

**GENERAL NOTES**

- ALL WORK SHALL BE IN STRICT ACCORDANCE WITH ALL STATE AND LOCAL CODES, INCLUDING THE RESIDENTIAL CODE OF OHIO FOR ONE, TWO, AND THREE BEDROOM FAMILY DWELLINGS AS AMENDED IN 2019. REPORT ANY CONFLICTS OR INCONSISTENCIES TO THE ARCHITECT.
- OBTAIN MISSING DIMENSIONS OR INFORMATION FROM THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK. DO NOT SCALE THE DRAWINGS.
- SOME DETAILS, SYSTEMS AND MEANS OF CONSTRUCTION ARE SHOWN TYPICALLY FOR A SINGLE CONSTRUCTION DETAIL BUT ARE INTENDED TO BE USED WITH REASONABLE MODIFICATIONS BY THE CONTRACTOR TO APPLY TO ALL REMAINING SIMILAR DETAILS.
- ALL CONTRACTORS SHOULD NOTE THAT A COMPLETE SET OF CONSTRUCTION DOCUMENTS CONSISTS OF THE DRAWINGS, SPECIFICATIONS, CONTRACT, BUILDING AND REGULATORY CODES. THE LEVEL OF WORK WILL BE THE GREATER STANDARD IN THE EVENT OF A CONFLICT BETWEEN THE DOCUMENTS.
- ALL WALLS AND EQUIPMENT ARE PERPENDICULAR TO THE 90 DEGREE GRID UNLESS SPECIFICALLY NOTED OTHERWISE.
- NEW WALLS ARE 5/8" AND 3/2" WOOD STUD PARTITIONS, STUDS 16" O.C., UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING TO DETERMINE THE ACTUAL SITE CONDITIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REGULAR REMOVAL OF SPOILS, CUTTINGS, DROPPINGS, EXCESS MATERIALS AND DEBRIS.
- DO NOT REMOVE SALVAGEABLE MATERIALS FROM THE SITE WITHOUT THE APPROVAL OF THE OWNERS.
- ALL MATERIAL AND COLOR SELECTIONS SHALL BE FURNISHED BY THE ARCHITECT AND/OR OWNERS.
- GENERAL CONTRACTOR TO COORDINATE ROUGH FRAMING DIMENSIONS WITH APPLIANCES, CABINETRY, ETC., PRIOR TO INSTALLATION.
- FIELD VERIFY ALL DIMENSIONS REQUIRED FOR EQUIPMENT, APPLIANCES, CABINETRY, WINDOWS ETC., PRIOR TO INSTALLATION.
- ALL DIMENSIONS ARE FROM FRAMING TO FRAMING UNLESS NOTED OTHERWISE.
- BUILDING PERMIT WILL BE OBTAINED AND PAID FOR BY THE CONTRACTOR. ALL PERMITS AND FEES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR AND ALL SUBCONTRACTORS SHALL BE SOLELY RESPONSIBLE FOR COMPLYING WITH ALL FEDERAL, STATE AND LOCAL SAFETY REQUIREMENTS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY MEASURES, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK. THE ARCHITECT AND ENGINEERING CONSULTANTS SHALL NOT BE RESPONSIBLE FOR THE MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION NOT HEREIN SPECIFIED.
- SHOP DRAWINGS TO BE SUBMITTED TO THE ARCHITECT FOR ALL CABINETRY AND ROOF TRUSSES.
- GENERAL CONTRACTOR RESPONSIBLE FOR SIZING, CONFIGURATION AND LAYOUT OF HVAC SYSTEM. SUBMIT PROPOSED HVAC SYSTEM AND LAYOUT TO ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- ALL LUMBER TO BE NO. 1 / NO. 2 SPRUCE-PINE-FIR OR BETTER, UNLESS NOTED OTHERWISE.
- WINDOWS ARE TO BE MARVIN, SIGNATURE COLLECTION WOOD CLAD, WITH LOWE ARGON-FILLED INSULATING GLAZING, SDL'S AND SPACER BARS, SDL'S TO MATCH EXISTING ON SITE.
- INDIVIDUAL GLAZED AREAS IN HAZARDOUS LOCATIONS SHALL HAVE EACH UNIT OF LAMINATED, HEAT STRENGTHENED, TEMPERED GLASS PERMANENTLY IDENTIFIED BY THE MANUFACTURER. THE IDENTIFICATION OF TEMPERED GLASS SHALL BE ETCHED OR CERAMIC FIRED ON THE GLASS AND BE VISIBLE AFTER INSTALLATION. THE FOLLOWING ARE CONSIDERED HAZARDOUS LOCATIONS FOR PURPOSES OF GLAZING:
  - GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING, AND BIFOLD DOORS, EXCEPT OPENINGS THROUGH WHICH A 6 INCH DIAMETER SPHERE IS UNABLE TO PASS-SEE CODE FOR EXCEPTIONS (R310.4-1.);
  - GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE- SEE CODE FOR EXCEPTIONS (R310.4-2.);
  - GLAZING IN THE INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEET ALL THE FOLLOWING CONDITIONS:
    - EXPOSED AREA OF THE INDIVIDUAL PANE GREATER THAN 9 SQ. FT.;
    - BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR;
    - TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR;
    - ONE OR MORE WALKING SURFACES ARE WITHIN 36 INCHES MEASURED HORIZONTALLY AND IN A STRAIGHT LINE, OF THE GLAZING. (R308.4-3.)
    - GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE. (R308.4-3.)
    - d) GLAZING IN ENCLOSURES FOR WALLS FACING HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, AND SHOWERS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE- SEE CODE FOR EXCEPTIONS. (R308.4-5.)
    - e) GLAZING ADJACENT TO STAIRWAYS, LANDINGS, AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE WHEN THE EXPOSED SURFACE OF THE GLAZING IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE- SEE CODE FOR EXCEPTIONS. (R308.4-7.)
- WINDOW MARKED EGRESS ON THE FLOOR PLAN SHALL MEET THE FOLLOWING REQUIREMENTS. EGRESS WINDOWS SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. THESE WINDOWS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET. THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES. (R310.1)
- ALL NEW TREADS AND RISERS SHALL MEET THE FOLLOWING REQUIREMENTS: THE MAXIMUM RISER HEIGHT SHALL BE 8 1/2" AS MEASURED VERTICALLY BETWEEN LEADING EDGES OF THE ADJACENT TREADS. THE RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT VARY BY MORE THAN 3/8". THE MINIMUM TREAD DEPTH SHALL BE 9" AS MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT VARY MORE THAN 3/8". (R311.7.4) THE PROFILE OF THE RADIUS OF CURVATURE AT THE NOSING SHALL BE IN ACCORDANCE WITH R311.7.4.3.
- SMOKE ALARMS
  - GENERAL. SMOKE ALARMS SHALL COMPLY WITH THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72 AND SECTION 314.
    - LISTINGS. SMOKE ALARMS SHALL BE LISTED AND LABELED IN ACCORDANCE WITH UL 217 AND UL 2034.
    - TECHNOLOGIES. ON EACH LEVEL WITHIN EACH DWELLING UNIT SMOKE ALARMS UTILIZING PHOTOELECTRIC AND IONIZATION TECHNOLOGIES SHALL BE INSTALLED. SEPARATE OR DUAL-SENSING SMOKE ALARMS MAY BE USED. A SMOKE ALARM LOCATED IN ACCORDANCE WITH SECTION 314.3(2) SHALL INCLUDE PHOTOELECTRIC TECHNOLOGY. EXCEPTION: A SYSTEM MEETING THE REQUIREMENTS OF SECTION 314.7 IS NOT

