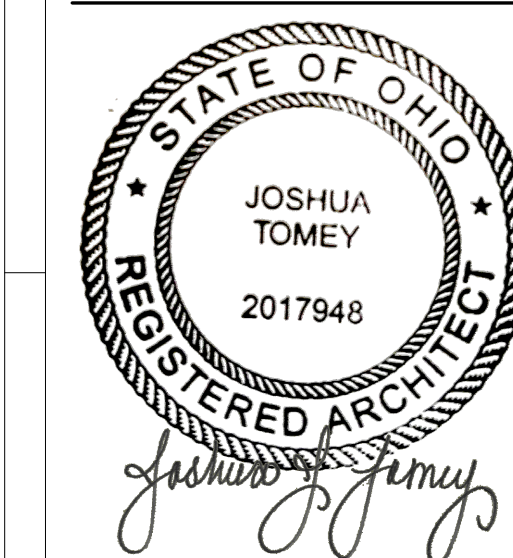


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RESIDENTIAL ADDITION

## VARGAS FAMILY

237 N STANWOOD RD REYI EY OH 43209

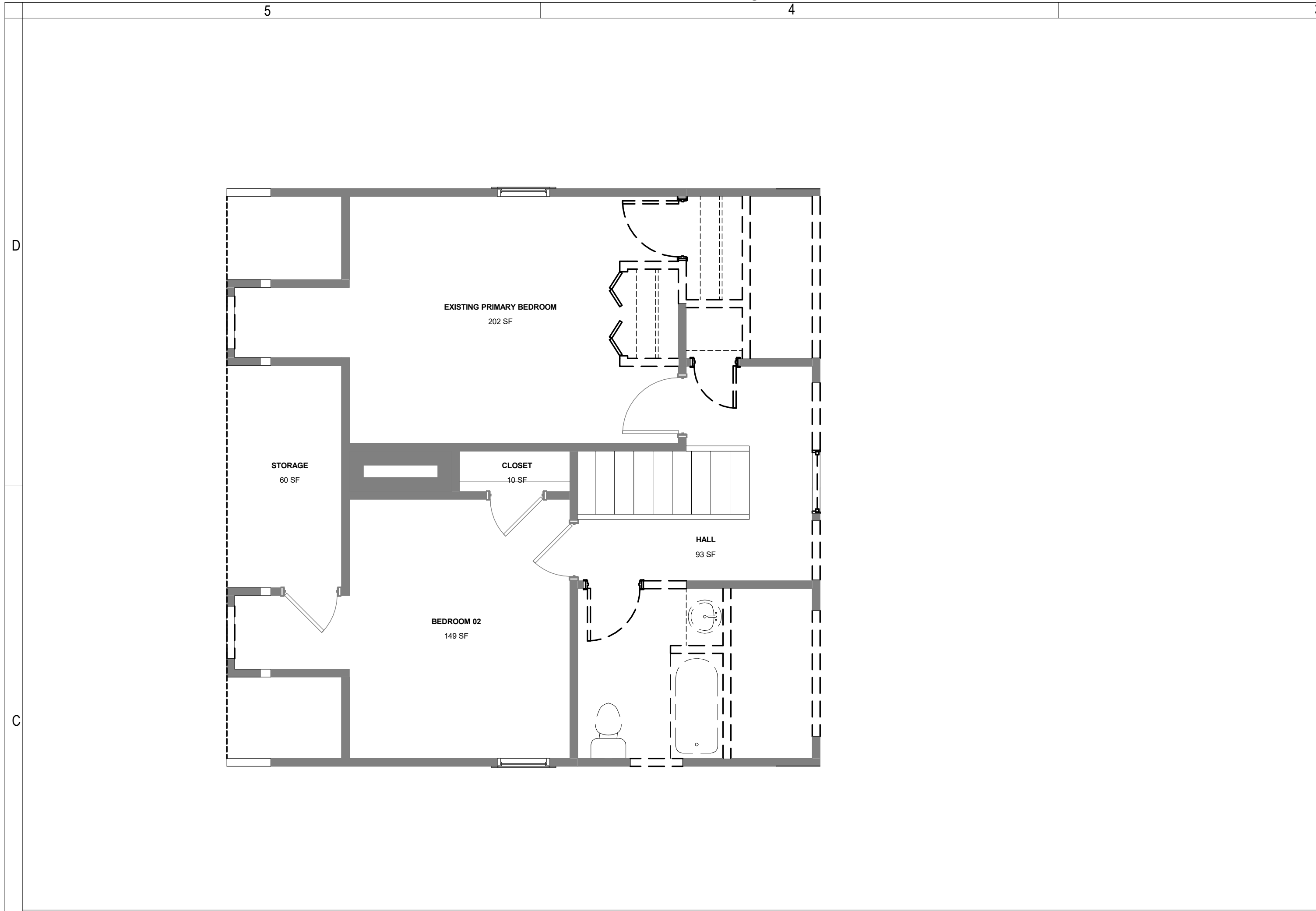


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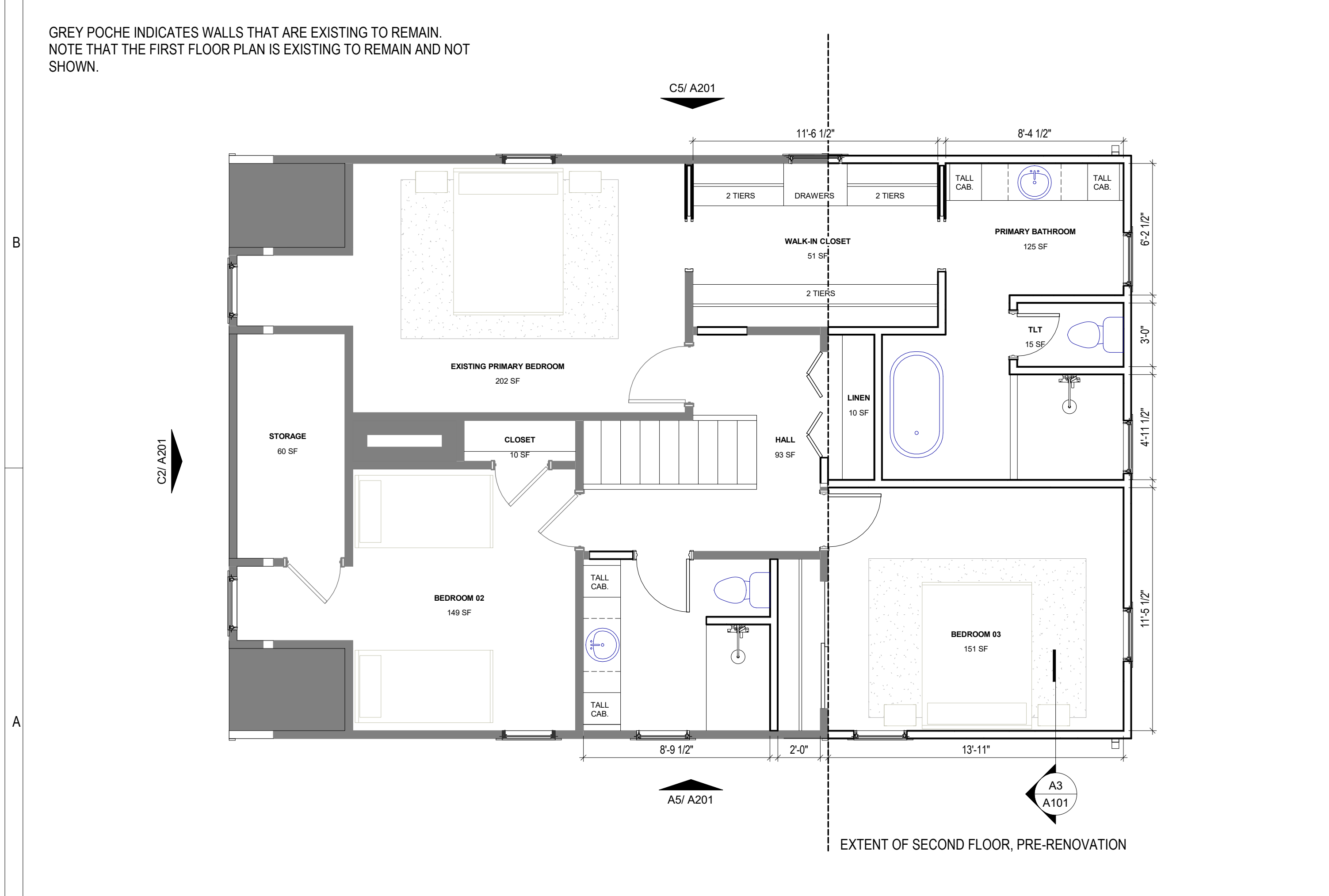
**A001**

