



HIS & HERS ARCHITECTS
7422 SILVERLEAF CT
COLUMBUS, OHIO 43232



HAAS ADDITION
821 GRANDON AVE
BEXLEY OH
2025.05.13

HIS & HERS ARCHITECTS
7422 SILVERLEAF CT
COLUMBUS, OHIO 43232

28'-7 1/2"

EXISTING UNENCLOSED,
COVERED PATIO TO BE REMOVED

66'-1 1/4" EXISTING

127'-0"

EXISTING GARAGE
AND DRIVEWAY,
TO BE REMOVED

PROPOSED 400 SF
2 CAR GARAGE

37'-10 1/8"

44'-3 3/8"

19'-11"

13'-5 3/4"

473 SF ADDITION

PROPOSED
122 SF
DECK

PROPOSED
50 SF WALK

EXISTING 615 SF 2 STORY,
SINGLE FAMILY HOUSE,

30'-0"
FRONT YARD SETBACK

EXISTING 169 SF
UNENCLOSED PORCH

20'-0"
PORCH
SETBACK

EXISTING 215 SF SIDEWALK

25'-0"
REAR YARD SETBACK

PROPOSED
105 SF WALK

PROPERTY LINE

6'-8"
SIDE YARD
SETBACK

32'-9" EXISTING

GRANDON AVE

BUILDING ZONING INFORMATION

PROPERTY ADDRESS: 821 GRANDON AVE
PARCEL ID: 020-002982-00
ZONING: R-6

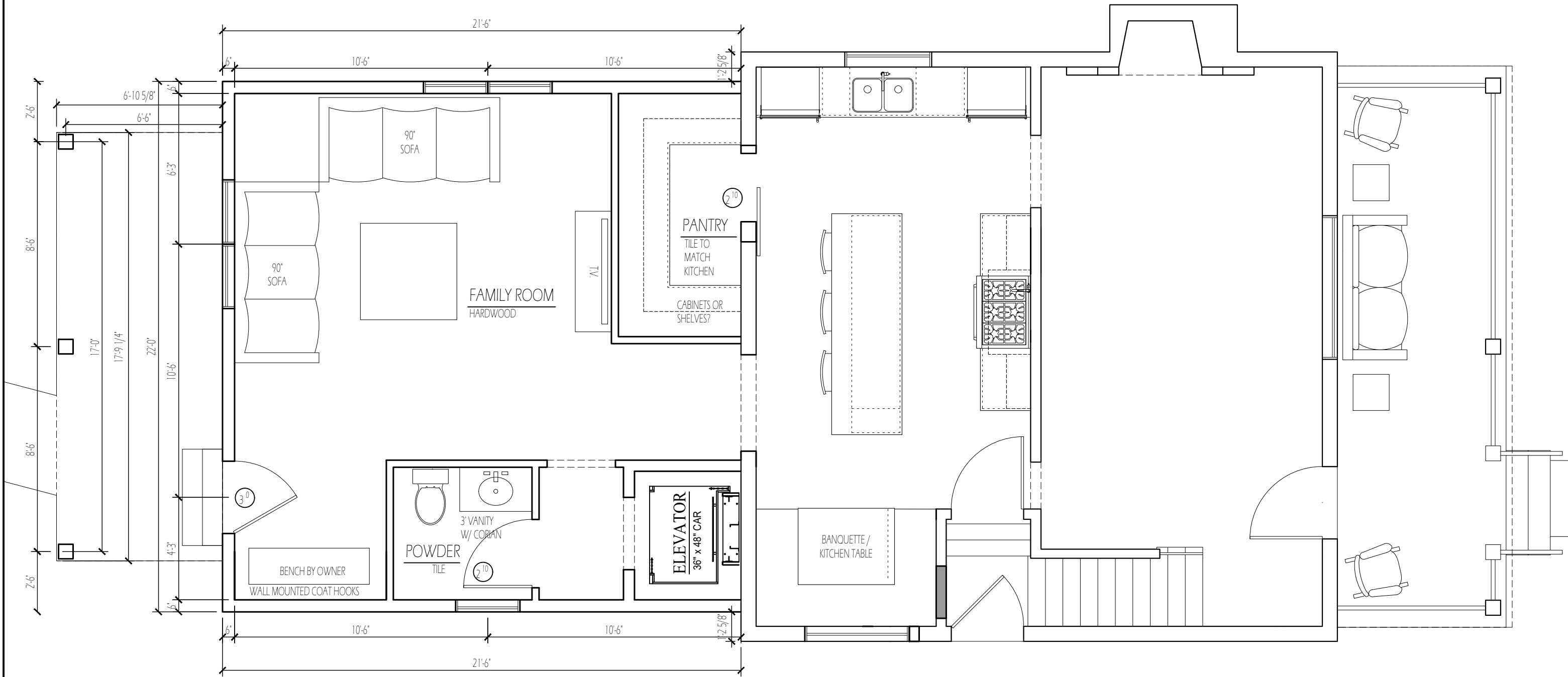
HEIGHT DISTRICT: 2-1/2 STORIES AND 35'
EXISTING HEIGHT: 28' ROOF PEAK - 31' W/ CHIMNEY
PROPOSED BUILDING HEIGHT: 31' ROOF PEAK - 33' W/ CHIMNEY

LOT AREA: 5,092 SF
FRONT YARD SETBACK: 30' (AVERAGE FRONT YARD SETBACK = 29'-6")
SIDE YARD SETBACK: 6'-8" (1/6 OF 40')
REAR YARD SETBACK: 25'
MAX BUILDING COVER: 1,782 SF (35%)
MAX LOT COVERAGE: 3,055 SF (60%)

PROPOSED BUILDING COVERAGE: 1,780 (35%)
PROPOSED LOT COVERAGE: 2,255 (44.3%)

HAAS ADDITION

821 GRANDON AVE
BEXLEY OH
2025.05.13



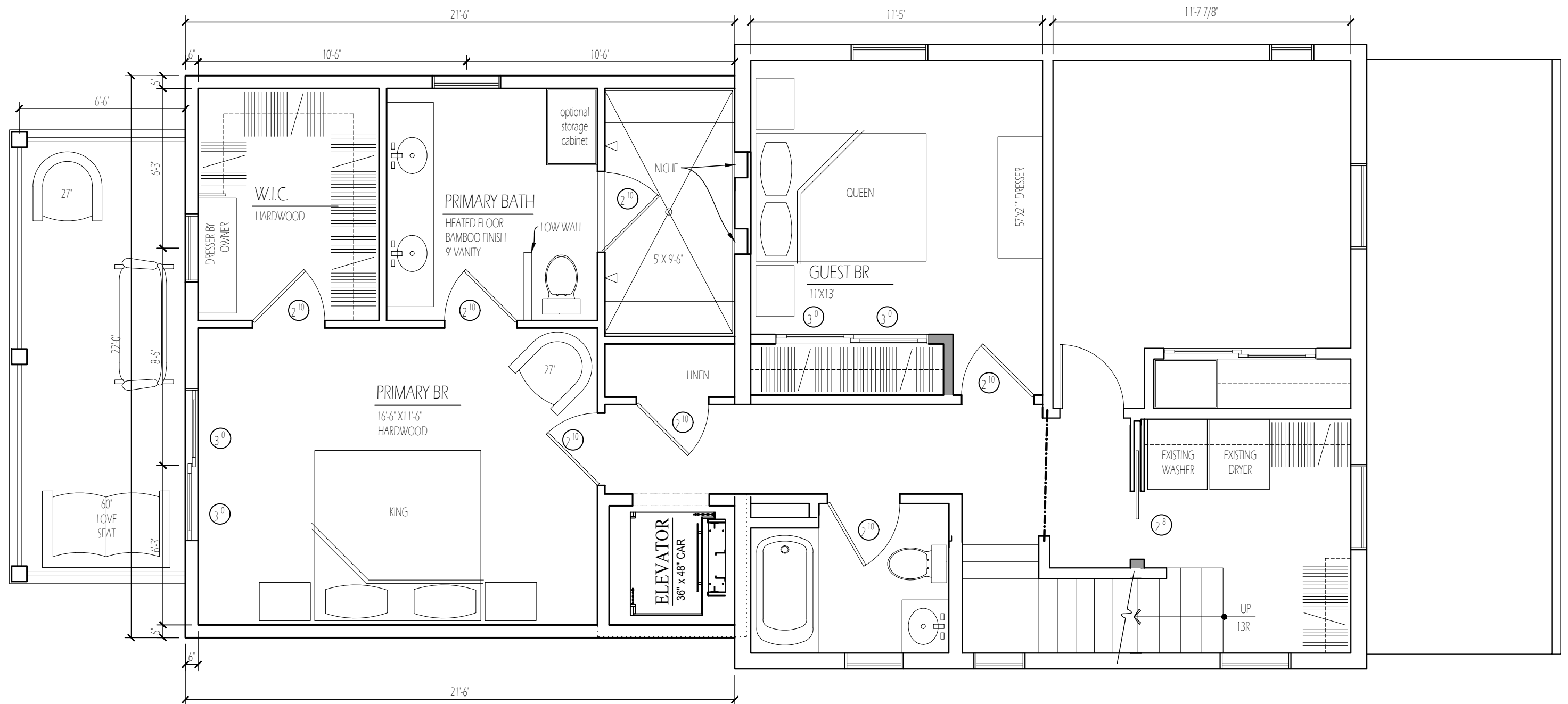
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

