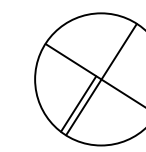
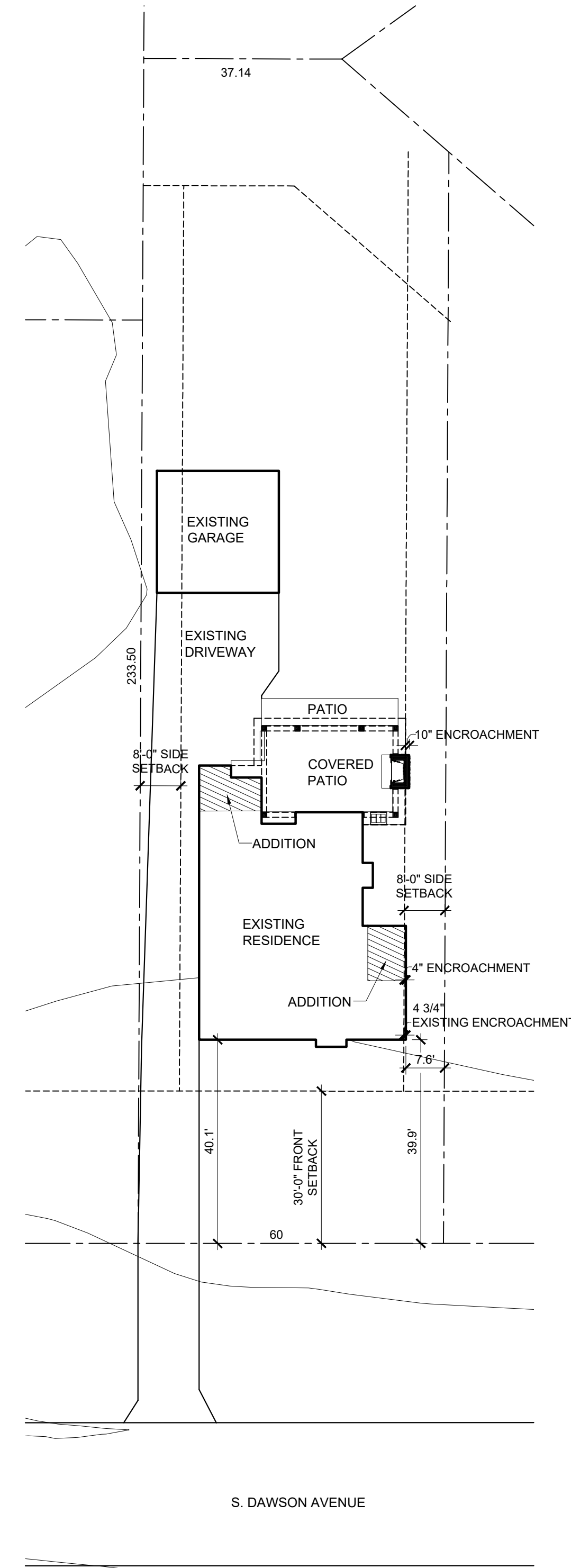


**SITE PLAN**  
EXISTING  
SCALE: 1" = 20'-0"



**SITE PLAN**  
SCALE: 1" = 20'-0"

**ZONING INFORMATION**

PARCEL ID	020-004112-00		
ZONING DISTRICT	R-6		
LOT AREA	13,830 SQ. FT.		
EXISTING BUILDING COVER	-	2,133 SQ. FT.	15% OF LOT AREA
PERMITTED BUILDING COVER	-	4,841 SQ. FT.	35% OF LOT AREA
PROPOSED BUILDING COVER	-	2,904 SQ. FT.	21% OF LOT AREA
EXISTING OVERALL COVER	-	4,503 SQ. FT.	33% OF LOT AREA
PERMITTED OVERALL COVER	-	8,298 SQ. FT.	60% OF LOT AREA
PROPOSED OVERALL COVER	-	4,801 SQ. FT.	35% OF LOT AREA

**ADDITION & REMODELING  
THE PIERSON RESIDENCE  
51 S. DAWSON AVE.**

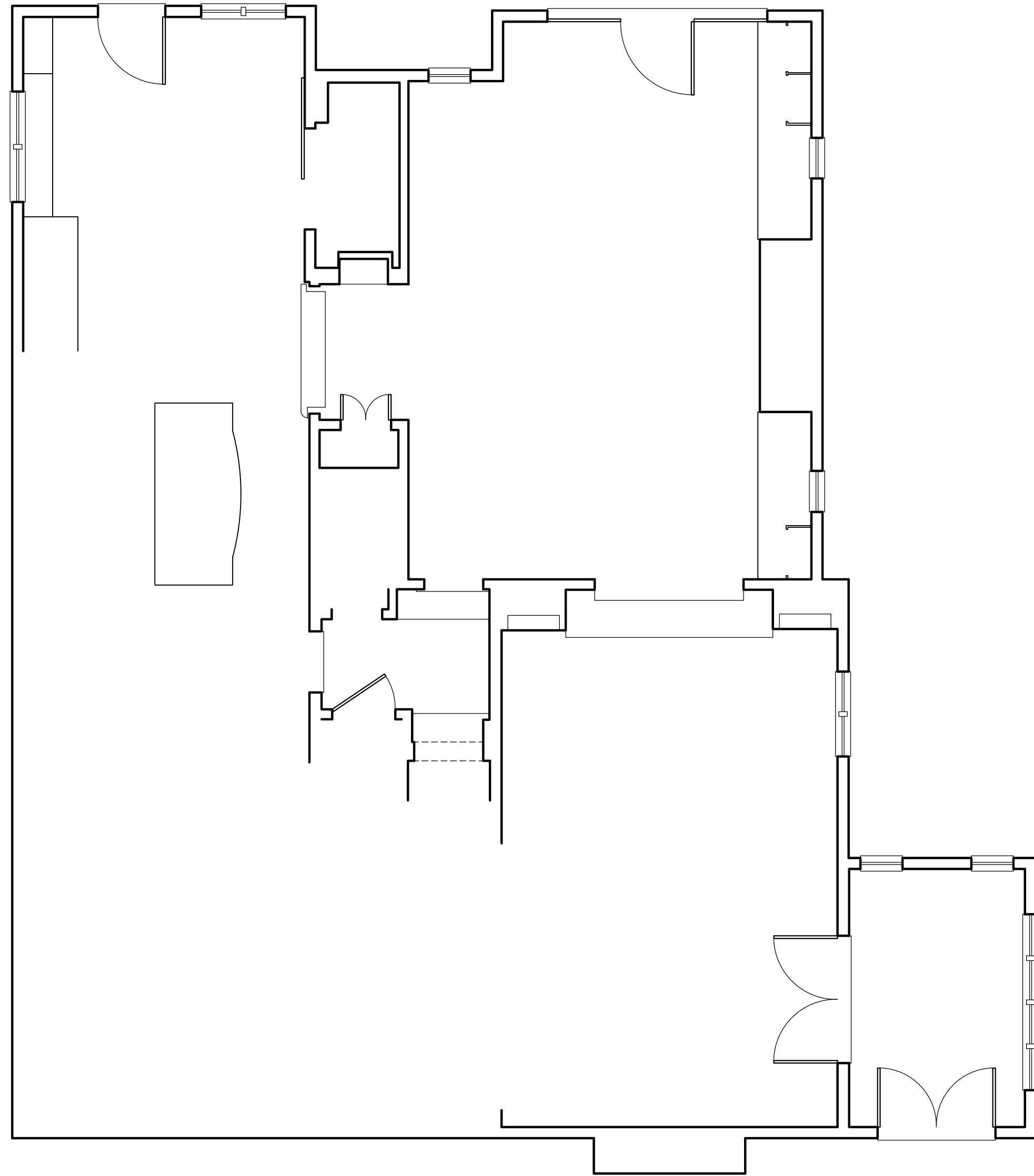
Gary J. Alexander,  
Architect  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