ARCHITECTURAL SITE PLAN

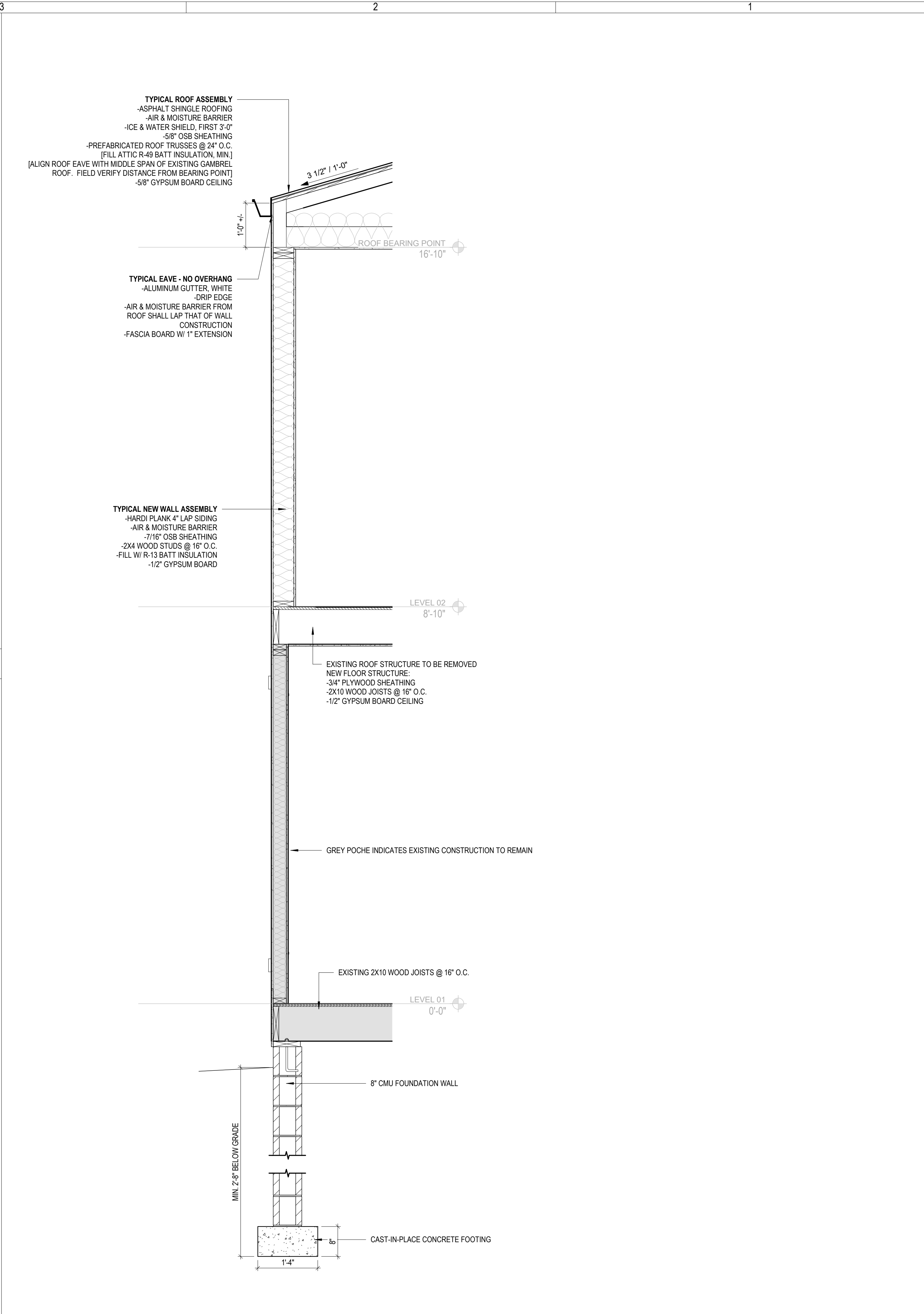




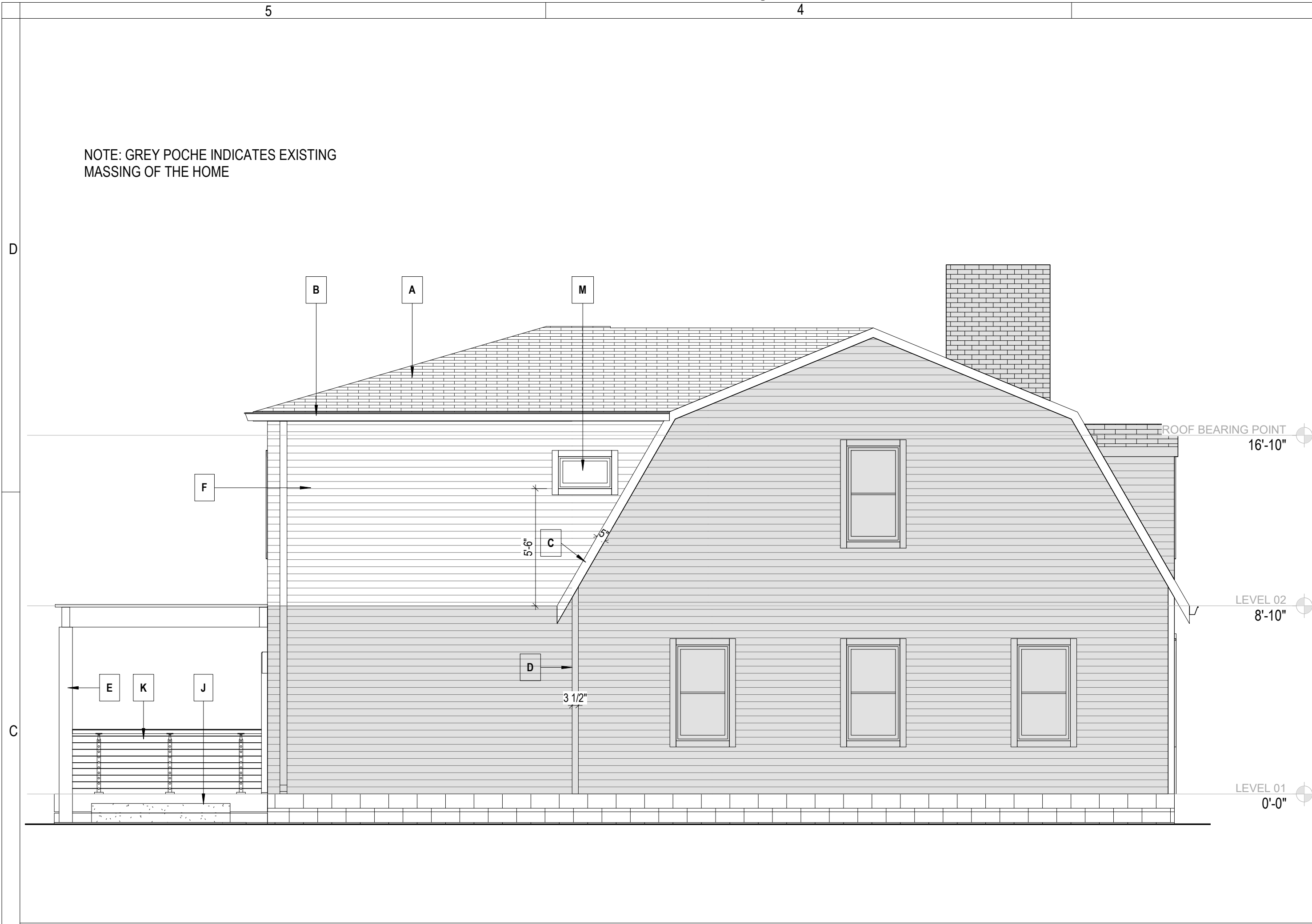
C5 2ND FLOOR DEMO PLAN  
A101 SCALE : 1/4" = 1'-0"