- REQUIRED TO INCLUDE BOTH TECHNOLOGIES.
- 314.2.2 ALTERATIONS, REPAIRS, AND ADDITIONS, WHERE ALTERATIONS, REPAIRS, OR ADDITIONS REQUIRING AN APPROVAL OCCUR, SMOKE ALARMS SHALL BE INSTALLED, AS REQUIRED FOR NEW CONSTRUCTION, AS FOLLOWS:
- WHEN ALTERATIONS OR REPAIRS ARE MADE TO SPACES DESCRIBED IN ITEMS 1 AND 2 OF SECTION 314.3, SMOKE ALARMS SHALL BE PROVIDED IN THOSE AREAS.
  - WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED TO OR CREATED IN EXISTING DWELLING UNITS, THE NEW SLEEPING ROOMS AND THE IMMEDIATE VICINITY OUTSIDE EACH SLEEPING ROOM SHALL BE EQUIPPED WITH SMOKE ALARMS.
- EXCEPTIONS:
- WORK INVOLVING THE EXTERIOR SURFACES OF DWELLINGS, SUCH AS THE REPLACEMENT OF ROOFING OR SIDING, THE ADDITION OR REPLACEMENT OF WINDOWS OR DOORS, OR THE ADDITION OF A PORCH OR DECK.
  - INSTALLATION, ALTERATION OR REPAIRS OF PLUMBING OR MECHANICAL SYSTEMS.
- 314.3 LOCATION. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS:
- IN EACH SLEEPING ROOM.
  - OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE SLEEPING ROOMS.
  - ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS AND NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS, IN DWELLINGS OR DWELLING UNITS WITH SPLIT LEVELS AND WITHOUT AN INTERVENING DOOR BETWEEN THE ADJACENT LEVELS. A SMOKE ALARM INSTALLED ON THE UPPER LEVEL SHALL SUFFICE FOR THE ADJACENT LOWER LEVEL PROVIDED THAT THE LOWER LEVEL IS LESS THAN ONE FULL STORY BELOW THE UPPER LEVEL.
  - SMOKE ALARMS SHALL BE INSTALLED NOT LESS THAN 3 FEET (914 MM) HORIZONTALLY FROM THE DOOR OR OPENING OF A BATHROOM THAT CONTAINS A BATHTUB OR SHOWER UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM REQUIRED BY THIS SECTION.
- 314.3.1 INSTALLATION NEAR COOKING APPLIANCES. SMOKE ALARMS SHALL NOT BE INSTALLED IN THE FOLLOWING LOCATIONS UNLESS THIS WOULD PREVENT PLACEMENT OF A SMOKE ALARM IN A LOCATION REQUIRED BY SECTION 314.3:
- IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET (6096 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
  - IONIZATION SMOKE ALARMS WITH AN ALARM-SILENCING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET (3048 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
  - PHOTOELECTRIC SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 6 FEET (1828 MM) HORIZONTALLY FROM A PERMANENTLY INSTALLED COOKING APPLIANCE.
- 314.4 INTERCONNECTION, WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED TO BE INSTALLED WITHIN AN INDIVIDUAL DWELLING UNIT IN ACCORDANCE WITH SECTION 314.3, THE ALARM DEVICES SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT. PHYSICAL INTERCONNECTION OF SMOKE ALARMS SHALL NOT BE REQUIRED WHERE LISTED AND LABELED WIRELESS ALARMS ARE INSTALLED AND ALL ALARMS SOUND UPON ACTIVATION OF ONE ALARM.
- EXCEPTION: INTERCONNECTION OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE THE ALTERATIONS OR REPAIRS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE, OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR INTERCONNECTION WITHOUT THE REMOVAL OF INTERIOR FINISHES.
- 314.5 COMBINATION ALARMS. COMBINATION SMOKE AND CARBON MONOXIDE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF SMOKE ALARMS.
- 314.6 POWER SOURCE. SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHERE SUCH WIRING IS SERVED FROM A COMMERCIAL SOURCE AND, WHERE PRIMARY POWER IS INTERRUPTED, SHALL RECEIVE POWER FROM A BATTERY. WIRING SHALL BE PERMANENT AND WITHOUT A DISCONNECTING SWITCH OTHER THAN THOSE REQUIRED FOR OVERCURRENT PROTECTION.
- EXCEPTIONS:
- SMOKE ALARMS SHALL BE PERMITTED TO BE BATTERY OPERATED WHERE INSTALLED IN BUILDINGS WITHOUT COMMERCIAL POWER.
  - HARD WIRING OF SMOKE ALARMS IN EXISTING AREAS SHALL NOT BE REQUIRED WHERE THE ALTERATIONS OR REPAIRS DO NOT RESULT IN THE REMOVAL OF INTERIOR WALL OR CEILING FINISHES EXPOSING THE STRUCTURE, UNLESS THERE IS AN ATTIC, CRAWL SPACE, OR BASEMENT AVAILABLE WHICH COULD PROVIDE ACCESS FOR HARD WIRING WITHOUT THE REMOVAL OF INTERIOR FINISHES.
- CARBON MONOXIDE ALARMS:
- 315.2.2 ALTERATIONS, REPAIRS AND ADDITIONS, IN EXISTING DWELLING UNITS, HAVING FUEL-FIRED APPLIANCES OR AN ATTACHED GARAGE, WHERE AN APPLICATION FOR APPROVAL IS REQUIRED FOR WORK INVOLVING ANY OF THE FOLLOWING AREAS OR SYSTEMS WITHIN THAT DWELLING UNIT, THE INDIVIDUAL DWELLING UNIT SHALL BE EQUIPPED WITH CARBON MONOXIDE ALARMS LOCATED AS REQUIRED FOR NEW DWELLINGS:
- THE ADDITION OR CREATION OF A NEW SLEEPING ROOM.
  - AN ALTERATION OF A SLEEPING ROOM.
  - AN ALTERATION IN THE IMMEDIATE VICINITY OUTSIDE OF A SLEEPING ROOM.
  - AN ADDITION OF, OR AN ALTERATION TO, AN ATTACHED GARAGE.
  - AN ADDITION, ALTERATION, REPAIR OR REPLACEMENT OF A FUEL-FIRED APPLIANCE
- 315.3 LOCATION. CARBON MONOXIDE ALARMS IN DWELLING UNITS SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS, WHERE A FUEL-BURNING APPLIANCE IS LOCATED WITHIN A BEDROOM OR ITS ATTACHED BATHROOM, A CARBON MONOXIDE ALARM SHALL BE INSTALLED WITHIN THE BEDROOM
- 315.4 COMBINATION ALARMS. COMBINATION CARBON MONOXIDE AND SMOKE ALARMS SHALL BE PERMITTED TO BE USED IN LIEU OF CARBON MONOXIDE ALARMS.
26. FIRE RESISTANT CONSTRUCTION: IN COMBUSTIBLE CONSTRUCTION, FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH HORIZONTAL AND VERTICAL, AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. (R302.11)
- FIREBLOCKING MATERIALS, IN ACCORDANCE WITH R302.11.1, SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:
- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS, OR STAGGERED STUDS VERTICALLY AT THE CEILING AND FLOOR LEVELS AND HORIZONTALLY AT INTERVALS NOT TO EXCEED 10 FEET;
  - AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH THAT OCCUR AT SOFFITS, DROP CEILINGS, COVE CEILINGS, WOOD FRAME BATHTUB DECKS, ETC.;
  - IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED SPACES UNDER STAIRS SHALL COMPLY WITH R302.7;
  - AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES, AND WIRES AT CEILING AND FLOOR LEVEL WITH APPROVED MATERIALS AS REQUIRED BY THE CODE. (R302.11)
- CEILING JOISTS AND RAFTER CONNECTIONS: CEILING JOISTS AND RAFTERS SHALL BE NAILED TO EACH OTHER IN ACCORDANCE

WITH TABLE R802.5.1(9), AND THE RAFTER SHALL BE NAILED TO THE TOP WALL PLATE IN ACCORDANCE WITH TABLE R602.3(1). CEILING JOISTS SHALL BE CONTINUOUS OR SECURELY JOINED IN ACCORDANCE WITH TABLE R802.5.1(9) WHERE THEY MEET OVER INTERIOR PARTITIONS AND ARE NAILED TO ADJACENT RAFTERS TO PROVIDE A CONTINUOUS. THE ACROSS THE BUILDING WHEN SUCH JOISTS ARE PARALLEL TO THE RAFTERS. WHERE CEILING JOISTS ARE NOT CONNECTED TO THE RAFTERS AT THE TOP WALL PLATE, JOISTS CONNECTED HIGHER IN THE ATTIC SHALL BE INSTALLED AS RATER TIES, OR RAFTER TIES SHALL BE INSTALLED TO PROVIDE A CONTINUOUS TIE. WHERE CEILING JOISTS ARE NOT PARALLEL TO RAFTERS, RAFTER TIES SHALL BE INSTALLED. RAFTER TIES SHALL BE A MINIMUM OF 2-INCH BY 4-INCH (NOMINAL), INSTALLED IN ACCORDANCE WITH THE CONNECTION REQUIREMENTS IN TABLE R802.5.1(9), OR CONNECTIONS OF EQUIVALENT CAPACITIES SHALL BE PROVIDED. WHERE CEILING JOISTS OR RAFTER TIES ARE NOT PROVIDED, THE RIDGE FORMED BY THESE RAFTERS SHALL BE SUPPORTED BY A WALL OR GIRDER DESIGNED IN ACCORDANCE WITH ACCEPTED ENGINEERING PRACTICE. COLLAR TIES OR RIDGE STRAPS TO RESIST WIND UPLIFT SHALL BE CONNECTED IN THE UPPER THIRD OF THE ATTIC SPACE IN ACCORDANCE WITH TABLE R602.3(1). COLLAR TIES SHALL BE MINIMUM OF 1-INCH BY 4-INCH (NOMINAL), SPACED NOT MORE THAN 4 FEET ON CENTER (R802.3.1) BEARING. THE ENDS OF EACH RAFTER OR CEILING JOIST SHALL HAVE NOT LESS THAN 1/2 INCHES OF BEARING ON WOOD OR METAL AND NOT LESS THAN 3 INCHES ON MASONRY OR CONCRETE. (R802.6)

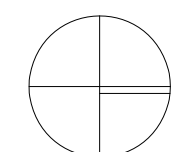
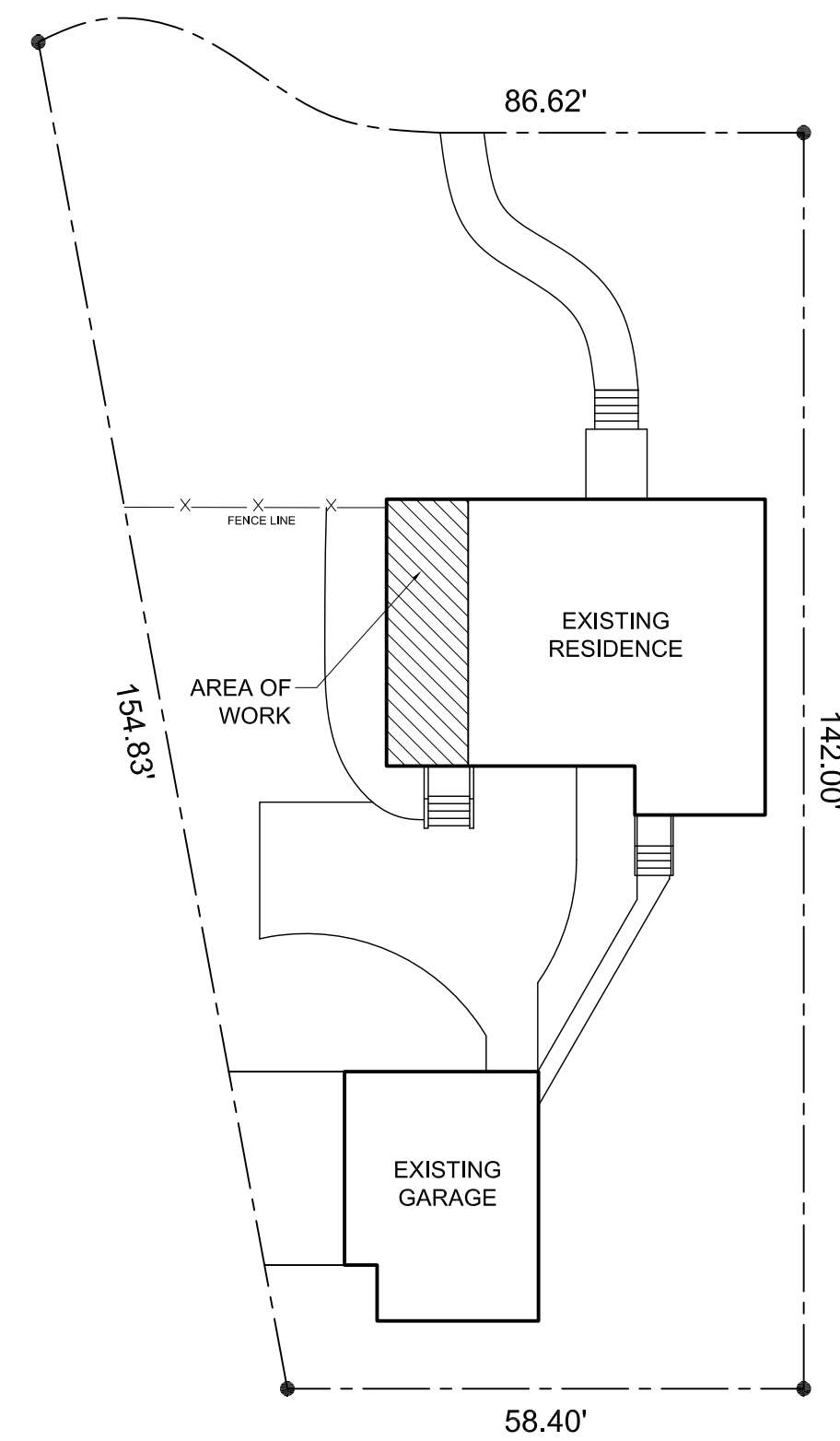
28. ATTIC VENTILATION: ENCLOSED ATTIC AND ENCLOSED RAFTER SPACES FORMED WHERE CEILINGS ARE APPLIED DIRECTLY TO THE UNDERSIDE OF ROOF RAFTERS SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE BY PROTECTED VENTILATING OPENINGS. (R806.1)

THE TOTAL NET FREE VENTILATION AREA SHALL NOT BE LESS THAN 1/50 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATION AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS, OR BY THE INSTALLATION OF A CLASS I OR II VAPOR BARRIER. (R806.2)

29. ALL ROOF WATER FROM BUILDINGS, INCLUDING DETACHED ACCESSORY GARAGES, SHALL BE CARRIED FROM DOWNSPOUTS TO THE STREET GUTTER, STORM DITCH, OR STORM SEWER THROUGH THE WALLED POLYVINYL CHLORIDE PIPE (PVC), HAVING A MINIMUM DIAMETER OF FOUR INCHES (4") BEDDED IN SAND AND LAID TO PROPER GRADE.

