



**PUBLIC NOTICE
CITY OF BEXLEY
ARCHITECTURAL REVIEW BOARD**

The Bexley Architectural Review Board (ARB) will hold a Public Meeting on the following case on **Thursday, April 9, 2020 at 6:00 PM**, in City Council Chambers, Bexley City Hall, 2242 East Main Street, Bexley, Ohio.

The APPLICANT or REPRESENTATIVE must be present at the Public Hearing. The Board may dismiss, without hearing, an application if the applicant or authorized representative is not in attendance. The Board may move to consider the application in those circumstances where dismissal without hearing would constitute a hardship on the adjoining property owners or other interested persons.

Application No.: ARB-20-18

Applicant: Brad Schoch

Owner: Andy & Rachel Abeles

Address: 317 S. Drexel Ave.

ARB Request: The applicant is seeking preliminary architectural review to allow the existing structure to be demolished and a new single-family structure to be constructed on the site.

A copy of this application will be available on our website 1 week prior to the meeting.

*****PLEASE NOTE:** Due to the COVID-19 we ask that you check the City Website: www.bexley.org for any special instruction in the event we need to make changes to our regular process or to inform you if the meeting needs to be postponed. Any questions regarding an application should be emailed to Kathy Rose at: krose@bexley.org and write **ARB** or **BZAP** in the subject line to prioritize it and insure that it is addressed prior to noon on the day of the meeting. Any other questions please call the Bexley Building Department at (614)559-4240.

Mailed by: 03-26-2020

***(ARB) Architectural Review Board Application - Major Review (for Additions to Principal structures (including porches) , Additions to Accessory structures, and New Principal Structures that DO NOT REQUIRE A VARIANCE. (You must proceed to the BZAP application if you wish to request a variance from the Zoning Code) ARB meets on the 2nd Thursday of the month (except December) applications are due 4 weeks prior.**

Applicant

Brad Schoch

☎ 614-530-9400

@ bradschoch@mac.com

Location

317 S DREXEL AV

Bexley, OH 43209

ARB-20-18

Status: Active

Submitted: Mar 12, 2020

A.1: Project Information

Brief Project Description - ALSO PROVIDE 2 HARD COPIES (INCLUDING PLANS) TO THE BUILDING DEPARTMENT..

Demolition of existing house due to fire - Construction of new single family residence per drawing set

Architecture Review

true

Demolition

true

Planned Unit Dev

--

Rezoning

--

A.1: Attorney / Agent Information

Agent Name

Brad Schoch

Agent Address

6800 MacNeil Dr,

Agent Email

--

Agent Phone

--

Property Owner Name

Andy & Rachel Abeles

Property Owner phone

614 357 0982

If owner will not be present for review meeting, you must submit a permission to represent signed by the current owner.

--

A.2: Fee Worksheet

Estimated Valuation of Project

850000

Minor Architectural Review

--

Major Architectural Review

true

Variance Review - Fill out a BZAP Application instead.

--

Zoning

--

Zoning Review Type

--

Sign Review and Architectural Review for Commercial Projects

--

Review Type

--

Appeal of ARB decision to BZAP

--

Appeal of BZAP decision to City Council

--

B: Project Worksheet: Property Information**Occupancy Type**

Residential

Zoning District

R3

Use Classification

R-3 (25% Building and 50% Overall)

B: Project Worksheet: Lot Info**Width (ft)**

94

Depth (ft)

255

Total Area (SF)

23970

B: Project Worksheet: Primary Structure Info**Existing Footprint (SF)**

2158

Proposed Addition (SF)

3609

Removing (SF)

2158

Type of Structure

Single Family Residence

Proposed New Primary Structure or Residence (SF)

3609

Total Square Footage

3609

B: Project Worksheet: Garage and/or Accessory Structure Info (Incl. Decks, Pergolas, Etc)**Existing Footprint (SF)**

--

Proposed Addition (SF)

--

New Structure Type

Attached garage

Ridge Height

39'-6" for main house

Proposed New Structure (SF)

3609

Is there a 2nd Floor

Yes

2nd Floor SF

1882

Total of all garage and accessory structures (SF)

3609

Total building lot coverage (SF)

3609

Total building lot coverage (% of lot)

15

Is this replacing an existing garage and/or accessory structure?

Yes

B: Project Worksheet: Hardscape**Existing Driveway (SF)**

2456

Existing Patio (SF)

144

Existing Private Sidewalk (SF)

88

Proposed Additional Hardscape (SF)

1650

Total Hardscape (SF)

6552

B: Project Worksheet: Total Coverage**Total overall lot coverage (SF)**

6552

Total overall lot coverage (% of lot)

27

C.1 Architectural Review Worksheet: Roofing**Roofing**

true

Structure

House or Principal Structure

Existing Roof Type

Slate

New Roof Type

Arch. Dimensional Shingles

New Single Manufacturer

Certainteed

New Roof Style and Color

Dimensional Roofing - Driftwood

C.1 Architectural Review Worksheet: Windows**Windows**

true

Structure

House or Principal Structure

Existing Window Type

Casement

Existing Window Materials

Aluminum Clad Wood

New Window Manufacturer

Anderson

New Window Style/Mat./Color

Double Hung / Alum Clad / White

C.1 Architectural Review Worksheet: Doors**Doors**

true

Structure

House or Principal Structure

Existing Entrance Door Type

Wood

Existing Garage Door Type

Fiberglass

Door Finish**Proposed Door Type**

Painted

Carriage Style

Proposed Door Style

Proposed Door Color

French Door with Sidelites

Stained - cappuccino color

C.1 Architectural Review Worksheet: Exterior Trim

Exterior Trim

true

Existing Door Trim

Wood Composite

Proposed New Door Trim

5 1/2" Composite Wood

Existing Window Trim

Wood

Proposed New Window Trim

5 1/2" Composite Wood

Trim Color(s)

White

Do the proposed changes affect the overhangs?

No

C.2 Architectural Review Worksheet: Exterior Wall Finishes

Exterior Wall Finishes

true

Existing Finishes

Natural Stone

Existing Finishes Manufacturer, Style, Color

Natural Stone - Ohio Limestone color

Proposed Finishes

Cultured Stone

Proposed Finishes Manufacturer, Style, Color

Casa Di Sasi , Ledgestone , Old World European

D: (Staff Only) Tree & Public Gardens Commission Worksheet

Design plan with elevations (electronic copy as specified in instructions plus 1 hard copy)

--

Design Specifications as required in item 3 in "Review Guidelines and List of Criteria" above

--

Applicant has been advised that Landscape Designer/Architect must be present at meeting

--

Attachments (5)

pdf **Architectural Plans which include Exterior Elevations and floor plans of existing and proposed**

Mar 12, 2020

pdf **Photographs (required)**

Mar 12, 2020

pdf **Site Plan**

Mar 12, 2020

pdf **SiteContext&Setbacks.pdf**

Mar 12, 2020

Timeline

Payment

Status: Paid March 12th 2020, 2:58 pm

Zoning Officer

Status: Completed March 18th 2020, 12:21 pm

Assignee: Kathy Rose

Kathy Rose March 18th 2020, 12:01:01 pm

Brad, can you provide supporting documents to address what is required under our Demolition code. I'll email it to you. Otherwise, it could hold up your application.

Kathy Rose March 18th 2020, 12:20:07 pm

Brad: Also, I will need an elevation of the section of the block to show how the proposed structure compares to the existing neighboring structures. There is great concern about the new structures being out of scale for their proposed locations.