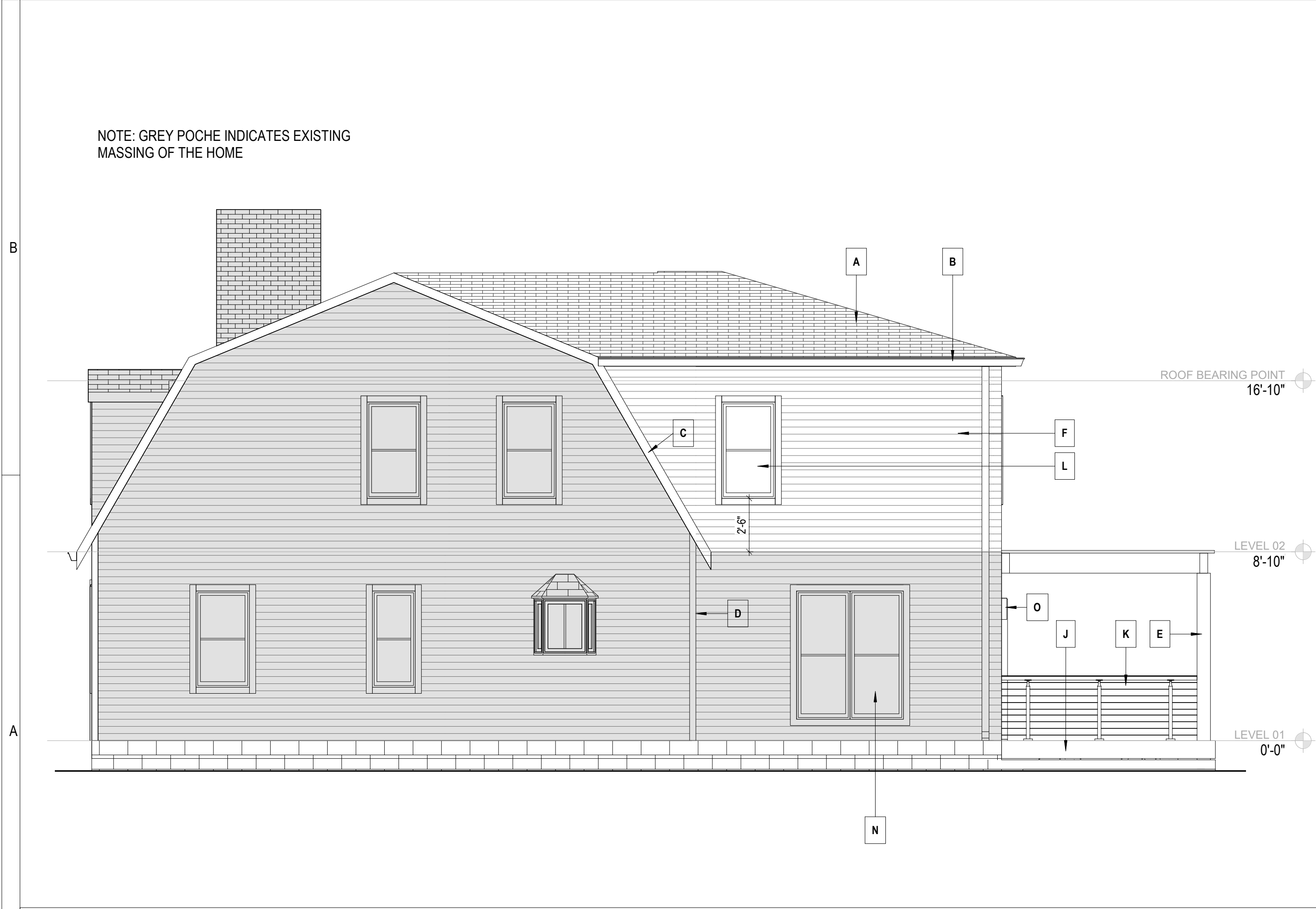
A5 02 - LEVEL 02 NEW WORK PLAN  
A101 SCALE : 1/4" = 1'-0"



