



Architectural Review Board

Decision and Record of Action - July 11, 2024

The City of Bexley's Architectural Review Board took the following action at this meeting:

Application Number: BZAP-24-19

Address: 261 N Stanwood

Applicant: Brenda Parker

Owner: Kelly and Christopher Rupp

Request: The applicant is seeking a recommendation to BZAP for a Certificate of Appropriateness for a partial first floor addition & second floor addition above existing breezeway & attached garage with variance requests from side yard setbacks.

MOTION: The motion to table this application to the August 8, 2024 ARB meeting was made by Mr. Heyer and seconded by Mr. Scott :

VOTE: All members voted in favor.

RESULT: The applicant was tabled to the August 8, 2024 ARB meeting.

Staff Certification: Recorded in the Official Journal this 11th day of July, 2024.

Kathy Rose, Zoning Officer

Karen Bokor, Design Consultant

cc: Applicant, File Copy





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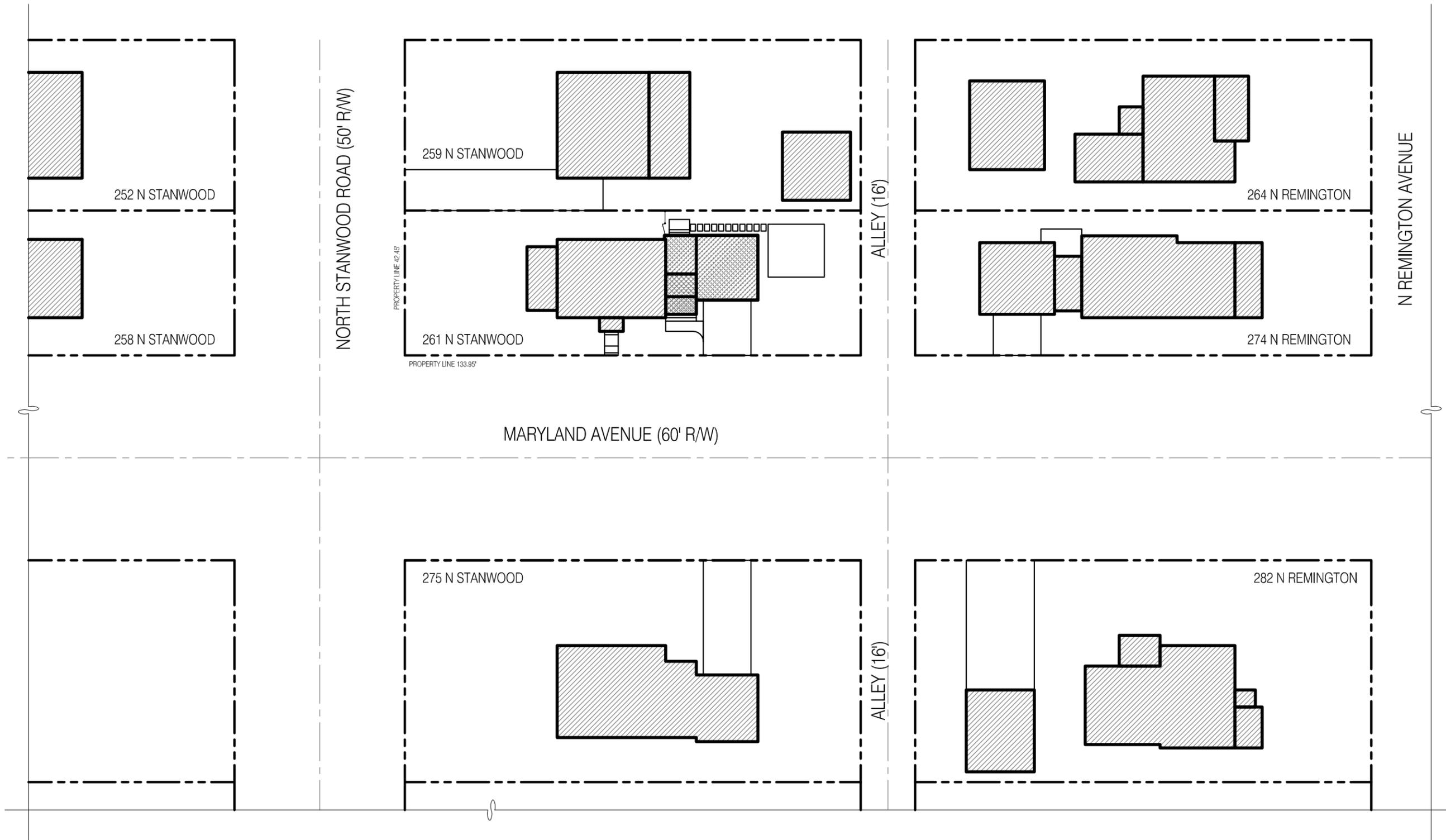