Kathy Rose March 20th 2020, 8:34:10 pm

@Karen Bokor i sent Brad a message to another email I found since I have not received a response to the previous relating to demolition

Design Planning Consultant

Status: In Progress

Architectural Review Board

Status: In Progress

Board of Zoning and Planning

Status: In Progress

City Council

Status: In Progress

Tree Commission

Status: In Progress

Arborist

Status: In Progress

RICHARD TAYLOR

ARCHITECTS

City of Bexley Building Department
2242 E. Main St.,
Bexley OH. 43209

April 8, 2020

Re: 317 S. Drexel Ave.
Bexley, OH 43209

Members of Bexley Architectural Review Board,

Please consider this letter as my professional opinion on the architectural significance of the existing home at the address indicated above.

The home was built in 1941 in a style commonly referred to as "French Eclectic" (1). As the name suggests, the style was an amalgam of bits and pieces of other, more "pure" French styles. The style exhibits wide variation in form, detail, and material.

This home is primarily clad in stucco, with the front (street facing) elevation also incorporating Ohio Limestone veneer along the first floor. The symmetrical front elevation, centered front door, stone entry surround, and simple louvered shutters are features common to homes in many styles of this era, including French Eclectic.

There appear to be no unique or architecturally significant features of this particular home, including the simple massing and roof form, which are common features of early 20th-Century homes in Bexley and countless inner-ring suburbs throughout America.

Based on my knowledge and experience with traditional home design and construction, it is my professional opinion that the existing home at 317 S. Drexel Avenue is not architecturally significant.

A new home to replace this one should have a size, scale, and massing consistent with other homes on South Drexel Avenue. The wide variety of home styles on this street and throughout Bexley provide a high-quality library of vernaculars to choose from.

Respectfully,



Richard Taylor, AIA
President
Richard Taylor Architects, LLC

(1) McAlester, Virginia and Lee, *A Field Guide to American Houses*

CHUBB®

Western Claim Service Center
2155 W. Pinnacle Peak Road
Phoenix, AZ 85027
O: (800) 252-4670
F: (800) 664-5358
E: USPropertyClaims@chubb.com

Mailing Address
P.O. Box 42065
Phoenix, AZ 85080

March 10, 2020

Andrew and Rachel Abeles

Attn: Andrew Abeles
107 Ashborne Rd.
Bexley, OH 43209

Re:

Insured: Andrew and Rachel Abeles
Policy Number: 001479385301
Claim Number: 040519062293
Date of Loss: December 24, 2019
Loss Address: 317 South Drexel Avenue, Bexley, OH 43209
Underwriting Company: Pacific Indemnity Company

Dear Mr. and Mrs. Abeles,

This correspondence will serve as notice of payment due to total loss to your dwelling and contents from fire that occurred on December 24, 2019.

Pacific Indemnity Company has completed its full investigation of your loss and determined that the dwelling and contents were total loss and have therefore issued policy limits based on the facts as understood.

Should you have any questions or concerns, please contact me at, (816) 398-5677.

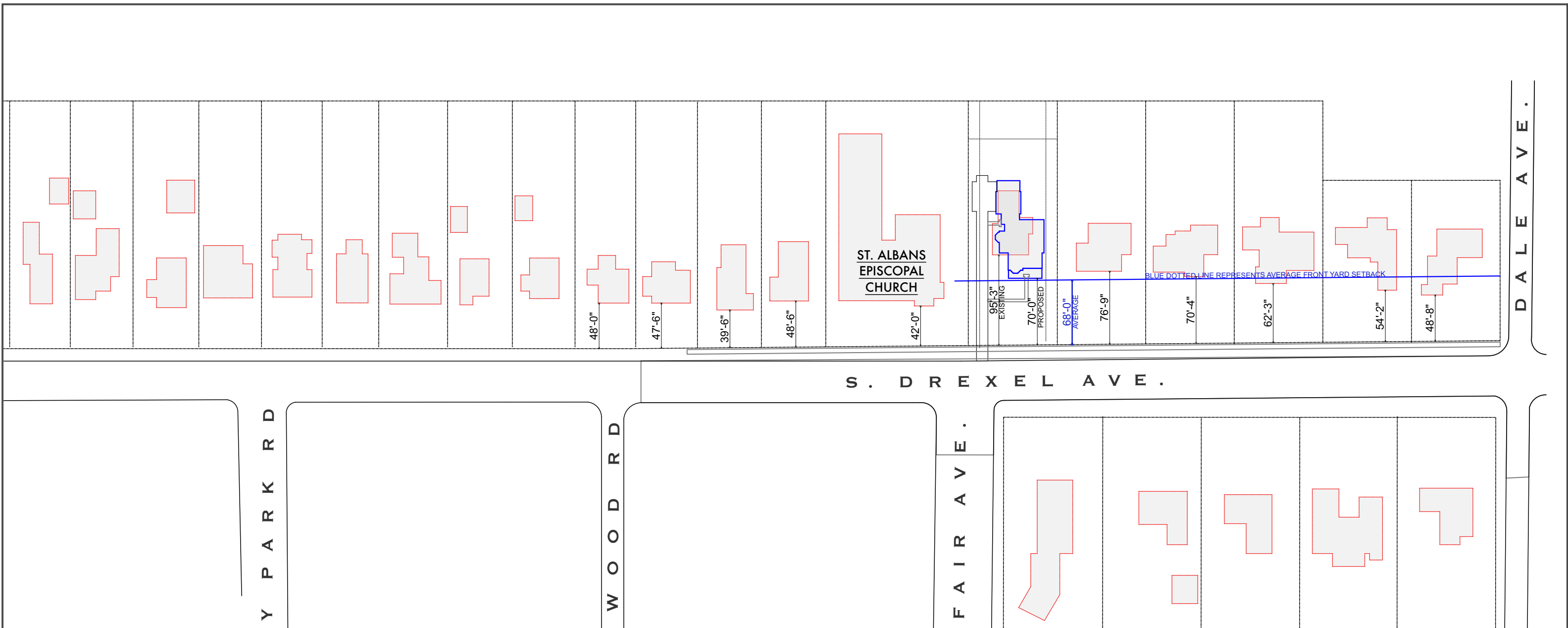
Sincerely,

Luke Echterling

Luke Echterling
General Adjuster
Chubb North American Claims

Cc:

Frank and London Insurance Agency
P.O. Box 27189
Columbus, OH 43227



S . D R E X E L A V E .

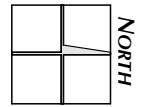
Y P A R K R D

W O O D R D

F A I R A V E .

D A L E A V E .