Z. VAR.: 04-10-2025

**A-1**

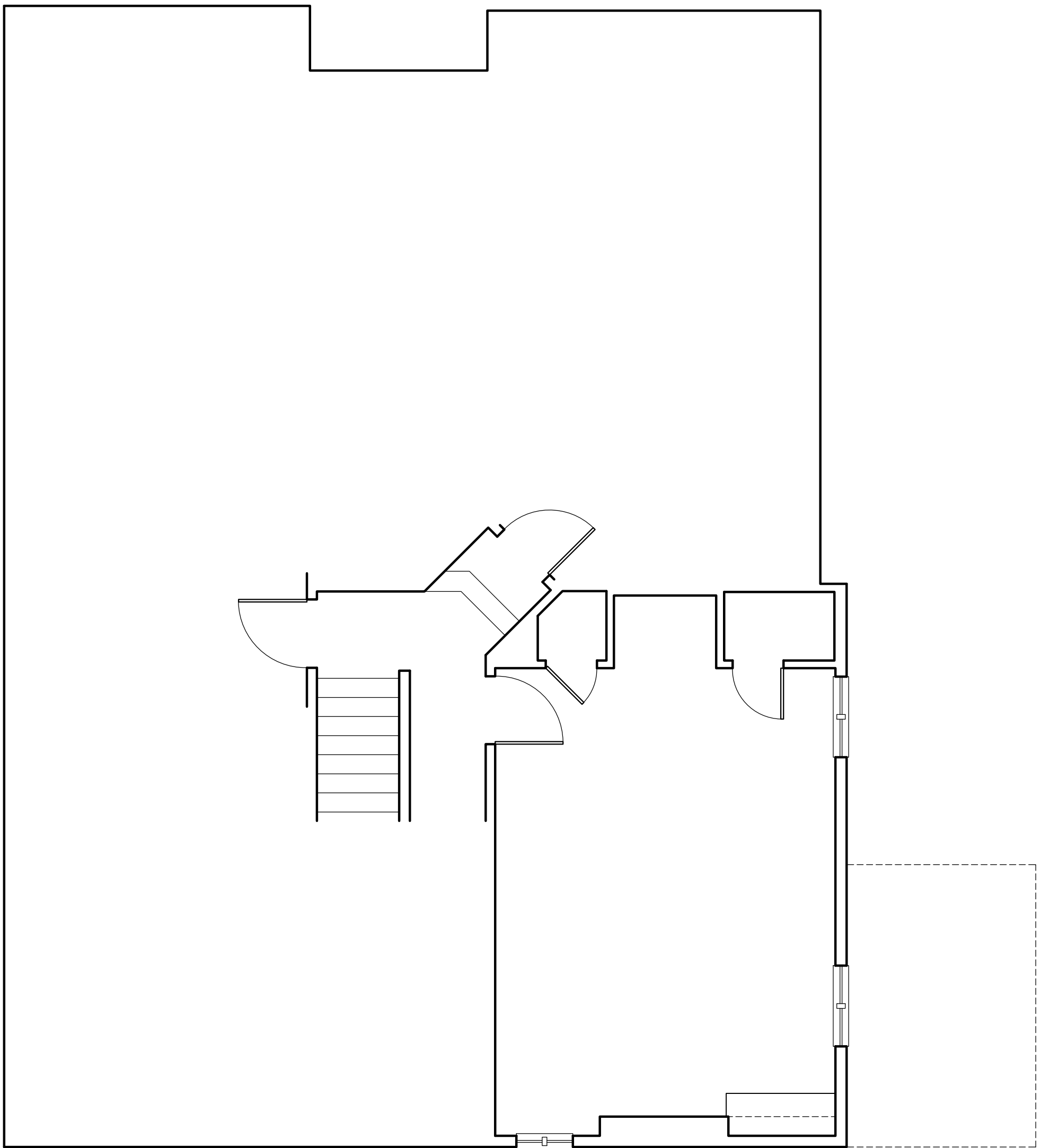
**COPYRIGHT 2025**

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS  
GENERATED SHALL REMAIN THE PROPERTY OF GARY J.  
ALEXANDER, ARCHITECT AND MAY NOT BE USED, DUPLICATED,  
OR ALTERED, WITHOUT WRITTEN CONSENT OF THE ARCHITECT.



FIRST FLOOR PLAN

EXISTING  
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

EXISTING  
SCALE: 1/4" = 1'-0"

ADDITION & REMODELING  
THE PIERSON RESIDENCE  
51 S. DAWSON AVE.

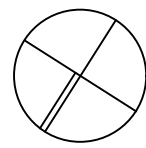
Gary J. Alexander,  
Architect  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

Z. VAR.: 04-10-2025

A-2 EXIST

COPYRIGHT 2025

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS  
GENERATED SHALL REMAIN THE PROPERTY OF GARY J.  
ALEXANDER, ARCHITECT AND MAY NOT BE USED, DUPLICATED,  
OR ALTERED, WITHOUT WRITTEN CONSENT OF THE ARCHITECT.



**SITE VICINITY PLAN**  
EXISTING  
SCALE: 1" = 20'-0"

**COPYRIGHT 2025**  
THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS  
GENERATED SHALL REMAIN THE PROPERTY OF GARY J.  
ALEXANDER, ARCHITECT AND MAY NOT BE USED, DUPLICATED,  
OR ALTERED, WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

**ADDITION & REMODELING  
THE PIERSON RESIDENCE  
51 S. DAWSON AVE.**

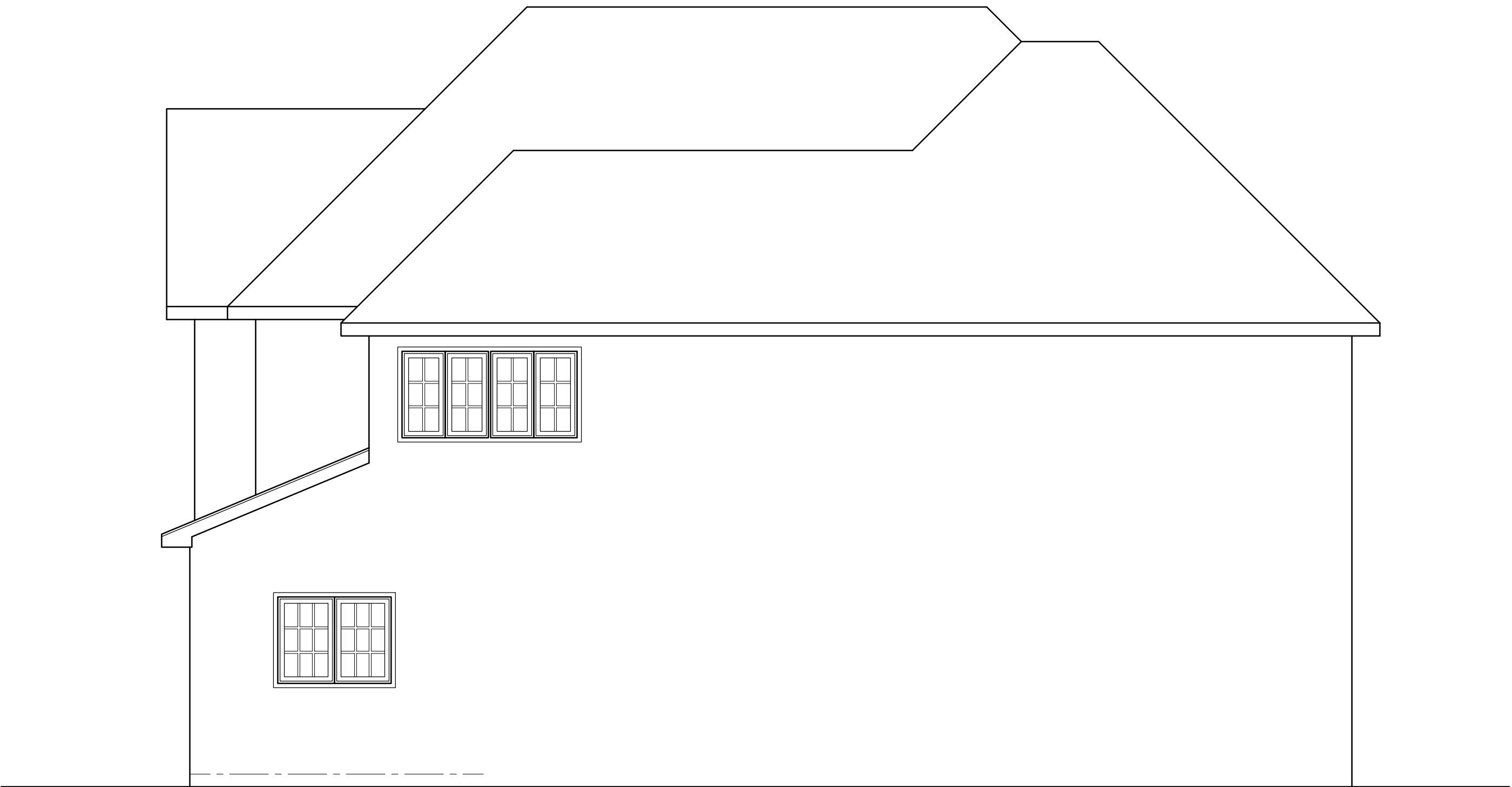
**Gary J. Alexander,**  
**Architect**  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

Z. VAR.: 04-10-2025



FRONT (EAST) ELEVATION

EXISTING  
SCALE: 1/4" = 1'-0"



SIDE (SOUTH) ELEVATION

EXISTING  
SCALE: 1/4" = 1'-0"



REAR (WEST) ELEVATION

EXISTING  
SCALE: 1/4" = 1'-0"

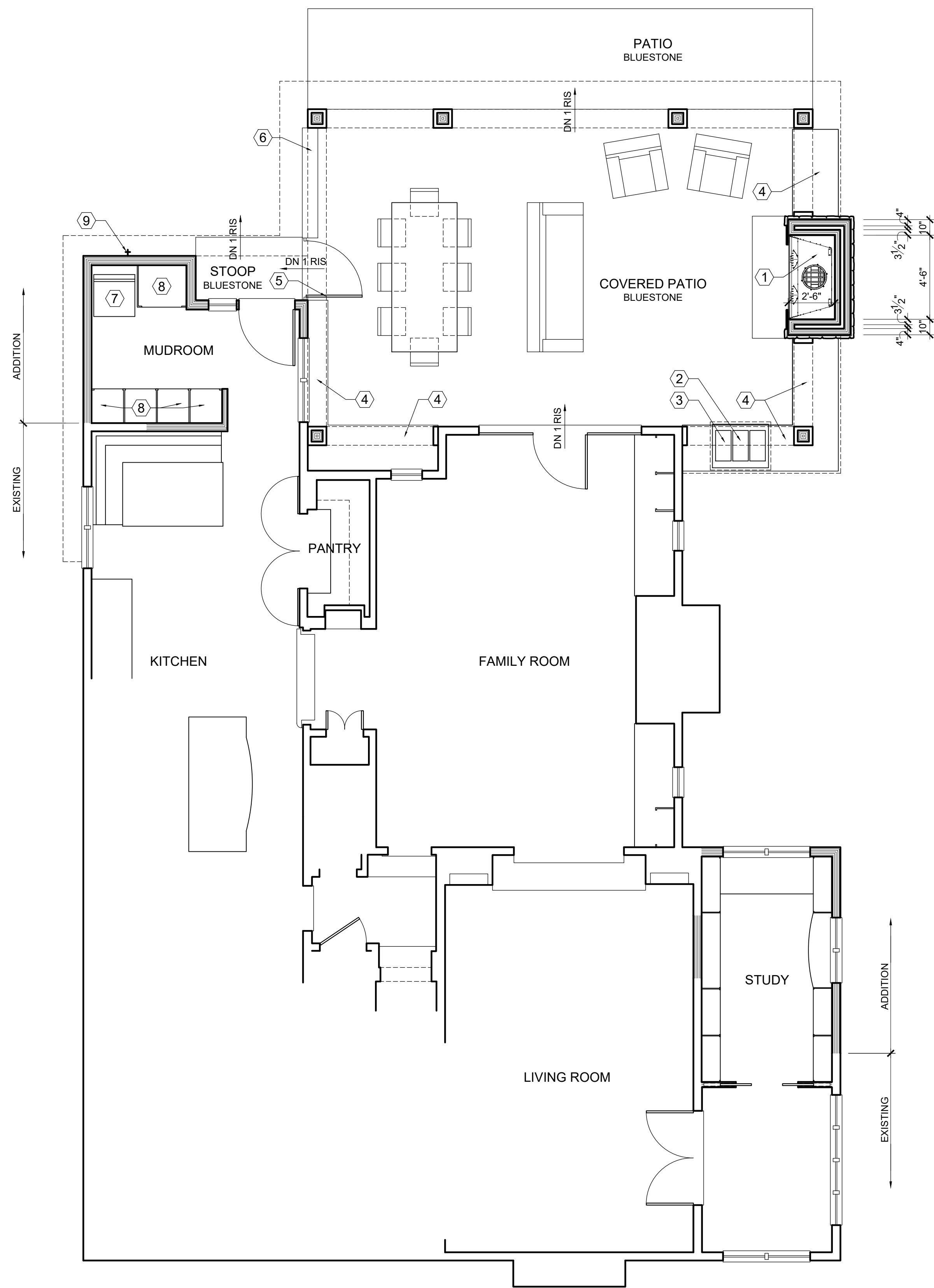
COPYRIGHT 2025  
THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS  
GENERATED SHALL REMAIN THE PROPERTY OF GARY J.  
ALEXANDER, ARCHITECT AND MAY NOT BE USED, DUPLICATED,  
OR ALTERED, WITHOUT WRITTEN CONSENT OF THE ARCHITECT.