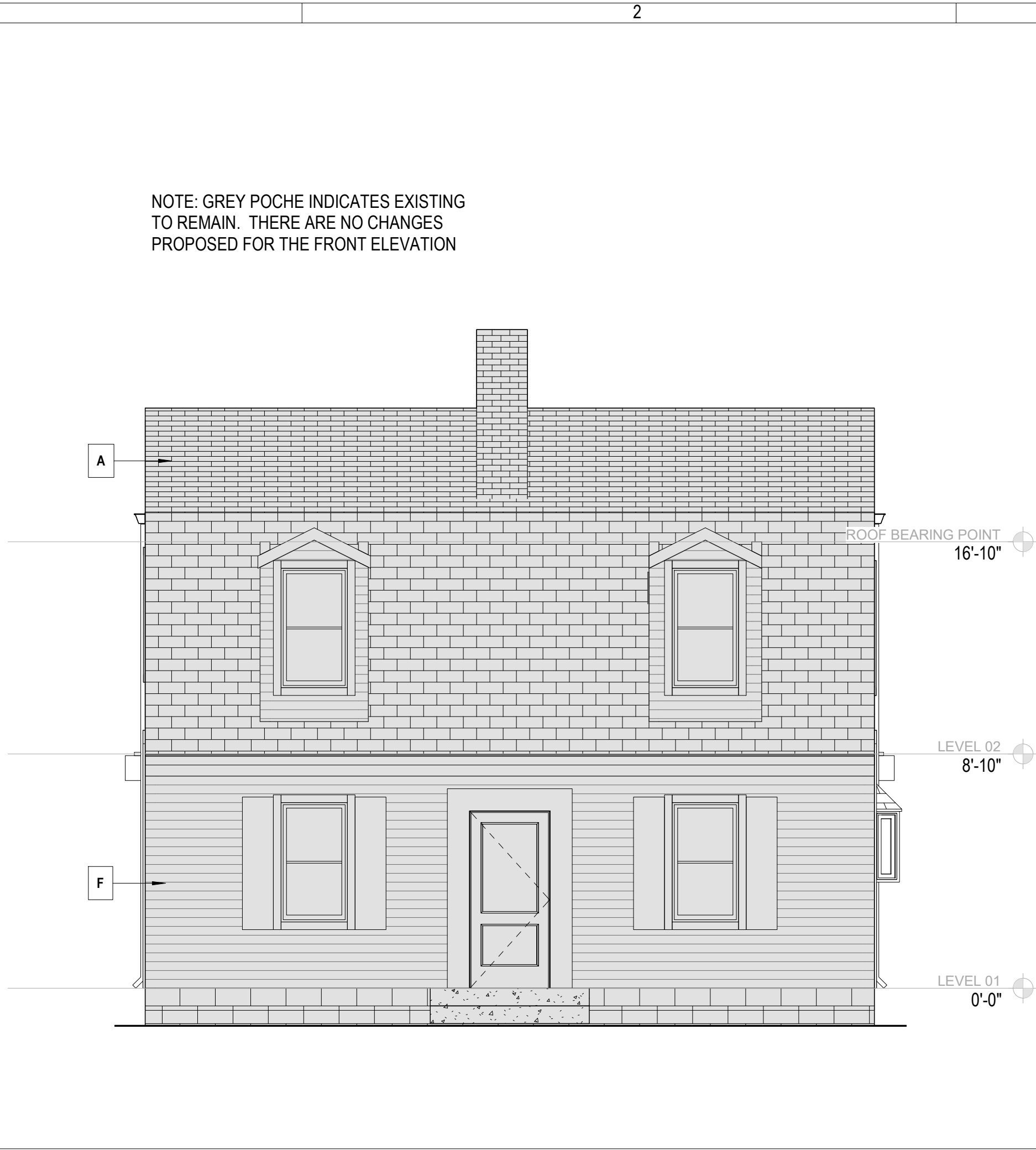
A3 TYPICAL WALL SECTION  
A101 SCALE : 3/4" = 1'-0"