*ADJACENT LOT
SITE PLAN*



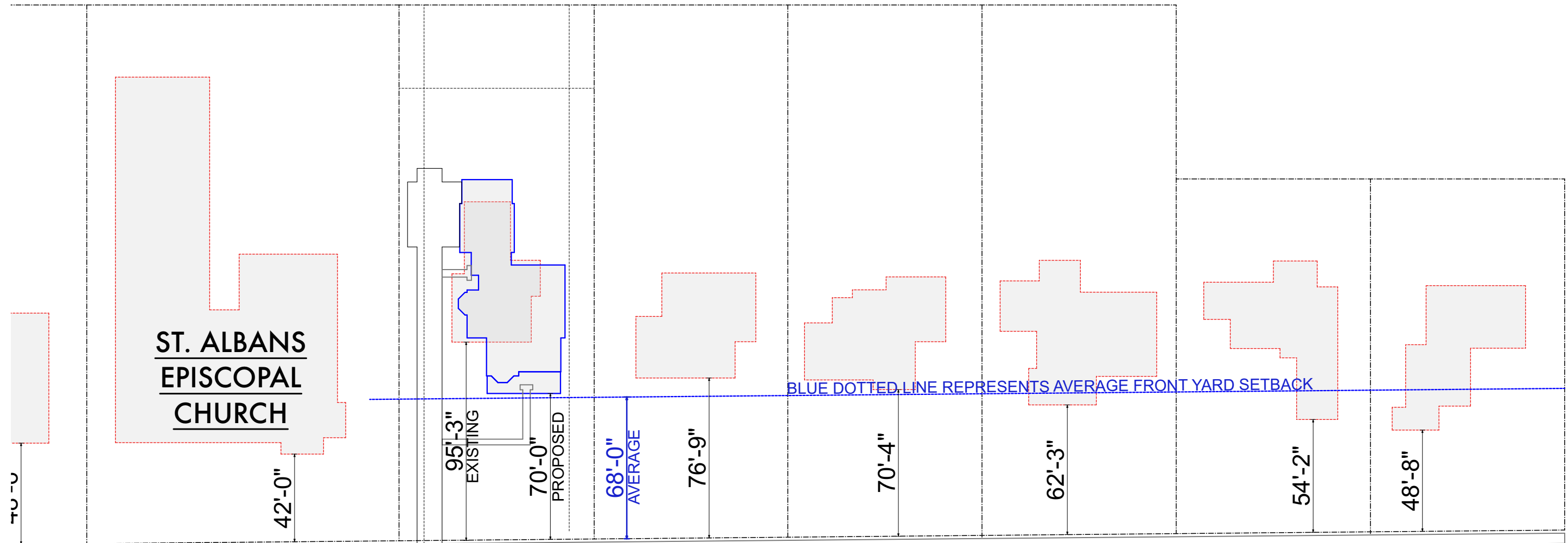
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DATE	ISSUE	DATE	ISSUE
3/9/20	REVIEW		
3/12/20	ARB SUBMITTAL		

ABELES RESIDENCE
317 S. DREXEL AVE.

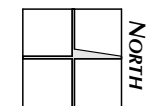


**ST. ALBANS
EPISCOPAL
CHURCH**

BLUE DOTTED LINE REPRESENTS AVERAGE FRONT YARD SETBACK

D A L E A V E .

S . D R E X E L A V E .

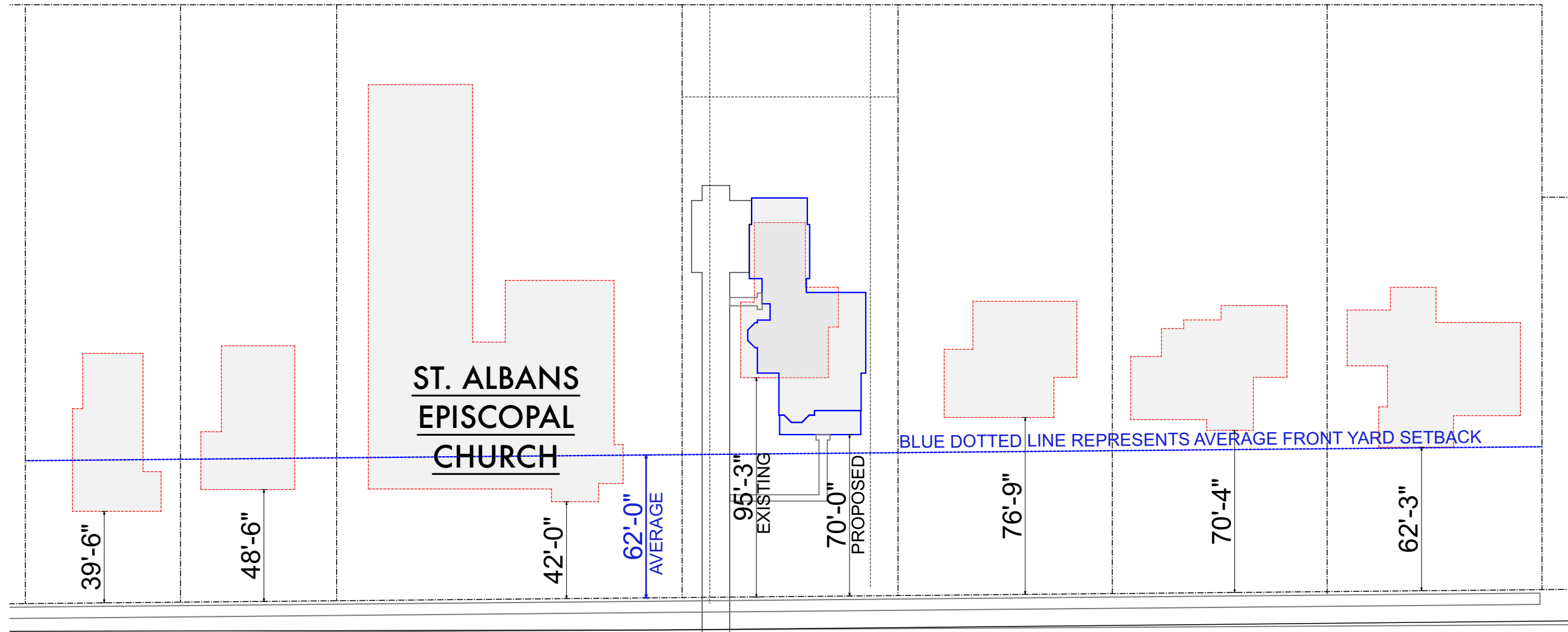


*SETBACK CALCULATION
PER NEIGHBORHOOD
CONDITIONS*

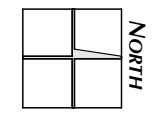


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S . D R E X E L A V E .



*SETBACK CALCULATION
PER ZONING CODE*



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317 S. DREXEL AVE.			



