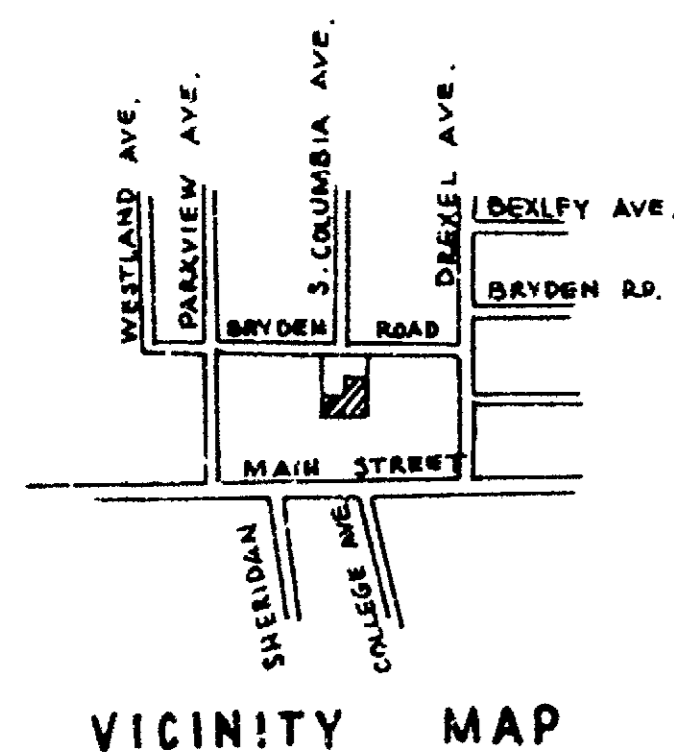
Line as fixed in Case Recorded in Order Book 183, Pg. 280 Court of Common Pleas

So Line of Rownd and Knauss' Parkview Addition, P.B. 4, Pg. 47  
No. Line of George N. Tussing's Subdivision, P.B. 5, Pg. 74



# RESUBDIVISION OF RESERVE "A" OF COLUMBIA PLACE

BRYDEN ROAD



SITUATE IN THE STATE OF OHIO, COUNTY OF FRANKLIN, CITY OF BEXLEY, IN HALF SECTION 20, SECTION 13, TOWNSHIP 5, RANGE 22, REFUGEE LANDS, AND BEING ALL RESERVE "A" OF COLUMBIA PLACE OF RECORD IN PLAT BOOK 58 PAGE 10, AND CONTAINING 0.639 ACRES, MORE OR LESS, AS CONVEYED TO BEXLEY PROPERTIES, BY DEED OF RECORD DEED BOOK 376, PAGES 419 AND 420, ALL REFERENCES BEING TO THOSE OF RECORD IN THE RECORDER'S OFFICE, FRANKLIN COUNTY, OHIO.

THE UNDERSIGNED BEXLEY PROPERTIES, A SOLE PROPRIETORSHIP, BY SIDNEY I. BLATT, DULY AUTHORIZED IN THE PREMISES, DOES HEREBY CERTIFY THAT THE ATTACHED PLAT CORRECTLY REPRESENTS ITS "RESUBDIVISION OF RESERVE "A" OF COLUMBIA PLACE" A NEW SUBDIVISION OF LOTS 4 THRU 7, INCLUSIVE, AND A PRIVATE DRIVE AND DOES HEREBY ACCEPT THIS PLAT OF SAME.

EASEMENTS ARE RESERVED WHERE INDICATED ON THE PLAT, FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF ALL PUBLIC AND PRIVATE UTILITIES ABOVE AND BENEATH THE SURFACE OF THE GROUND AND WHERE NECESSARY ARE FOR THE CONSTRUCTION, OPERATION AND MAINTENANCE OF SERVICE CONNECTIONS TO ALL ADJACENT LOTS AND LANDS AND FOR STORM WATER DRAINAGE.

IN WITNESS WHEREOF, SIDNEY I. BLATT OF BEXLEY PROPERTIES, SET HIS HAND THIS 6th DAY OF July, 1984.

WITNESSES: [Signature] BEXLEY PROPERTIES  
[Signature] SIDNEY I. BLATT

STATE OF OHIO SS. BEFORE ME, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED SIDNEY I. BLATT, OF BEXLEY PROPERTIES, WHO ACKNOWLEDGED THE SIGNING OF THE FOREGOING INSTRUMENT TO BE HIS VOLUNTARY ACT AND DEED AND THE VOLUNTARY ACT AND DEED OF SAID BEXLEY PROPERTIES, FOR THE USES AND PURPOSES EXPRESSED HEREIN.

IN WITNESS THEREOF, I HAVE HEREUNTO SET MY HAND AND AFFIXED MY OFFICIAL SEAL THIS 6th DAY OF July, 1984.  
MY COMMISSION EXPIRES March 27, 1987  
[Signature]  
NOTARY PUBLIC, STATE OF OHIO

APPROVED THIS 10th DAY OF July, 1984  
[Signature]  
CHAIRMAN, PLANNING COMMISSION  
BEXLEY, OHIO

APPROVED ACCEPTED THIS 10th DAY OF July, 1984, BY ORDINANCE NO. 10-74, BY THE COUNCIL, FOR THE CITY OF BEXLEY, OHIO  
[Signature] Mayor, BEXLEY, OHIO  
[Signature] Clerk, BEXLEY, OHIO

APPROVED AND ACCEPTED THIS 26th DAY OF July, 1984  
[Signature] Auditor, FRANKLIN COUNTY, O.  
[Signature]

FILED FOR RECORD THIS 27th DAY OF July, 1984, AT 10:26 M.