30. CELO-GUARD OR APPROVED EQUAL ICE AND WATERGUARD UNDERLAYMENT TO BE USED ON ALL NEW ROOF SURFACES

N. REMINGTON RD.



**SITE PLAN**  
SCALE: 1" = 20'-0"

ZONING IDENTIFICATION	-	R-6
PARCEL ID:	-	020-002800
LOT AREA	-	10,469 SQ. FT.
EXISTING BUILDING COVER	-	1,968 SQ. FT. 18.8% OF LOT AREA
PROPOSED BUILDING COVER	-	1,968 SQ. FT. 18.8% OF LOT AREA
EXISTING DEVELOPMENT COVER	-	3,322 SQ. FT. 31.7% OF LOT AREA
PROPOSED DEVELOPMENT COVER	-	3,322 SQ. FT. 31.7% OF LOT AREA

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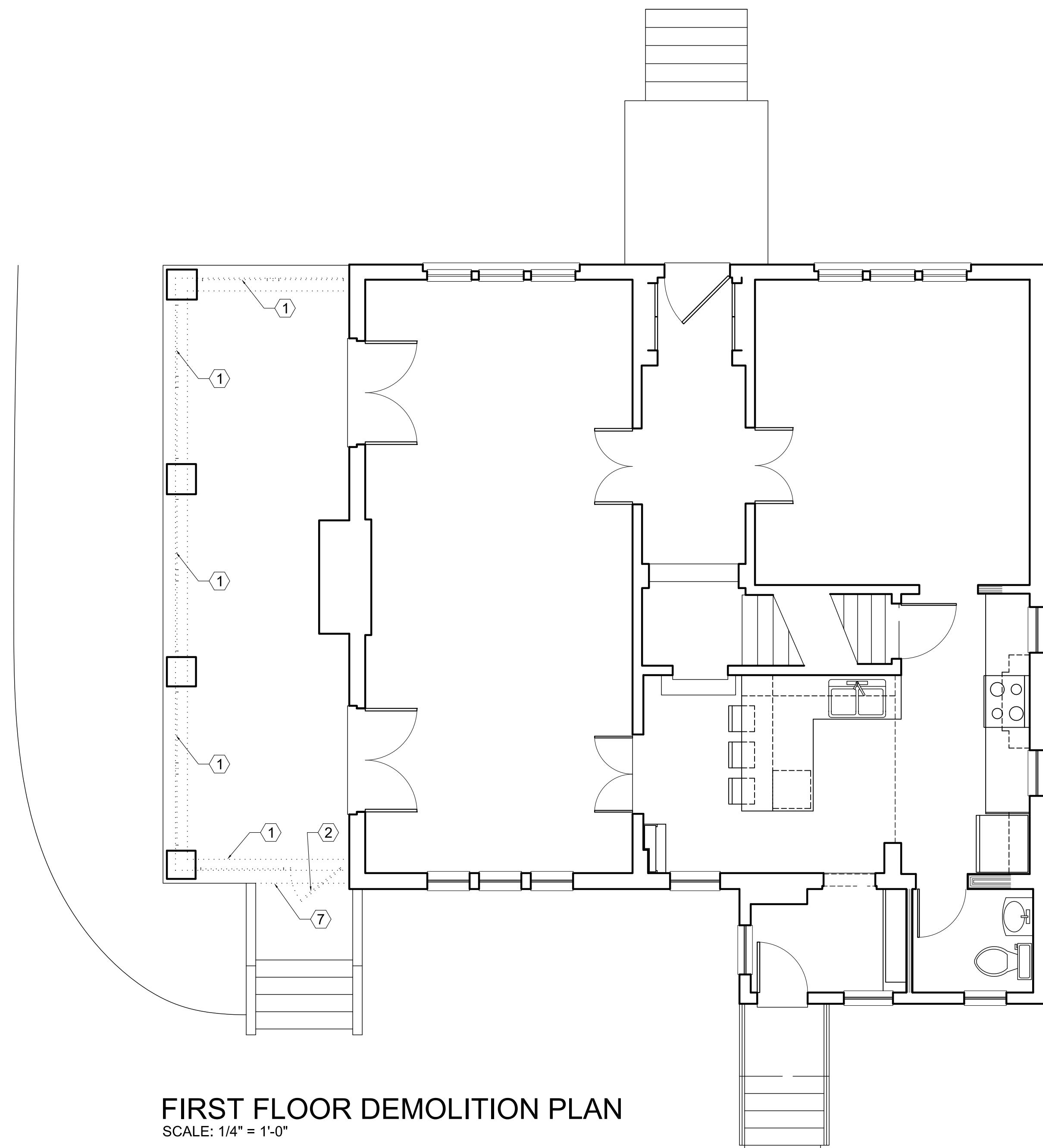
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**ADDITION AND REMODEL  
THE PICKRELL RESIDENCE  
34 N REMINGTON RD**



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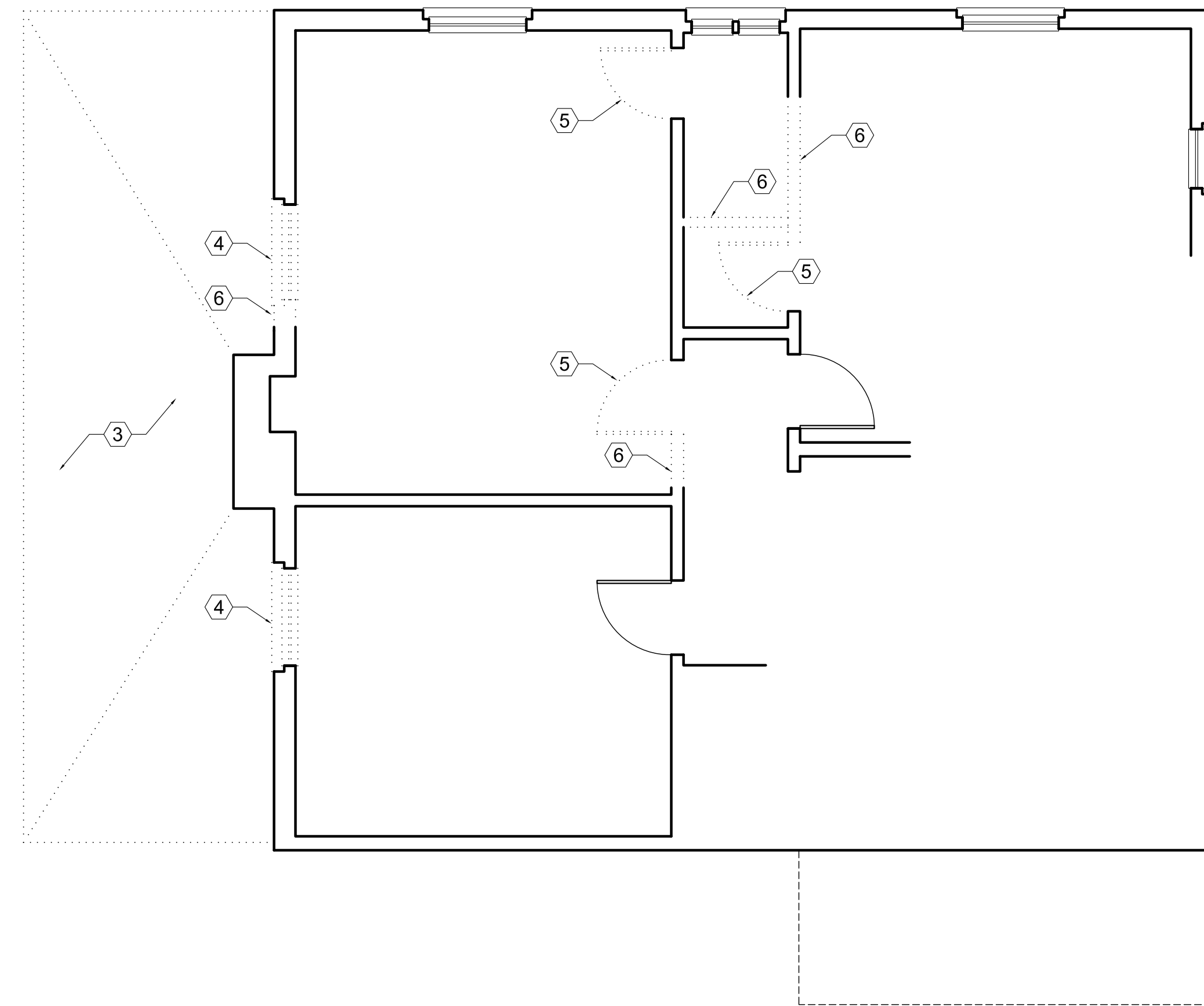
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**FIRST FLOOR DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"

- DEMOLITION PLAN NOTES
1. SCREEN WALL TO BE REMOVED
  2. SCREEN DOOR TO BE REMOVED
  3. ROOF TO BE REMOVED
  4. WINDOW TO BE REMOVED
  5. DOOR TO BE REMOVED
  6. WALL TO BE REMOVED
  7. REMOVE SLAB EDGE AS NECESSARY TO FACILITATE CONSTRUCTION OF NEW STEP



**SECOND FLOOR DEMOLITION PLAN**

SCALE: 1/4" = 1'-0"

- DEMOLITION PLAN NOTES
1. SCREEN WALL TO BE REMOVED
  2. SCREEN DOOR TO BE REMOVED
  3. ROOF TO BE REMOVED
  4. WINDOW TO BE REMOVED
  5. DOOR TO BE REMOVED
  6. WALL TO BE REMOVED
  7. REMOVE SLAB EDGE AS NECESSARY TO FACILITATE CONSTRUCTION OF NEW STEP