333 S. DREXEL AVE
EPISCOPAL CHURCH

317 S. DREXEL AVE

303 S. DREXEL AVE

ADJACENT PROPERTIES

STREET ELEVATION



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ADJACENT PROPERTIES

ELEVATION STREET

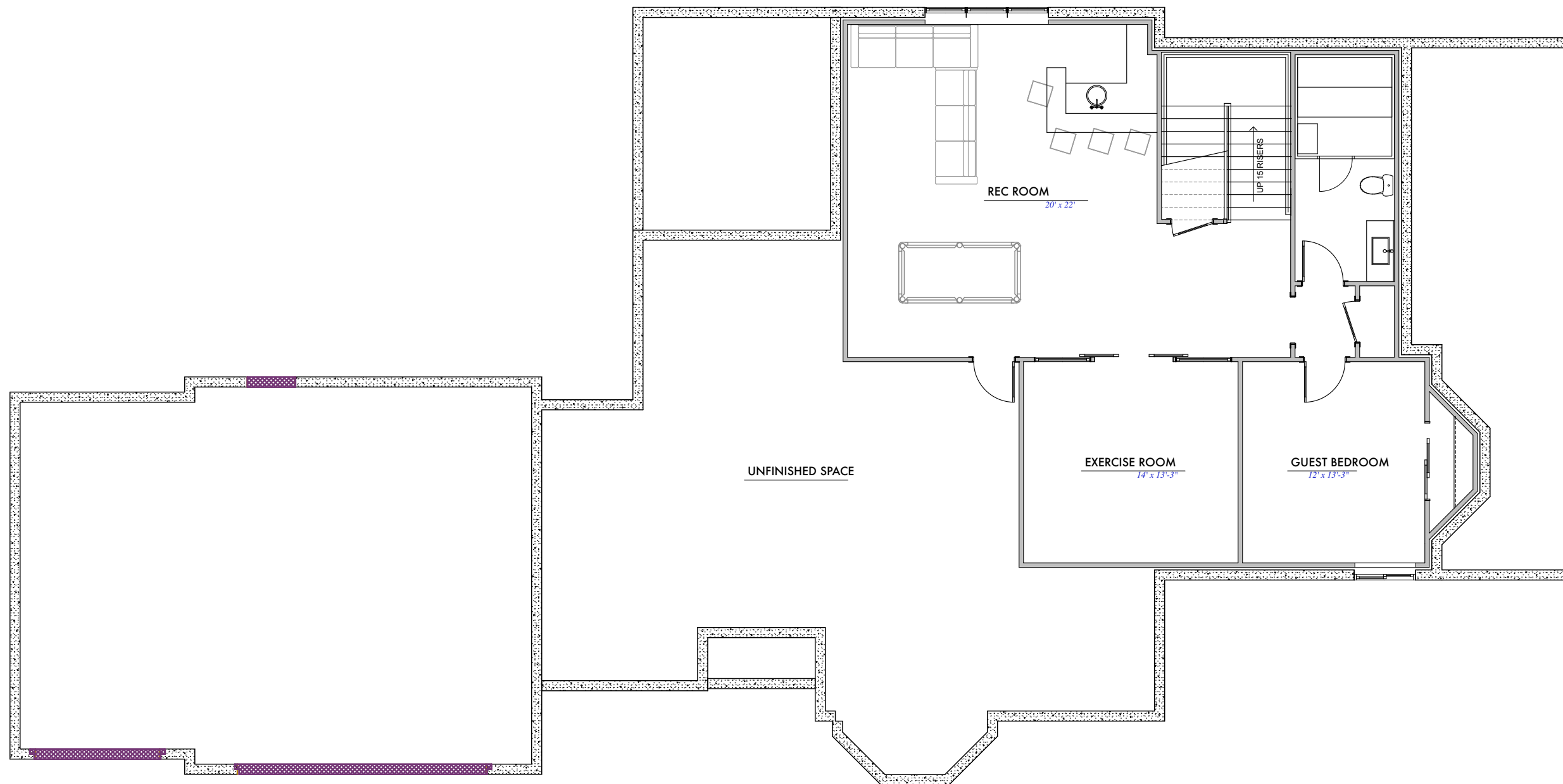


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FOUNDATION PLAN

1,200 FIN. SQ.FT.

1/8" = 1'-0"

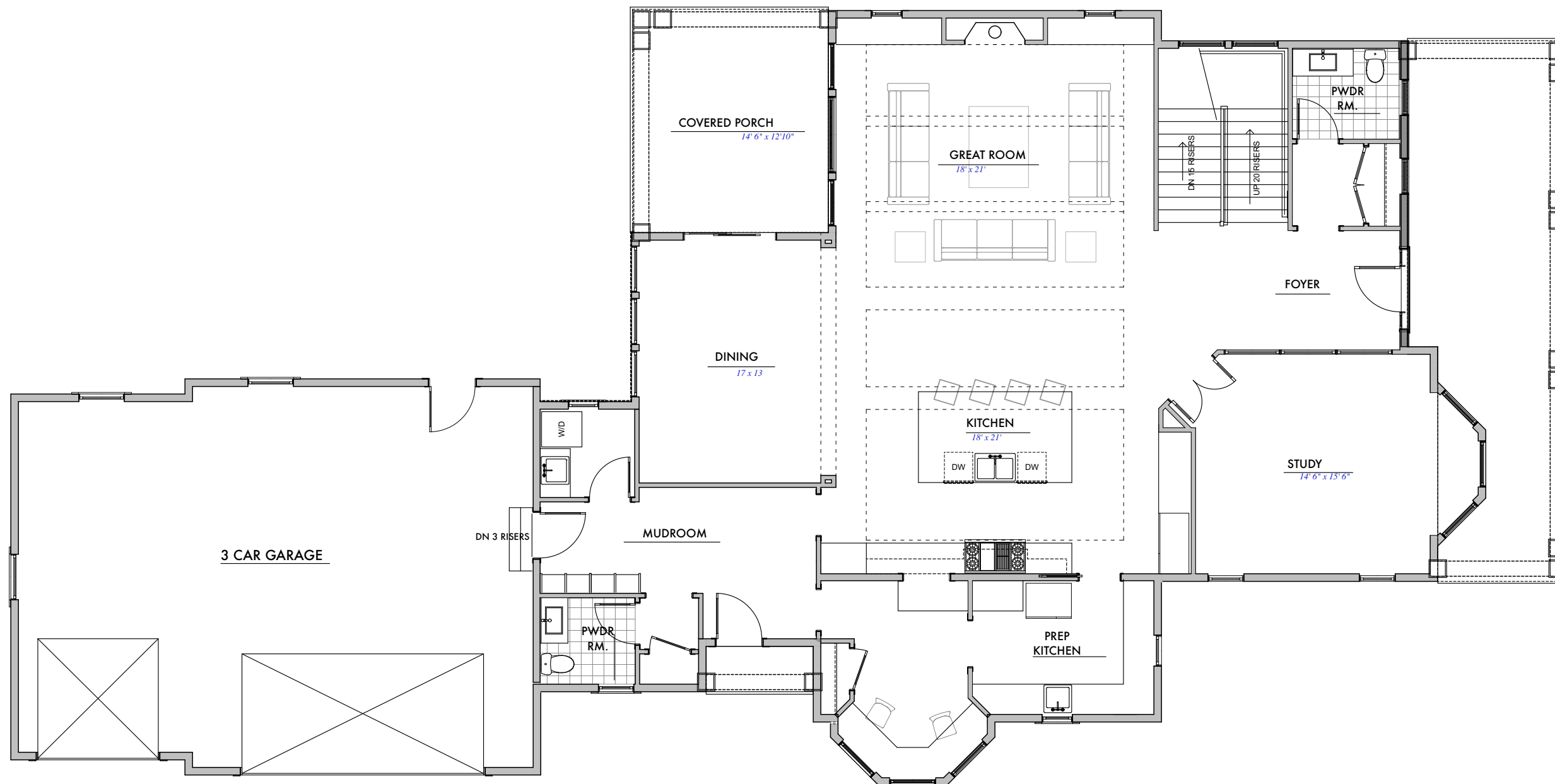


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FIRST FLOOR PLAN

2,200 SQUARE FEET

1/8" = 1'-0"

326 FRONT PORCH SQ.FT.

190 REAR PORCH SQ.FT.

883 GARAGE SQ.FT.



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SECOND FLOOR PLAN

1,882 FIN. SQ.FT.

1/8" = 1'-0"