HAAS ADDITION

821 GRANDON AVE
BEXLEY OH

2025.04.18

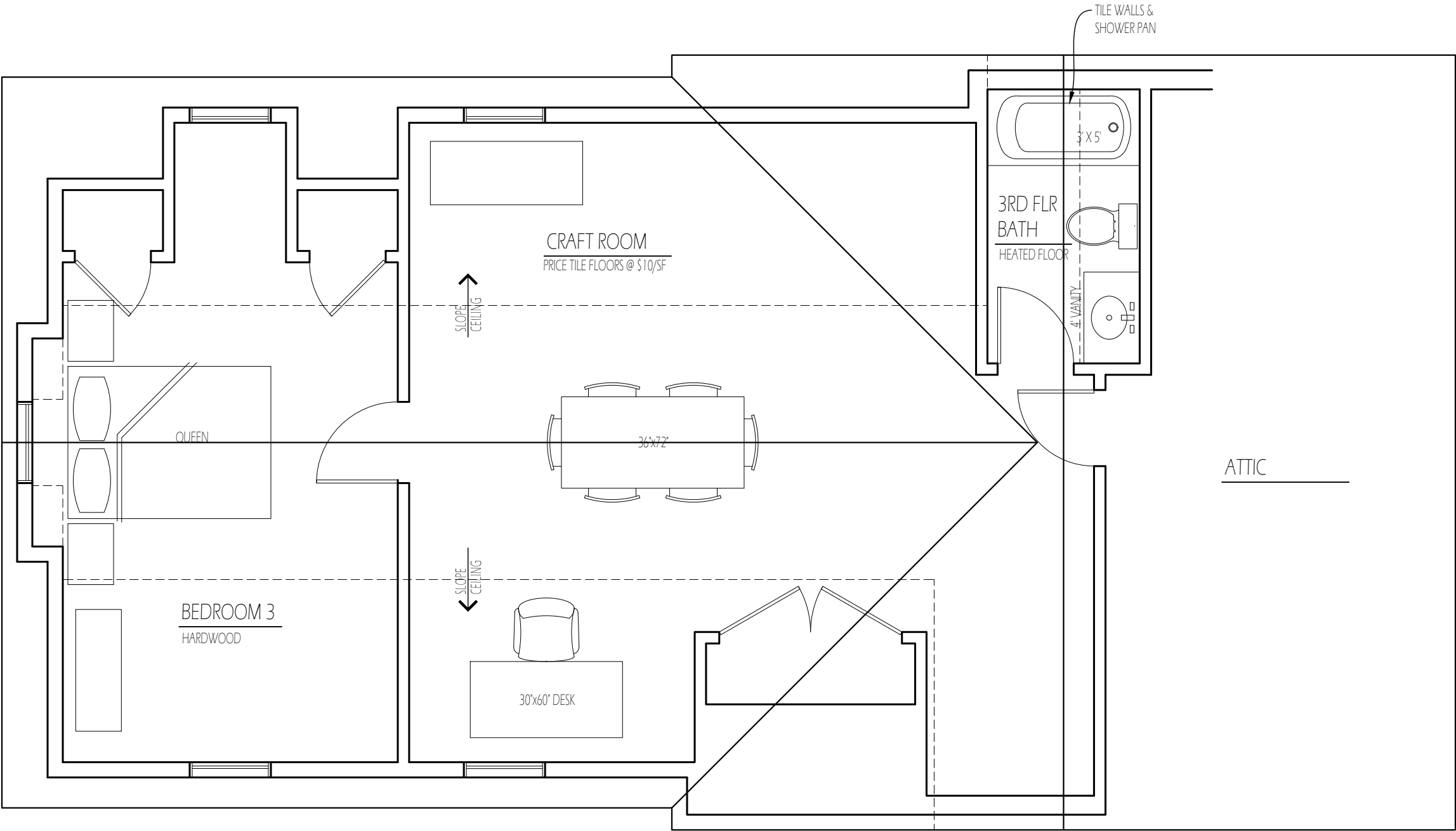


SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

HAAS ADDITION

821 GRANDON AVE
BEXLEY OH
2025.04.18



THIRD FLOOR

SCALE: 1/4" = 1'-0"

HAAS ADDITION

821 GRANDON AVE
BEXLEY OH
2025.04.18



VIEW OF EXISTING HOUSE NORTH WEST CORNER
NTS



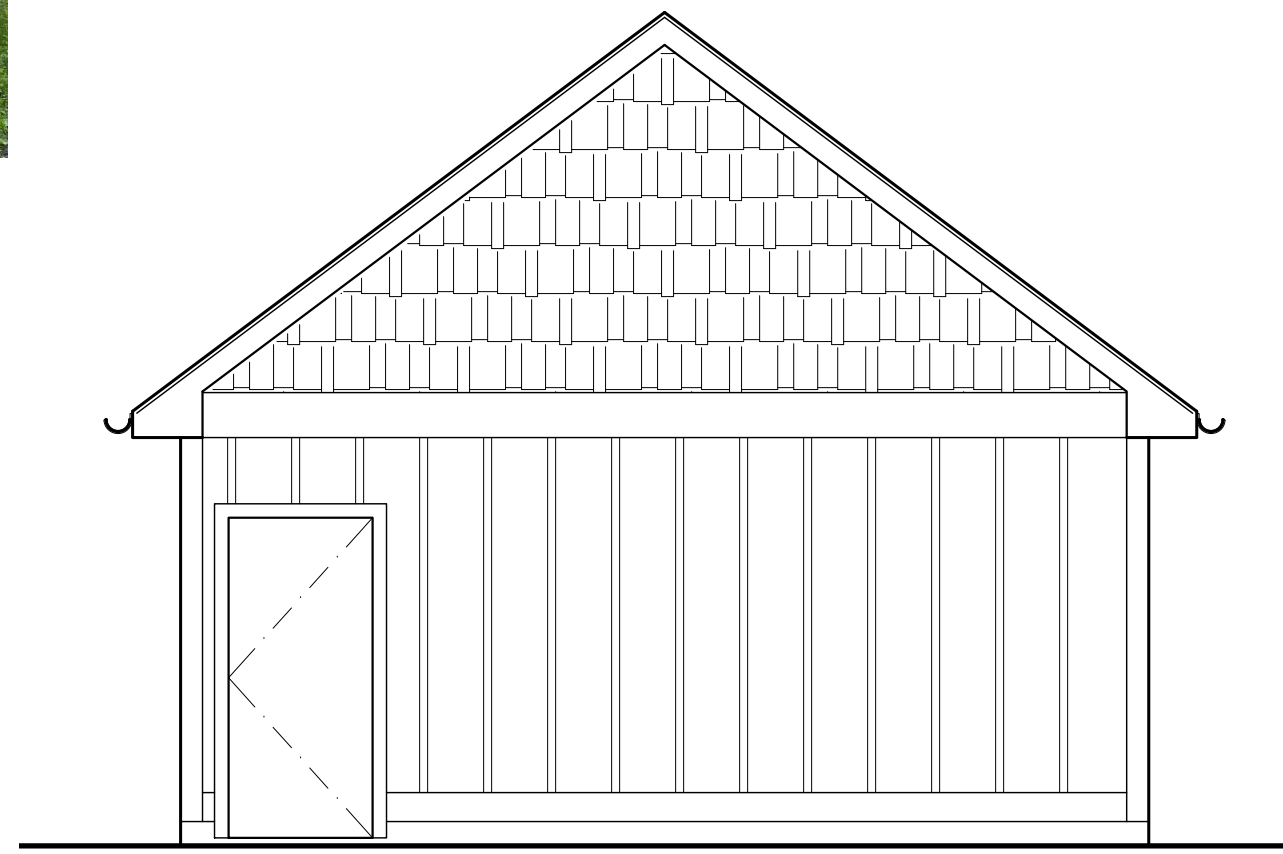
VIEW OF EXISTING HOUSE REAR WEST FACADE
NTS



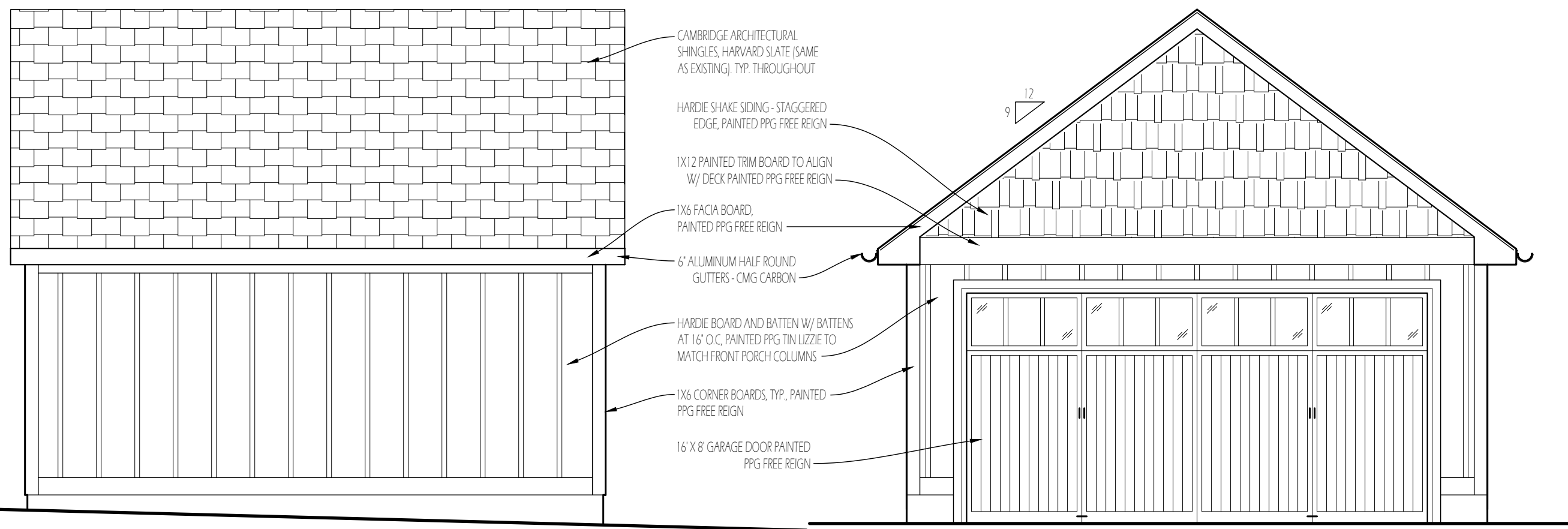
VIEW OF EXISTING HOUSE SOUTH EAST CORNER
NTS



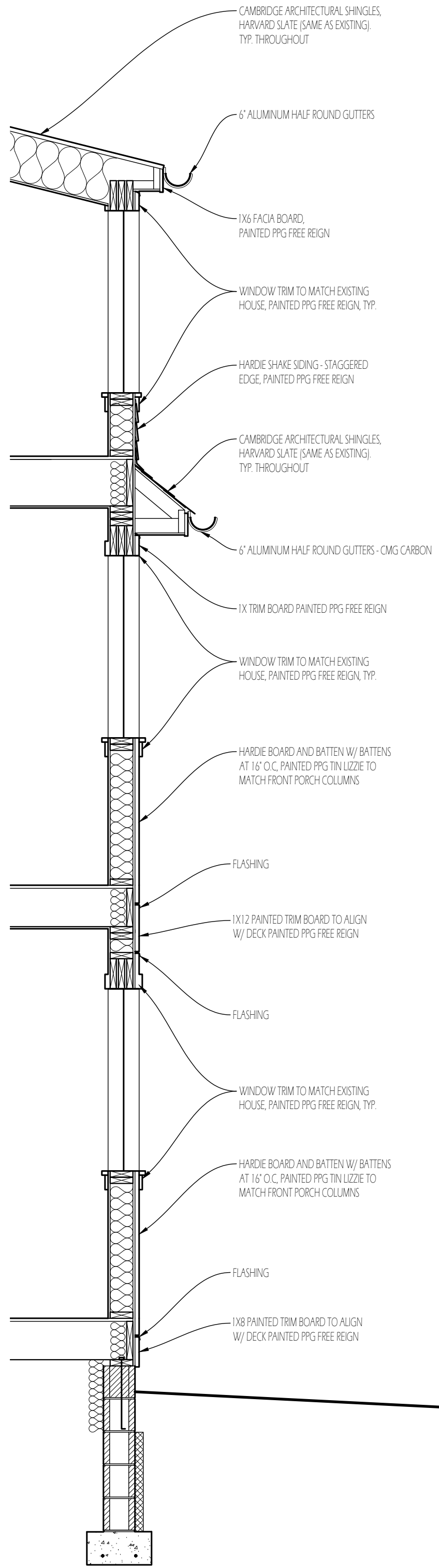
VIEW OF EXISTING HOUSE NORTH EAST CORNER
NTS