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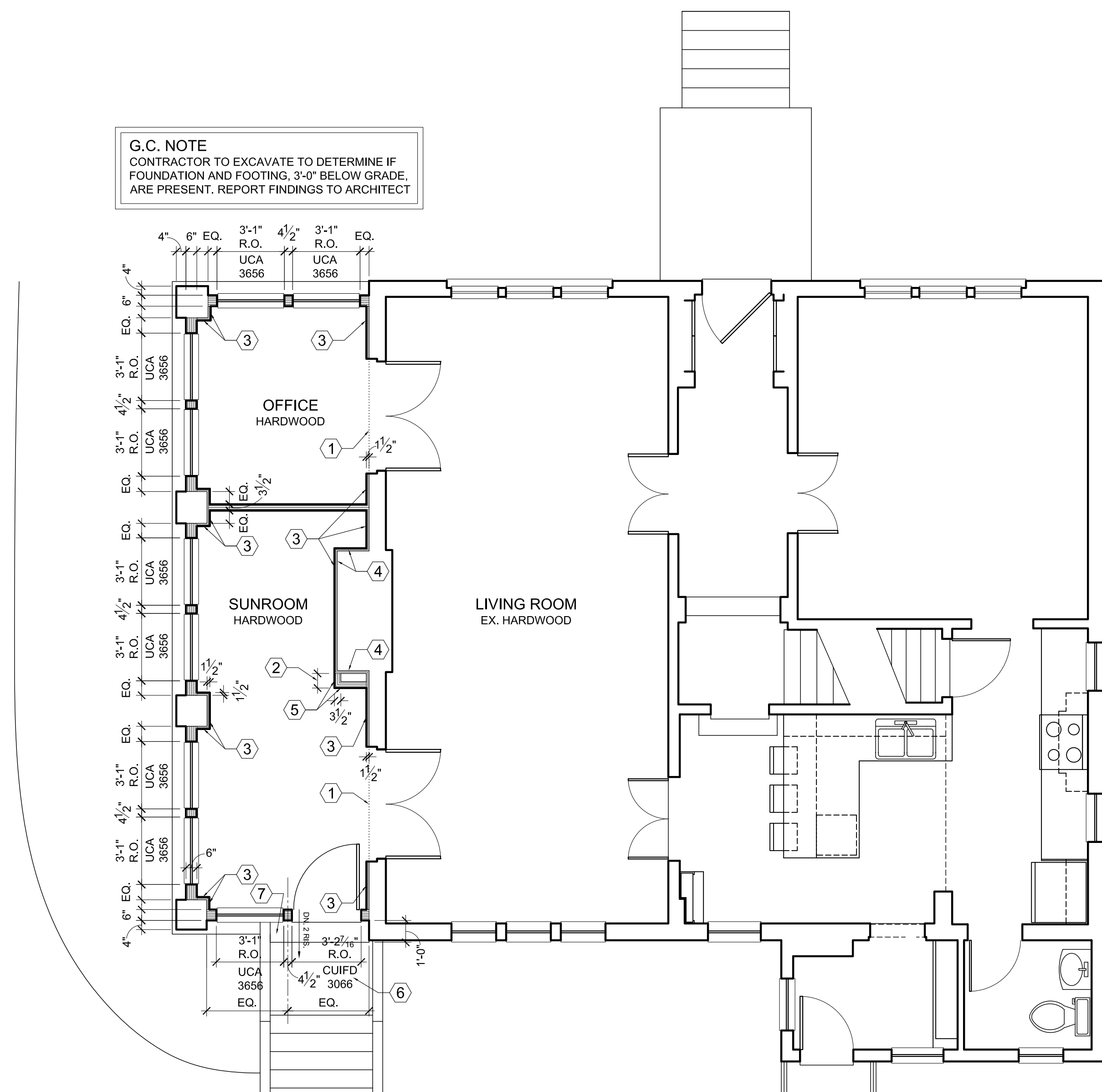


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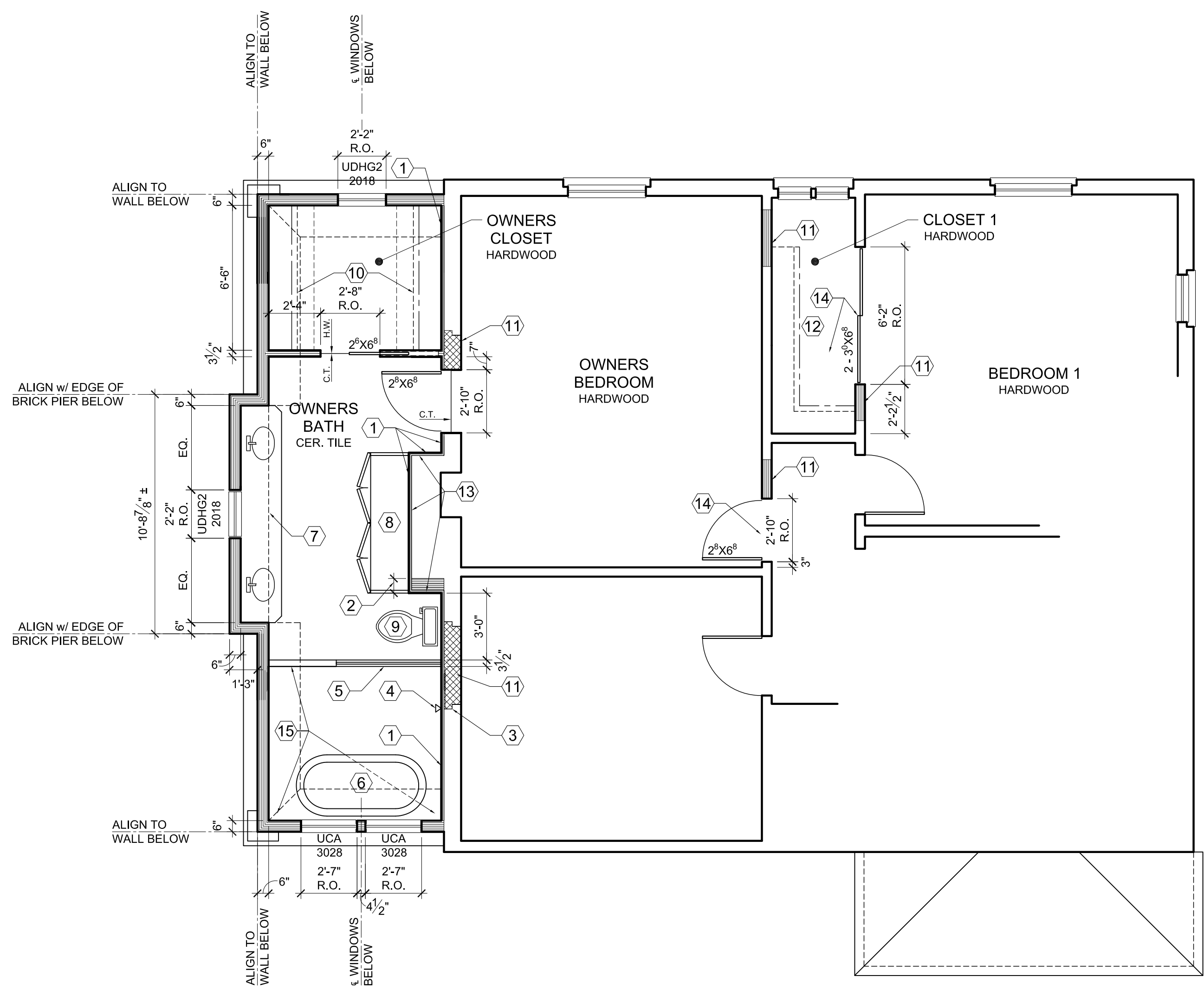
**A-2**

**G.C. NOTE**  
 CONTRACTOR TO EXCAVATE TO DETERMINE IF FOUNDATION AND FOOTING, 3'-0" BELOW GRADE, ARE PRESENT. REPORT FINDINGS TO ARCHITECT



**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

- FIRST FLOOR PLAN NOTES**
1. CONTINUE FLOOR LEVEL FROM LIVING ROOM, MATCH HARDWOOD FROM LIVING ROOM
  2. FURR-OUT CHASE AS NECESSARY FOR PLUMBING ABOVE
  3. FURR-OUT BRICK WALL WITH 2X STUDS TURNED ON SIDE, INSULATE WITH CLOSED-CELL FOAM INSULATION, MIN. R-VALUE OF 6 PER 1" OF THICKNESS
  4. ALL FURRING ATTACHED TO CHIMNEY TO BE METAL
  5. METAL STUDS TO BE USED TO FRAME CHASE
  6. G.C. CONFIRM HEIGHT OF DOOR WILL FIT WITHIN AVAILABLE SPACE. CUSTOM HEIGHT DOOR MAY BE REQUIRED
  7. REMOVE SLAB EDGE TO FACILITATE CONSTRUCTION OF NEW STEP



**SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

- SECOND FLOOR PLAN NOTES**
1. FURR-OUT BRICK WALL WITH 2X STUDS TURNED ON SIDE. INSULATE CAVITY WITH CLOSED-CELL FOAM INSULATION. MINIMUM R-VALUE OF 6 PER 1" OF THICKNESS
  2. FURR-OUT CHASE AS NECESSARY FOR PLUMBING
  3. REMOVE BRICK AS NECESSARY FOR SHOWER PLUMBING
  4. SHOWER HEAD WITH HAND-HELD WAND
  5. FRAMELESS GLASS SHOWER PANEL
  6. STAND ALONE SOAKING TUB, TO BE SELECTED BY OWNER
  7. UNDERMOUNT SINK IN VANITY CABINET, G.C. CONSULT OWNER REGARDING HEIGHT OF CABINET AND COORDINATE WITH ADJACENT WINDOW SILL
  8. WALL CABINET
  9. NEW TOILET
  10. G.C. PROVIDE ALLOWANCE FOR CLOSET ORGANIZING SYSTEM
  11. MASONRY INFILL IN EXISTING OPENING, ALIGN AND MATCH FINISH TO EXISTING
  12. ROD AND SHELF
  13. ALL FRAMING ADJACENT TO CHIMNEY TO BE METAL
  14. TOOTH NEW FLOORING INTO EXISTING
  15. SHOWER PAN TO BE CONTINUOUS AND EXTEND UNDER AND BEYOND SOAKING TUB