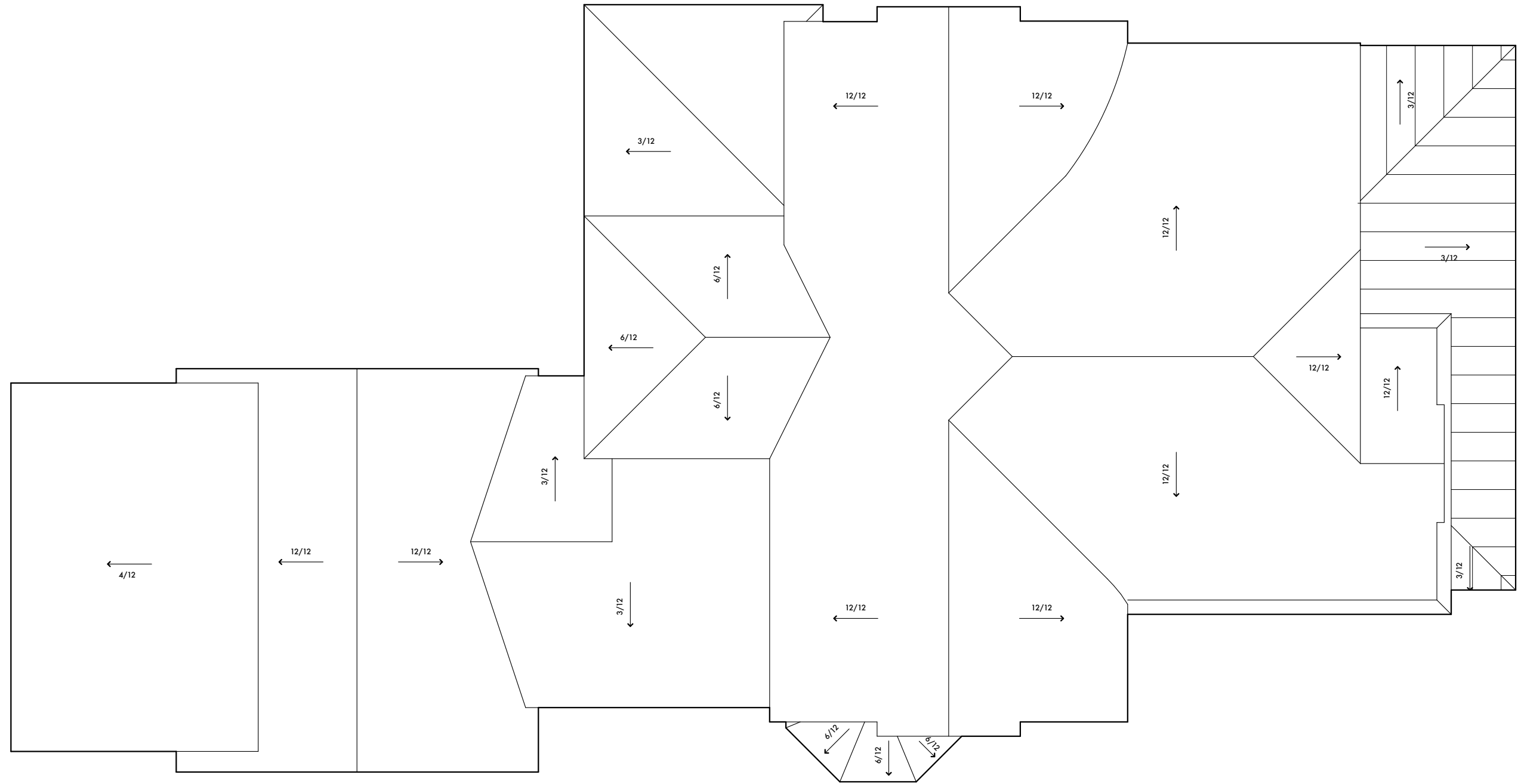
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ROOF PLAN

1/8" = 1'-0"



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FRONT ELEVATION - EAST

- 30 YEAR DIMENSIONAL ASPHALT SHINGLES - GEORGETOWN GREY
- DECORATIVE CORBELS - PAINTED WHITE
- CEDAR SHAKE SHINGLE SIDING - SEMI TRANSPARENT STAIN
- 1 X 6 TRIM AT WINDOWS / DOORS TYP.
- 1 X 6 TRIM AROUND RECESS CEMENT PANEL
- STANDING SEAM METAL ROOFING
- 12"X12" SQ. COLUMN - FIBERGLASS - PAINTED
- DECORATIVE CEDAR SHUTTER - PAINTED
- MANUF. STONE VENEER
- POURED CONC PORCH FLOOR