FEE 1.00 FILE NO. 271987  
RECORDER, FRANKLIN COUNTY, OHIO

RECORDED THIS 27th DAY OF July, 1984, PLAT BOOK 61 PAGE 86

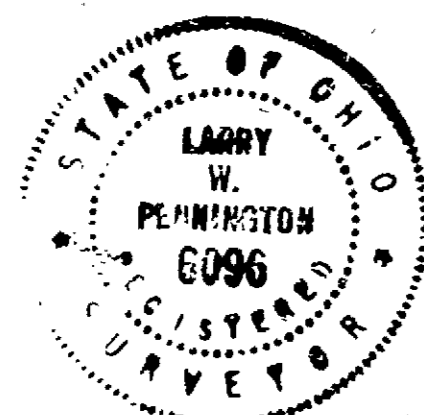
DEPUTY RECORDER, FRANKLIN COUNTY, OHIO

WE DO HEREBY CERTIFY THAT WE HAVE SURVEYED THE ABOVE PREMISES, PREPARED THE ATTACHED PLAT AND THAT SAID PLAT IS CORRECT. ALL DIMENSIONS ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF. DIMENSIONS SHOWN ALONG CURVES ARE CHORD MEASUREMENTS.

IRON PINS ARE INDICATED BY THE FOLLOWING SYMBOL: PERMANENT MARKERS ARE TO BE PLACED UPON COMPLETION OF CONSTRUCTION NECESSARY TO THE IMPROVEMENT OF THIS LAND ARE INDICATED BY THE FOLLOWING SYMBOL:

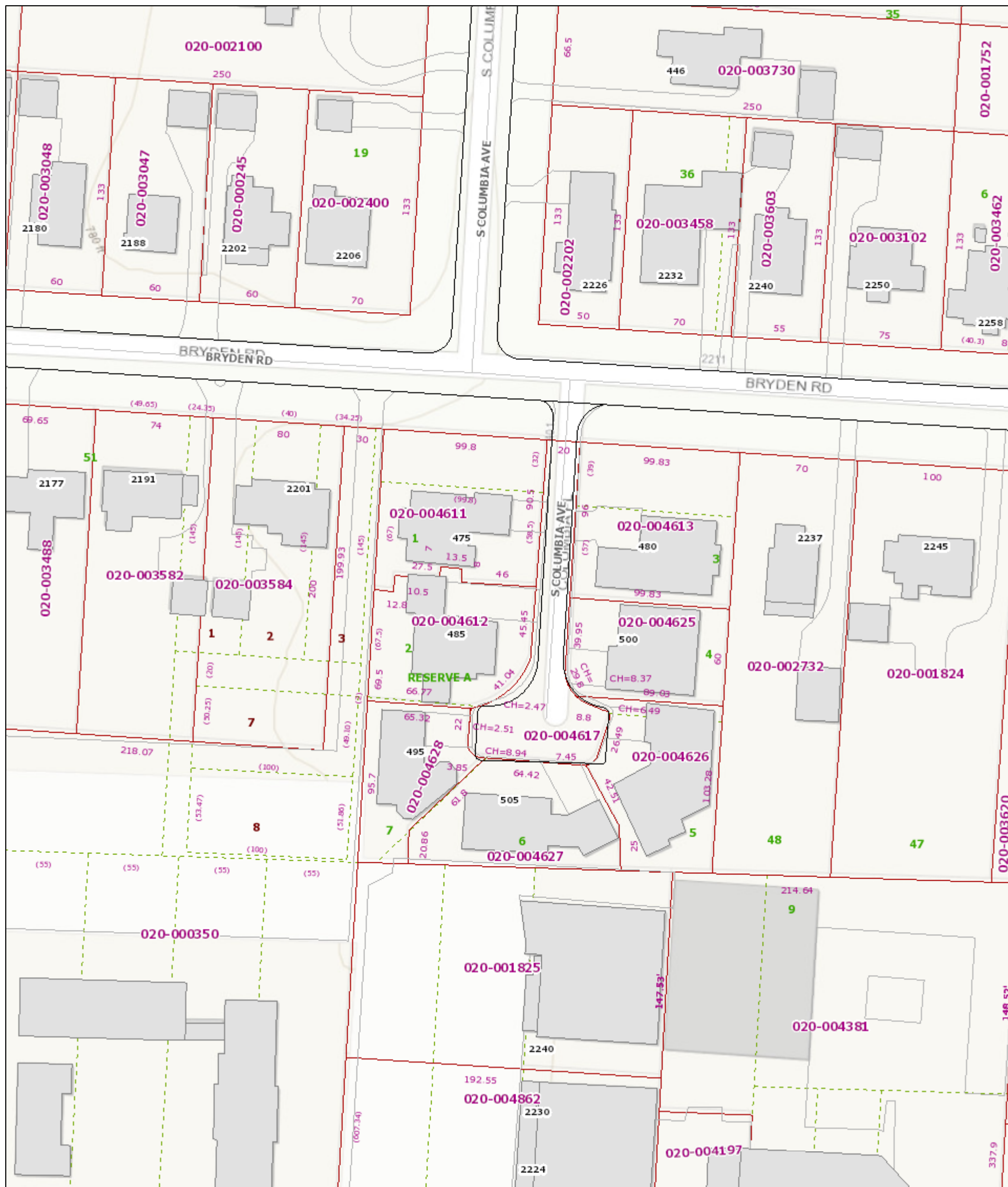
PREPARED BY: R. D. ZANDE & ASSOCIATES, LTD.  
1237 DUBLIN ROAD  
COLUMBUS, OHIO 43215

[Signature]  
REGISTERED SURVEYOR NO. 6096



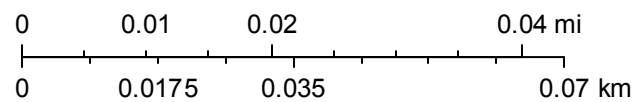
NOTE: THE BEARINGS SHOWN ON THE ATTACHED PLAT ARE BASED ON THE BEARINGS AS SHOWN ON COLUMBIA PLACE RECORD PLAT OF RECORD IN PLAT BOOK 58 PAGE 10