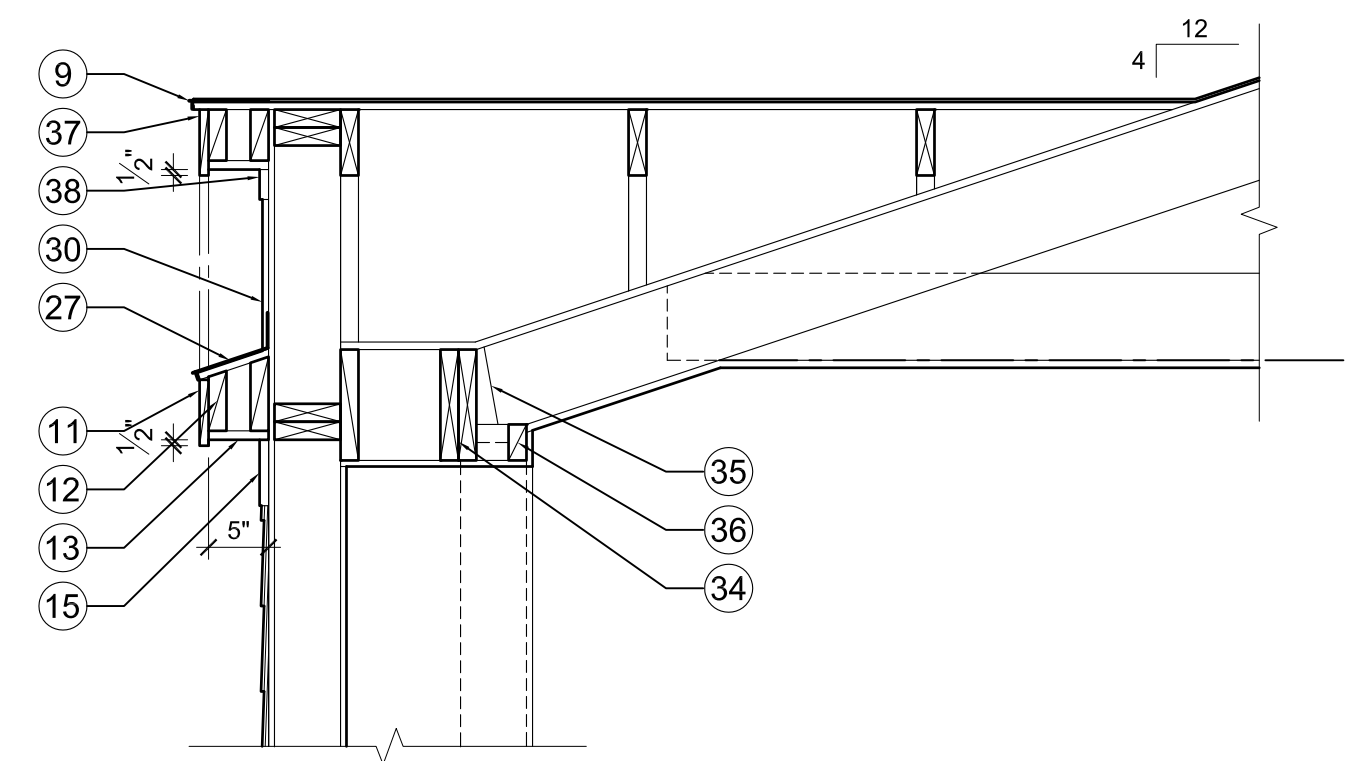
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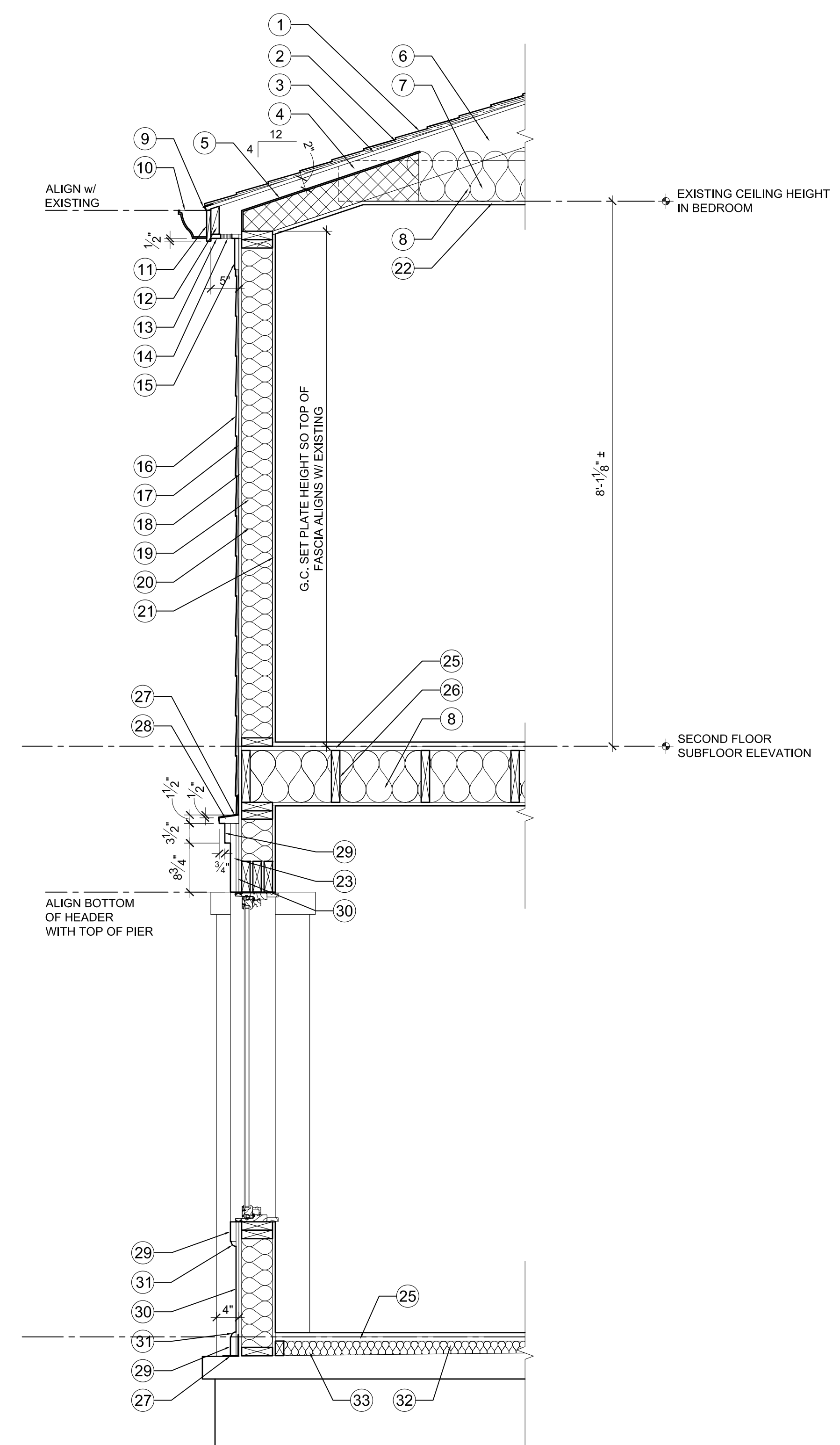
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**A-3**

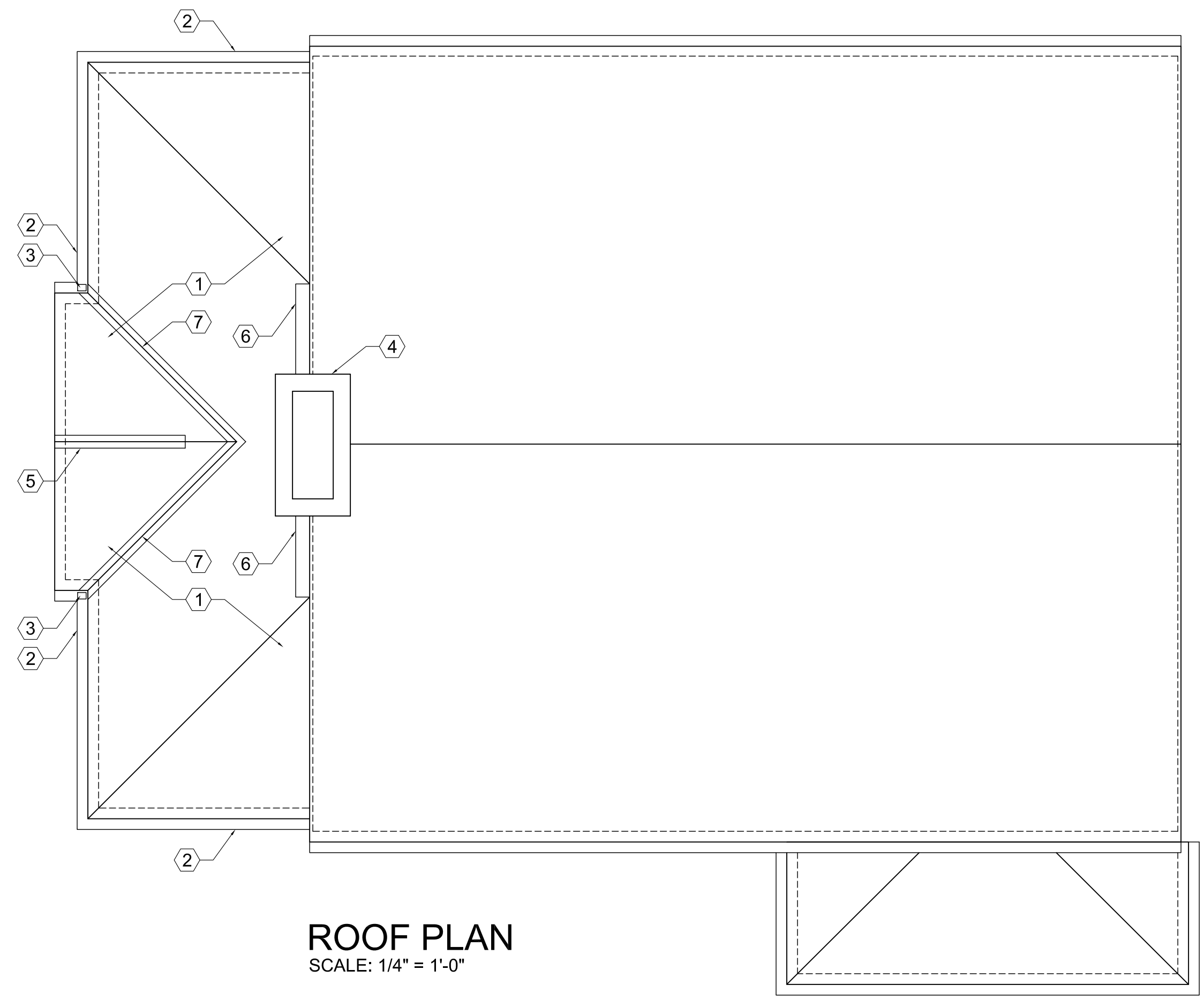


**A FRAMING DETAIL**  
SCALE: 3/4" = 1'-0"



**B WALL SECTION**  
SCALE: 3/4" = 1'-0"

- MATERIAL LIST**
1. ROOF SHINGLES TO MATCH EXISTING
  2. 15# ROOFING FELTS
  3. 5/8" ROOF SHEATHING
  4. AIR SPACE
  5. INSULATION STOP
  6. 2X8 @ 24" O.C. RAFTERS
  7. 2X8 @ 24" O.C. CEILING JOIST
  8. R-38 INSULATION
  9. PRE-FINISHED METAL DRIP EDGE
  10. PRE-FINISHED ALUMINUM GUTTER OGEE PROFILE TO MATCH AND ALIGN WITH EXISTING
  11. 1X6 WOOD FASCIA, TOP OF FASCIA TO ALIGN WITH TOP OF EXISTING
  12. 2X SUBFASCIA
  13. SOFFIT MATERIAL TO MATCH EXISTING
  14. 2" CONTINUOUS SOFFIT VENT
  15. 3/4" X 6 BORAL TRIM
  16. CEMENT FIBER SIDING, HARDIE-PLANK, SMOOTH FINISH, LAP SIDING, BLIND NAILED, 6" EXPOSURE
  17. WATER RESISTANT, BREATHABLE, AIR BARRIER, TYVEK HOMEWRAP OR EQUAL
  18. 1/2" WALL SHEATHING
  19. 2X6 STUDS @ 16" O.C.
  20. R-21 INSULATION WITH VAPOR RETARDER
  21. 1/2" GYPSUM WALLBOARD
  22. 5/8" GYPSUM WALLBOARD (CEILING)
  23. 3/4" BORAL TRIM
  24. -
  25. 3/4" T&G PLYWOOD SUBFLOOR GLUED AND NAILED
  26. 2X10 FLOOR JOISTS 16" O.C.
  27. PAINTED METAL FLASHING, EXTEND UP BEHIND FINISHED SURFACE
  28. 2X TRIM WITH TAPERED TOP
  29. 3/4" X 4 BORAL TRIM
  30. CEMENT FIBER PANEL, HARDIE PANEL OR APPROVED EQUAL, SMOOTH FINISH
  31. COVE MOLDING, CAPITAL CITY MILLWORK, KL311, 3/16" X 1 1/2"
  32. 2X TREATED WOOD, TAPER TO ALIGN FLOOR WITH EXISTING
  33. INSULATE CAVITY WITH BATT INSULATION
  34. 2-2X10 BEAM
  35. JOIST HANGER
  36. BLOCKING AS REQUIRED
  37. 1X6 BORAL RAKE BOARD
  38. 3/4" X 3 BORAL RAKE TRIM



**ROOF PLAN**  
SCALE: 1/4" = 1'-0"

- ROOF PLAN NOTES**
1. ROOF SHINGLES TO MATCH EXISTING
  2. 5" OGEE PROFILE PREFINISHED ALUMINUM GUTTER
  3. 2"x3" PREFINISHED ALUMINUM DOWNSPOUT
  4. EXISTING CHIMNEY
  5. RIDGE VENT
  6. VENTED WALL FLASHING
  7. PREFINISHED METAL VALLEY FLASHING

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**ADDITION AND REMODEL  
THE PICKRELL RESIDENCE  
34 N REMINGTON RD**