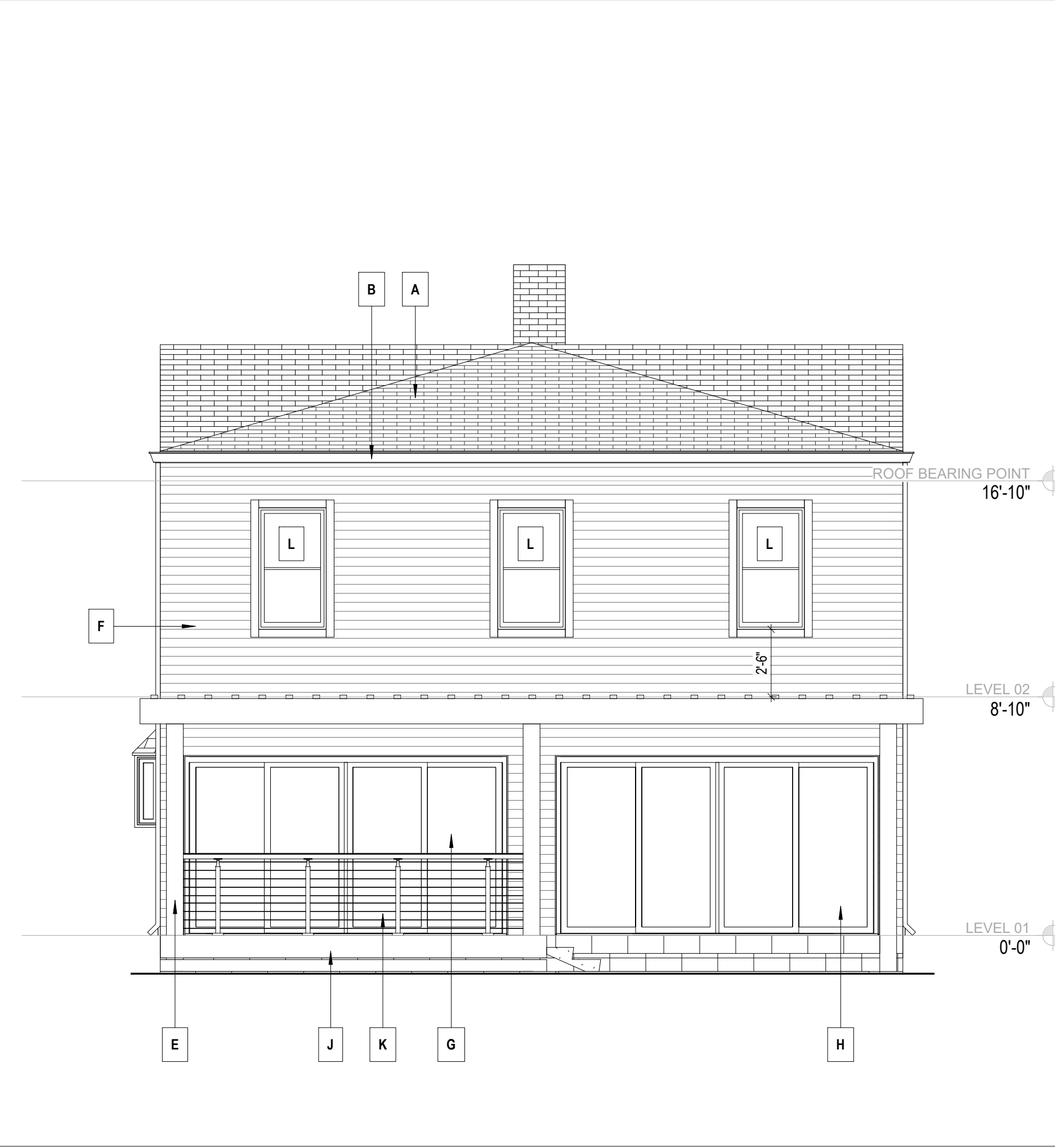
C5 EXTERIOR ELEVATION - SOUTH  
A201 SCALE : 1/4" = 1'-0"