ADDITION & REMODELING  
THE PIERSON RESIDENCE  
51 S. DAWSON AVE.

Gary J. Alexander,  
Architect  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

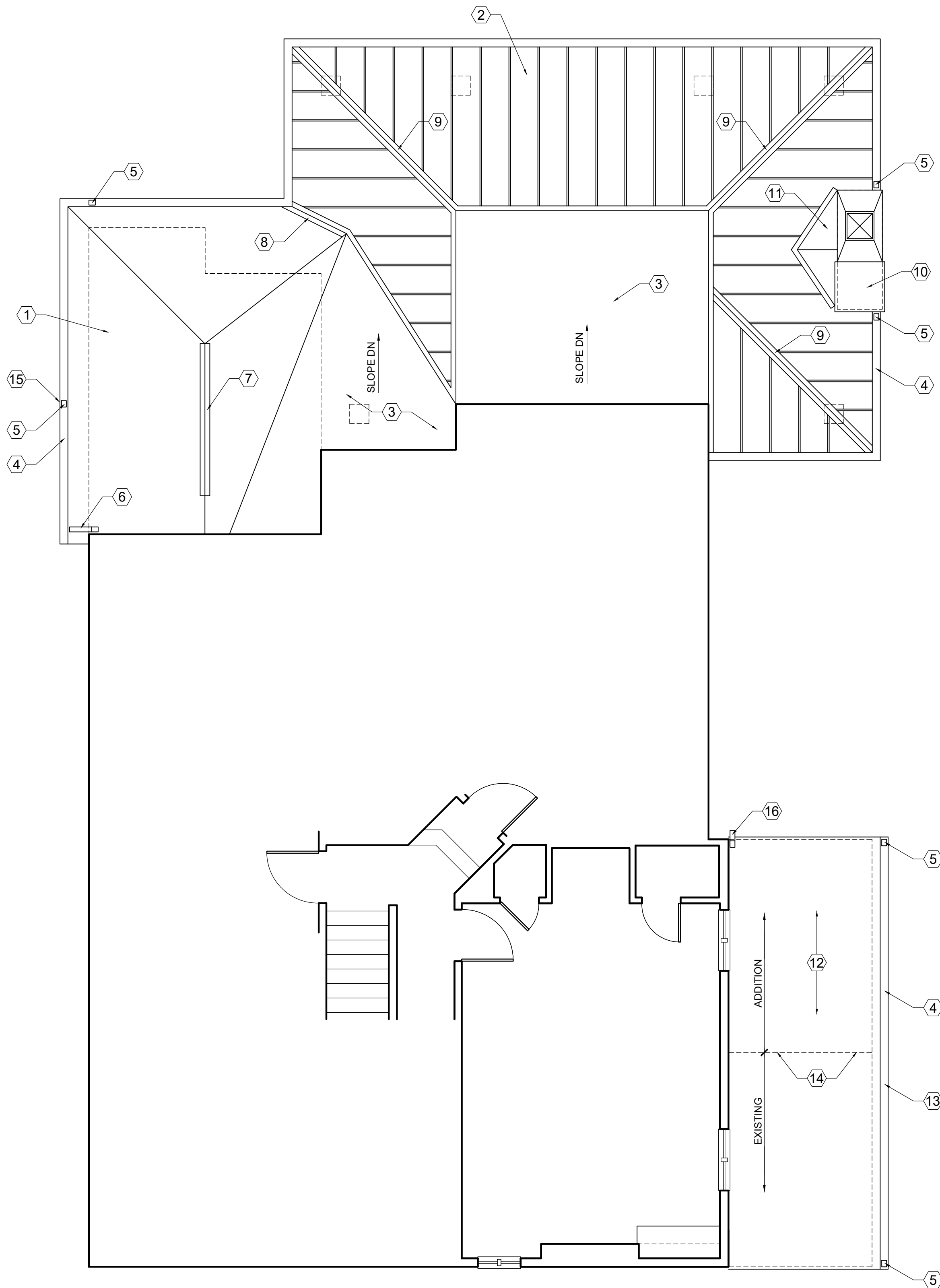
Z. VAR.: 04-10-2025

A-3 EXIST



FIRST FLOOR PLAN  
SCALE: 1/4" = 1'-0"

- FIRST FLOOR PLAN NOTES**
- 1. DIMENSIONS BASED ON HEATILATOR CASTLEWOOD - 42-B WOOD BURNING FIREPLACE
  - 2. GRILL
  - 3. EXHAUST HOOD OVER GRILL
  - 4. COUNTER
  - 5. WROUGHT IRON GATE
  - 6. LOW WALL
  - 7. STACKED WASHER AND DRYER
  - 8. LOCKER
  - 9. HOSE BIBB WITH HOT WATER



SECOND FLOOR/LOW ROOF PLAN  
SCALE: 1/4" = 1'-0"

- SECOND FLOOR/LOW ROOF PLAN NOTES**
- 1. DIMENSIONAL ROOF SHINGLES TO MATCH EXISTING
  - 2. PREFINISHED STANDING SEAM METAL ROOF. ROOF PANELS 1'-6" WIDE
  - 3. REINFORCED RUBBER MEMBRANE ROOFING
  - 4. PREFINISHED OGEE STYLE ALUMINUM GUTTER MATCHING EXISTING
  - 5. PREFINISHED ALUMINUM DOWNSPOUT MATCHING EXISTING
  - 6. DOWNSPOUT FROM ROOF ABOVE
  - 7. RIDGE VENT BENEATH SHINGLES
  - 8. VALLEY FLASHING
  - 9. HIP CAP PER METAL ROOFING MANUFACTURER
  - 10. LIMESTONE CHIMNEY SHOULDER
  - 11. SADDLE OF PREFINISHED ALUMINUM
  - 12. ICE AND WATER GUARD UNDERLAYMENT BENEATH SHINGLES OF ADDITION
  - 13. EXISTING GUTTER TO BE REPLACED
  - 14. WEAVE NEW SHINGLES INTO EXISTING
  - 15. REUSE EXISTING DOWNSPOUT BOOT AND LOCATION
  - 16. REROUTE EXISTING DOWNSPOUT FROM ABOVE