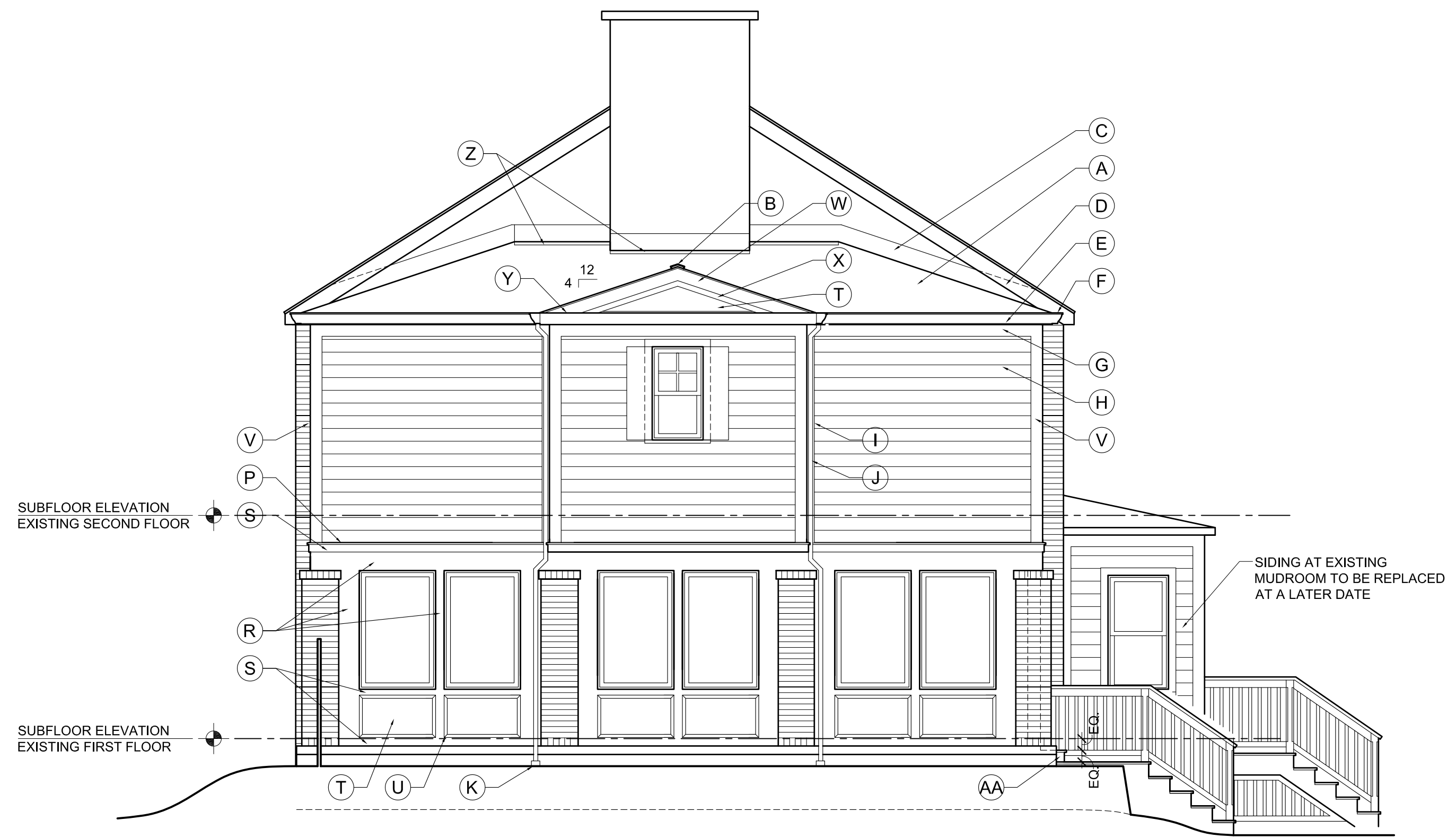


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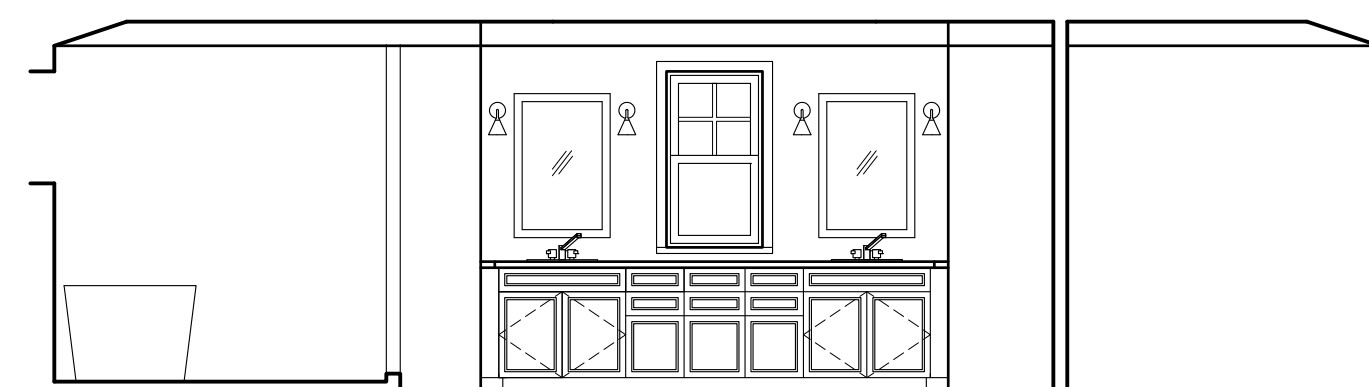
**FRONT (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"



**SIDE (SOUTH) ELEVATION**  
SCALE: 1/4" = 1'-0"



**REAR (EAST) ELEVATION**  
SCALE: 1/4" = 1'-0"



**INTERIOR ELEVATIONS**  
BATHROOM VANITY  
SCALE: 1/4" = 1'-0"

**ELEVATION NOTES**

- ALL EXTERIOR TRIM TO BE SMOOTH FINISH. ALL SURFACES OF TRIM TO BE PRIMED PRIOR TO INSTALLATION. SAW CUTS AND NAIL HOLES TO BE PRIMED.

- ALL GUTTERS AND DOWNSPOUTS TO CONNECT UNDERGROUND TO DRAIN TILE AND DRAIN TILE TO BE ROUTED TO CURB AT STREET. IF EXISTING DRAIN TILE ARE TO BE USED, CONTRACTOR TO VERIFY THAT EXISTING DRAIN TILE ARE OPERATING PROPERLY PRIOR TO CONNECTING NEW DOWNSPOUTS

- A. ROOF SHINGLES TO MATCH EXISTING
- B. RIDGE VENT BENEATH SHINGLE
- C. WALL FLASHING
- D. EXTEND FLASHING UP BEHIND RAKE BOARD
- E. 1X6 WOOD FASCIA, TOP OF FASCIA TO ALIGN WITH TOP OF EXISTING
- F. PRE-FINISHED ALUMINUM GUTTER OGEE PROFILE TO MATCH AND ALIGN WITH EXISTING
- G. 1/2 X 6 BORAL TRIM BENEATH SOFFIT
- H. CEMENT FIBER SIDING, HARDIE-PLANK, SMOOTH FINISH, LAP SIDING, BLIND NAILED, 6" EXPOSURE
- I. 1/2 X 4 BORAL INTERIOR CORNER BOARD
- J. PRE-FINISHED ALUMINUM DOWNSPOUT TO MATCH EXISTING DOWNSPOUT BOOT
- K. 1/2 X 4 HEAD TRIM WITH HEAD FLASHING
- L. 1/2 X 4 JAMB TRIM (INSTALL BEHIND SHUTTER)
- N. SHUTTER TO MATCH EXISTING, WIDTH OF SHUTTER TO BE 1/2 WIDTH OF ADJACENT WINDOW
- O. 1 1/2" WOOD SILL WITH DRIP EDGE
- P. PAINTED METAL FLASHING, EXTEND UP BEHIND FINISHED SURFACE
- Q. 1/2" BORAL TRIM
- R. 1/2 X 4 BORAL TRIM
- S. CEMENT FIBER PANEL, HARDIE-PLANK, SMOOTH FINISH
- T. COVE MOLDING, CAPITAL CITY MILLWORK, KL311, 1 3/8" X 1 1/2"
- V. 1/2 X 6 BORAL CORNER BOARD
- W. 1X6 BORAL RAKE BOARD
- X. 1/2 X 3 BORAL RAKE TRIM
- Y. 1X BORAL WASH WITH PAINTED METAL FLASHING
- Z. VENTED WALL FLASHING
- AA. NEW STEP ADDED TO EXISTING STAIR