A5 EXTERIOR ELEVATION - NORTH  
A201 SCALE : 1/4" = 1'-0"



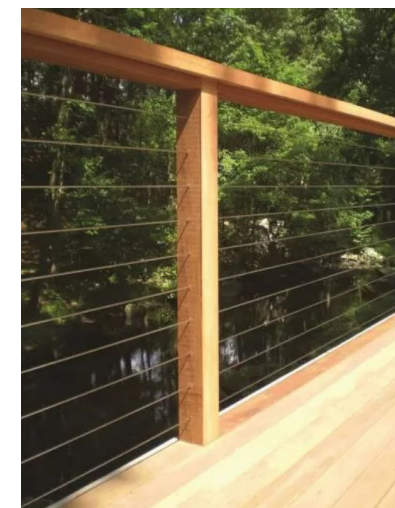
C2 EXTERIOR ELEVATION - EAST  
A201 SCALE : 1/4" = 1'-0"



A3 EXTERIOR ELEVATION - WEST  
A201 SCALE : 1/4" = 1'-0"

EXTERIOR ELEVATIONS LEGEND

- A.) ASPHALT SHINGLE ROOFING - REMOVE AND REPLACE ALL EXISTING ASPHALT SHINGLE AND REPLACE WITH NEW OVER EXISTING PORTION OF HOME AND NEW CONSTRUCTION.
- B.) ALUMINUM K-STYLE GUTTERS AND DOWNSPOUTS - WHITE
- C.) PROVIDE 5" FIBER CEMENT TRIM BOARD, MIMIC PREVIOUS ROOF LINE TO CONTINUE GAMBREL SHAPE.
- D.) PROVIDE 3.5" FIBER CEMENT TRIM BOARD, MIMIC CORNER TRIM OF FRONT ELEVATION.
- E.) 6X6 HEAVY TIMBER PERGOLA POSTS. EMBED FOOTING VIA STRUCTURAL DETAILS. STAIN SELECTED BY OWNER. PERGOLA FRAMING MEMBERS TO BE TIMBER TO MATCH.
- F.) EXISTING 4" VINYL SIDING SHALL REMAIN, PROVIDE NEW 4" VINYL SIDING IN NEW CONSTRUCTION AREAS. PAINT ALL SIDING TO MATCH, SW-XXX
- G.) 12'-0" W X 6'-8" H, WHITE, FOLDING [4] PANEL SLIDING DOOR.
- H.) 12'-0" W X 6'-8" H, WHITE, FOLDING [4] PANEL NON-OPERABLE WINDOW WALL.
- J.) EXISTING DECK SHALL BE MODIFIED TO NEW DIMENSIONS SHOWN. FINISH DECKING SHALL BE REMOVED AND REPLACED WITH NEW PT 5/4 WOOD DECKING. REMOVE STAIRS FROM EXISTING LOCATION. INSTALL [2] NEW STAIRS WHERE INDICATED WITH A MAX RISER OF 8 1/4" AND A TREAD DEPTH OF 11".
- K.) 3'-0" T GUARDRAIL. 4X4 TIMBER POSTS SHALL BE EQUALLY SPACED. CABLE RAILING SHALL BE SPACED SUCH THAT A 4" SPHERE SHALL NOT PASS BETWEEN.
- L.) WHITE, VINYL WINDOWS TO MATCH EXISTING. 2'-6" W X 4'-6" H. PROVIDE 3.5" TRIM, ALL SIDES TO MATCH EXISTING PROFILE.
- M.) WHITE, VINYL WINDOW TO MATCH EXISTING. 2'-6" W X 1'-6" H. PROVIDE 3.5" TRIM, ALL SIDES TO MATCH EXISTING PROFILE.
- N.) EXISTING WINDOWS TO REMAIN. LOWER 1'-0" TO ALLOW FOR NEW FLOOR INSTALLATION.
- O.) WALL MOUNTED LIGHTING