# Columbia Place



October 13, 2020

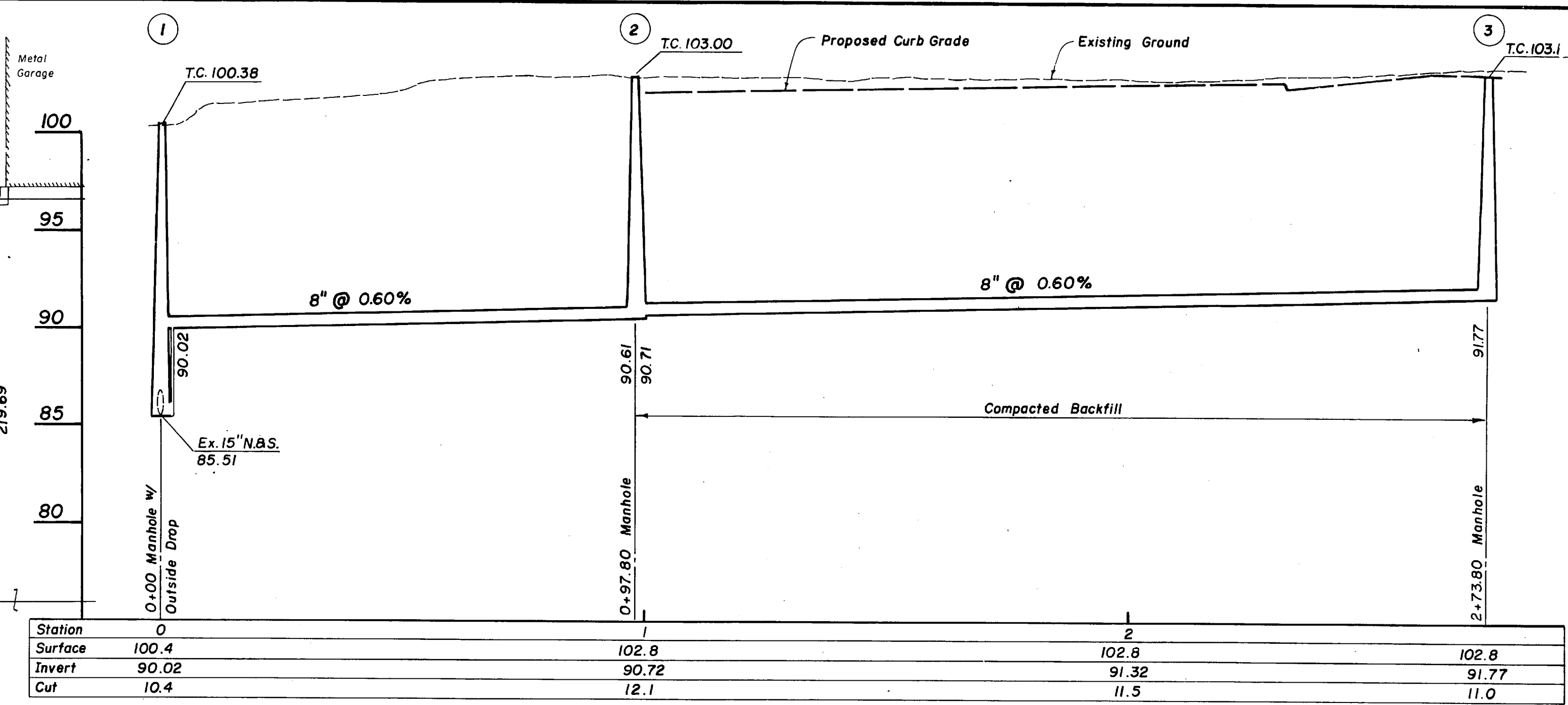
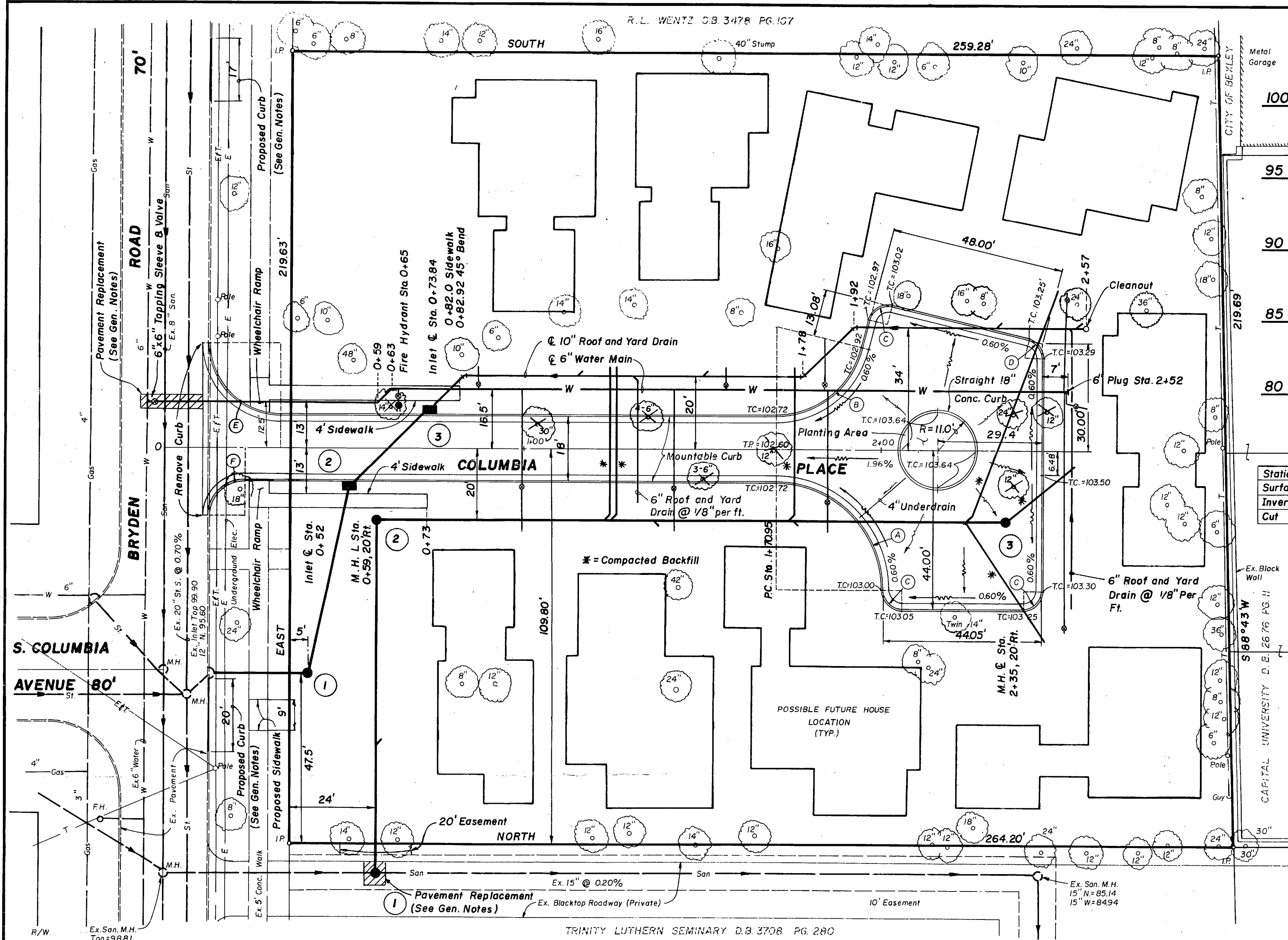
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Franklin County Auditor  
 Sources: Esri, HERE, Garmin, Intermap, increment P Corp.,  
 GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL,  
 Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c)  
 OpenStreetMap contributors, and the GIS User Community