REAR ELEVATION - WEST

- DIMENSIONAL ASPHALT SHINGLES - TYP.
- BOARD & BATTEN SIDING

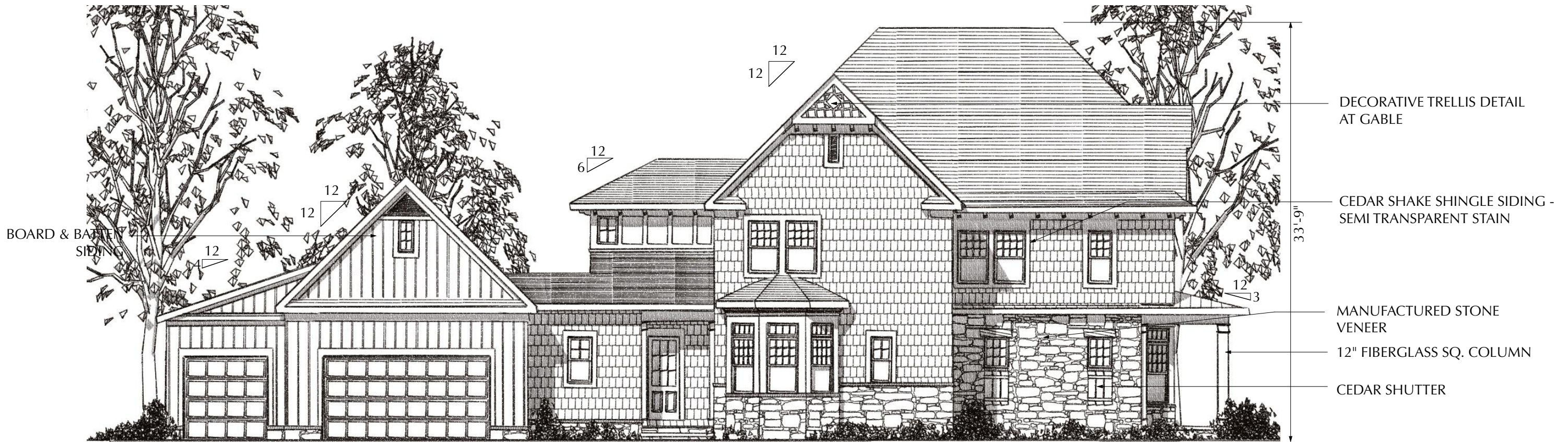


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BOARD & BATTEN SIDING

DECORATIVE TRELLIS DETAIL AT GABLE

CEDAR SHAKE SHINGLE SIDING - SEMI TRANSPARENT STAIN

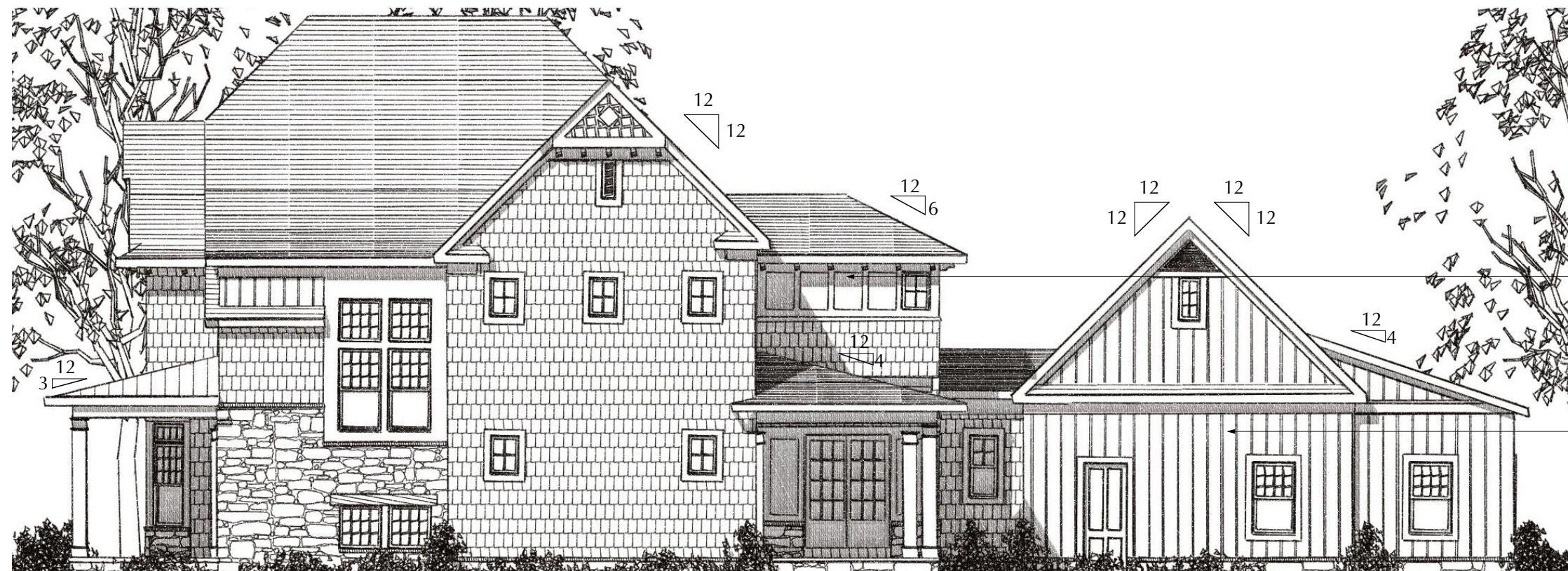
MANUFACTURED STONE VENEER

12" FIBERGLASS SQ. COLUMN

CEDAR SHUTTER

33'-9"

SIDE (SOUTH) ELEVATION



RECESS PANELING

BOARD & BATTEN SIDING

SIDE (NORTH) ELEVATION



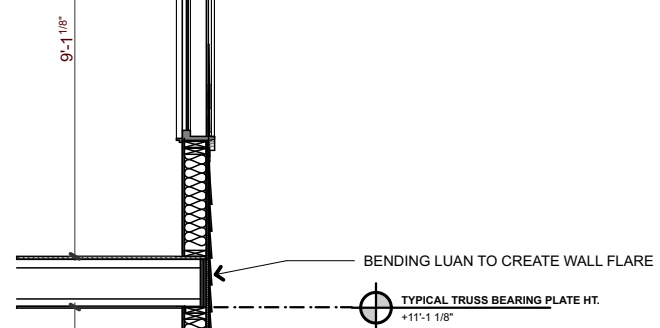
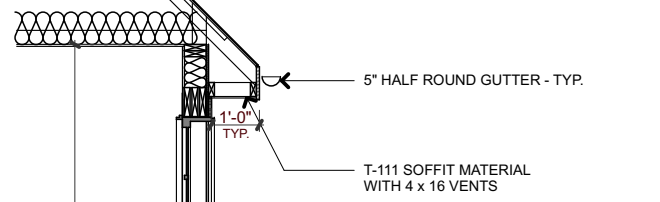
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- TYPICAL FRAME ROOF CONSTRUCTION**
- 30YR. ASPHALT SHINGLES
 - ICE & WATER SHIELD OVER
 - 15# FELT PAPER
 - 7/16" OSB SHEATHING
 - PRE-ENGINEERED TRUSSES -- SEE TRUSS PLAN AND MNFCTR. SHOP DRAWINGS FOR TRUSS SPECIFICATIONS
 - R-36 BATT FACED INSULATION
 - 1/2" GYP. BD. AT CEILING



TYPICAL WALL CONSTRUCTION

- 6" REVEAL CEDAR SHAKE SHINGLES
- "TYVEK" (OR EQUAL) HOUSEWRAP
- 7/16" OSB SHEATHING
- 2x6 STUD FRAMING @ 16" o.c.
- R-19 BATT FACED INSULATION.
- 1/2" GYP. BD.

TYPICAL FLOOR CONSTRUCTION

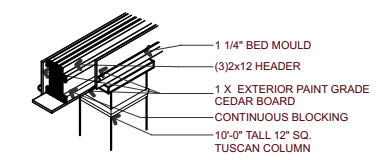
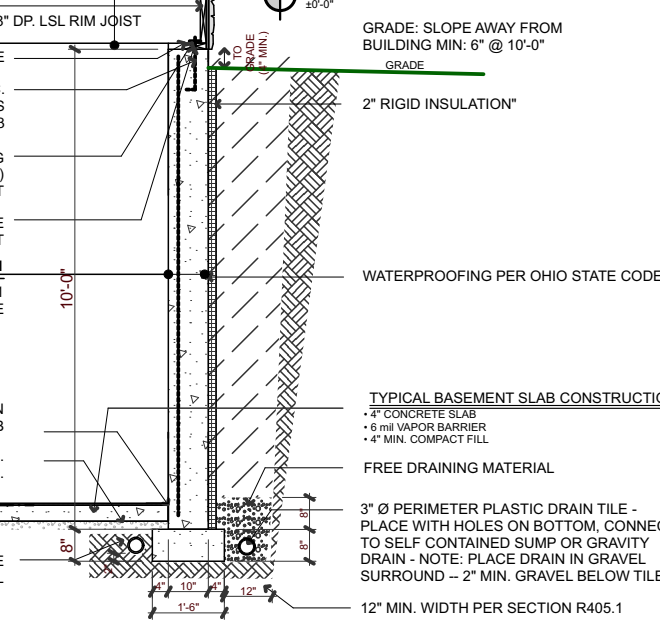
- SCHEDULED FINISH FLOOR -- SEE FLOOR PLANS
- 3/4" T&G PLYWOOD SUBFLOOR, GLUED & NAILED
- 11-7/8" TJI JOISTS

TYPICAL FNDN WALL CONSTRUCTION

- 8" WIDE POURED CONCRETE WALL w/ #4 BARS @ 16" o.c. VERT. - MIN. 1 1/2" CLEAR FROM INSIDE FACE
- TREATED 2 x 8 SILL PLATE
- 1/2" ø x 10" ANCHOR BOLT @ 72" O.C. MIN. 7" EMBED MAX. 12" FROM CORNERS - GALVANIZED PER ASTM123
- PROVIDE 2 WASHERS PRIOR TO ANCHORING NUT: (1) WASHER FOR 1/2" ø BOLT & (1) WASHER FOR 3/4" ø BOLT
- PROVIDE 9/16" ø HOLES IN SILL PLATE FOR ANCHOR BOLT