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1 SITE VICINITY PLAN
SCALE: 1" = 30'-0"

RUPP RESIDENCE
261 N STANWOOD ROAD
BEXLEY, OHIO 43209

Bexley ARB

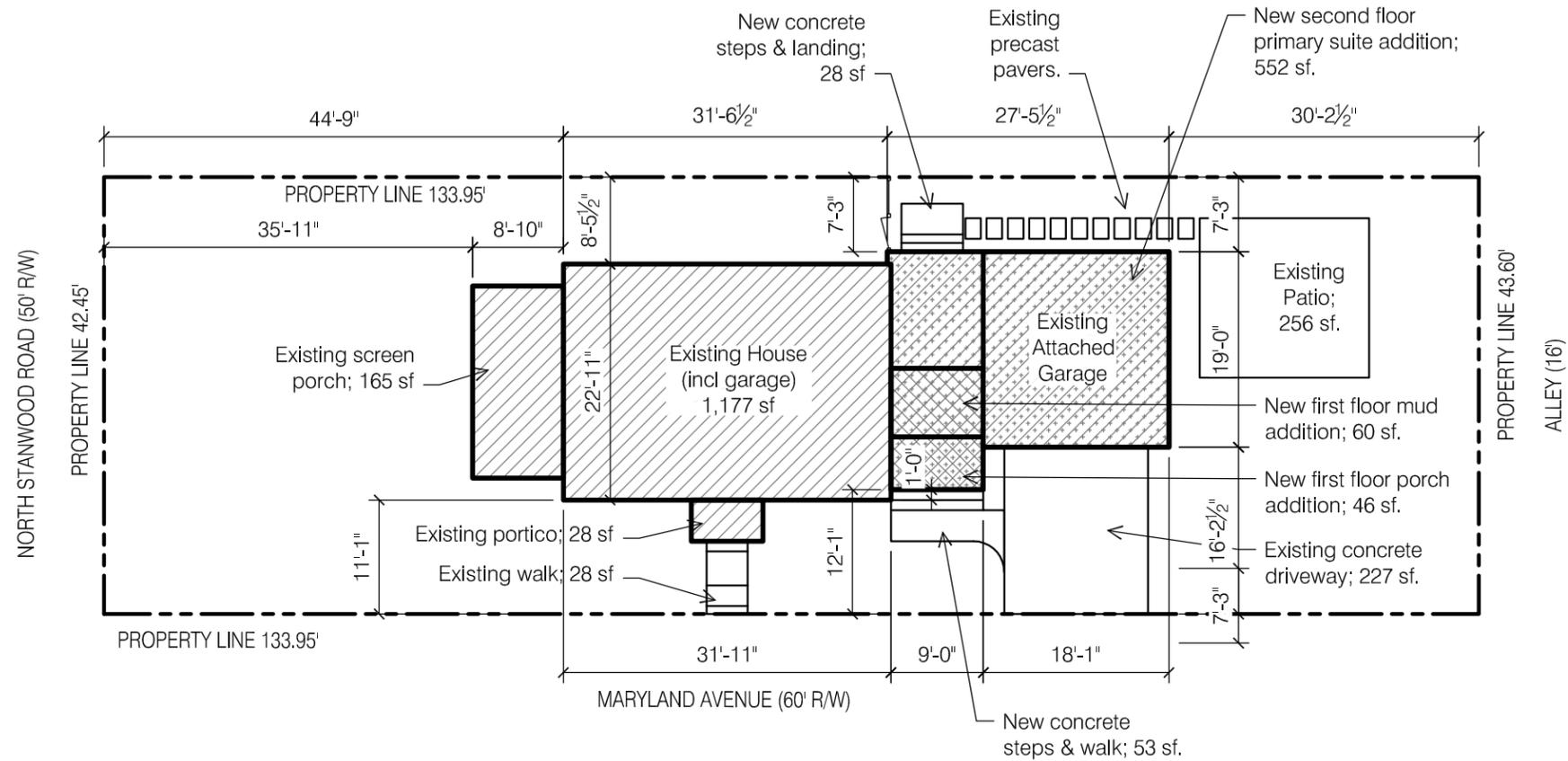
SCALE:
As Noted
PROJECT NO.:

DATE:
May 24, 2024

SHEET NO.