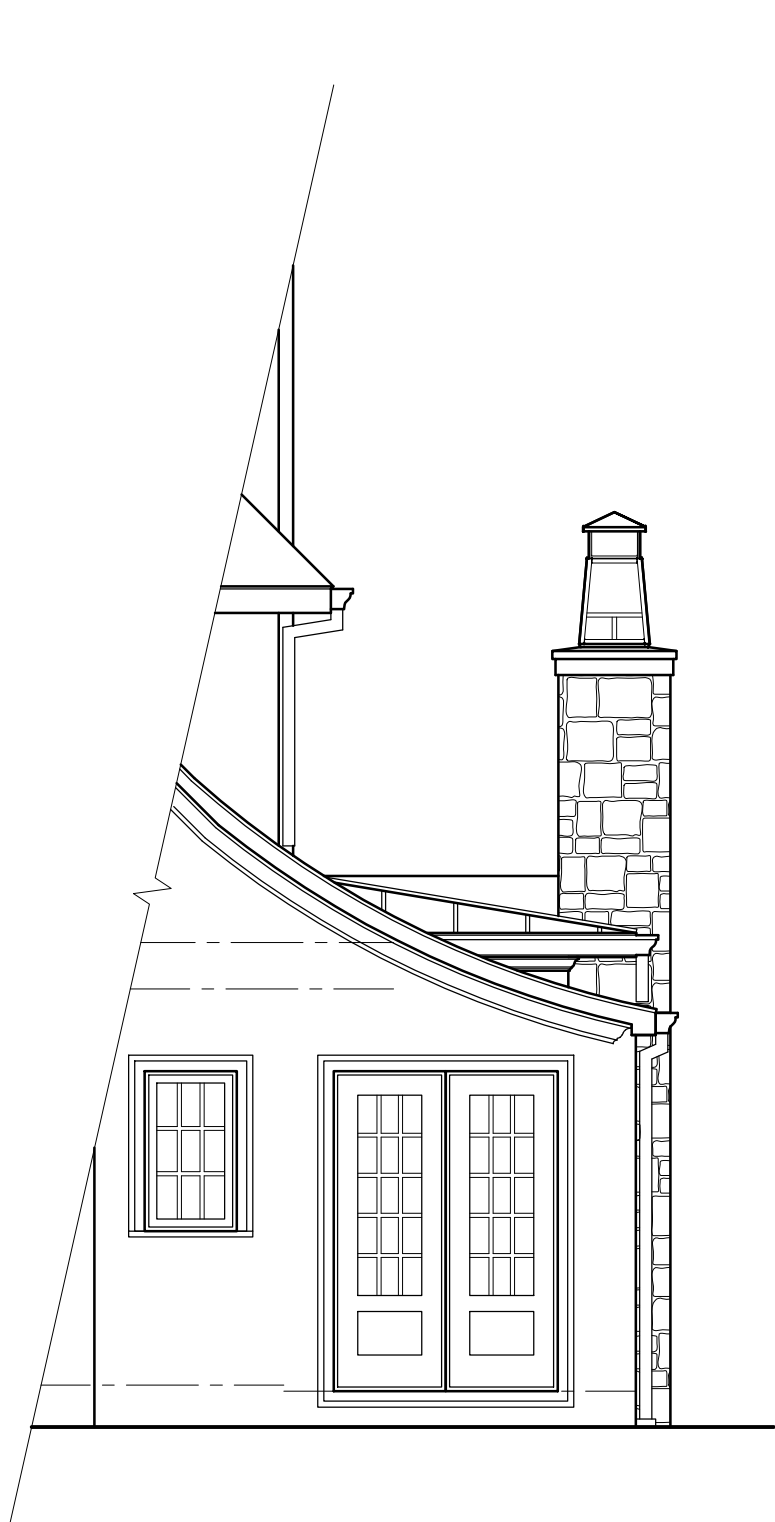
ADDITION & REMODELING  
THE PIERSON RESIDENCE  
51 S. DAWSON AVE.

Gary J. Alexander,  
Architect  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

Z. VAR.: 04-10-2025

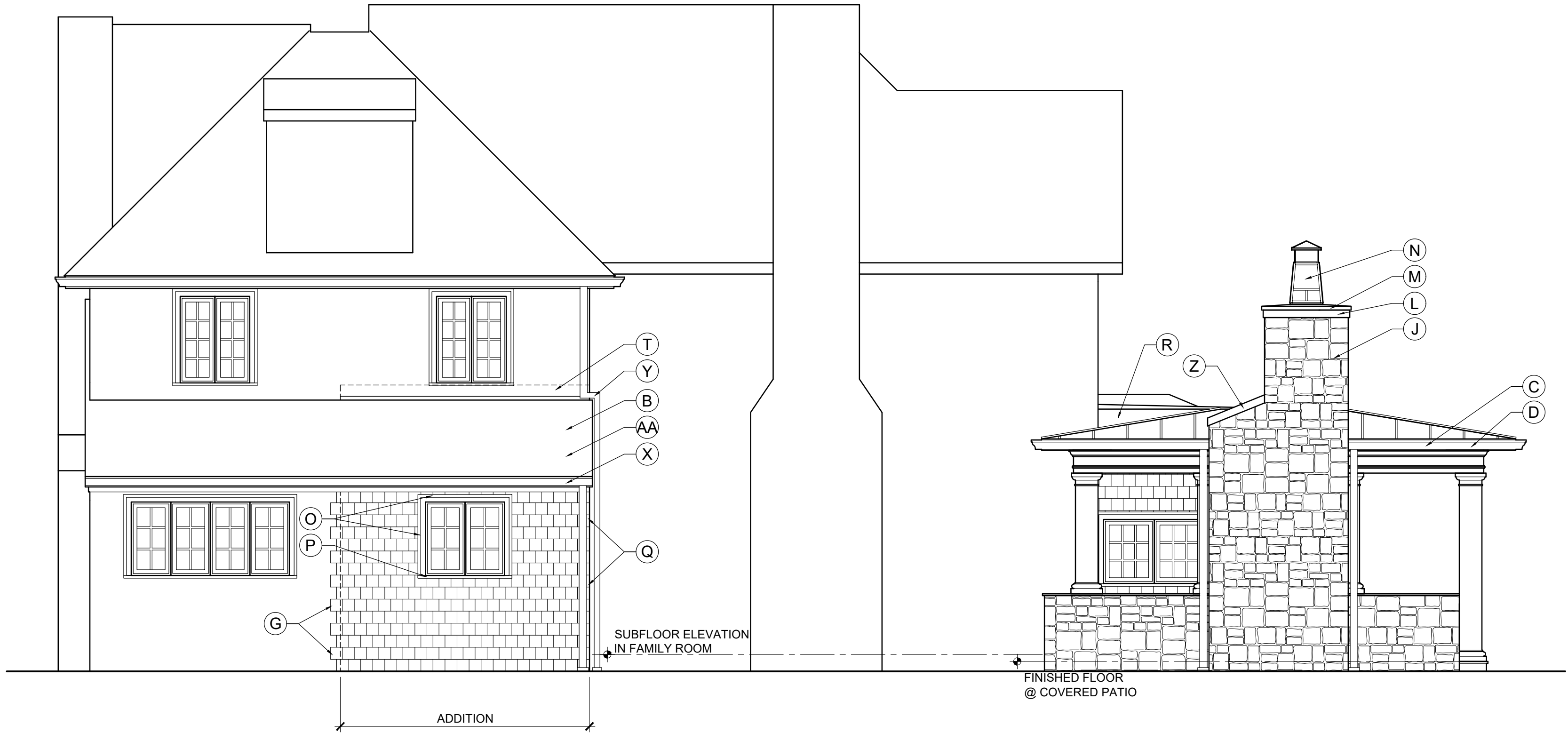
COPYRIGHT 2025

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS  
GENERATED SHALL REMAIN THE PROPERTY OF GARY J.  
ALEXANDER, ARCHITECT AND MAY NOT BE USED, DUPLICATED,  
OR ALTERED, WITHOUT WRITTEN CONSENT OF THE ARCHITECT.



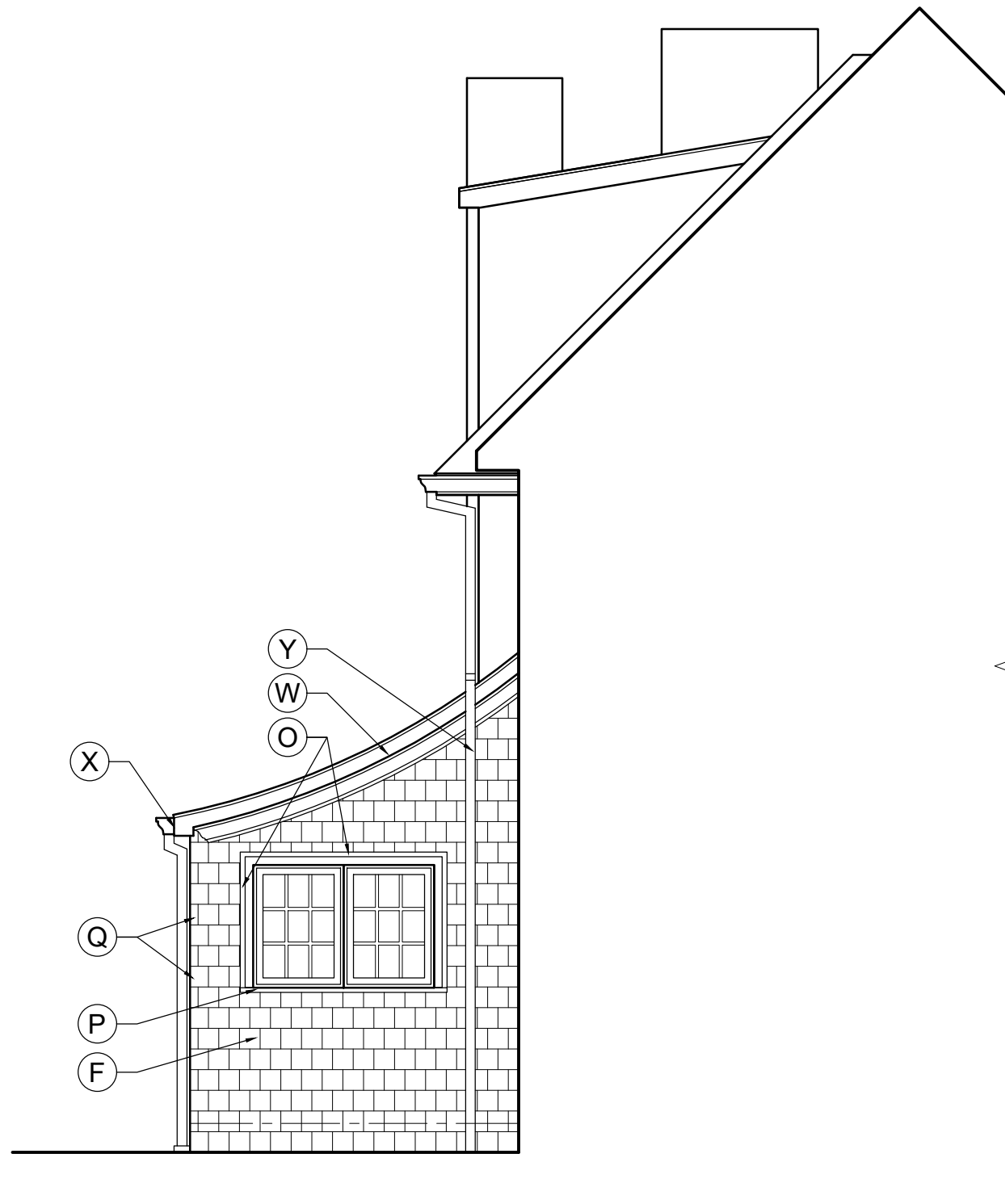
FRONT (EAST) ELEVATION

SCALE: 1/4" = 1'-0"