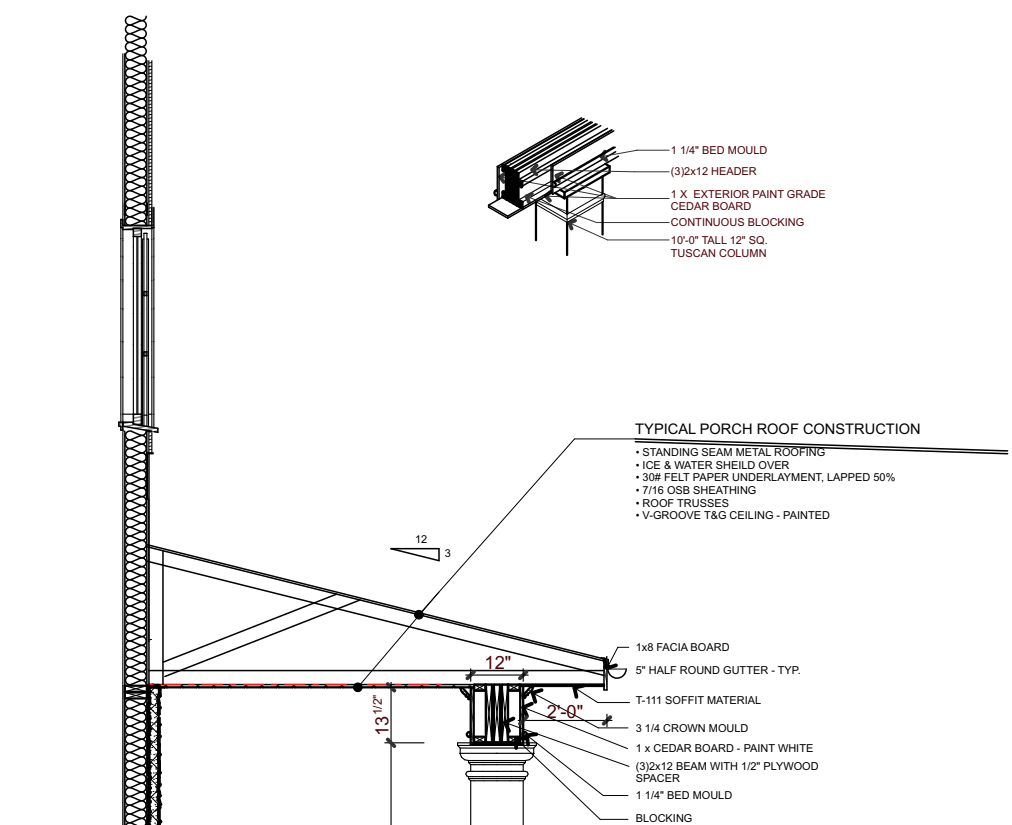
TYPICAL BASEMENT SLAB CONSTRUCTION

- 4" CONCRETE SLAB
- 6 mil VAPOR BARRIER
- 4" MIN. COMPACT FILL
- FREE DRAINING MATERIAL
- 3" Ø PERIMETER PLASTIC DRAIN TILE - PLACE WITH HOLES ON BOTTOM, CONNECT TO SELF CONTAINED SUMP OR GRAVITY DRAIN - NOTE: PLACE DRAIN IN GRAVEL SURROUND -- 2" MIN. GRAVEL BELOW TILE
- 12" MIN. WIDTH PER SECTION R405.1



TYPICAL PORCH ROOF CONSTRUCTION

- STANDING SEAM METAL ROOFING
- ICE & WATER SHIELD OVER
- 30# FELT PAPER UNDERLAYMENT, LAPPED 50%
- 7/16 OSB SHEATHING
- ROOF TRUSSES
- V-GROOVE T&G CEILING - PAINTED



TYPICAL WALL CONSTRUCTION

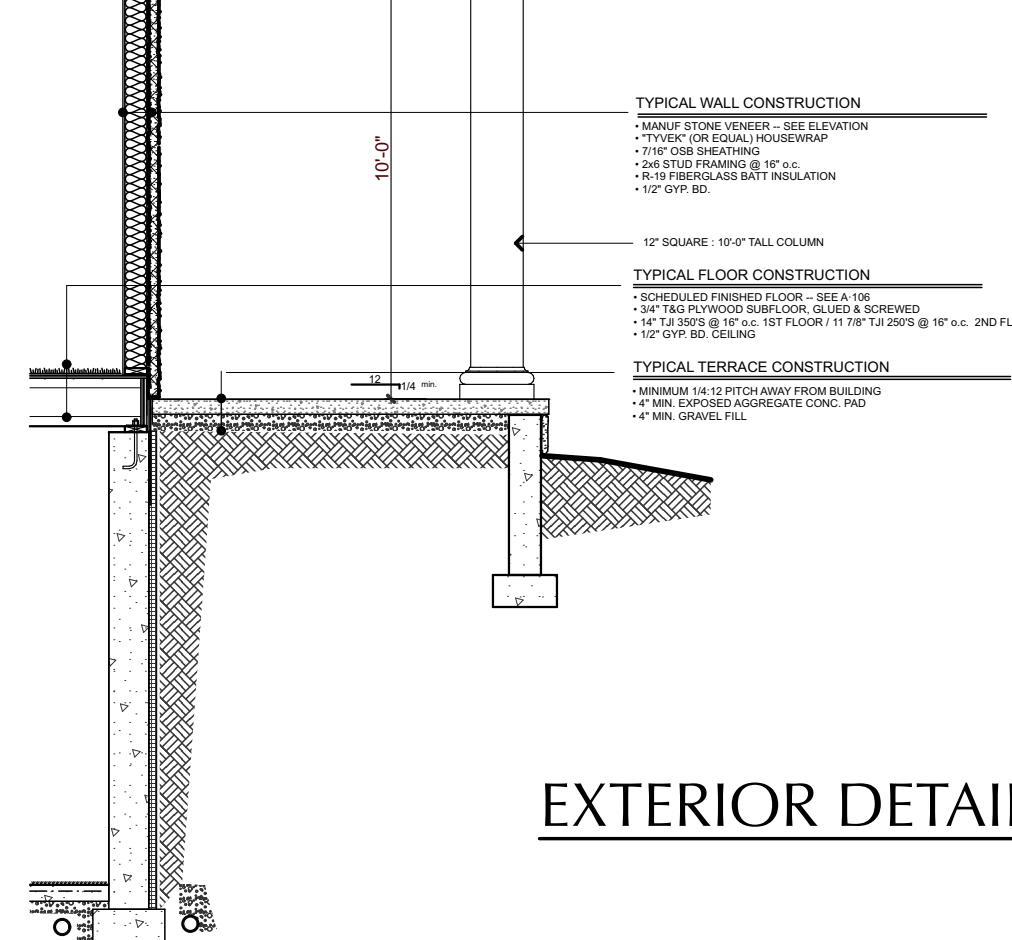
- MANUF STONE VENEER -- SEE ELEVATION
- "TYVEK" (OR EQUAL) HOUSEWRAP
- 7/16" OSB SHEATHING
- 2x6 STUD FRAMING @ 16" o.c.
- R-19 FIBERGLASS BATT INSULATION
- 1/2" GYP. BD.

TYPICAL FLOOR CONSTRUCTION

- SCHEDULED FINISHED FLOOR -- SEE A-106
- 3/4" T&G PLYWOOD SUBFLOOR, GLUED & SCREWED
- 14" TJI 350'S @ 16" o.c. 1ST FLOOR / 11 7/8" TJI 250'S @ 16" o.c. 2ND FLOOR
- 1/2" GYP. BD. CEILING