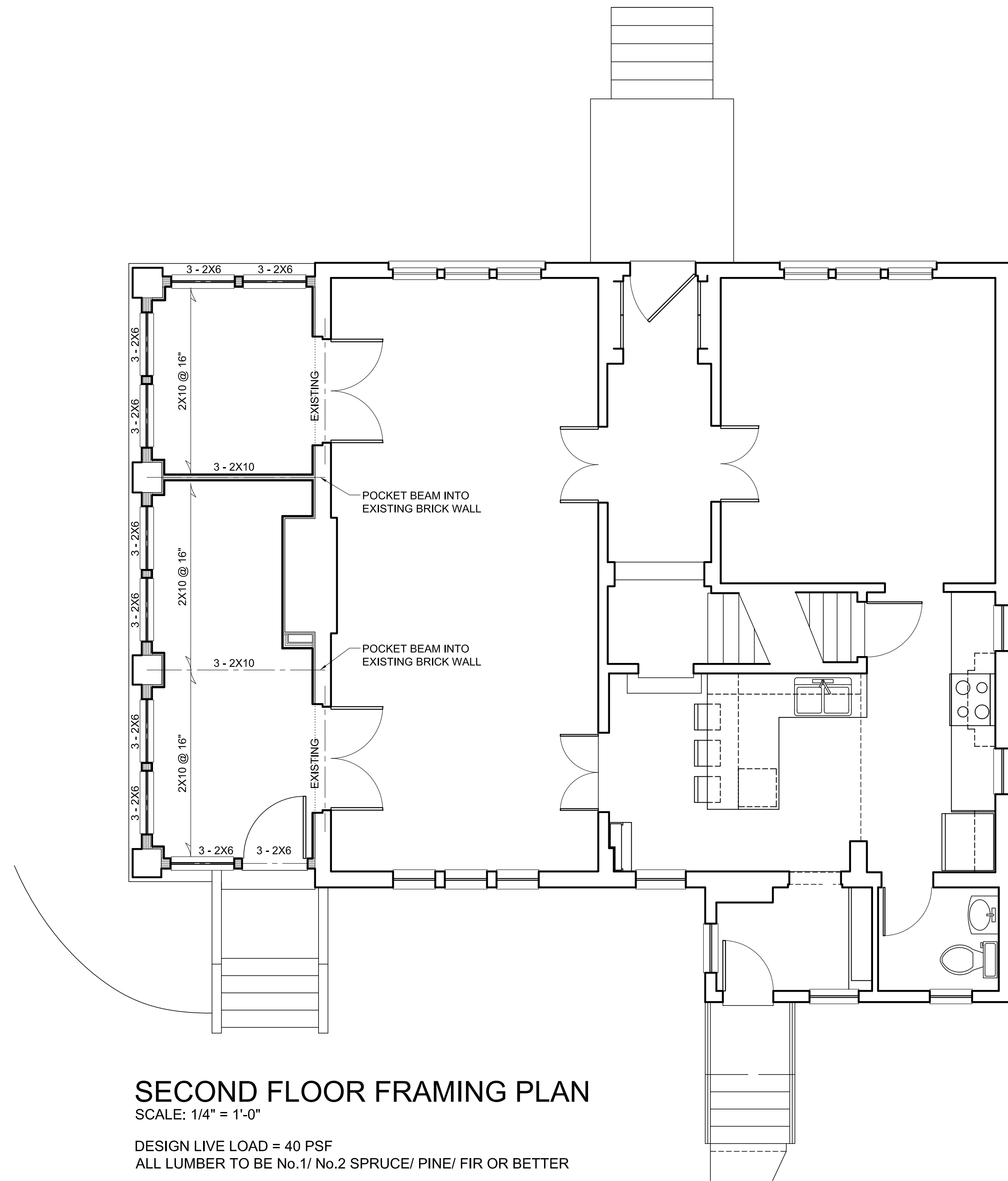
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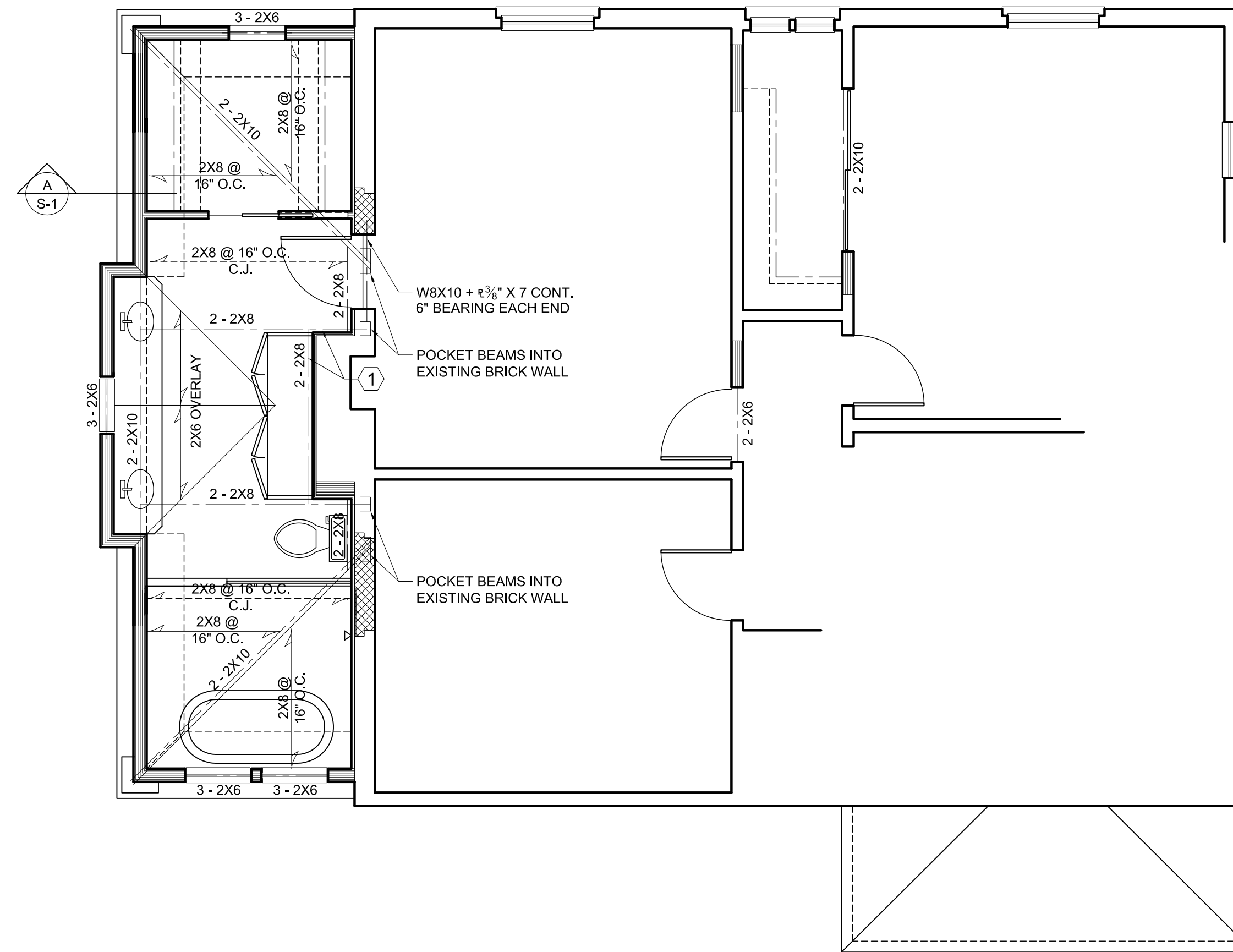
**A-5**



**SECOND FLOOR FRAMING PLAN**

SCALE: 1/4" = 1'-0"

DESIGN LIVE LOAD = 40 PSF  
ALL LUMBER TO BE No.1/ No.2 SPRUCE/ PINE/ FIR OR BETTER



**ROOF FRAMING PLAN**

SCALE: 1/4" = 1'-0"

DESIGN LIVE LOAD = 25 PSF  
ALL LUMBER TO BE No.1/ No.2 SPRUCE/ PINE/ FIR OR BETTER

**SECOND FLOOR CEILING FRAMING PLAN NOTES**

- WOOD FRAMING TO BE HELD 2" AWAY FROM CHIMNEY

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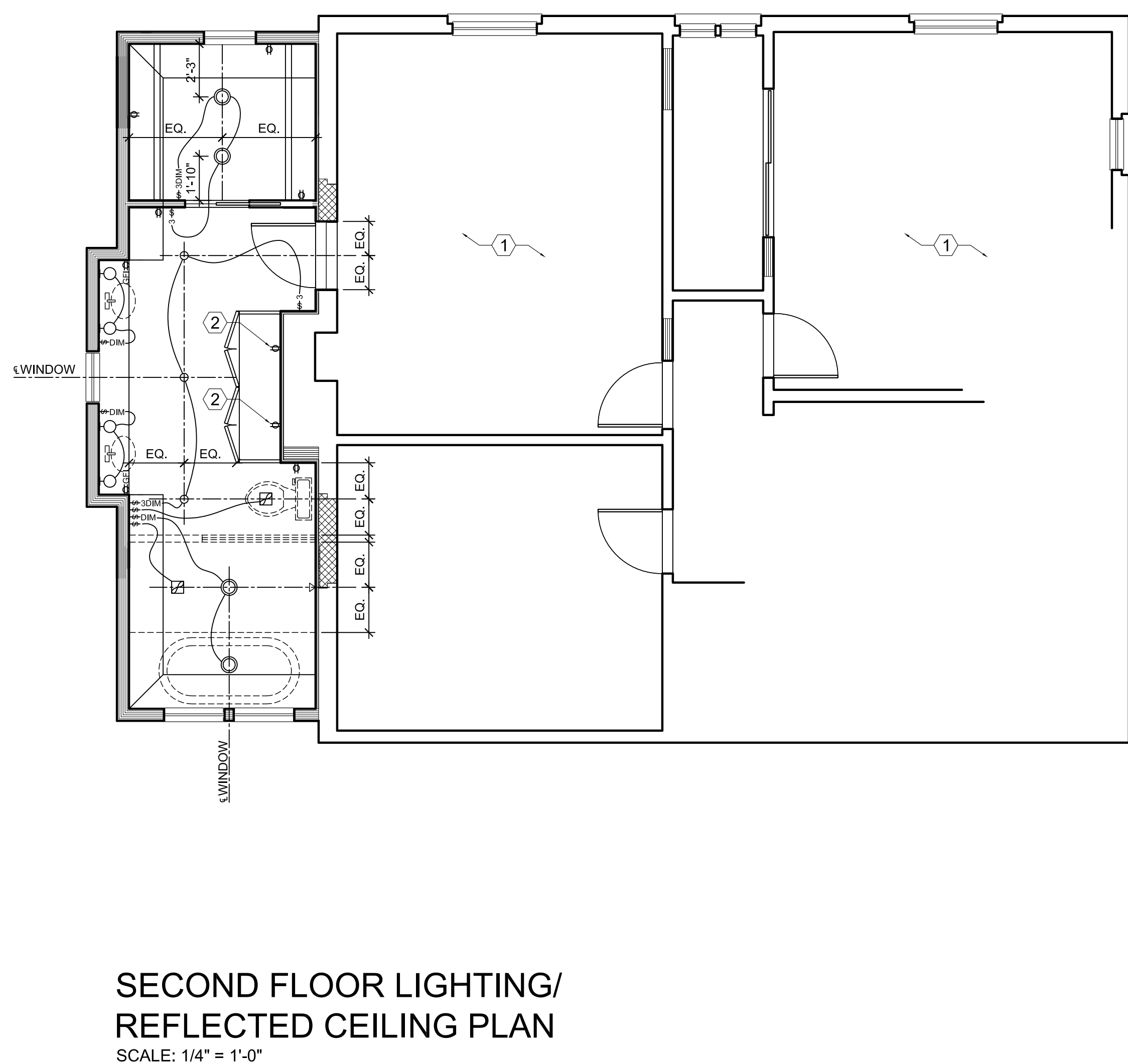
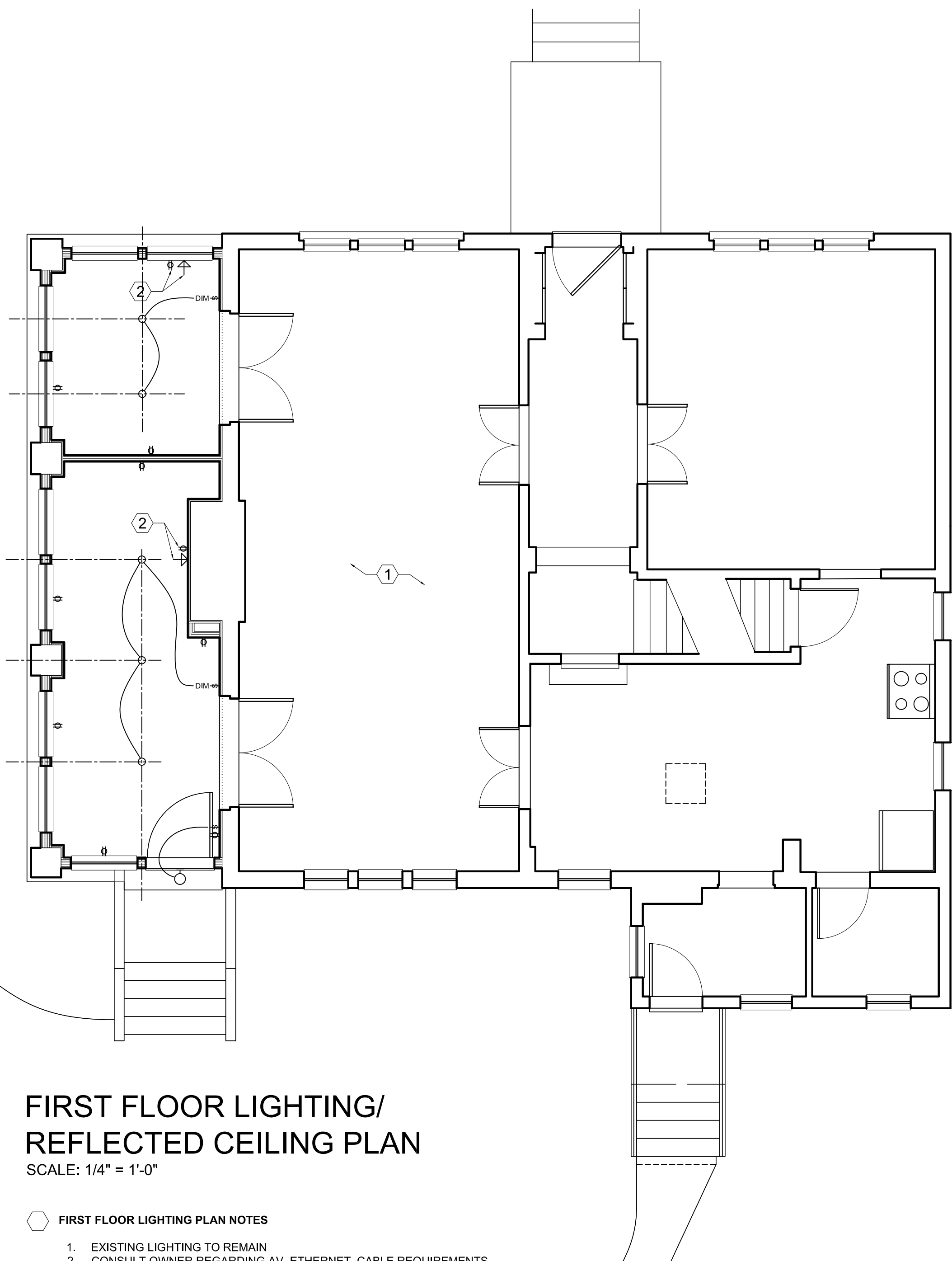
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**S-1**