SIDE (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"



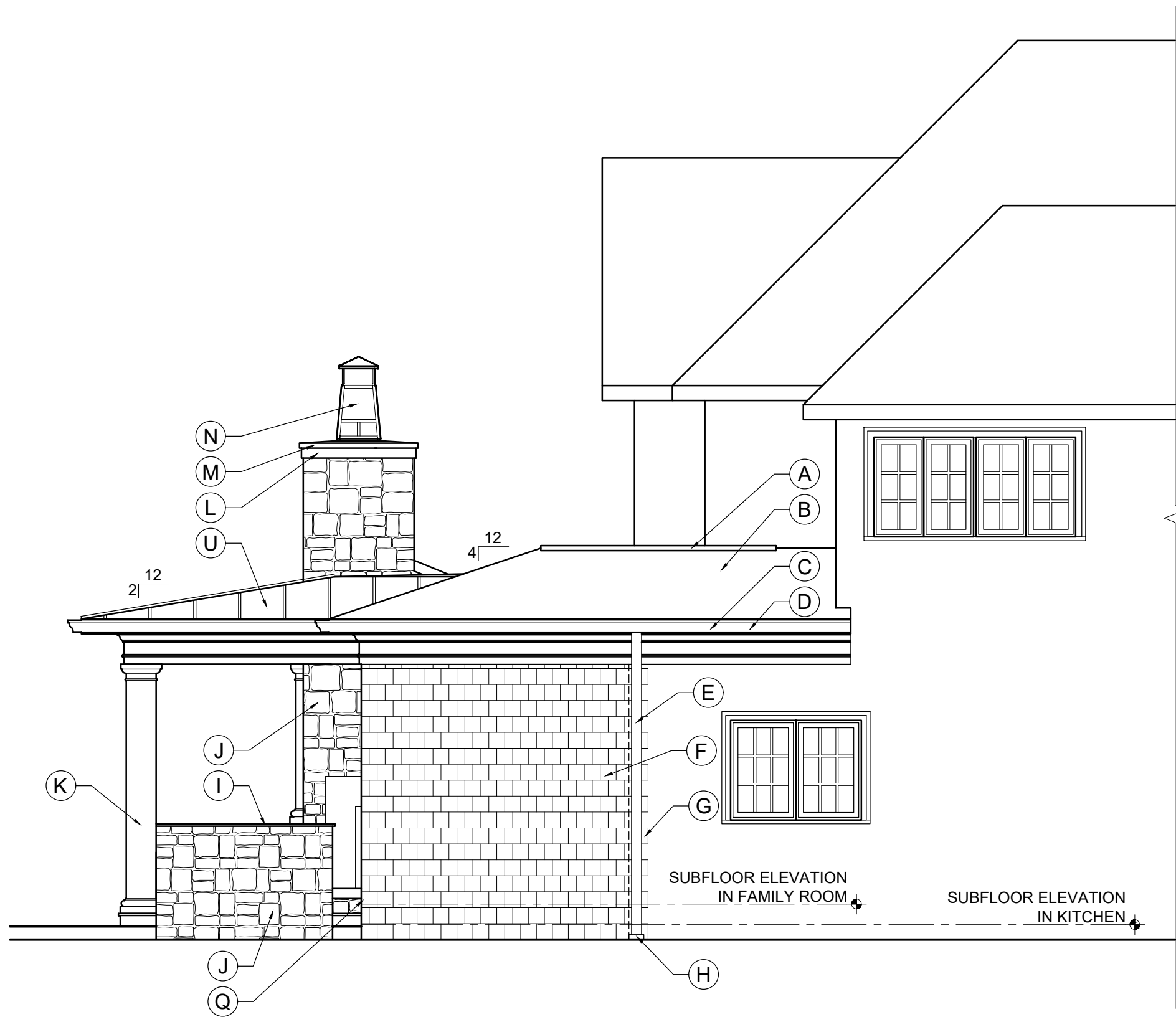
STUDY (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



REAR (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



SIDE (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"

- ELEVATION NOTES**
- ALL EXTERIOR TRIM TO BE WOOD OR BORAL, TRU EXTERIOR POLY ASH. IF WOOD TRIM IS USED, TRIM TO BE REDWOOD OR SMOOTH FINISH CEDAR. ALL SURFACES OF TRIM TO BE PRIMED PRIOR TO INSTALLATION. SAW CUTS AND NAIL HOLES TO BE PRIMED.
  - ALL GUTTERS AND DOWNSPOUTS TO CONNECT UNDERGROUND TO DRAIN TILE AND DRAIN TILE TO BE ROUTED TO CURB AT STREET. IF EXISTING DRAIN TILE ARE TO BE USED, CONTRACTOR TO VERIFY THAT EXISTING DRAIN TILE ARE OPERATING PROPERLY PRIOR TO CONNECTING NEW DOWNSPOUTS
- A. RIDGE VENT BENEATH SHINGLES  
B. DIMENSIONAL ROOF SHINGLES TO MATCH EXISTING  
C. PREFINISHED OGEE STYLE ALUMINUM GUTTER TO MATCH EXISTING  
D. 1X6 FASCIA  
E. PREFINISHED ALUMINUM DOWNSPOUT TO MATCH EXISTING  
F. WOOD SHINGLES TO MATCH AND ALIGN WITH EXISTING  
G. TOOTH NEW SHINGLES INTO EXISTING DOWNSPOUT BOOT. REUSE EXISTING
- I. GRANITE COUNTERTOP  
J. THIN-CUT STONE VENEER TO MATCH EXISTING STONE ON CHIMNEY AT FRONT OF HOUSE  
K. HB&G PERMACAST SQUARE COLUMN WITH TUSCAN BASE AND CAPITAL, 12" WIDTH  
L. CUT LIMESTONE BAND, 4" EXPOSURE  
M. METAL CROWN CAP  
N. CHIMNEY POT BY FIREPLACE MANUFACTURER  
O. BACK BANDED TRIM TO MATCH ORIGINAL AT EXISTING OPENINGS ALONG DRIVEWAY AND FRONT OF HOUSE  
P. WOOD SILL TO MATCH ORIGINAL AT EXISTING OPENINGS  
Q. WOOD SHINGLES TO BE MITERED AT CORNERS MATCHING ORIGINAL  
R. REINFORCED RUBBER MEMBRANE ROOFING  
S. FLASHING PER RUBBER MEMBRANE ROOFING MANUFACTURER  
T. SIDE WALL FLASHING, EXTEND UP UNDER WOOD SHINGLES. HOLD WOOD SHINGLES 2" AWAY FROM ROOF SURFACE  
U. PREFINISHED STANDING SEAM METAL ROOF. PANELS 1'-6" WIDE  
V. BLUESTONE ON PATIO AND RISER  
W. CROWN AND RAKE TRIM TO MATCH EXISTING  
X. FASCIA TO MATCH AND ALIGN WITH EXISTING  
Y. RELOCATE EXISTING DOWNSPOUT  
Z. CUT LIMESTONE, 4" THICK  
AA. ICE AND WATER GUARD UNDERLAYMENT BENEATH ENTIRE ROOF SURFACE

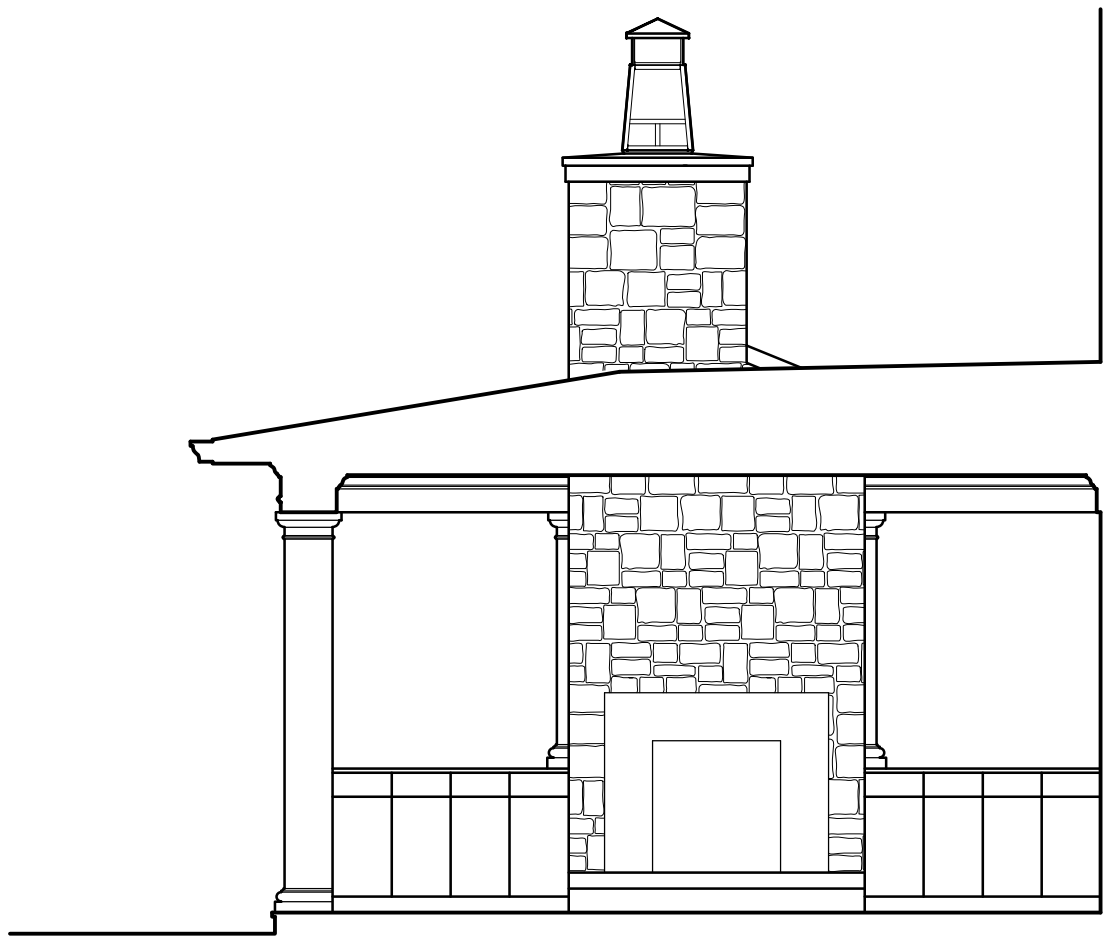
ADDITION & REMODELING  
THE PIERSON RESIDENCE  
51 S. DAWSON AVE.