TYPICAL TERRACE CONSTRUCTION

- MINIMUM 1/4-1/2 PITCH AWAY FROM BUILDING
- 4" MIN. EXPOSED AGGREGATE CONC. PAD
- 4" MIN. GRAVEL FILL



EXTERIOR DETAILS



Romanelli & Hughes
BUILDING COMPANY

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FRONT OF HOUSE

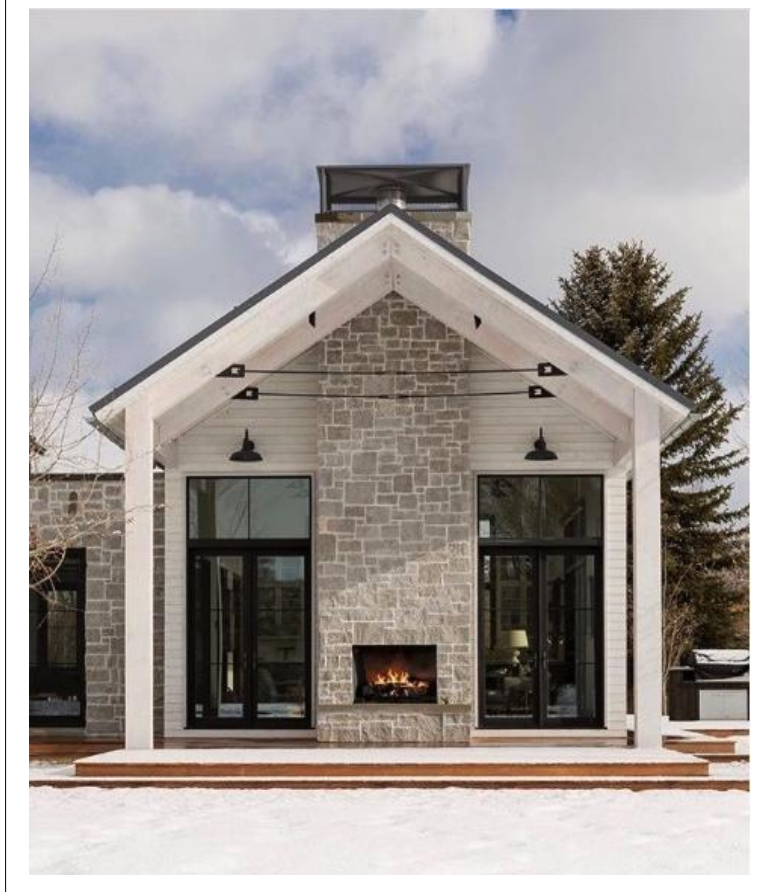


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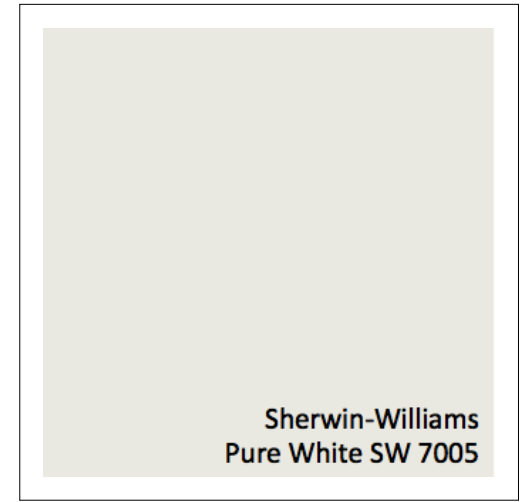
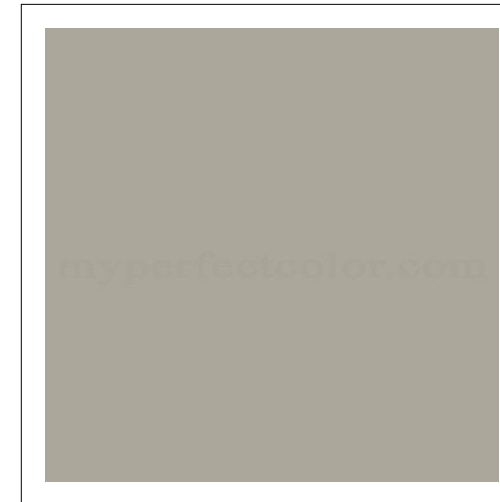
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ABELES RESIDENCE			
317 S. DREXEL AVE.			



ROOF COLOR

STONE COLOR



CEDAR SHAKE COLORS

TRIM COLOR



FRONT DOOR

EXTERIOR FINISHES



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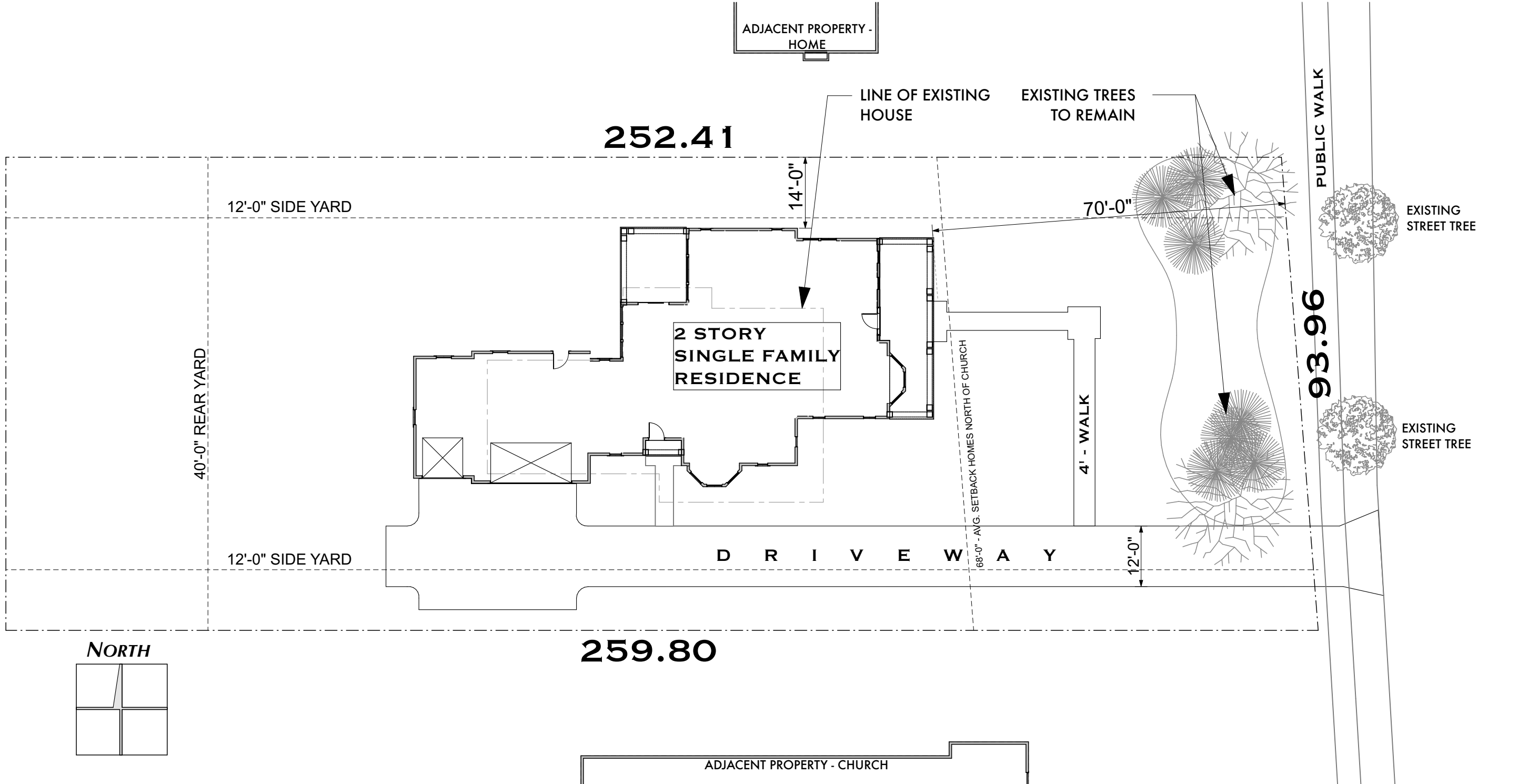
DATE	ISSUE	DATE	ISSUE
3/9/20	REVIEW		
3/12/20	ARB SUBMITTAL		
ABELES RESIDENCE			
317 S. DREXEL AVE.			

93.67

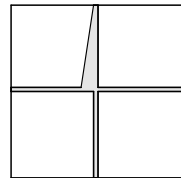
252.41

93.96

259.80



NORTH



SITE PLAN

1" = 20'-0"



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ST. ALBANS
EPISCOPAL
CHURCH

353

349/349

333

317

303

291

279



SOUTH DREXEL AVENUE

FULL STREET ELEVATION



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