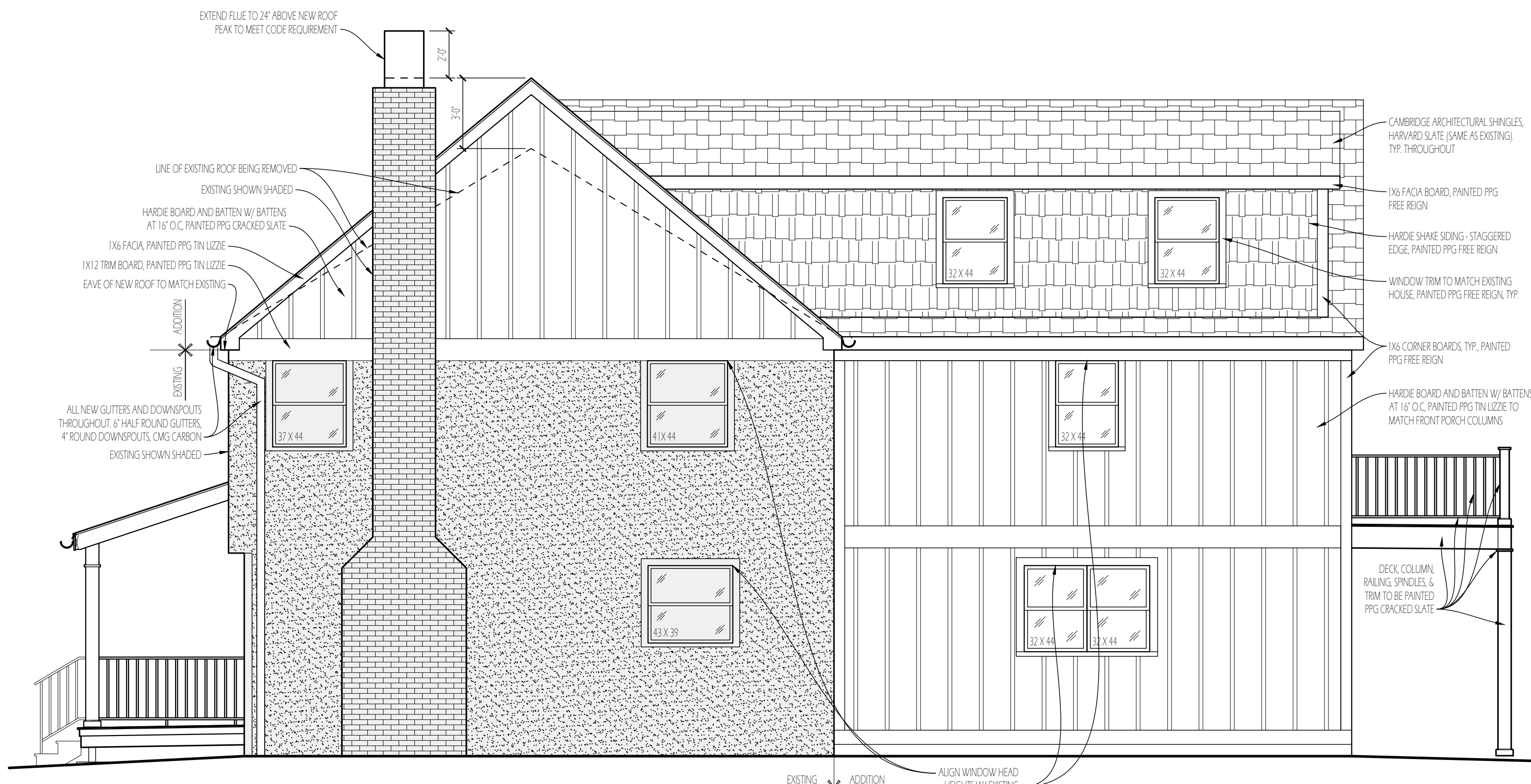
EAST EXTERIOR ELEVATION OF DETACHED GARAGE
SCALE: 1/4" = 1'-0"



REAR EXTERIOR ELEVATION OF DETACHED GARAGE
SCALE: 1/4" = 1'-0"



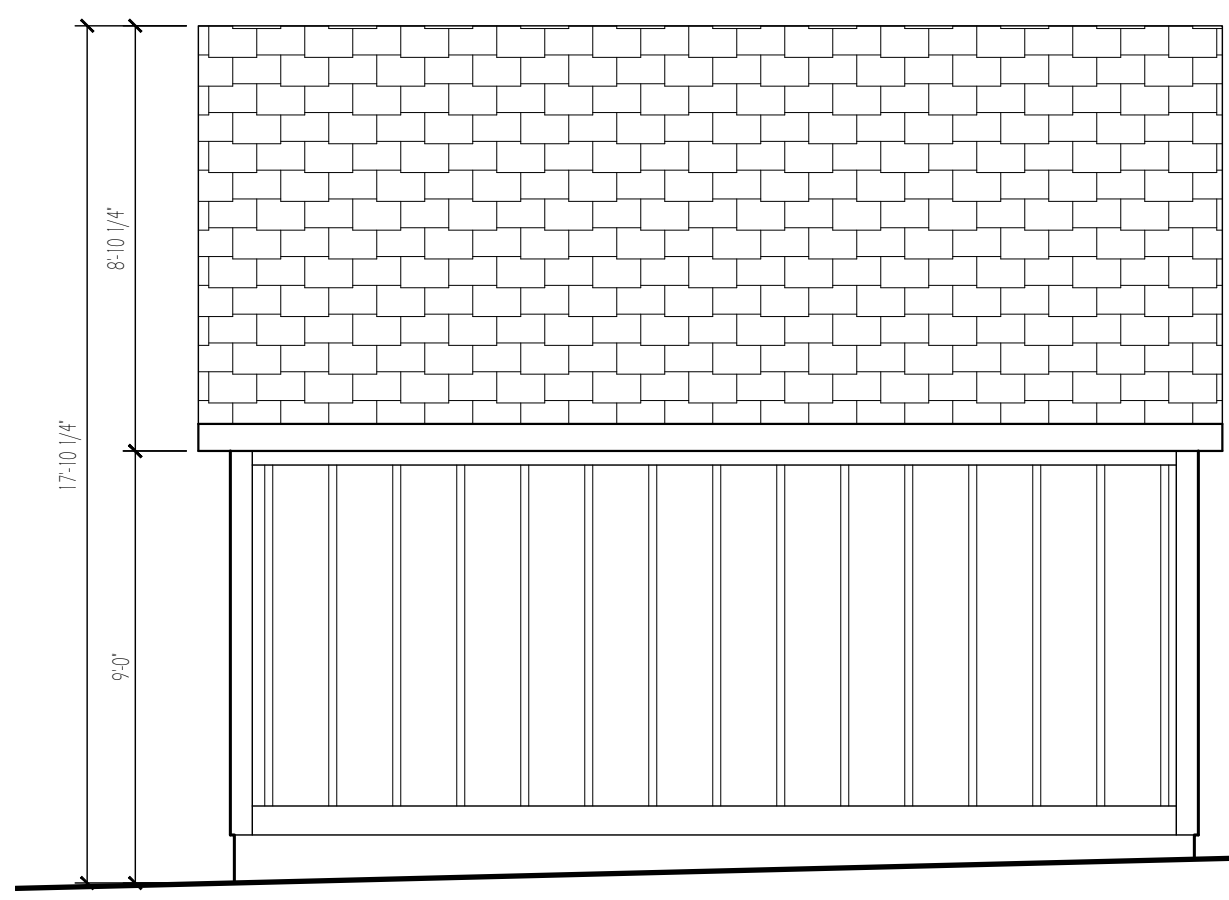
TYPICAL WALL SECTION THROUGH ADDITION
SCALE: 1/2" = 1'-0"



SIDE/NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



REAR EXTERIOR ELEVATION OF ADDITION
SCALE: 1/4" = 1'-0"