A0.1

SITE VICINITY PLAN



GENERAL INFORMATION

Address: 261 N Stanwood Road
Bexley, Ohio 43209
Parcel: 020-001088-00

Scope of Project: The project consists of the construction of a new addition. The addition at the first floor is located at the north side of the existing hypen & consists of a new mudroom & new side porch. The addition at the second floor extends over the existing hypen, the new first floor addition, and the existing attached garage. The second floor addition includes a new primary suite.

First Floor Existing SF: 842 sf
Mudroom Addition SF: 60 sf
Total First Floor SF: 902 sf

Second Floor Existing SF: 731 sf
Primary Suite Addition SF: 552 sf
Total Second Floor SF: 1,292 sf

Total House SF: 2,194 sf

Zoning: Bexley R-6

Lot Area & Lot Width	Actual	Zoning Req't
Lot Area:	5,686 sf	
Building Lot Coverage		
Bldg Cov w/ Addition	1,476 sf (26%)	1,990 sf (35%) Meets Zoning
Total Lot Coverage		
Lot Cov w/ Addition	2,068 sf (36%)	3,411 sf (60%) Meets Zoning
Setbacks		
Side Setback South:	7'-3"	8'-0"
Side Setback North:	12'-1"	8'-0"
Rear Setback West:	30'-2"	25'-0"

SHEET INDEX

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A2.1	First Floor Plans	A3.2	Exterior Elevations
A2.2	Second Floor Plans		

DESIGN CRITERIA

Design Criteria:
 Wind Speed = 115 mph
 Seismic Category = A
 Weathering = Severe
 Frost Line Depth = 36"
 Termite = Moderate to Heavy
 Ice Barrier Underlayment = Yes, Required.
 Floor Live Load = 40 psf
 Snow Load Roof = 20 psf
 Foundation Concrete Compressive Strength = 2,500
 Slab Concrete Compressive Strength = 3,000; air-entrained 5%-7%

ARCHITECT
BRENDA PARKER
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brenda.parker@cbusarch.com