Gary J. Alexander,  
Architect  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

Z. VAR.: 04-10-2025

COPYRIGHT 2025

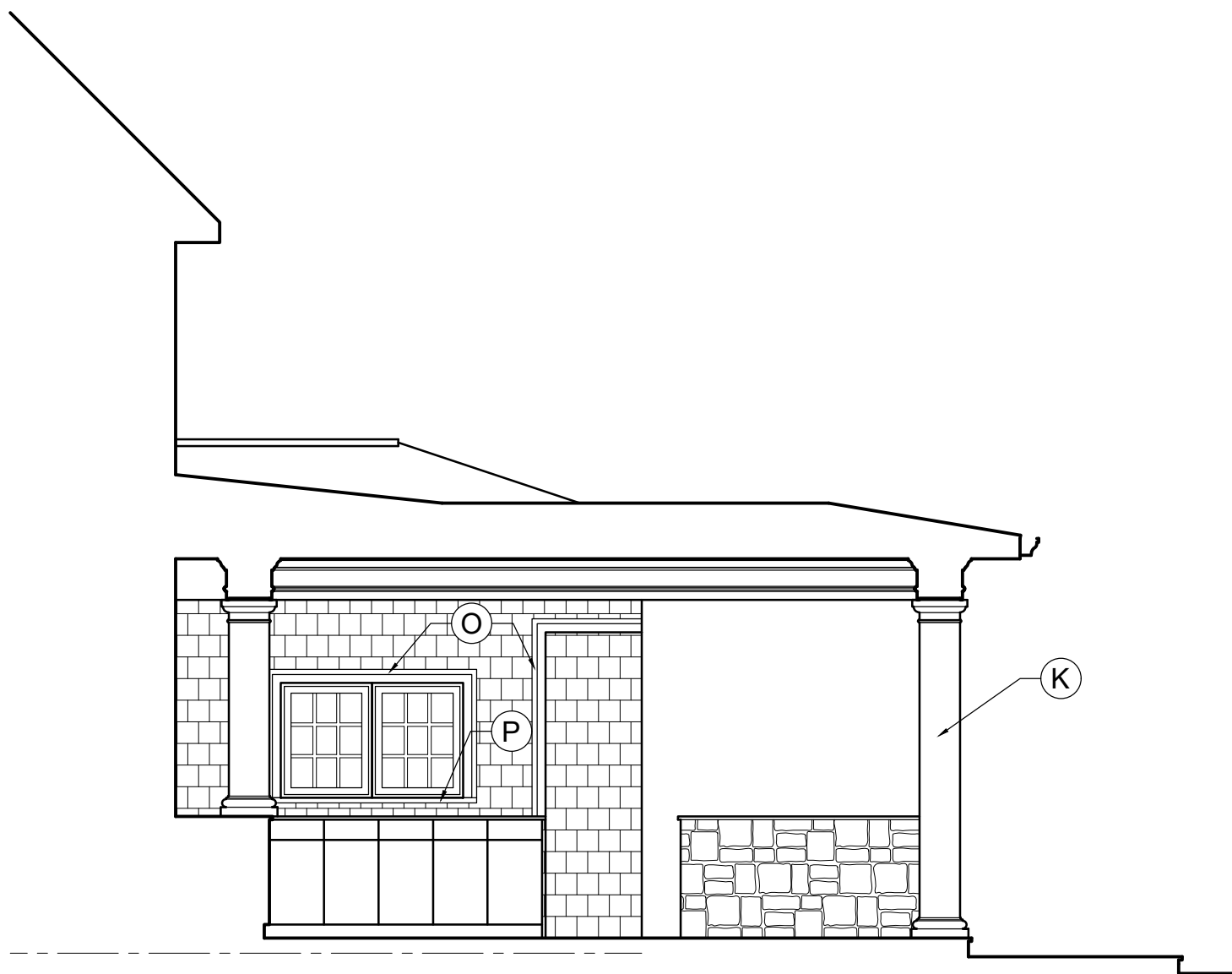
THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS  
GENERATED SHALL REMAIN THE PROPERTY OF GARY J.  
ALEXANDER, ARCHITECT AND MAY NOT BE USED, DUPLICATED,  
OR ALTERED, WITHOUT WRITTEN CONSENT OF THE ARCHITECT.



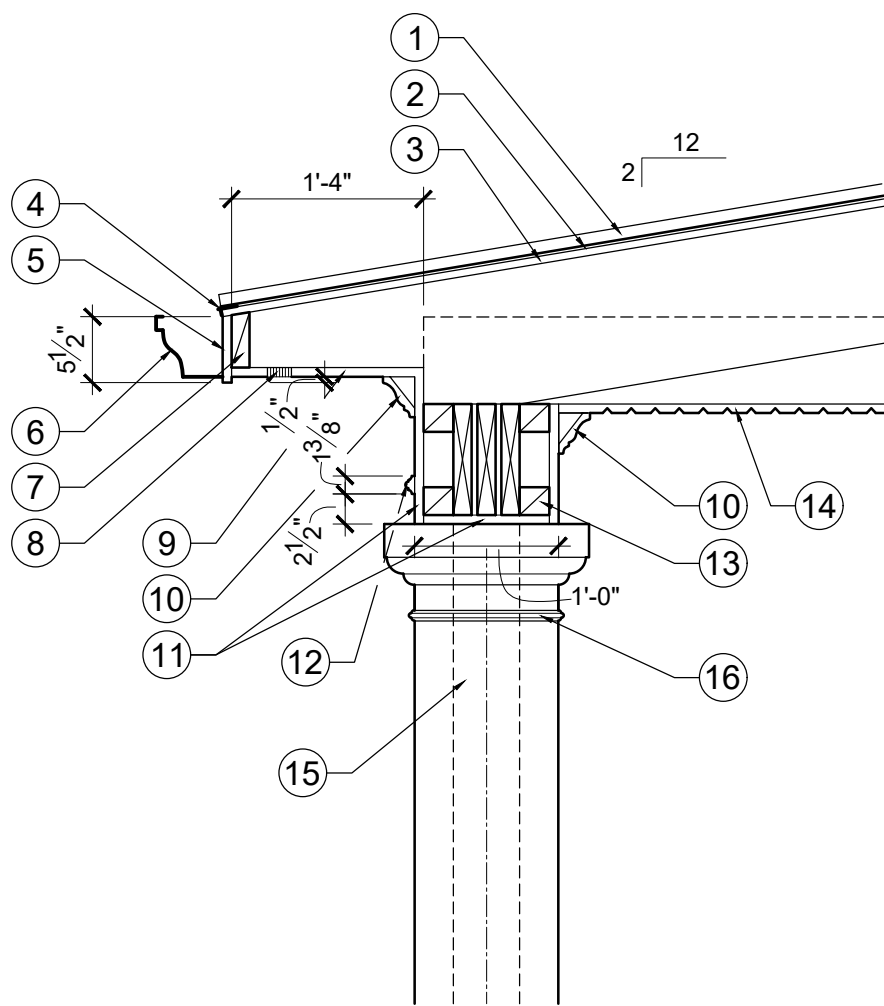
COVERED PATIO (SOUTH) ELEVATION  
SCALE: 1/4" = 1'-0"



COVERED PATIO (WEST) ELEVATION  
SCALE: 1/4" = 1'-0"



COVERED PATIO (NORTH) ELEVATION  
SCALE: 1/4" = 1'-0"



DETAIL  
PORCH BREAST  
SCALE: 3/4" = 1'-0"

- MATERIAL LIST**
1. PREFINISHED STANDING SEAM METAL ROOF, 1'-6" WIDE PANELS
  2. 30# ROOFING FELTS
  3. 5/8" ROOF SHEATHING
  4. PREFINISHED METAL DRIP EDGE, MATERIAL TO BE COMPATIBLE WITH METAL OF ROOF
  5. 1X6 FASCIA
  6. PREFINISHED OGEE PROFILE ALUMINUM GUTTER TO MATCH EXISTING
  7. 2X SUBFASCIA
  8. 2" CONTINUOUS SOFFIT VENT
  9. EXTERIOR GRADE PLYWOOD SOFFIT
  10. HOLMES LUMBER, CROWN HL3425, 3/4" X 4 1/4"
  11. 1X TRIM
  12. HOLMES LUMBER, PANEL MOLDING HL71388, 3/4" X 1 3/8"
  13. BLOCKING AS REQUIRED
  14. BEAD BOARD CEILING, COX INTERIOR INC., VG325 - 3 1/4" X 3/4"
  15. HB&G PERMACAST SQUARE COLUMN WITH TUSCAN BASE AND CAPITAL, 12" WIDTH
  16. HB&G PERMACAST TUSCAN NECK MOLDING