SIDE/SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

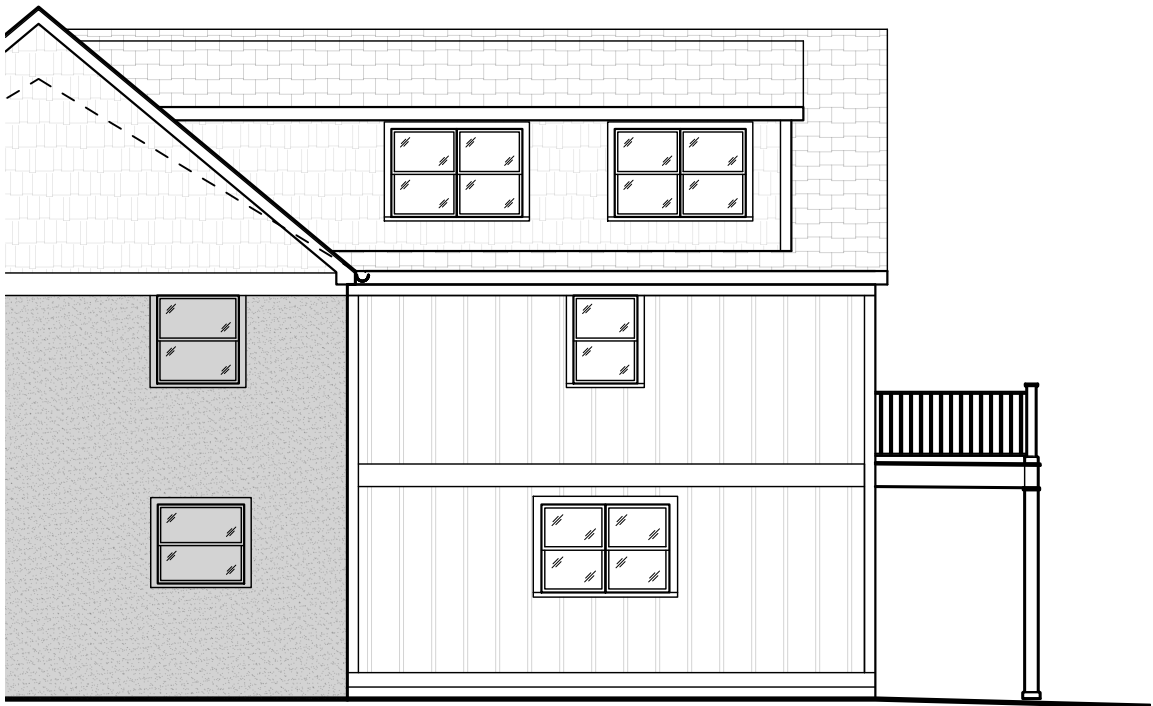


HAAS ADDITION



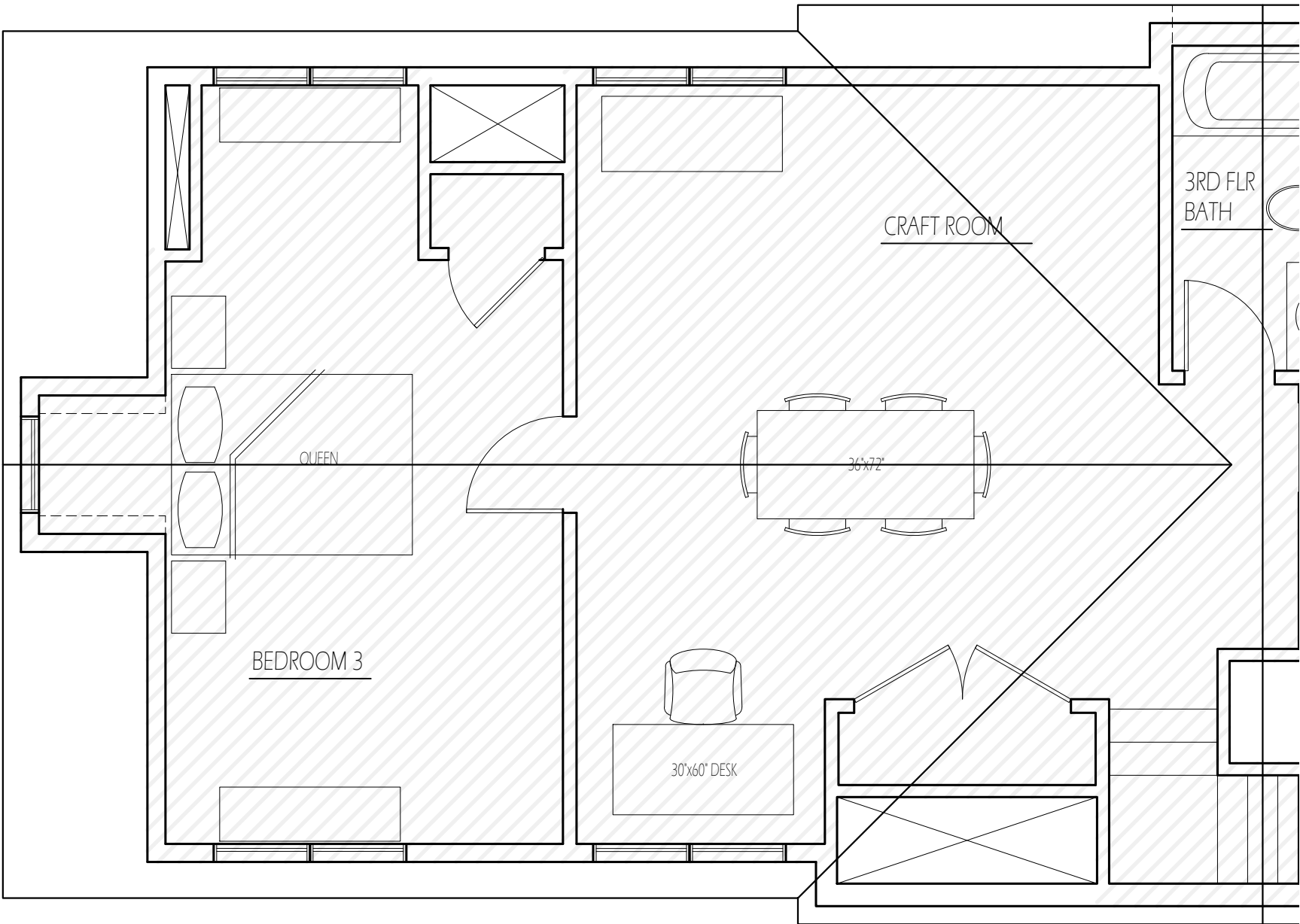
ALTERNATE SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



ALTERNATE NORTH ELEVATION

SCALE: 1/8" = 1'-0"



ALTERNATE THIRD FLOOR

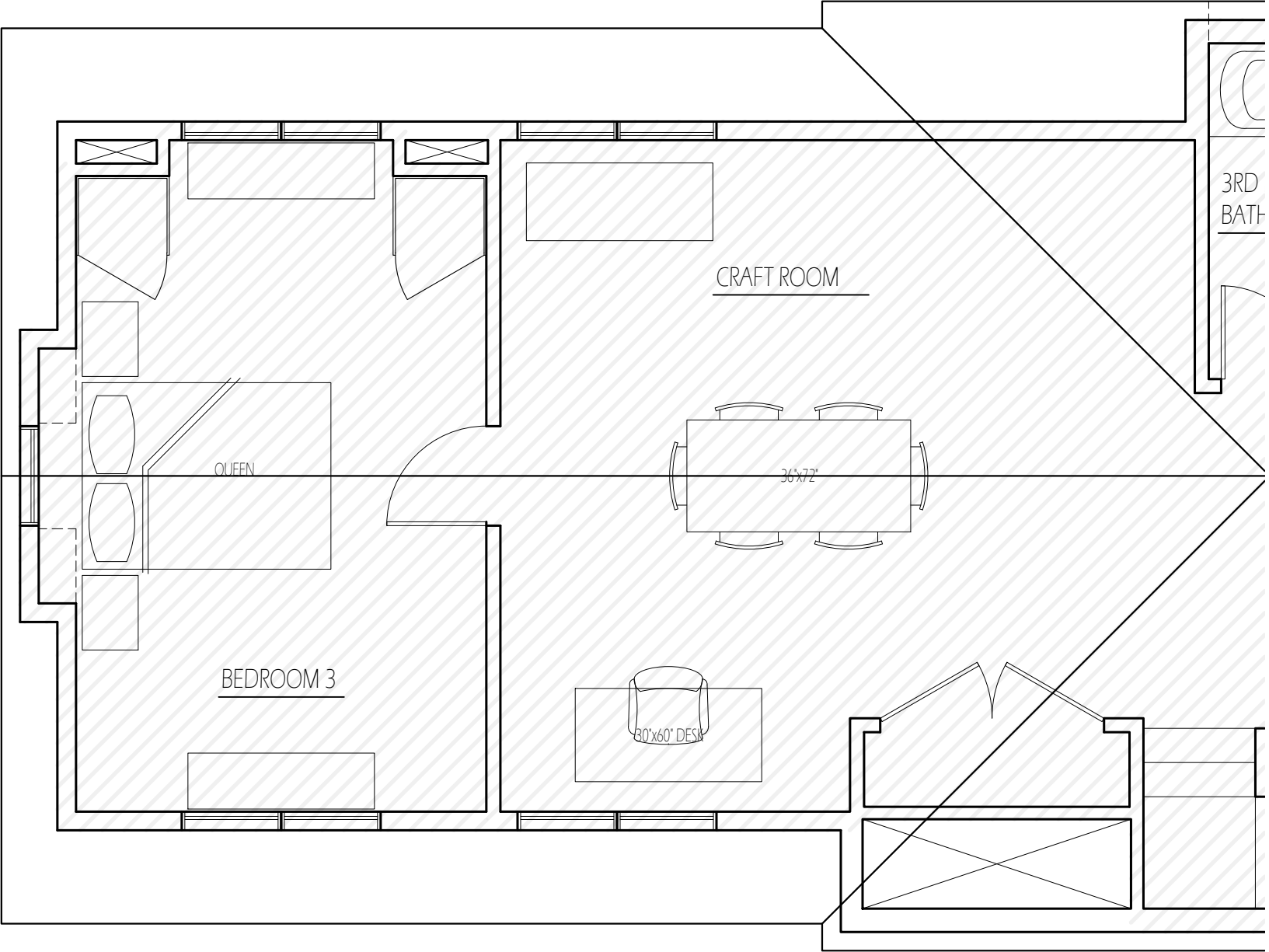
SCALE: 1/4" = 1'-0"

HAAS ADDITION

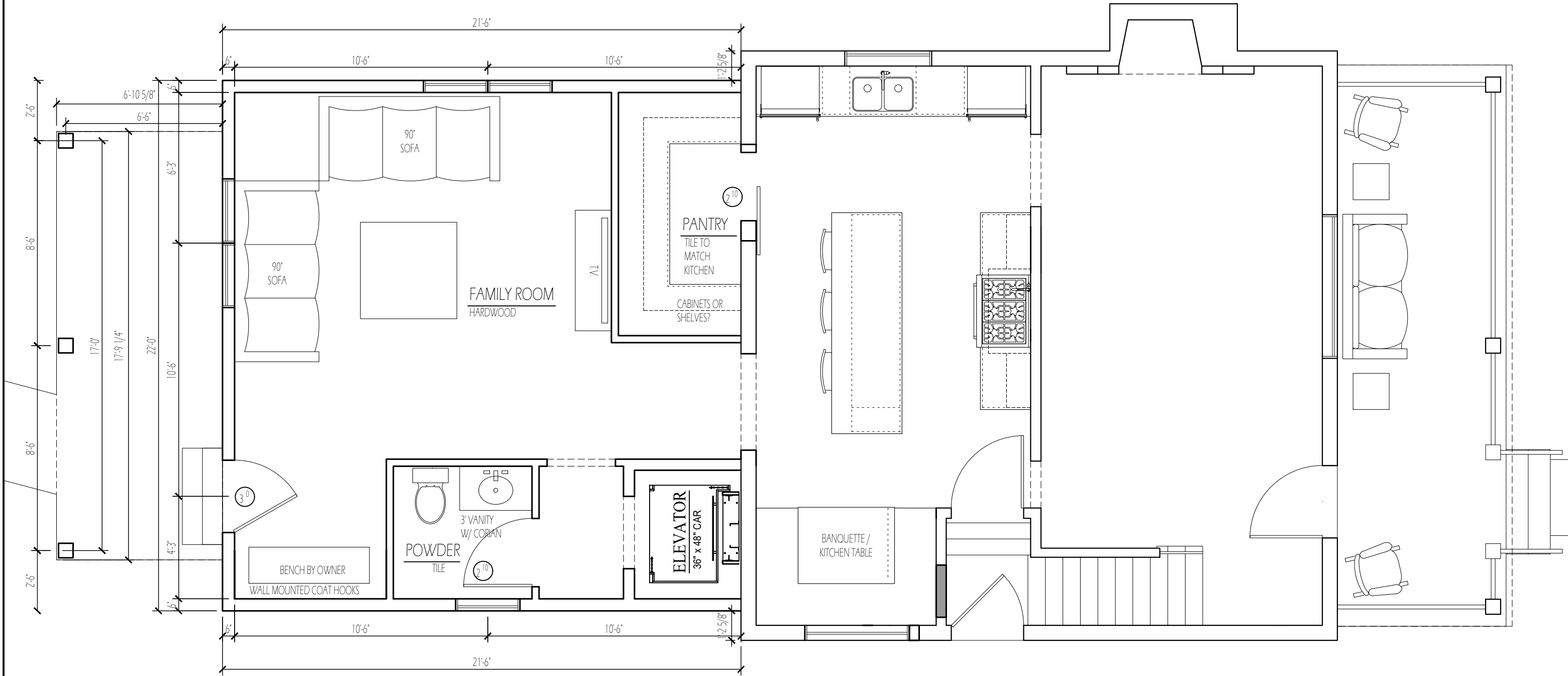
821 GRANDON AVE
BEXLEY OH
2025.05.13



ALTERNATE-2 REAR ELEVATION
SCALE: 1/4" = 1'-0"