- LIGHTING KEY**
- 6" RECESSED CAN-TYPE FIXTURE
  - 4" RECESSED CAN-TYPE FIXTURE WITH LED LAMP
  - ⊠ 4" RECESSED CAN-TYPE FIXTURE WITH LED LAMP; SLOPED CEILING APPLICATION
  - ⊠ 6" RECESSED CAN-TYPE FIXTURE SEALED WITH DROPPED OPALEX TRIM; SLOPED CEILING APPLICATION
  - ⊠ 6" RECESSED CAN-TYPE FIXTURE SEALED WITH DROPPED OPALEX TRIM
  - SURFACE MOUNTED WALL FIXTURE
  - SURFACE MOUNTED CEILING FIXTURE
  - ⊕ PENDANT
  - ⊕ UNDERCABINET LED LIGHTING
  - ⊕ KEYLESS FIXTURE
  - ⊕ EXHAUST FAN
  - ⊕ SMOKE ALARM
  - ⊕ S. ALARM
  - ⊕ C.M. ALARM
  - ⊕ S. ALARM
  - ⊕ C.M. ALARM
  - ⊕ CABLE TV
  - ⊕ HEAT LAMP
  - ⊕ SURFACE MOUNTED WALL FIXTURE ABOVE VANITY
  - ⊕ CEILING FAN WITH LIGHT
  - ⊕ CEILING FAN

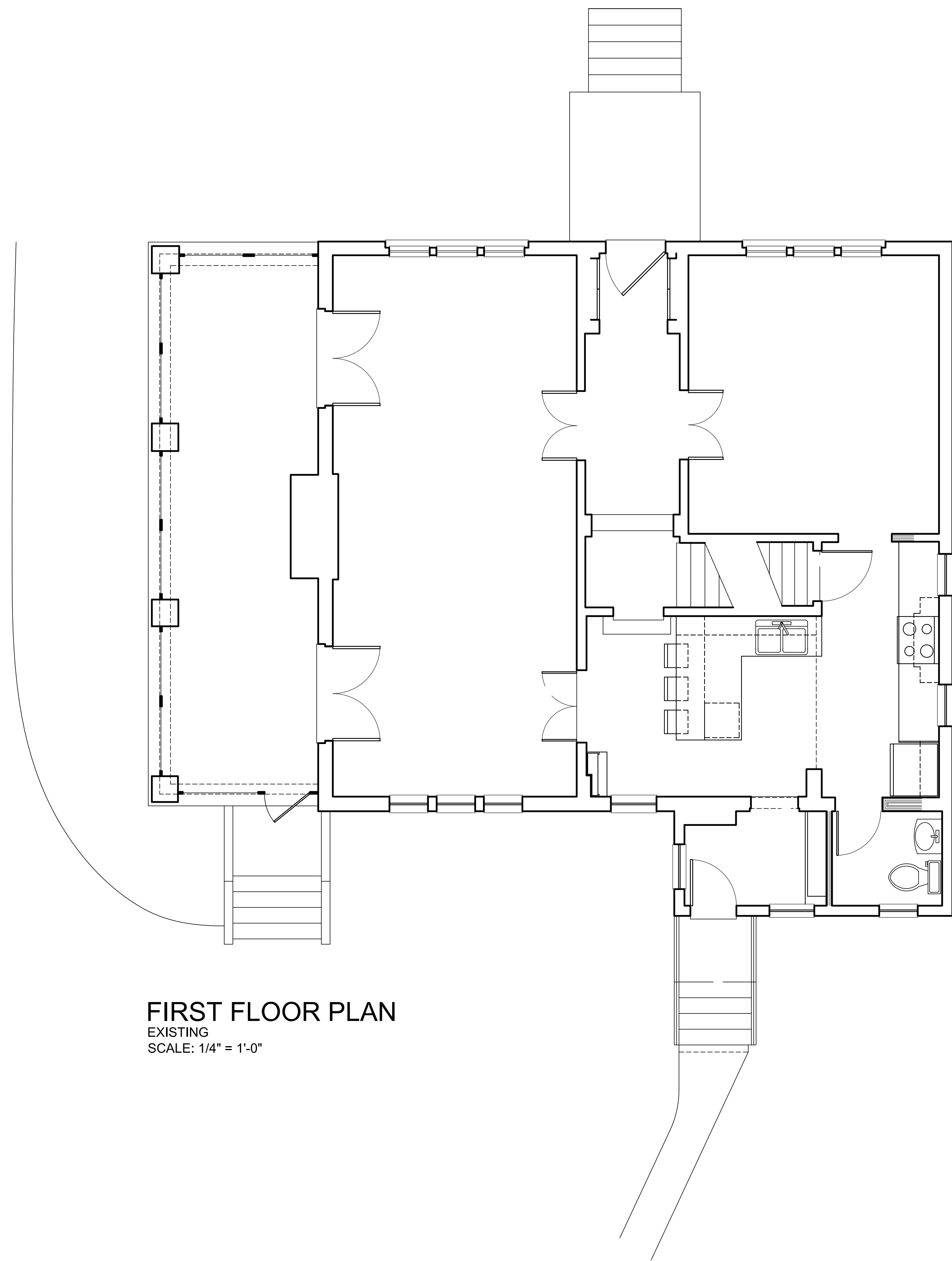
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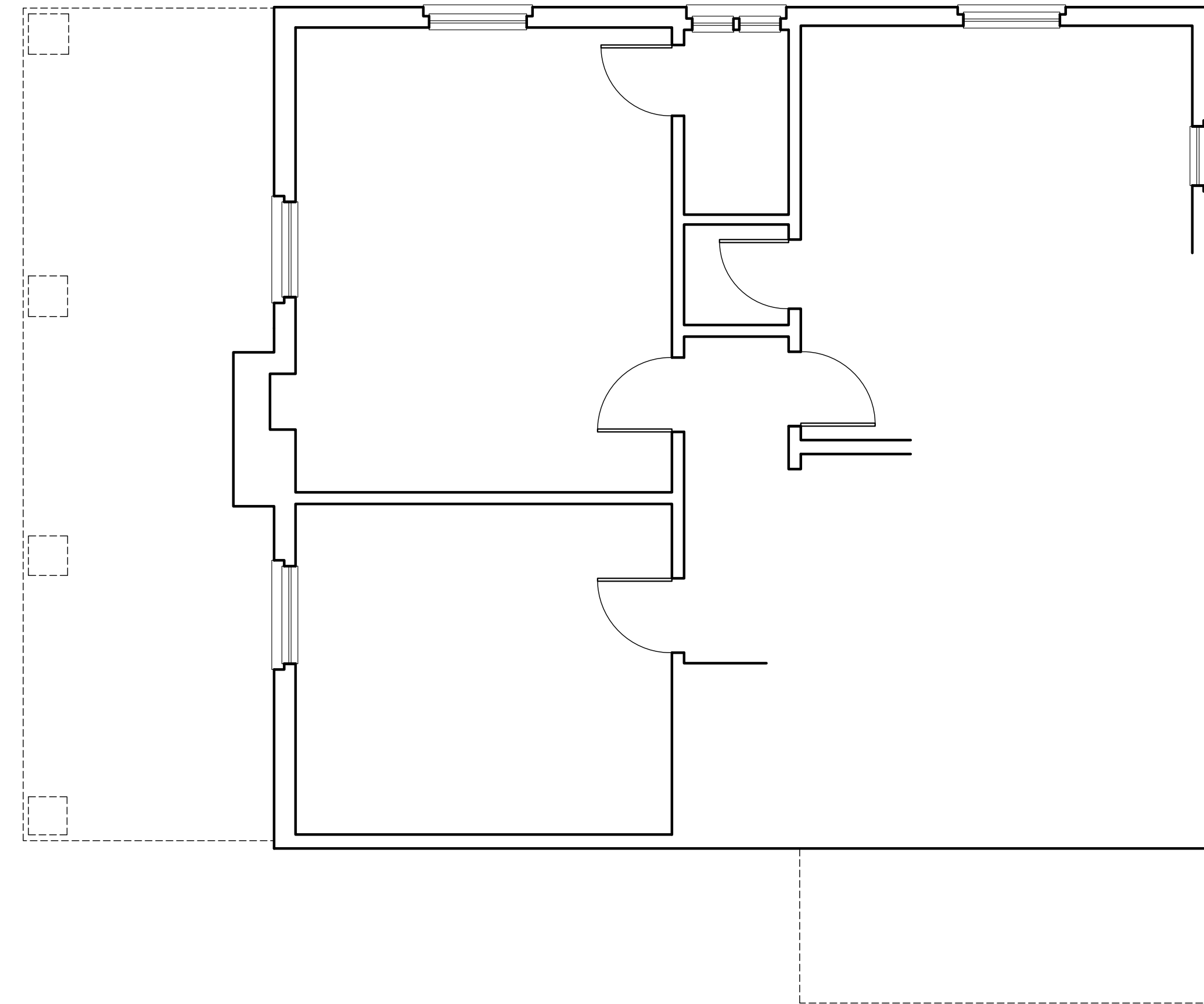
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**E-1**

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**FIRST FLOOR PLAN**  
 EXISTING  
 SCALE: 1/4" = 1'-0"



**SECOND FLOOR PLAN**  
 EXISTING  
 SCALE: 1/4" = 1'-0"

**ADDITION AND REMODEL  
 THE PICKRELL RESIDENCE  
 34 N REMINGTON RD**

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**EXIST A-2**

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**FRONT (WEST) ELEVATION**

EXISTING  
SCALE: 1/4" = 1'-0"



**SIDE (SOUTH) ELEVATION**

EXISTING  
SCALE: 1/4" = 1'-0"



**REAR (EAST) ELEVATION**

EXISTING  
SCALE: 1/4" = 1'-0"

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**EXIST A-3**