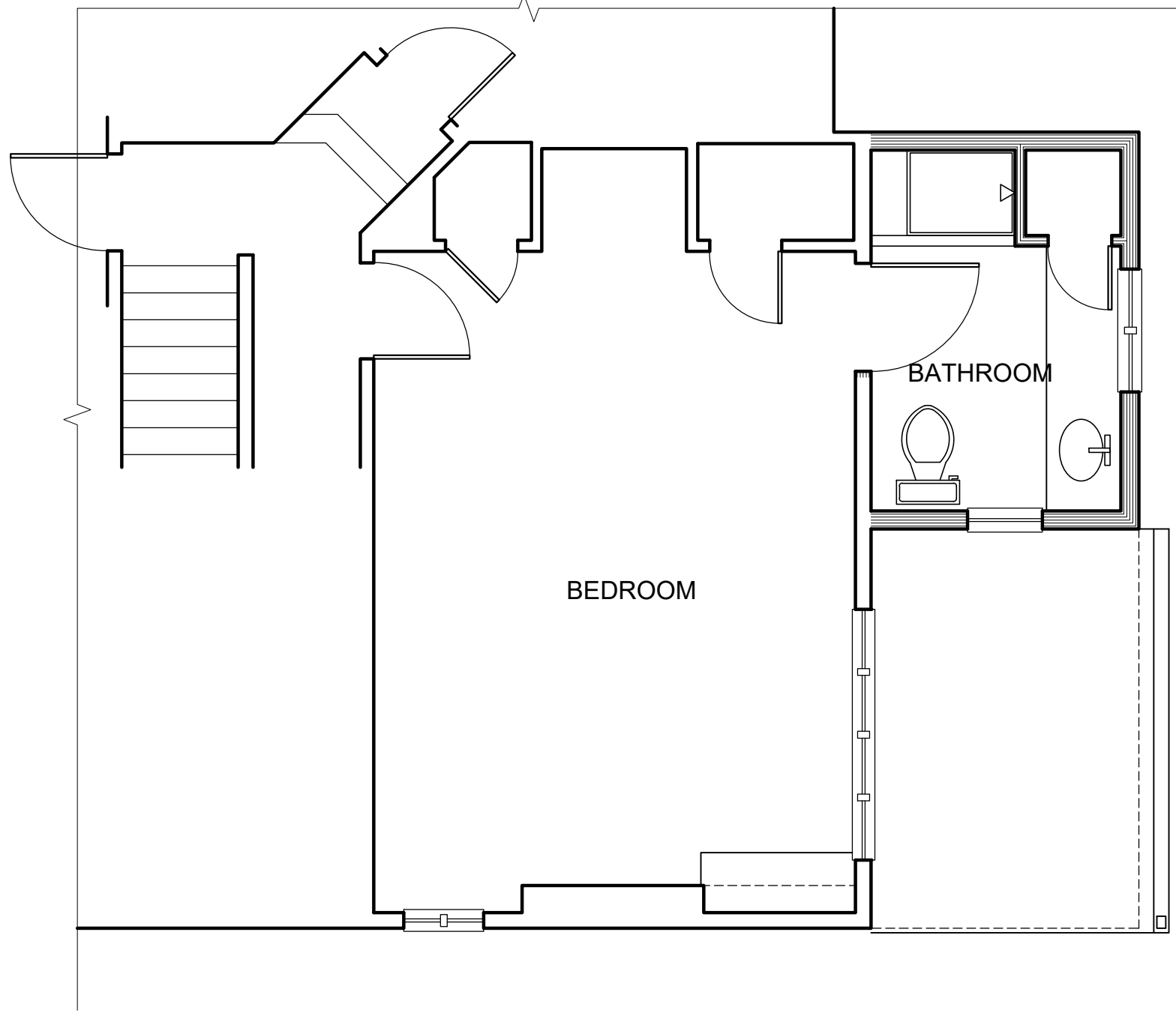
ADDITION & REMODELING  
THE PIERSON RESIDENCE  
51 S. DAWSON AVE.

Gary J. Alexander,  
Architect  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

Z. VAR.: 04-10-2025

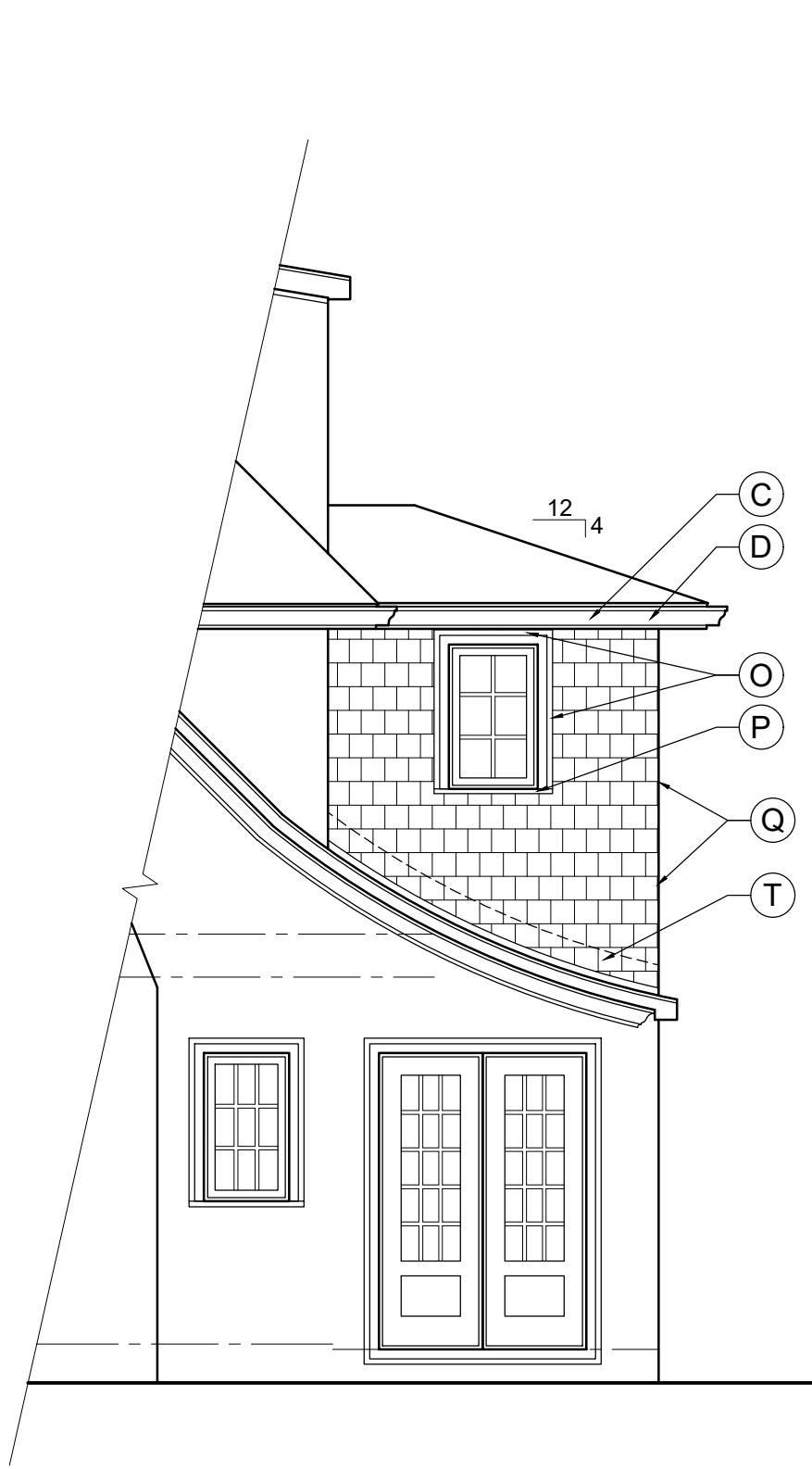
COPYRIGHT 2025

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS  
GENERATED SHALL REMAIN THE PROPERTY OF GARY J.  
ALEXANDER, ARCHITECT AND MAY NOT BE USED, DUPLICATED,  
OR ALTERED, WITHOUT WRITTEN CONSENT OF THE ARCHITECT.