ALTERNATE-2 THIRD FLOOR
SCALE: 1/4" = 1'-0"



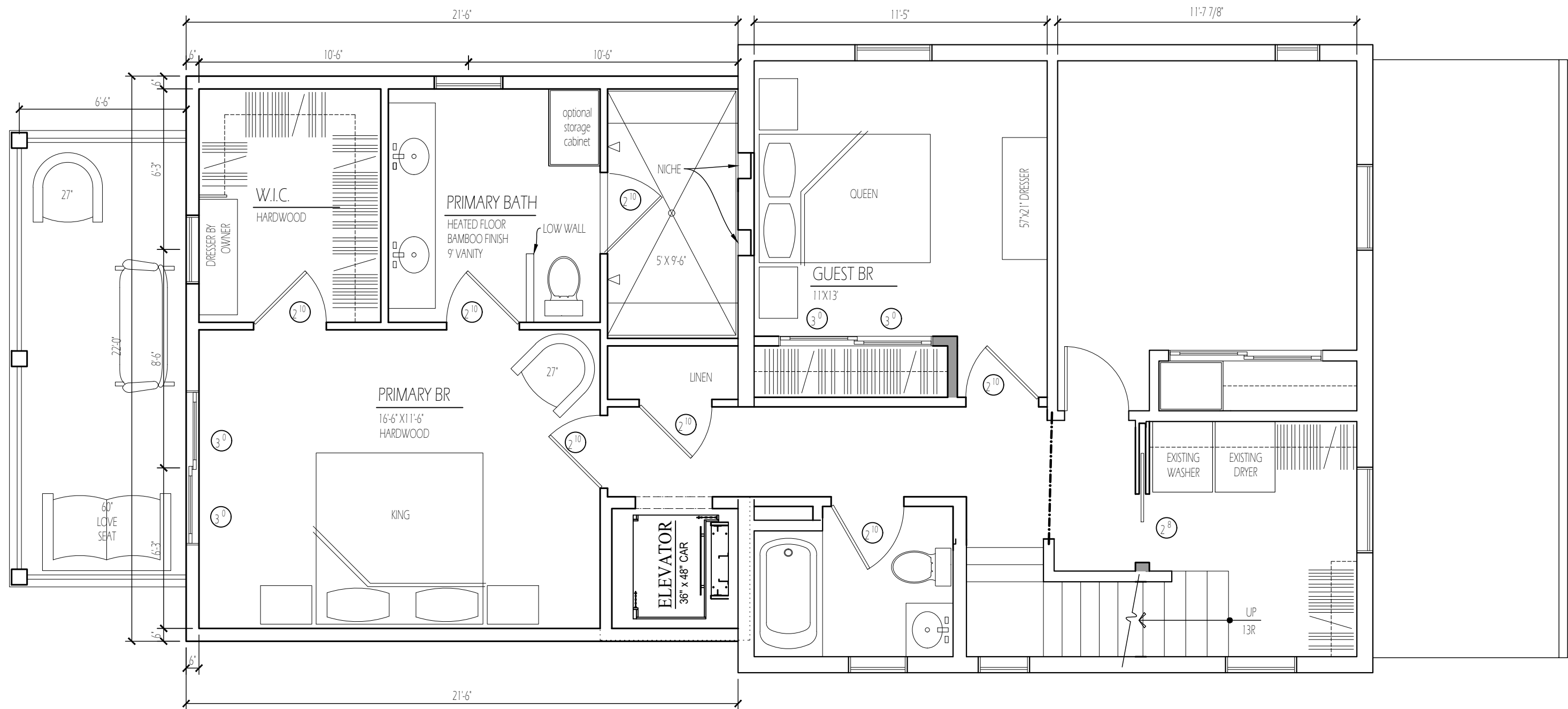
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

HAAS ADDITION

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BEXLEY OH

2025.04.18

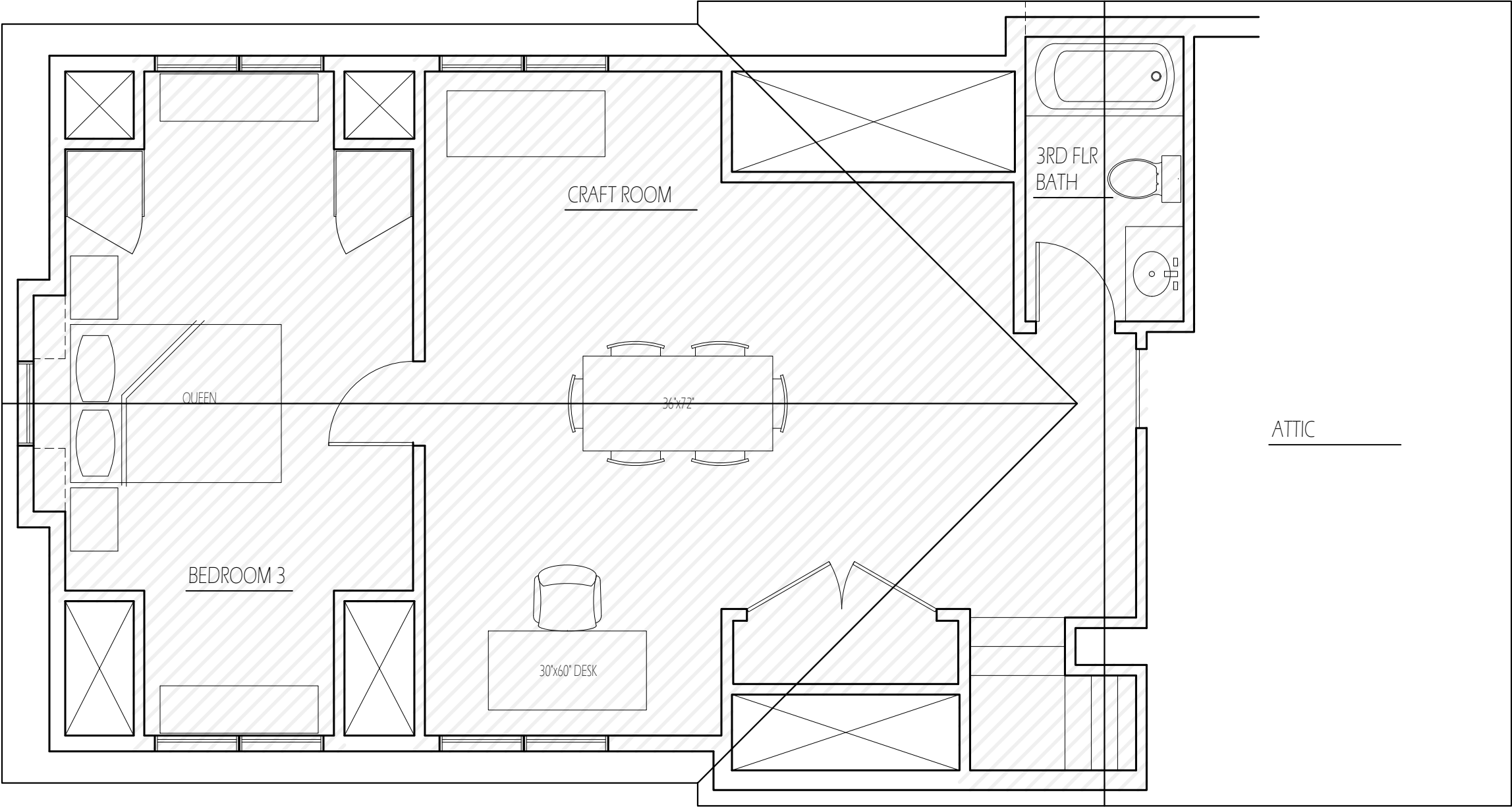


SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

HAAS ADDITION

821 GRANDON AVE
BEXLEY OH
2025.04.18



THIRD FLOOR

SCALE: 1/4" = 1'-0"

HAAS ADDITION

821 GRANDON AVE
BEXLEY OH
2025.04.18



VIEW OF EXISTING HOUSE NORTH WEST CORNER
NTS



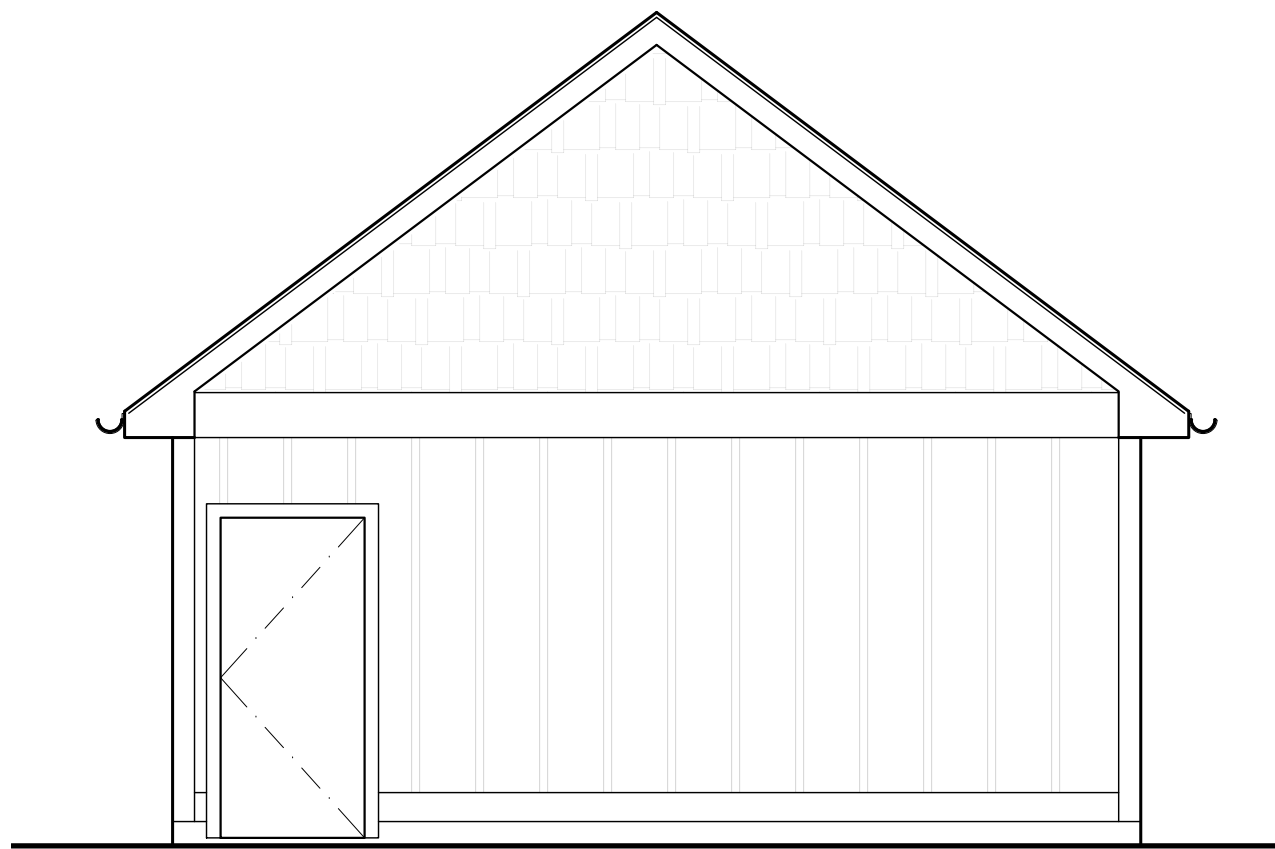
VIEW OF EXISTING HOUSE REAR/WEST FACADE
NTS