<b>Parcel</b>	<b>Address</b>	<b>Auditor Valuation</b>	<b>Property Taxes to City</b>	<b>Street Levy Portion</b>
020-004611	475 Columbia Place	\$411,800	\$677.55	\$391.61
020-004612	485 Columbia Place	\$656,700	\$1,080.49	\$624.51
020-004628	495 Columbia Place	\$477,200	\$785.16	\$453.81
020-004627	505 Columbia Place	\$535,000	\$880.26	\$508.77
020-004626	510 Columbia Place	\$891,700	\$1,467.15	\$847.98
020-004625	500 Columbia Place	\$649,500	\$1,068.65	\$617.66
020-004613	480 Columbia Place	\$581,700	\$957.09	\$553.18
				\$3,997.52



CURVE DATA  
FACE OF CURB

(A) Δ=90°00'00"  
R=30.00'  
T=30.00'  
L=47.12'

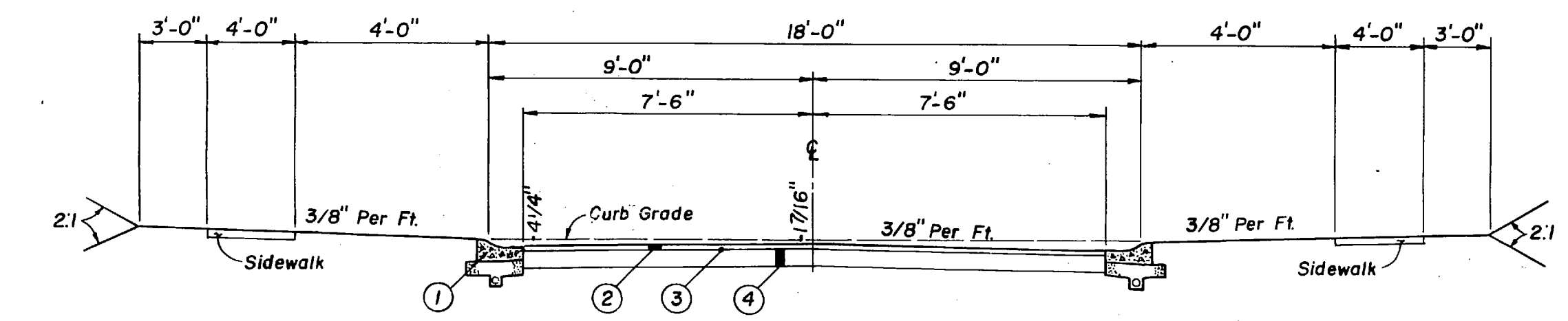
(B) Δ=76°45'00"  
R=25.00'  
T=19.80'  
L=33.49'

(C) Δ=90°00'00"  
R=5.00'  
T=5.00'  
L=7.65'

(D) Δ=76°45'00"  
R=50.00'  
T=33.96'  
L=66.70'

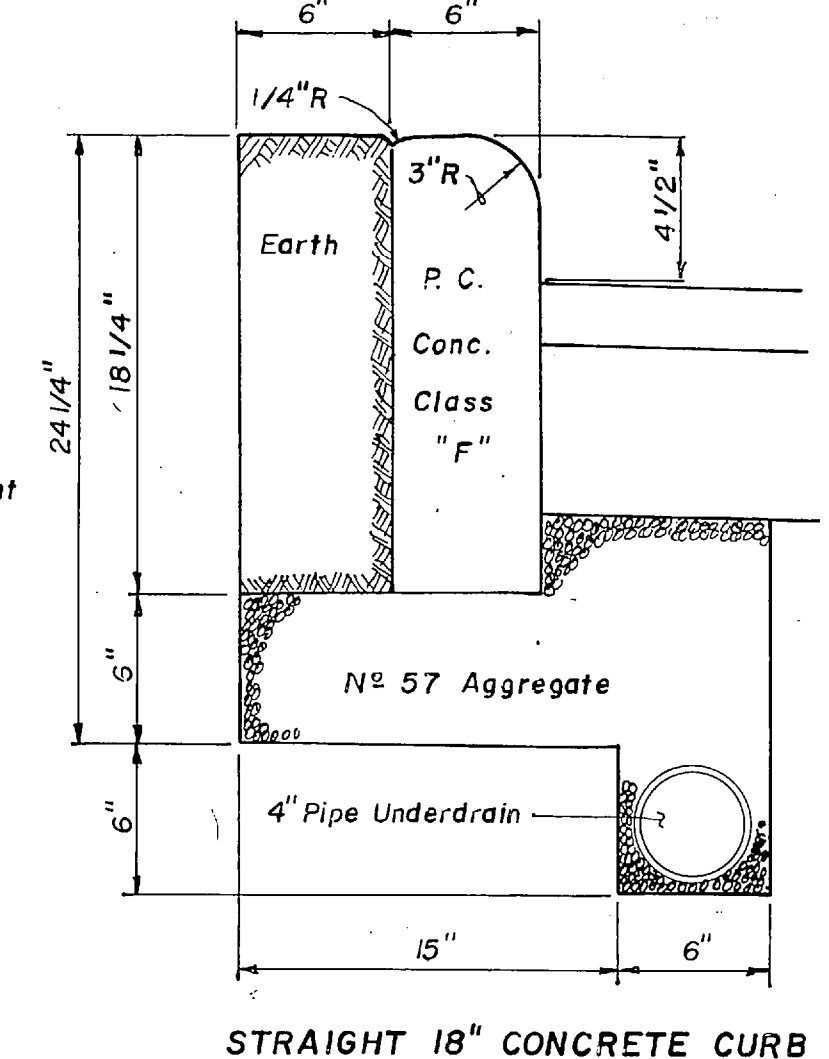
(E) Δ=90°00'00"  
R=20.00'  
T=20.00'  
L=31.42'