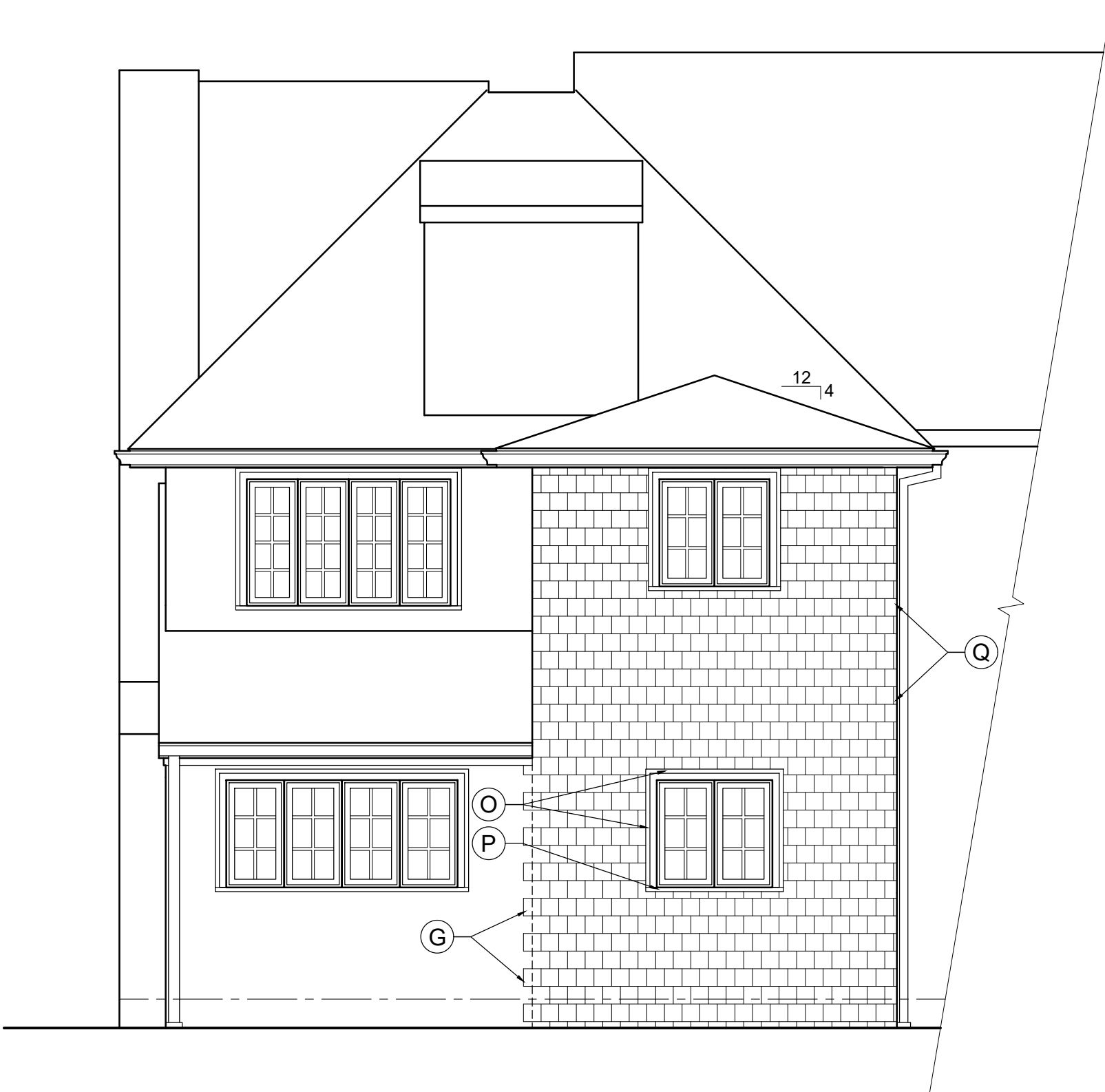
SECOND FLOOR/LOW ROOF PLAN

ALTERNATE - BATHROOM ADDITION  
SCALE: 1/4" = 1'-0"



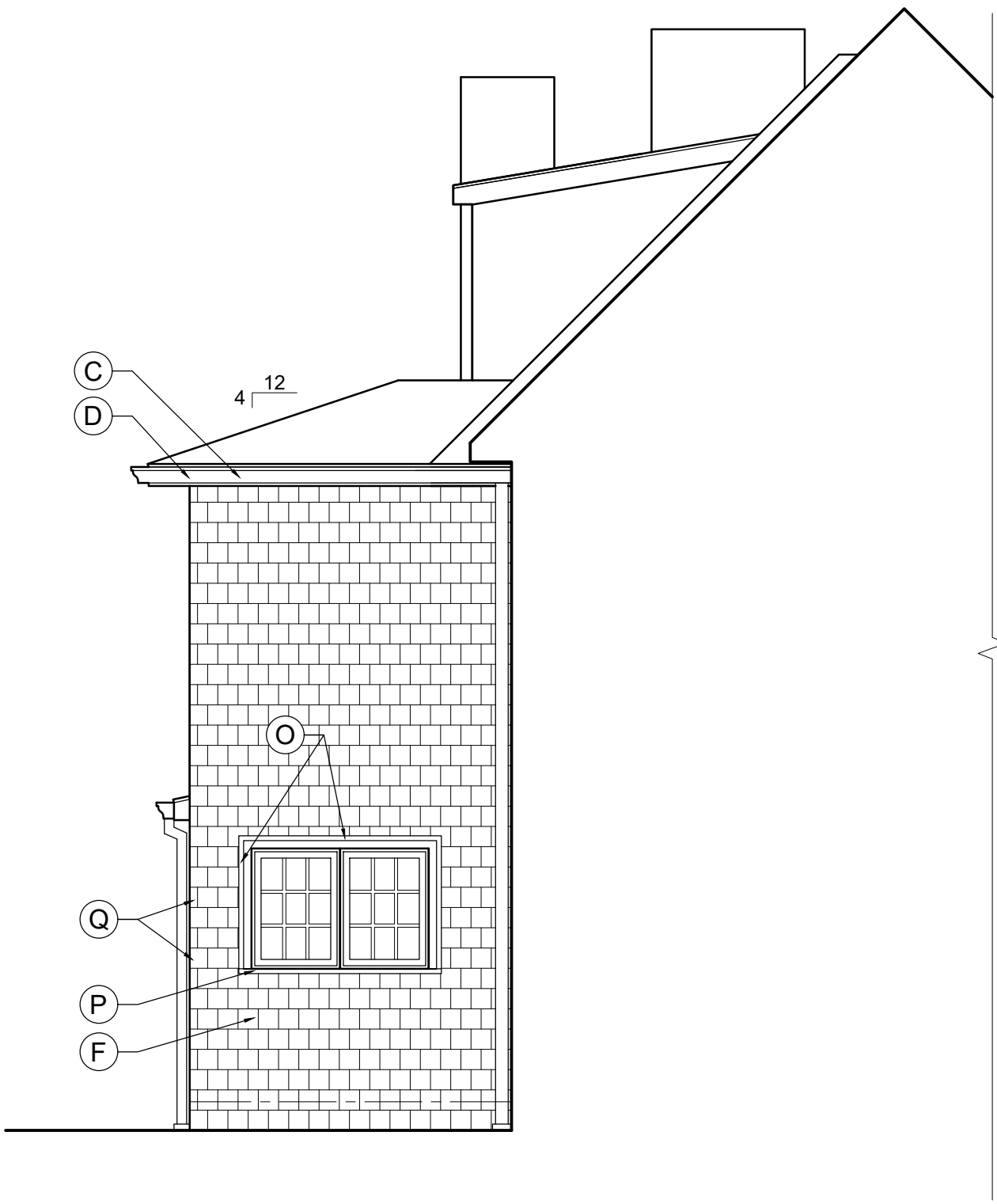
FRONT (EAST) ELEVATION

ALTERNATE - BATHROOM ADDITION  
SCALE: 1/4" = 1'-0"



SIDE (NORTH) ELEVATION

ALTERNATE - BATHROOM ADDITION  
SCALE: 1/4" = 1'-0"



STUDY (WEST) ELEVATION

ALTERNATE - BATHROOM ADDITION  
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES**
- ALL EXTERIOR TRIM TO BE WOOD OR BORAL, TRU EXTERIOR POLY ASH. IF WOOD TRIM IS USED, TRIM TO BE REDWOOD OR SMOOTH FINISH CEDAR. ALL SURFACES OF TRIM TO BE PRIMED PRIOR TO INSTALLATION. SAW CUTS AND NAIL HOLES TO BE PRIMED.
  - ALL GUTTERS AND DOWNSPOUTS TO CONNECT UNDERGROUND TO DRAIN TILE AND DRAIN TILE TO BE ROUTED TO CURB AT STREET. IF EXISTING DRAIN TILE ARE TO BE USED, CONTRACTOR TO VERIFY THAT EXISTING DRAIN TILE ARE OPERATING PROPERLY PRIOR TO CONNECTING NEW DOWNSPOUTS
  - A. RIDGE VENT BENEATH SHINGLES
  - B. DIMENSIONAL ROOF SHINGLES TO MATCH EXISTING
  - C. PREFINISHED OGEE STYLE ALUMINUM GUTTER TO MATCH EXISTING
  - D. 1X6 FASCIA
  - E. PREFINISHED ALUMINUM DOWNSPOUT TO MATCH EXISTING
  - F. WOOD SHINGLES TO MATCH AND ALIGN WITH EXISTING
  - G. TOOTH NEW SHINGLES INTO EXISTING DOWNSPOUT BOOT. REUSE EXISTING
  - H. GRANITE COUNTERTOP
  - I. THIN-CUT STONE VENEER TO MATCH EXISTING STONE ON CHIMNEY AT FRONT OF HOUSE
  - J. HB&G PERMACAST SQUARE COLUMN WITH TUSCAN BASE AND CAPITAL, 12" WIDTH
  - K. CUT LIMESTONE BAND, 4" EXPOSURE
  - L. METAL CROWN CAP
  - M. CHIMNEY POT BY FIREPLACE MANUFACTURER
  - N. BACK BANDED TRIM TO MATCH ORIGINAL AT EXISTING OPENINGS ALONG DRIVEWAY AND FRONT OF HOUSE
  - O. WOOD SILL TO MATCH ORIGINAL AT EXISTING OPENINGS
  - P. WOOD SHINGLES TO BE MITERED AT CORNERS MATCHING ORIGINAL
  - Q. REINFORCED RUBBER MEMBRANE ROOFING FLASHING PER RUBBER MEMBRANE ROOFING MANUFACTURER
  - T. SIDE WALL FLASHING, EXTEND UP UNDER WOOD SHINGLES. HOLD WOOD SHINGLES 2" AWAY FROM ROOF SURFACE
  - U. PREFINISHED STANDING SEAM METAL ROOF. PANELS 1'-6" WIDE
  - V. BLUESTONE ON PATIO AND RISER
  - W. CROWN AND RAKE TRIM TO MATCH EXISTING
  - X. FASCIA TO MATCH AND ALIGN WITH EXISTING
  - Y. RELOCATE EXISTING DOWNSPOUT
  - Z. CUT LIMESTONE, 4" THICK
  - AA. ICE AND WATER GUARD UNDERLAYMENT BENEATH ENTIRE ROOF SURFACE

ADDITION & REMODELING  
THE PIERSON RESIDENCE  
51 S. DAWSON AVE.

Gary J. Alexander,  
Architect  
1265 Neil Avenue, Columbus, Ohio 43201  
(614) 487-0637

Z. VAR.: 04-10-2025

COPYRIGHT 2025

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS  
GENERATED SHALL REMAIN THE PROPERTY OF GARY J.  
ALEXANDER, ARCHITECT AND MAY NOT BE USED, DUPLICATED,  
OR ALTERED, WITHOUT WRITTEN CONSENT OF THE ARCHITECT.