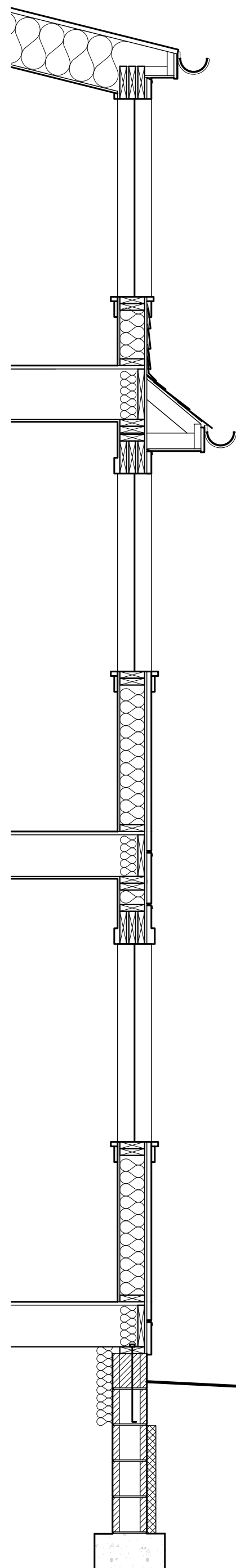
VIEW OF EXISTING HOUSE SOUTH EAST CORNER
NTS



VIEW OF EXISTING HOUSE NORTH EAST CORNER
NTS



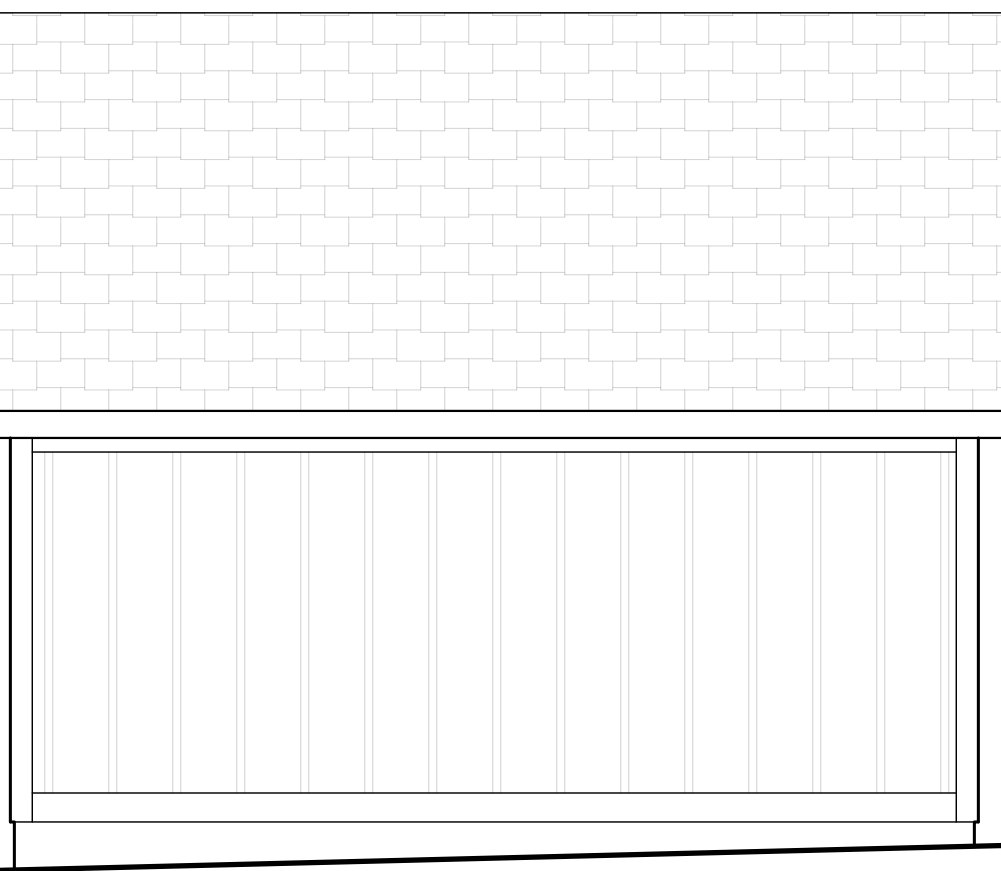
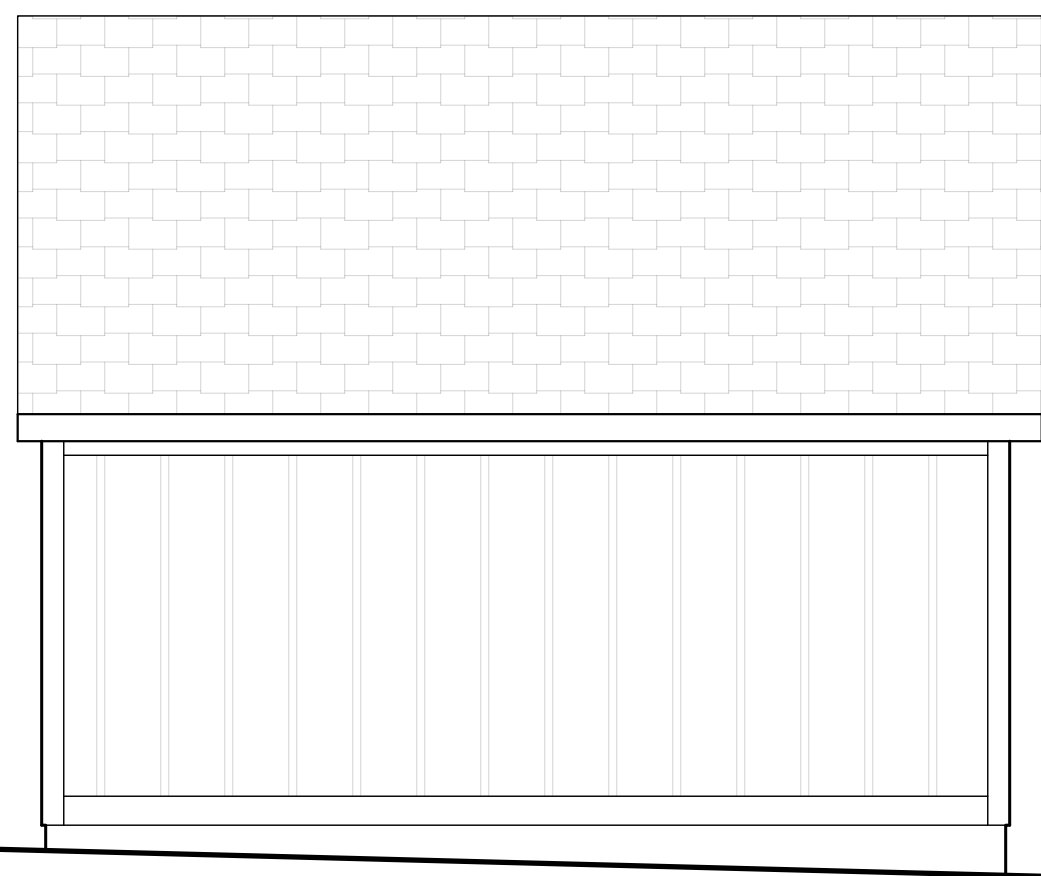
EAST EXTERIOR ELEVATION OF DETACHED GARAGE
SCALE: 1/4"=1'-0"



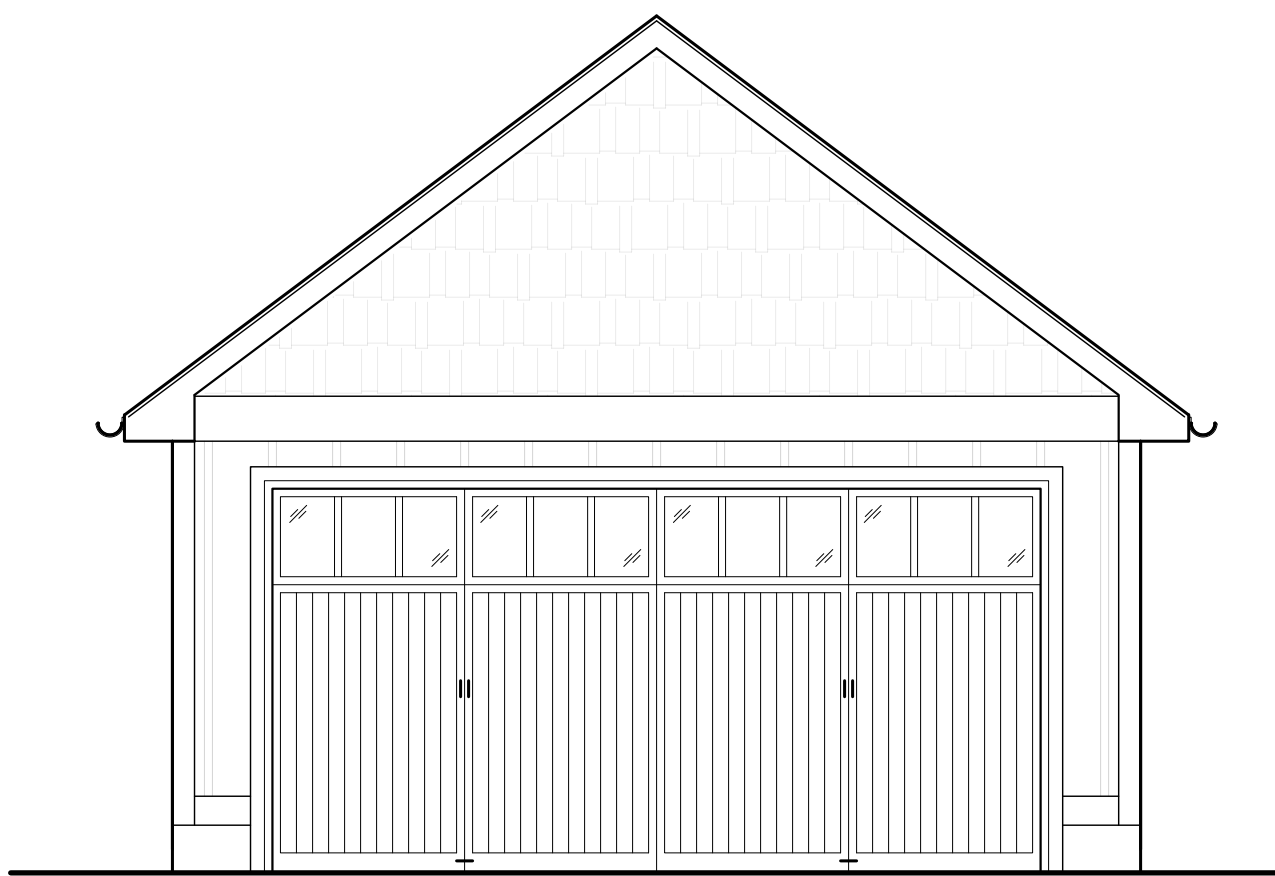
TYPICAL WALL SECTION THROUGH ADDITION
SCALE: 1/2"=1'-0"