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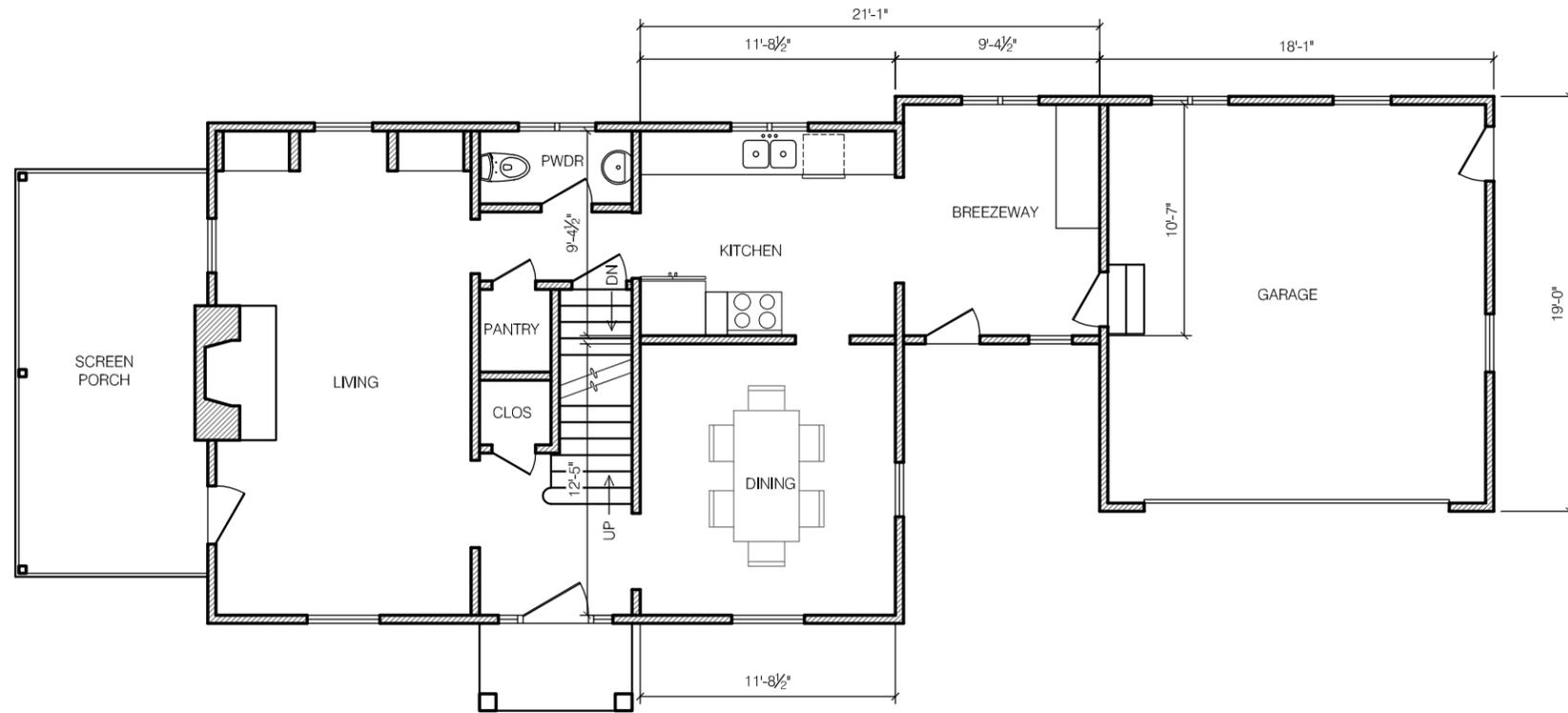
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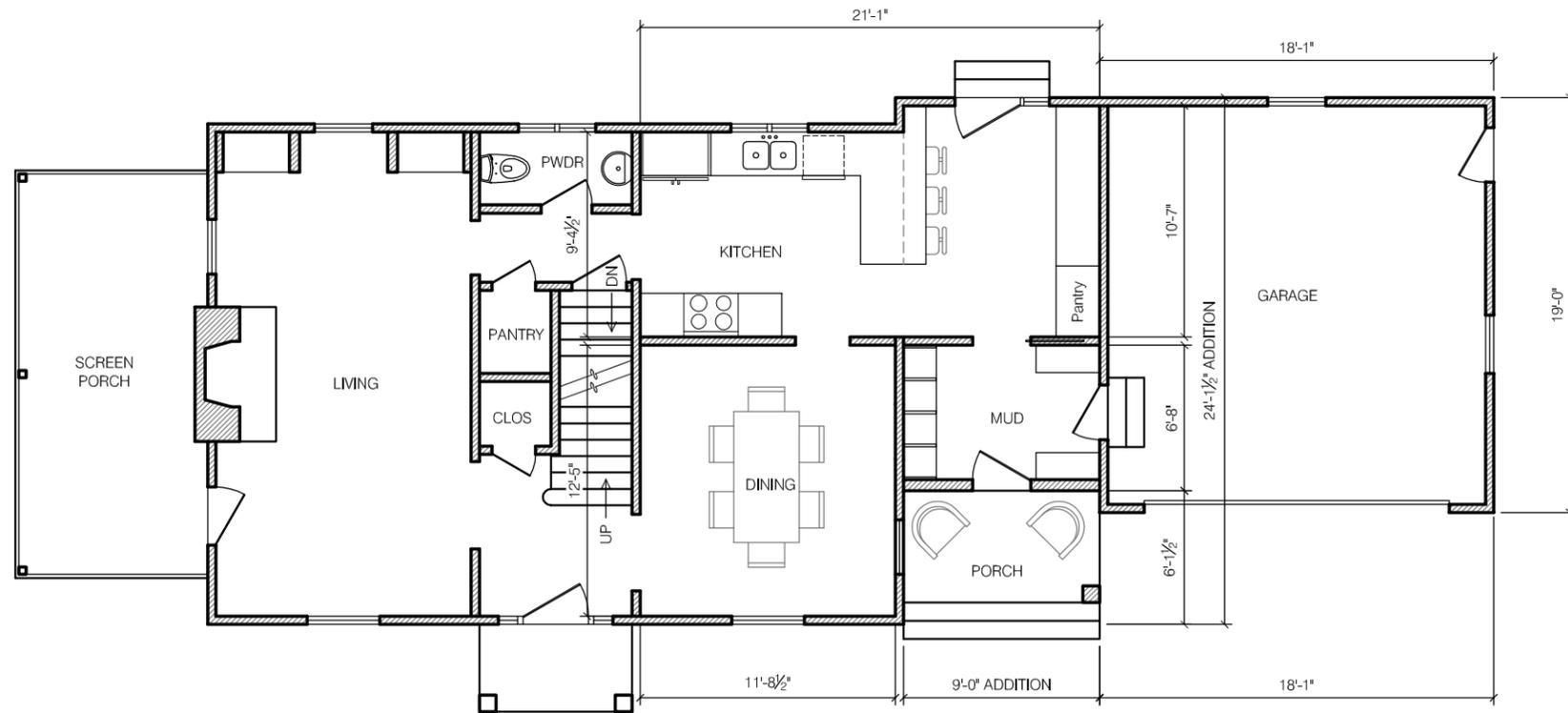
SHEET NO.