(F) Δ=90°00'00"  
R=10.00'  
T=10.00'  
L=15.71'

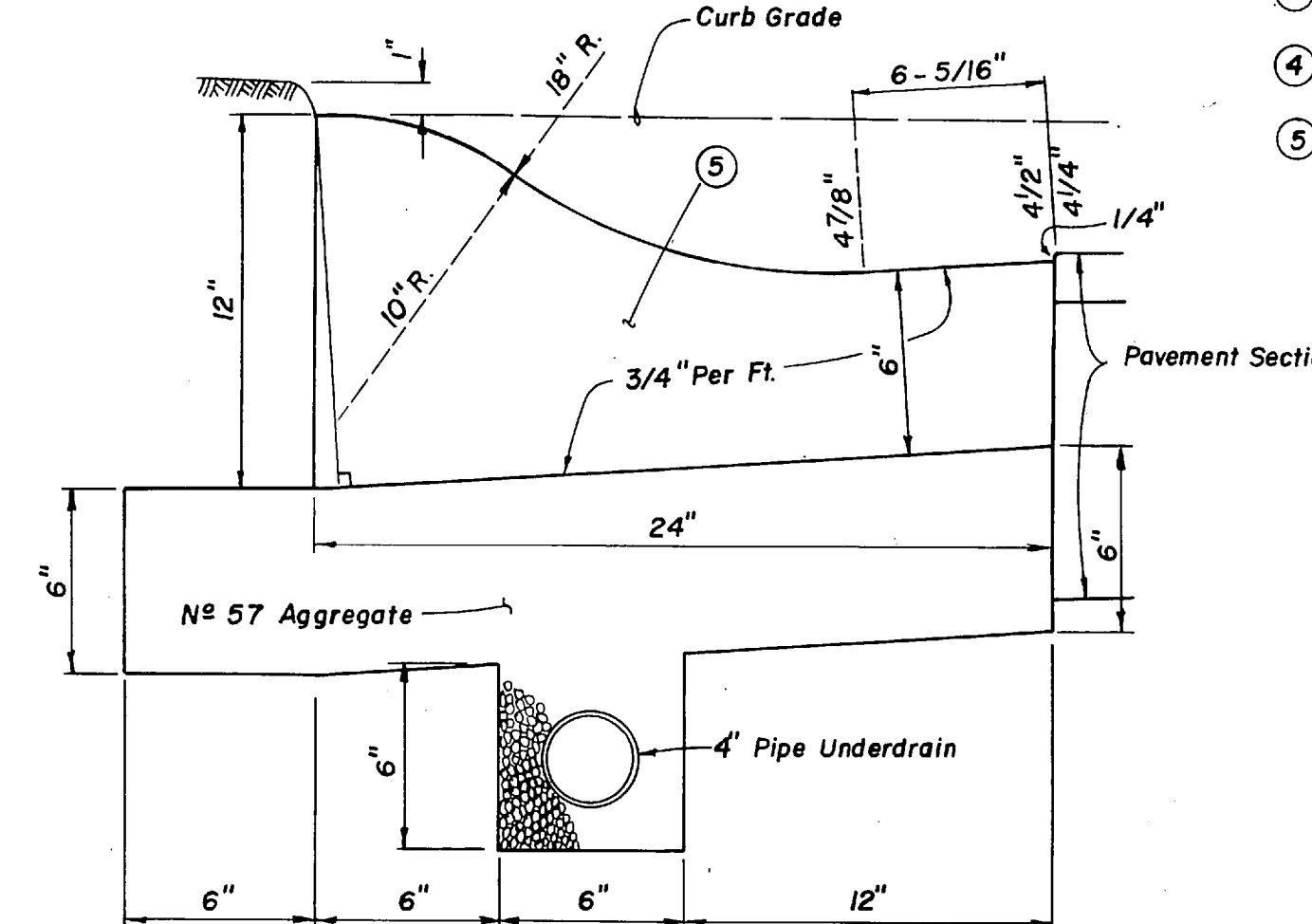


TYPICAL 18' SECTION

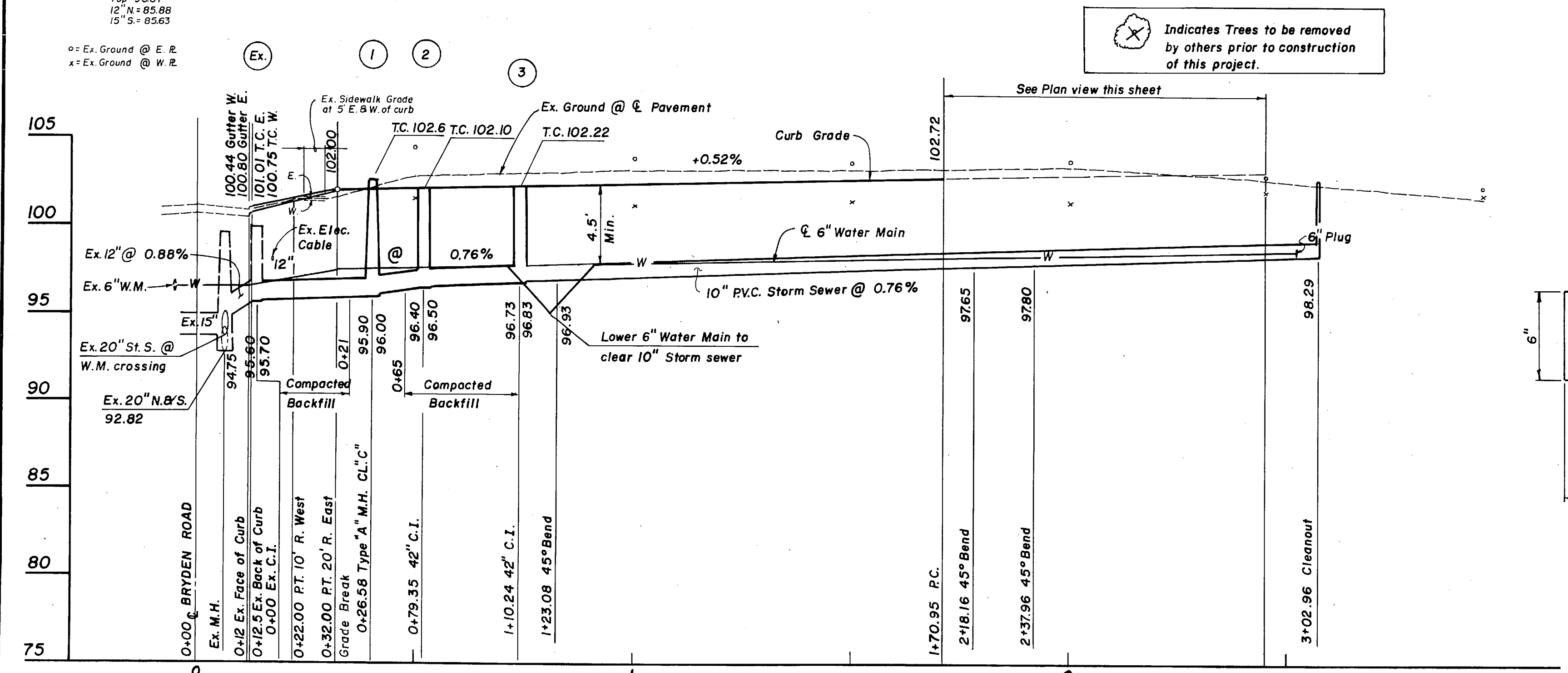
- ① Mountable Curb, See Detail this sheet
- ② 2" Hot-Mixed, Hot Laid Asphalt Concrete, Item 404
- ③ Prime Coat, Item 408 applied at 0.1 Gal. per sq. yd.
- ④ 9" Aggregate Base Item 304
- ⑤ Class "C" Concrete, 6 1/2 Bag Mix, 7% to 9% Air Entrainment



STRAIGHT 18' CONCRETE CURB



MOUNTABLE CURB DETAIL



Indicates Trees to be removed by others prior to construction of this project.

CITY OF BEXLEY, OHIO  
PRIVATE  
STREET, WATER & SANITARY SEWER IMPROVEMENT  
COLUMBIA PLACE

SCALE: Horiz. 1" = 20'  
Vert. 1" = 5'

AUG., 1980

EVANS, MECHWART, HAMBLETON & TILTON, INC.  
CONSULTING ENGINEERS, SURVEYORS

**GENERAL NOTES**

The City of Bexley Requirements together with the City of Columbus Construction and Materials Specifications dated 1978, including all supplements thereto, shall govern this work except as such specifications are modified by indicated notes or details set forth herein.

Any modifications or changes to the sanitary sewer work as shown on the drawings, must have prior written approvals by the Superintendent Division of Sewerage and Drainage, City of Columbus.

Roof drains, foundation drains and other clean water connections to the sanitary sewer system are prohibited on this project.

If ABS Composite pipe is used, all wye or tee branches shall be fitted with a 2 foot (min.) length of ABS Solid Wall Sewer Pipe with a solvent weld cap or plug on the end. The cost of this shall be included in the price per lineal foot for sewer items.

Location, support, protection and restoration of all existing utilities and appurtenances shall be the responsibility of the Contractor. The cost of this work shall be included in the unit price bid for the various items. It shall be the responsibility of the Contractor, prior to construction to determine in the field the actual locations and elevations of all existing utilities whether shown on the plan or not. The Contractor shall call 1-800-362-2764 (toll free) 72 hours prior to any excavation.