SIDE/NORTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



SIDE/SOUTH EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



REAR EXTERIOR ELEVATION OF DETACHED GARAGE
SCALE: 1/4"=1'-0"



REAR EXTERIOR ELEVATION OF ADDITION
SCALE: 1/4"=1'-0"



28'-8 1/4"

EXISTING UNENCLOSED,
COVERED PATIO TO BE REMOVED

68'-0"

127'-0"

EXISTING GARAGE
AND DRIVEWAY,
TO BE REMOVED

PROPOSED 400 SF
2 CAR GARAGE

PROPOSED 105 SF
DRIVEWAY

PROPERTY LINE

17'-3 1/4"

25'-0"
REAR YARD SETBACK

PROPOSED
50 SF WALK

PROPOSED
122 SF
DECK

473 SF ADDITION

EXISTING 615 SF 2
STORY, SINGLE-FAMILY
HOUSE,

PROPOSED
105 SF WALK

PROPERTY LINE

8'-6 1/4" EXISTING

NORTH

SITE PLAN

SCALE: 1"=10'



30'-0 5/8"
FRONT YARD SETBACK

EXISTING 163 SF
UNENCLOSED PORCH

20'-0"
PORCH
SETBACK

EXISTING 215 SF SIDEWALK

32'-10" EXISTING

GRANDON AVE

BUILDING ZONING INFORMATION

PROPERTY ADDRESS: 821 GRANDON AVE
PARCEL ID: 020-002982-00
ZONING: R-6

HEIGHT DISTRICT: 2-1/2 STORIES AND 35'
EXISTING HEIGHT: 26' ROOF PEAK - 29' W/ CHIMNEY
PROPOSED BUILDING HEIGHT: 29' ROOF PEAK - 31' W/ CHIMNEY

LOT AREA: 5,092 SF
FRONT YARD SETBACK: NO CHANGE
SIDE YARD SETBACK: 6'-8" (1/6 OF 40')
REAR YARD SETBACK: 25'
MAX BUILDING COVER: 1,778 SF (35%)
MAX LOT COVERAGE: 3,055 SF (60%)

PROPOSED BUILDING COVERAGE: 1,773 (35%)
PROPOSED LOT COVERAGE: 2,255 (44.3%)

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821 GRANDON AVE
BEXLEY OH
2025.06.02



SITE PLAN

SCALE: 1/32"=1'

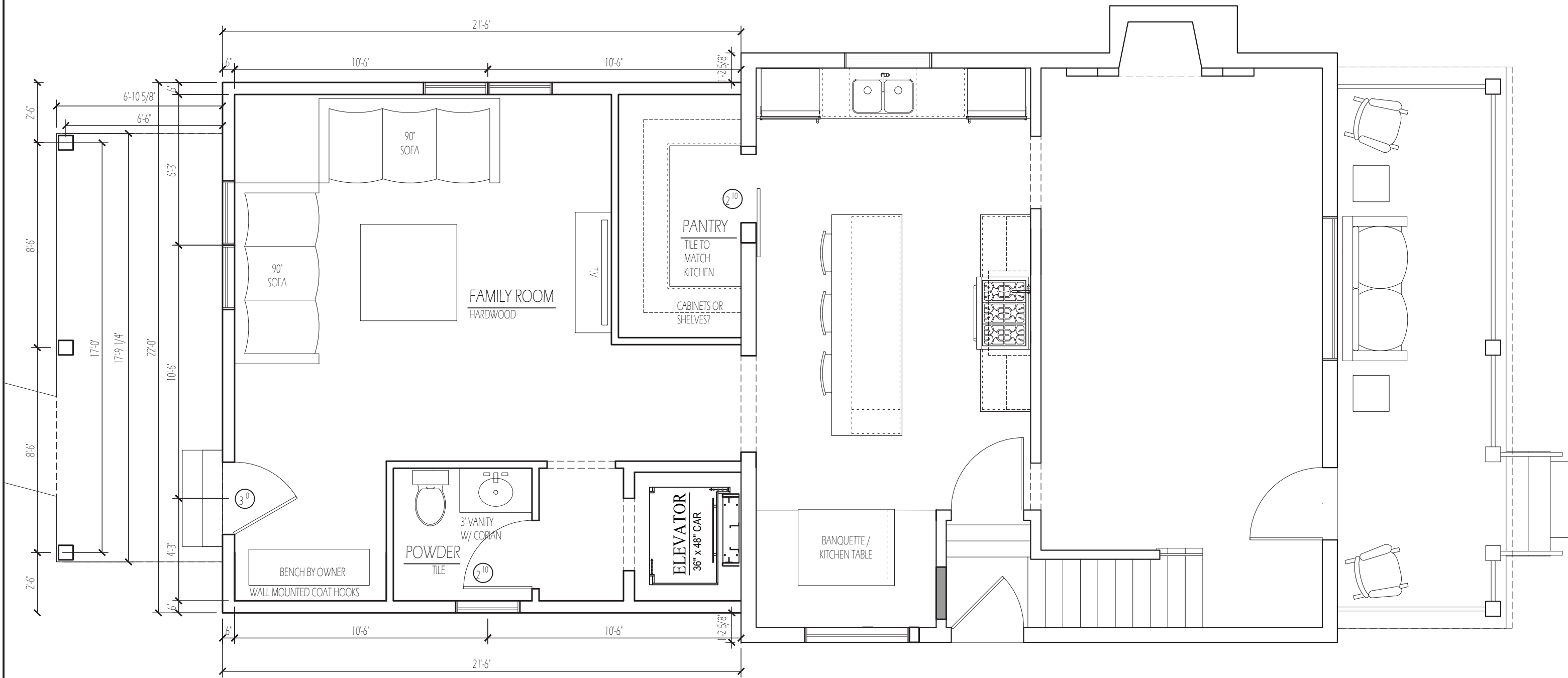


● DENOTES ROOF HEIGHTS OF NEIGHBORING HOMES.
*HEIGHTS WERE TAKEN FROM GOOGLE EARTH AND ARE LIKELY TO BE SLIGHTLY OFF.
THESE HEIGHTS ARE INTENDED TO SHOW A GENERAL COMPARISON TO THE NEIGHBORHOOD*

HAAS ADDITION

821 GRANDON AVE
BEXLEY OH

2025.06.02



FIRST FLOOR PLAN

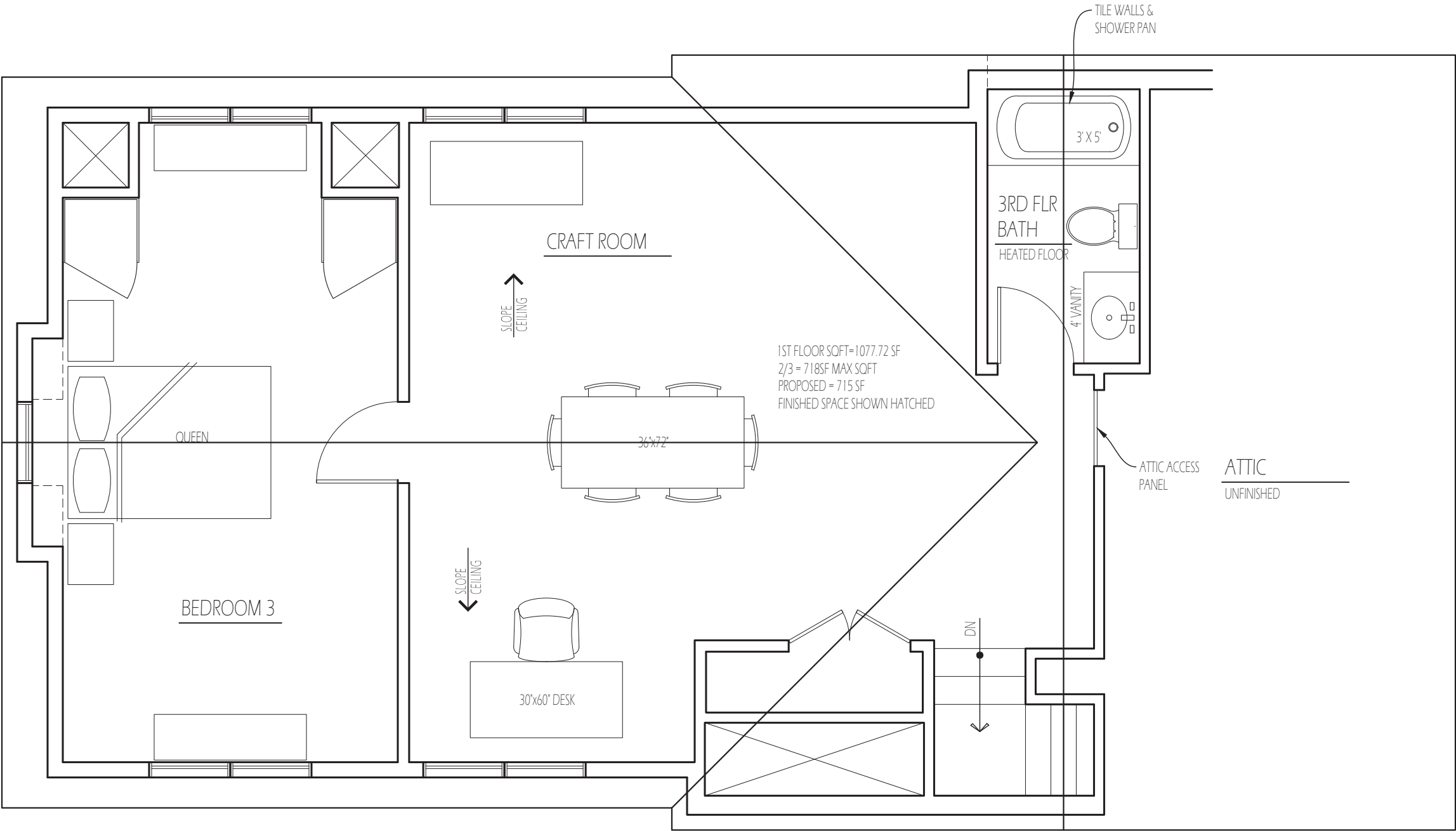
SCALE: 1/4" = 1'-0"