A1.0

SITE PLAN & GENERAL INFO



1 FIRST FLOOR PLAN - EXISTING
SCALE: 1/8" = 1'-0"



2 FIRST FLOOR PLAN - W/ ADDITION
SCALE: 1/8" = 1'-0"

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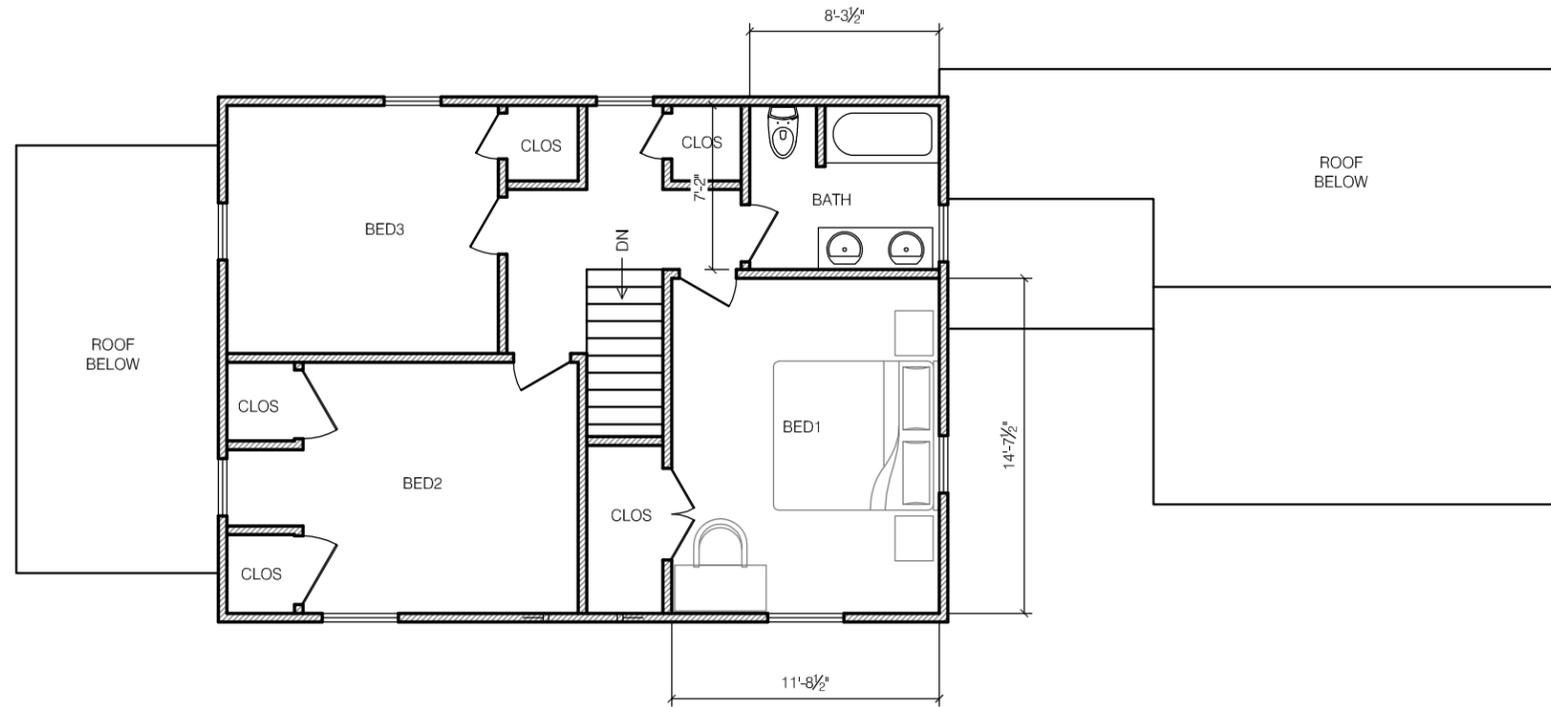