The Contractor and Sub-Contractor shall be solely responsible for complying with the Occupational Safety and Health Act of 1970 during the conduct and performance on and in connection with this project.

The Contractor shall obtain all necessary permits for construction of this project prior to construction.

Water service boxes shall be located 24" from the back of curb unless otherwise shown on the plan.

In case of conflict in grade between water lines and storm sewers the water lines shall be lowered during construction.

On the dead end 6" water main, two 3/4" taps shall be installed within two feet of the end of the main.

All traffic lanes shall be fully open to traffic on Bryden Road and the private drive along the east property line from 7:00 to 9:00 A.M. and 4:00 to 6:00 P.M. One lane may be closed to traffic during working hours. All trenches shall be backfilled or securely plated during non-working hours.

Steady Burning Type C lights shall be required on all barricades, drums, and similar traffic control devices in use at night. Permanent Pavement replacement on Bryden Road and the private drive along the east property line shall be constructed in accordance with Item 628 of the Specifications and Standard Drawing 1244 Dr. A. Type I-C.

The Contractor shall contact the property owner at least 72 hours prior to curb construction in order to locate possible curb openings for roof drains.

The Contractor shall not remove any trees without prior written approval by the owner.

The Contractor shall perform leakage test and furnish all necessary equipment and materials in order to test sanitary sewer and water main in accordance with the City of Columbus Specifications.

The minimum requirement for the 10" and 6" storm sewer pipe shall be P.V.C. sewer pipe ASTM D-3034, SDR 35 or approved equal.