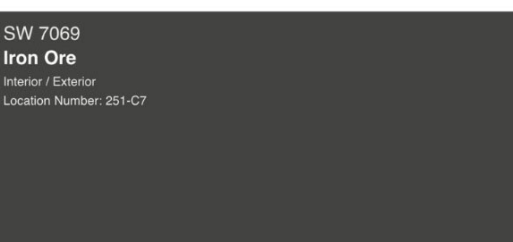
POST AND CABLE STYLE RAILING. STAIN TO MATCH PERGOLA AND DECK.



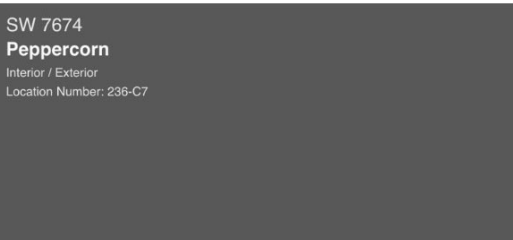
TIMBERLINE NATURAL SHADOW PEWTER GRAY



CABOT CORDOVAN LEATHER EXTERIOR WOOD STAIN AND SEALER (PERGOLA AND DECK)



SHUTTERS AND TRIM



FIELD PAINT COLOR



BRESHAWNA ALUMINUM MATTE BLACK OUTDOOR WALL SCONCE

SIDE STREET STUDIO

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RESIDENTIAL ADDITION  
VARGAS FAMILY  
237 N STANWOOD RD., BEXLEY, OH 43209

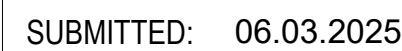
STATE OF OHIO  
JOSHUA TOMEY  
2017948  
REGISTERED ARCHITECT

SUBMITTED: 06.03.2025

A201  
EXTERIOR ELEVATIONS



237 N STANWOOD RD., BEXLEY, OH 43209

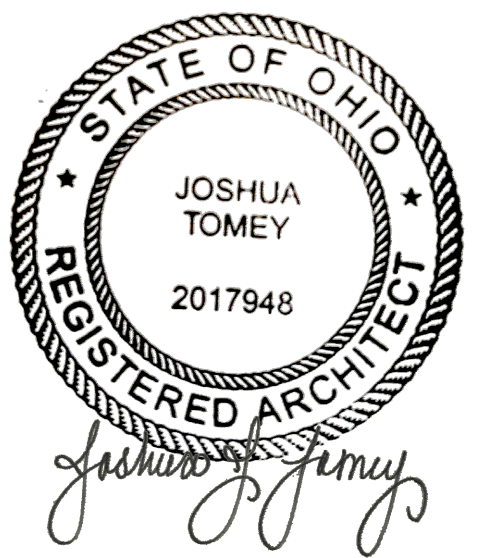


### EXISTING EXTERIOR PHOTOS

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# VARGAS FAMILY

237 N STANWOOD RD., BEXLEY, OH 43209



SUBMITTED: 06.03.2025

ARCHITECTURAL SITE PLAN





EXISTING REAR [WEST] ELEVATION AND ELEVATED DECK



EXISTING SIDE [NORTH] ELEVATION



EXISTING REAR [WEST] ELEVATION, ADDITION LOCATION



EXISTING FRONT [EAST] ELEVATION



EXISTING SIDE [SOUTH] ELEVATION

SIDE  
STREET  
STUDIO

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RESIDENTIAL ADDITION  
VARGAS FAMILY  
237 N STANWOOD RD., BEXLEY, OH 43209

STATE OF OHIO  
JOSHUA  
TOMEY  
2017948  
REGISTERED ARCHITECT  
*Joshua Tomey*

SUBMITTED: 06.03.2025

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A202  
EXISTING EXTERIOR PHOTOS

This is to attest that there is no Stale or Tile Roof on this project. This category was marked as a required submission, so I am uploading this letter.

There is an asphalt shingle roof that will be replaced with a new asphalt shingle roof in order to tie in the new addition.

Thanks,

Josh Tomey, AIA

Architect