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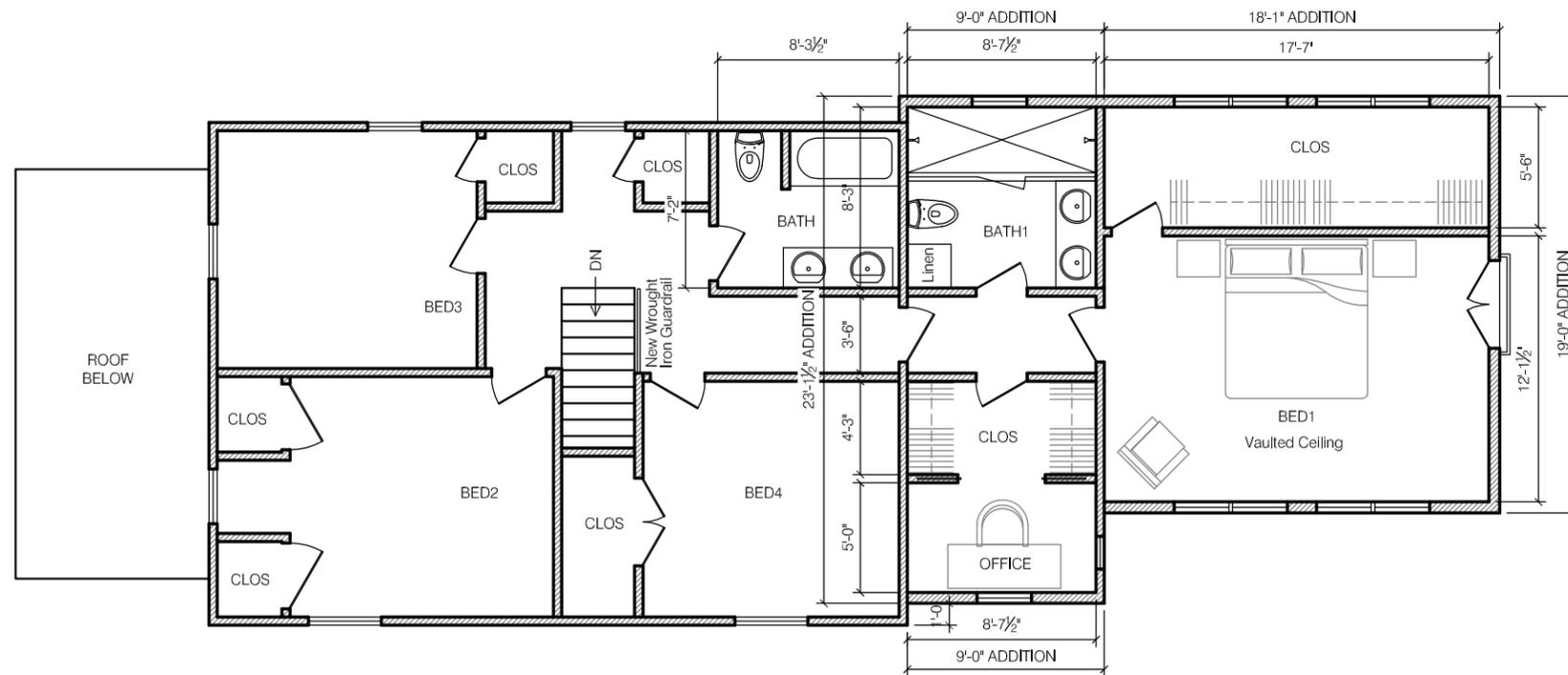
FIRST FLOOR PLANS

A2.1





1 SECOND FLOOR PLAN - EXISTING
 SCALE: 1/8" = 1'-0"



2 SECOND FLOOR PLAN - W/ ADDITION
 SCALE: 1/8" = 1'-0"

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SHEET NO.