HAAS ADDITION

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BEXLEY OH

2025.04.18





THIRD FLOOR

SCALE: 1/4" = 1'-0"

HAAS ADDITION

821 GRANDON AVE
BEXLEY OH
2025.06.05



VIEW OF EXISTING HOUSE NORTH WEST CORNER
NTS

VIEW OF EXISTING HOUSE REAR/WEST FACADE
NTS



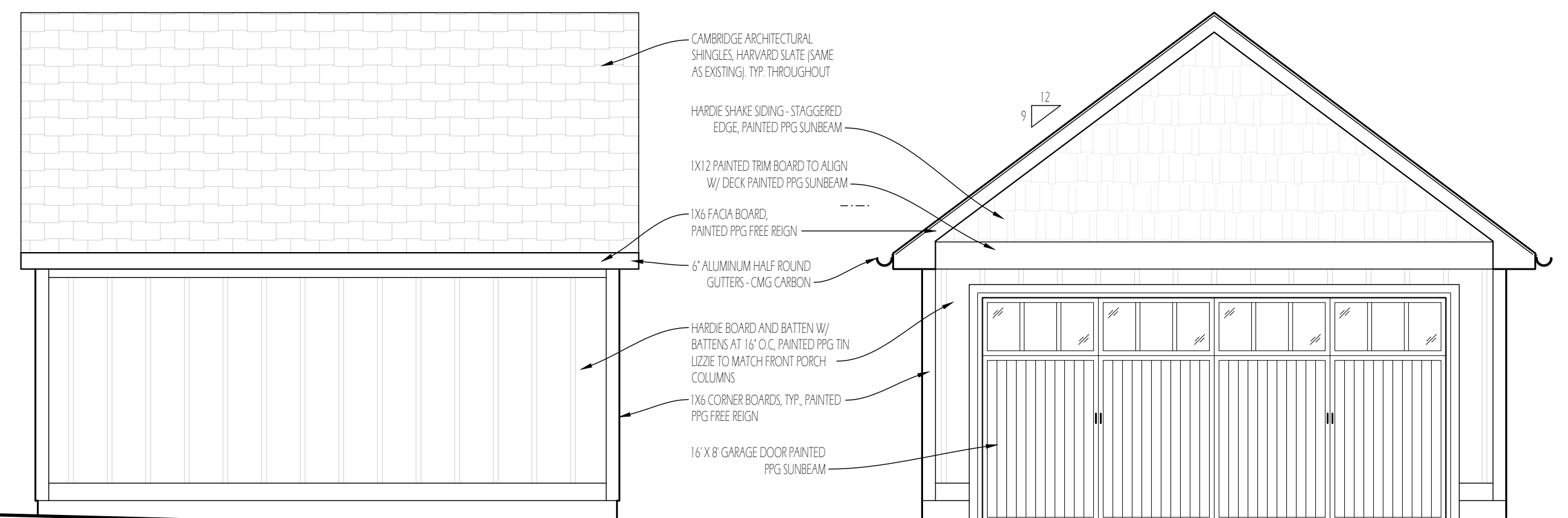
VIEW OF EXISTING HOUSE SOUTH EAST CORNER
NTS



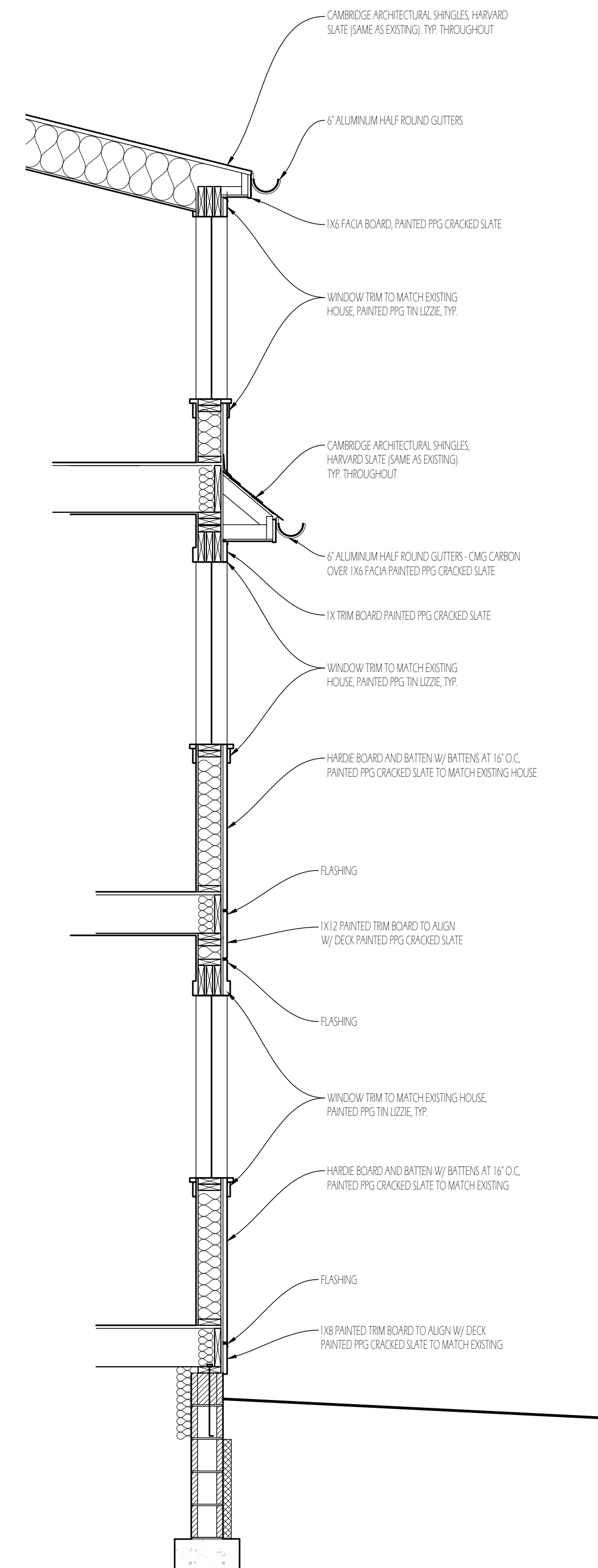
VIEW OF EXISTING HOUSE NORTH EAST CORNER
NTS



SIDE/NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



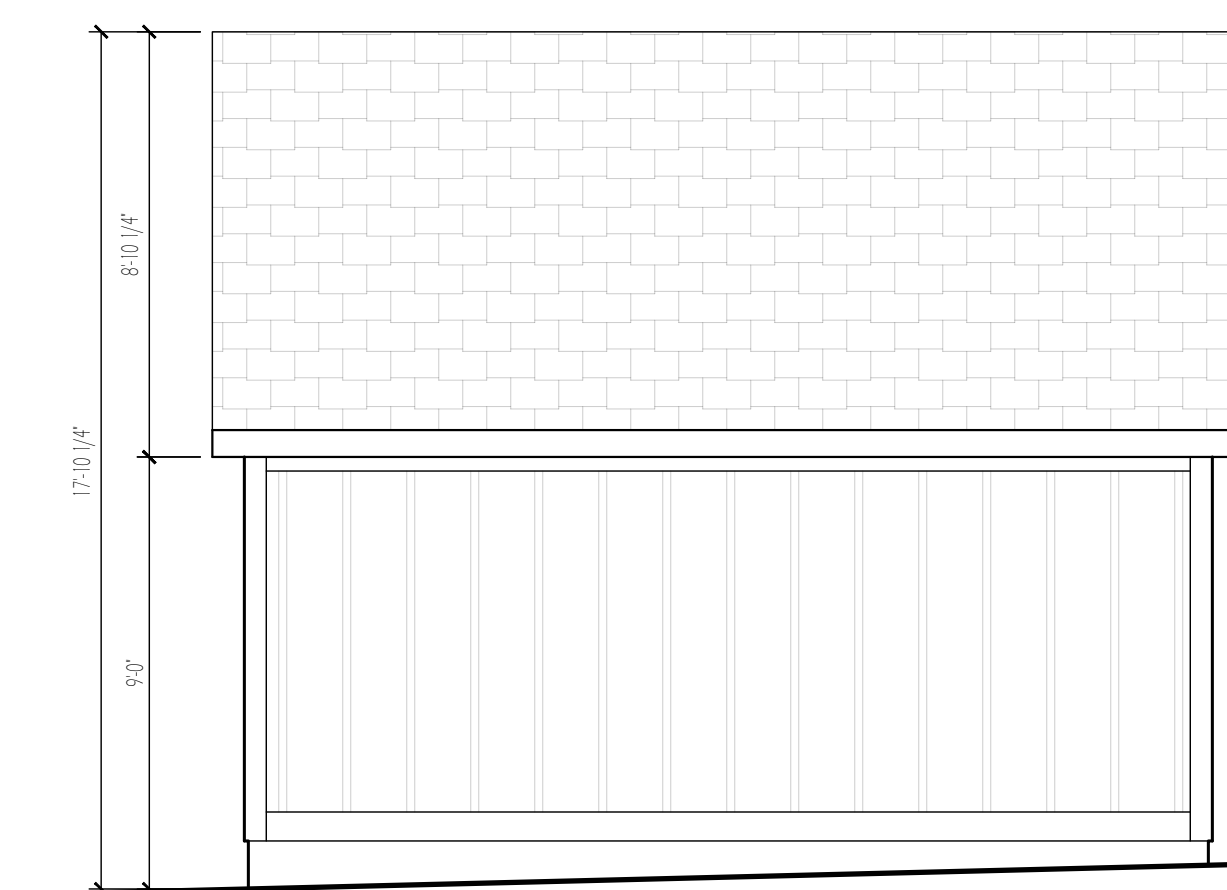
REAR EXTERIOR ELEVATION OF DETACHED GARAGE
SCALE: 1/4" = 1'-0"



TYPICAL WALL SECTION THROUGH ADDITION
SCALE: 1/2" = 1'-0"



REAR EXTERIOR ELEVATION OF ADDITION
SCALE: 1/4" = 1'-0"



SIDE/SOUTH EXTERIOR ELEVATION
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HAAS ADDITION