All 6" service extensions for future roof and yard drains shall be laid on a grade of 1/8" per foot.

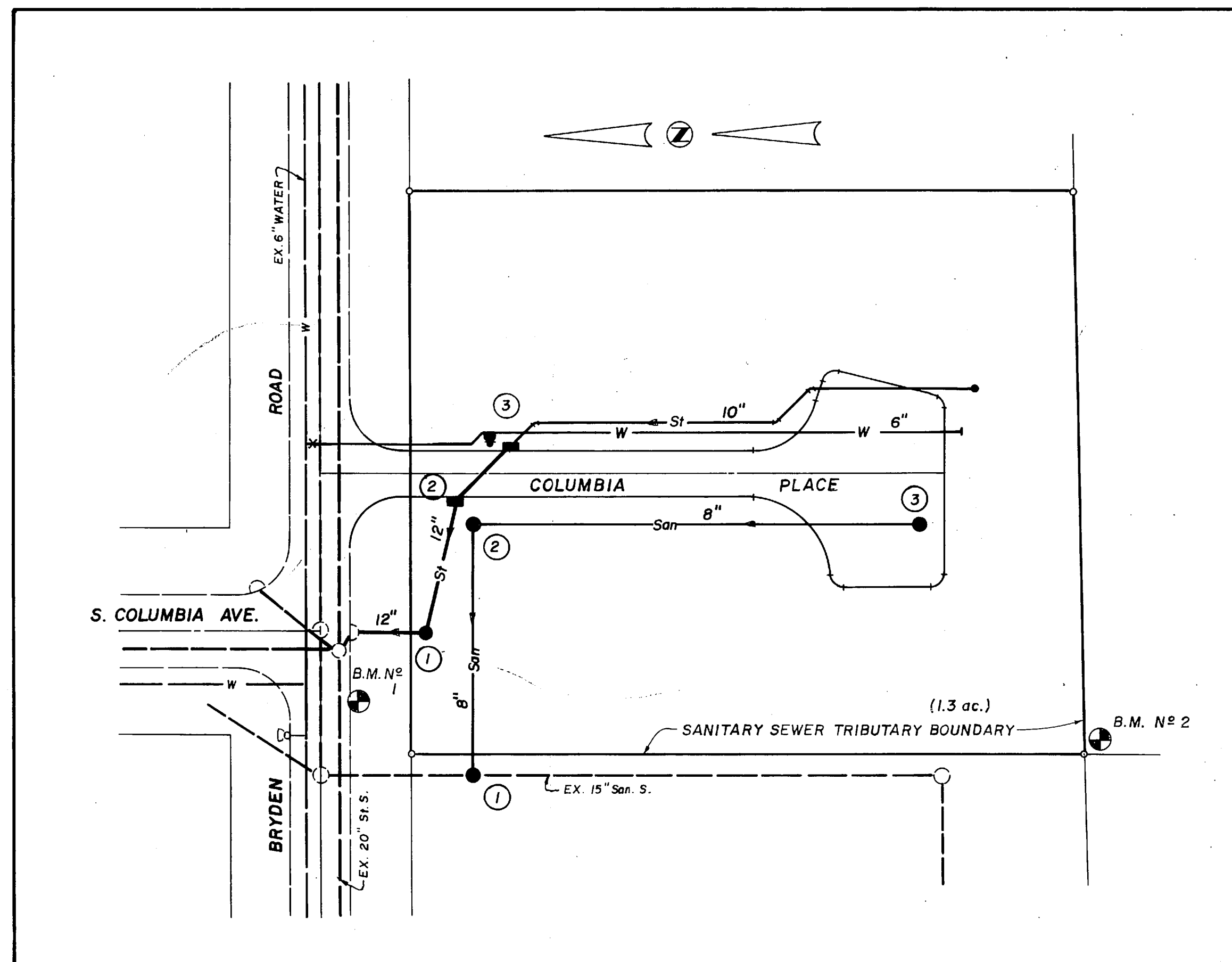
All wye branches and 6" service extensions for future roof and yard drains shall be plugged.

All curb designated for replacement on Bryden Road shall be constructed in accordance with City of Columbus Standard Drawing 1117 Dr. A. Item 609.

All wheelchair ramps shall be constructed in accordance with City of Columbus Standard Drawing 1227 Dr. A. Item 608. Cost of wheelchair ramps to be included in price bid for sidewalk Item 608.

**CITY OF BEXLEY, OHIO  
PRIVATE STREET, WATER AND SANITARY SEWER IMPROVEMENT  
FOR**

**COLUMBIA PLACE**



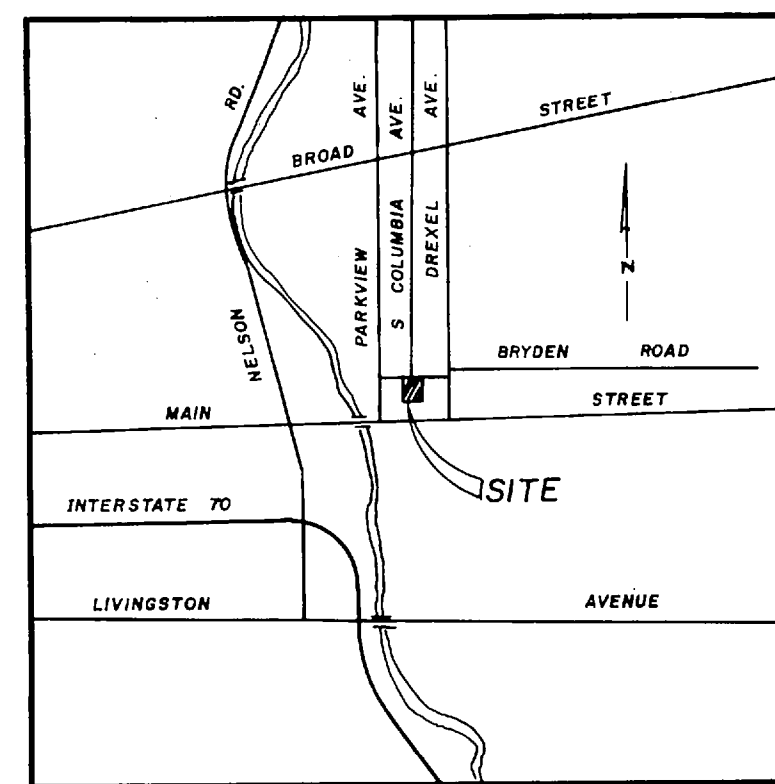
**INDEX MAP**  
SCALE: 1" = 40'

CITY OF COLUMBUS  
**STANDARD CONSTRUCTION DRAWINGS**  
The Standard Construction Drawings listed on these plans shall be considered a part thereof.