A2.2



SECOND FLOOR PLANS

EXTERIOR MATERIAL NOTES

SIDING:
 Aluminum siding, 8" exposure, white (to match existing).
 Trim to consist of:
 Casing: Aluminum-wrapped 5/4" x 4".
 Gable Fascia: Aluminum-wrapped 1x8.
 Eave Fascia: Aluminum-wrapped 1x6.

ROOFING:
 Asphalt shingle roofing to match existing.

SOFFIT:
 2" Continuous linear soffit vent.

GUTTERS:
 5" Aluminum ogee gutter & 3" downspouts. Utilize existing underground storm piping.

FOUNDATION:
 Concrete masonry units, smooth.

WINDOWS:
 New windows to be Marvin Essential fiberglass windows (white) to be similar to existing windows.

DOORS:
 New doors to be Marvin Essential fiberglass patio doors; full light.

LANDING/STAIRS:
 Decking: Timbertech Terrain.
 Risers: Azek PVC 1x8.
 Guardrails: Timbertech Radiance Rail.
 Skirting: Timbertech Terrain fascia.

GARAGE OVERHANG:
 Custom overhang with standing seam metal roofing. Hardi Soffit at ceiling. All components to be smooth finish.



1 NORTH ELEVATION - EXISTING
 SCALE: 1/8" = 1'-0"



2 NORTH ELEVATION - W/ ADDITION
 SCALE: 1/8" = 1'-0"

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A3.1

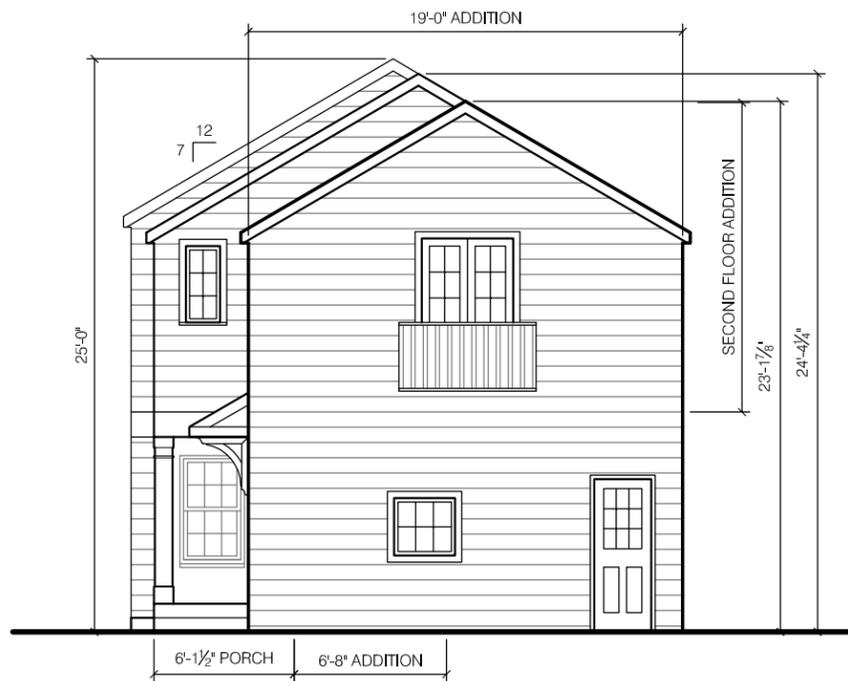
EXTERIOR ELEVATIONS



1 WEST ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



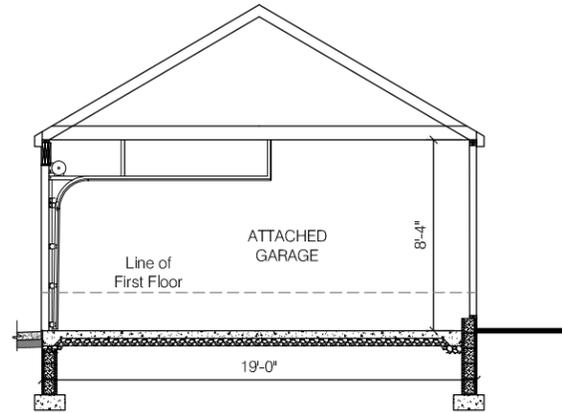
3 SOUTH ELEVATION - EXISTING
SCALE: 1/8" = 1'-0"



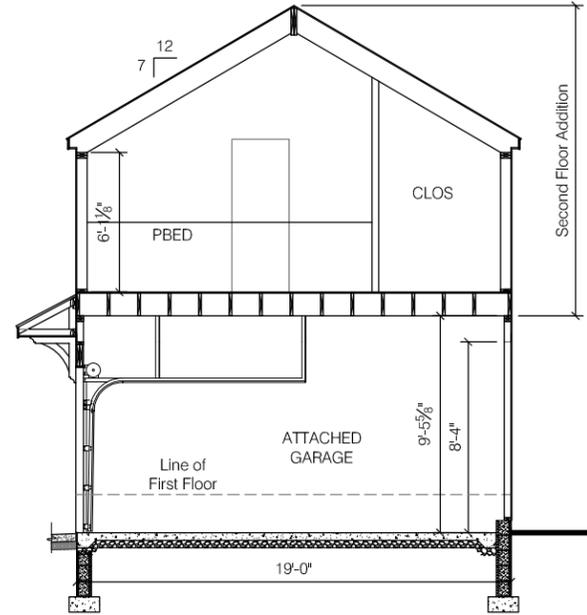
2 WEST ELEVATION - W/ ADDITION
SCALE: 1/8" = 1'-0"



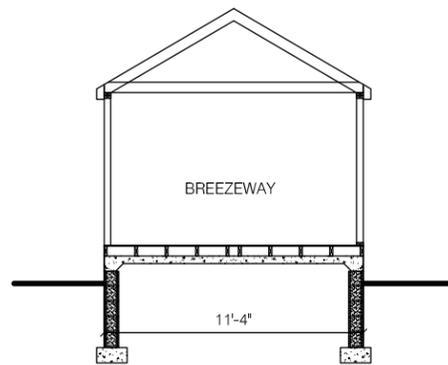
4 SOUTH ELEVATION - W/ ADDITION
SCALE: 1/8" = 1'-0"



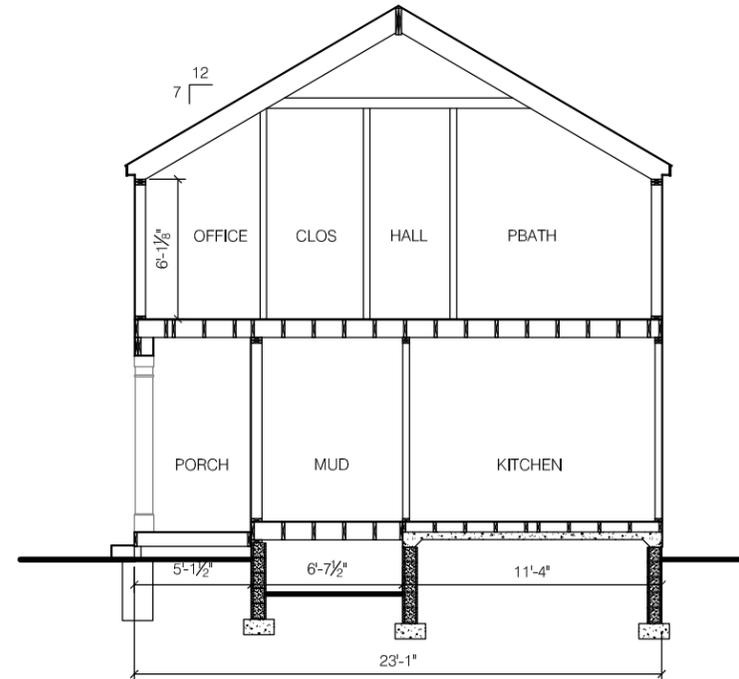
1 SECTION AT GARAGE - EXISTING
 SCALE: 1/8" = 1'-0"



2 SECTION AT GARAGE - EXISTING
 SCALE: 1/8" = 1'-0"



3 SECTION AT HYPHEN - EXISTING
 SCALE: 1/8" = 1'-0"



4 SECTION AT HYPHEN - EXISTING
 SCALE: 1/8" = 1'-0"

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OVERALL SECTIONS