1117 Dr. A.	AA-S-100	L-6306
1153 Dr. A.	AA-S-102	L-6309
1227 Dr. A.	AA-S-106	L-6310
	AA-S-110	L-6311
	AA-S-111	L-6637
	AA-S-112	L-7001
	AA-S-119	
	AA-S-123	
	AA-S-151	
	AA-S-160	

**BENCH MARKS**

- B.M. No. 1** P.K. Nail in East side of Electric pole located 30' ± South of the intersection of Bryden Road and South Columbia Avenue. **Elev. 100.86**
- B.M. No. 2** Top of Iron Pin locating the Southwest corner of subject property. **Elev. 101.82**



**SITE MAP**

ESTIMATE OF QUANTITIES			
ITEM	QUAN.	UNIT	DESCRIPTION
<b>STREET</b>			
202	50	L.F.	Curb Removed (Bryden Road)
203	420	C.Y.	Excavation including embankment construction
304	171	C.Y.	Aggregate Base (9" thick)
404	38	C.Y.	Asphalt Concrete (2" thick)
408	680	S.Y.	Prime Coat
604	660	L.F.	4" Underdrains
608	510	S.F.	Sidewalk
609	590	L.F.	Mountable Curb and Gutter
609	37	L.F.	Curb Replaced (Bryden Road) including Excavation
628	14	S.Y.	Pavement Replacement (Sanitary and Water)
609	70	L.F.	Straight 18" Conc. Curb
<b>STORM</b>			
604	1	Ea.	Type "A" Manhole
604	2	Ea.	42" Curb Inlet
901	110	L.F.	12" Concrete Pipe 706.01, Class II w/Type I Bedding
Spec.	195	L.F.	10" P.V.C. Storm sewer ASTM D-3034; SDR-35 Including Cleanout
Spec.	115	L.F.	6" P.V.C. Storm sewer ASTM D-3034; SDR-35
Spec.	6	Ea.	6" x 10" Wye Branch
<b>WATER</b>			
801	260	L.F.	6" Ductile Iron Water Pipe; Class S3
802	1	Ea.	6 Valve w/Box
805	1	Ea.	6" x 6" Tapping Sleeve and Valve w/Heavy Duty Valve Box
805	5	Ea.	3/4" Water Taps (long)
805	4	Ea.	3/4" Water Taps (short)
805	1	Ea.	Fire Hydrant
<b>SANITARY</b>			
604	2	Ea.	Manholes, Type C
604	1	Ea.	Manholes, w/Outside drop (AA-S-110)
901	275	L.F.	8" Sanitary Sewer w/Type I Bedding
915	9	Ea.	6" x 8" Wye Branch
918	177	L.F.	6" Sanitary Sewer w/Type I Bedding (Under pavement one per trench)
* 918	86	L.F.	6" Sanitary Sewer w/Type I Bedding (Under pavement two per trench)

\* The footage indicated represents the length of service pipe rather than the length of trench required.

Prepared By  
**EVANS, MECHWART, HAMBLETON & TILTON, INC.**

By \_\_\_\_\_  
Registered Engineer No. 33179 Date \_\_\_\_\_

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 1980. \_\_\_\_\_  
Mayor, City of Bexley

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 1980. \_\_\_\_\_  
Assistant Service Director, City of Bexley

Approved Sanitary Sewer Only

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 1980. \_\_\_\_\_  
Supt. Division of Sewerage and Drainage  
City of Columbus

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 1980. \_\_\_\_\_  
Director of Public Service  
City of Columbus

Approved on the part of the City of Columbus is given pursuant to the provisions of the sewer service agreement with the City of Bexley.

Annual Depreciation / Replacement Cost Calculation  
 Columbia Place, City of Bexley Ohio  
 Prepared By David B Koch, PE 10/11/2021

Ref: Street, Water, Sanitary, Storm Plans from 1980

Item	Quantity	Units	Unit Cost (2021 \$)	Total Cost	Est. Life (years)	Annual Cost
Pavement Base	680	SY	70	\$47,600	80	\$595
Asphalt Surface	680	SY	20	\$13,600	15	\$907
Concrete Curb	590	LF	40	\$23,600	50	\$472
Storm Sewer (lining cost only)	305	LF	65	\$19,825	80	\$248
Sanitary Sewer (lining cost only)	275	LF	45	\$12,375	80	\$155
Water Main	260	LF	200	\$52,000	80	\$650
Water Services (main to curb)	9	Ea	3000	\$27,000	80	\$338
Totals				\$196,000		\$3,364

Above Costs do not include:

- Cost to repair current deficiencies
- Sanitary Sewer Services (Private)
- Water Services behind curb (Private)
- Storm Sewer Service Lines for Roof Drains and Sump Pumps (Private)
- Sidewalks or Driveways (Private)
- Misc. Costs to replace improvements built on top of utility easements (trees, sidewalks, driveways, landscape)
- Irrigation System Repair when other work in Right of Way is replaced (Private)

Notes:

- The existing pavement is only 2" thick asphalt on top of 9" of gravel.
- This is less than a typical City Street. Typical would be 3"(+) of asphalt on top of a 6" thick concrete base.
- Pavement width is only 15' between curbs and may be difficult to plow snow if vehicles are allowed to park on street.
- Some sidewalk panels were installed with excessive cross-slope and are not ADA Accessible.
- The existing water main is a dead end and cannot be flushed as there is not a fire hydrant located at the end.
- This may result in poor water quality and potential issues with sediment and buildup of deposits.