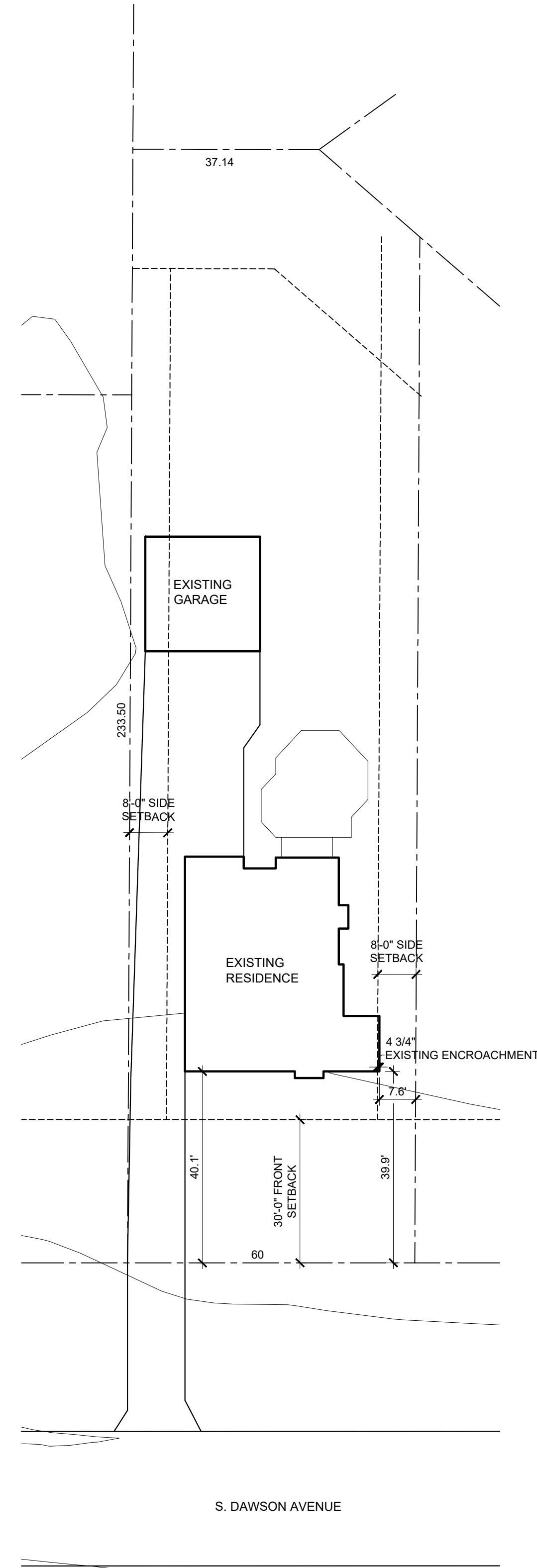


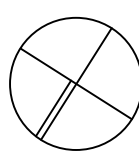


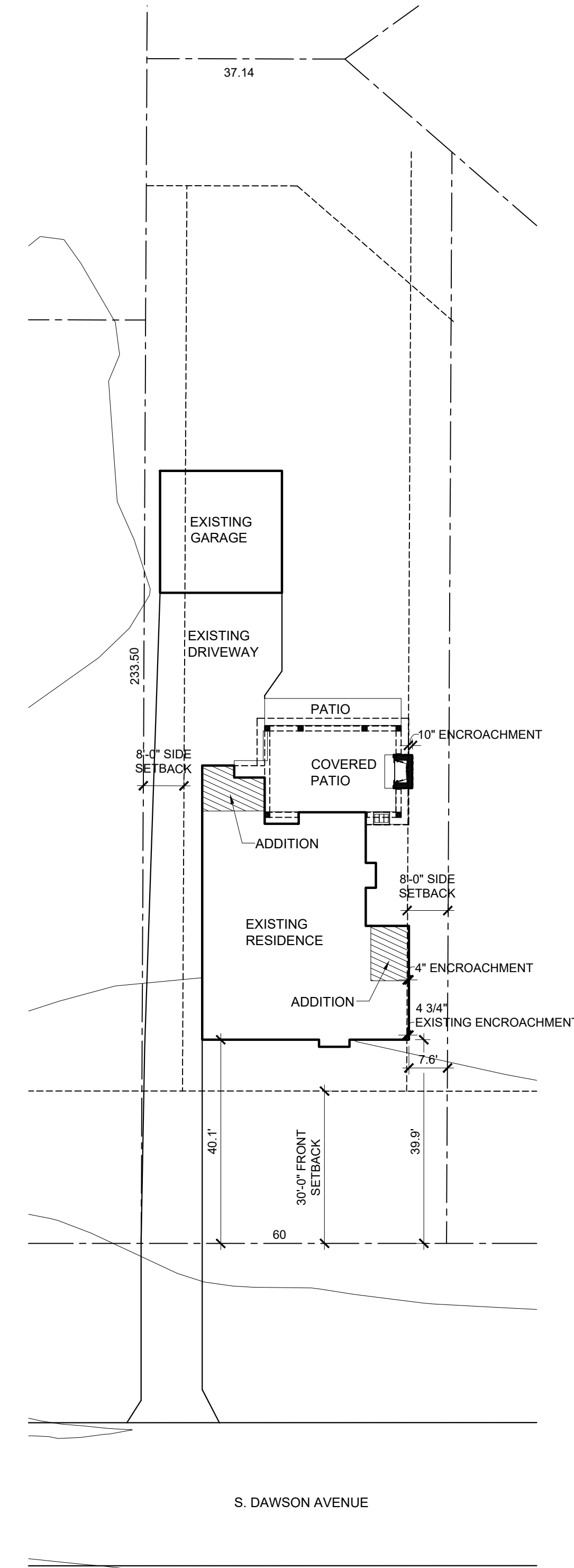








 **SITE PLAN**
EXISTING
SCALE: 1" = 20'-0"



 **SITE PLAN**
SCALE: 1" = 20'-0"

ZONING INFORMATION

PARCEL ID	020-004112-00		
ZONING DISTRICT	R-6		
LOT AREA	13,830 SQ. FT.		
EXISTING BUILDING COVER	-	2,133 SQ. FT.	15% OF LOT AREA
PERMITTED BUILDING COVER	-	4,841 SQ. FT.	35% OF LOT AREA
PROPOSED BUILDING COVER	-	2,904 SQ. FT.	21% OF LOT AREA
EXISTING OVERALL COVER	-	4,503 SQ. FT.	33% OF LOT AREA
PERMITTED OVERALL COVER	-	8,298 SQ. FT.	60% OF LOT AREA
PROPOSED OVERALL COVER	-	4,801 SQ. FT.	35% OF LOT AREA

**ADDITION & REMODELING
THE PIERSON RESIDENCE
51 S. DAWSON AVE.**

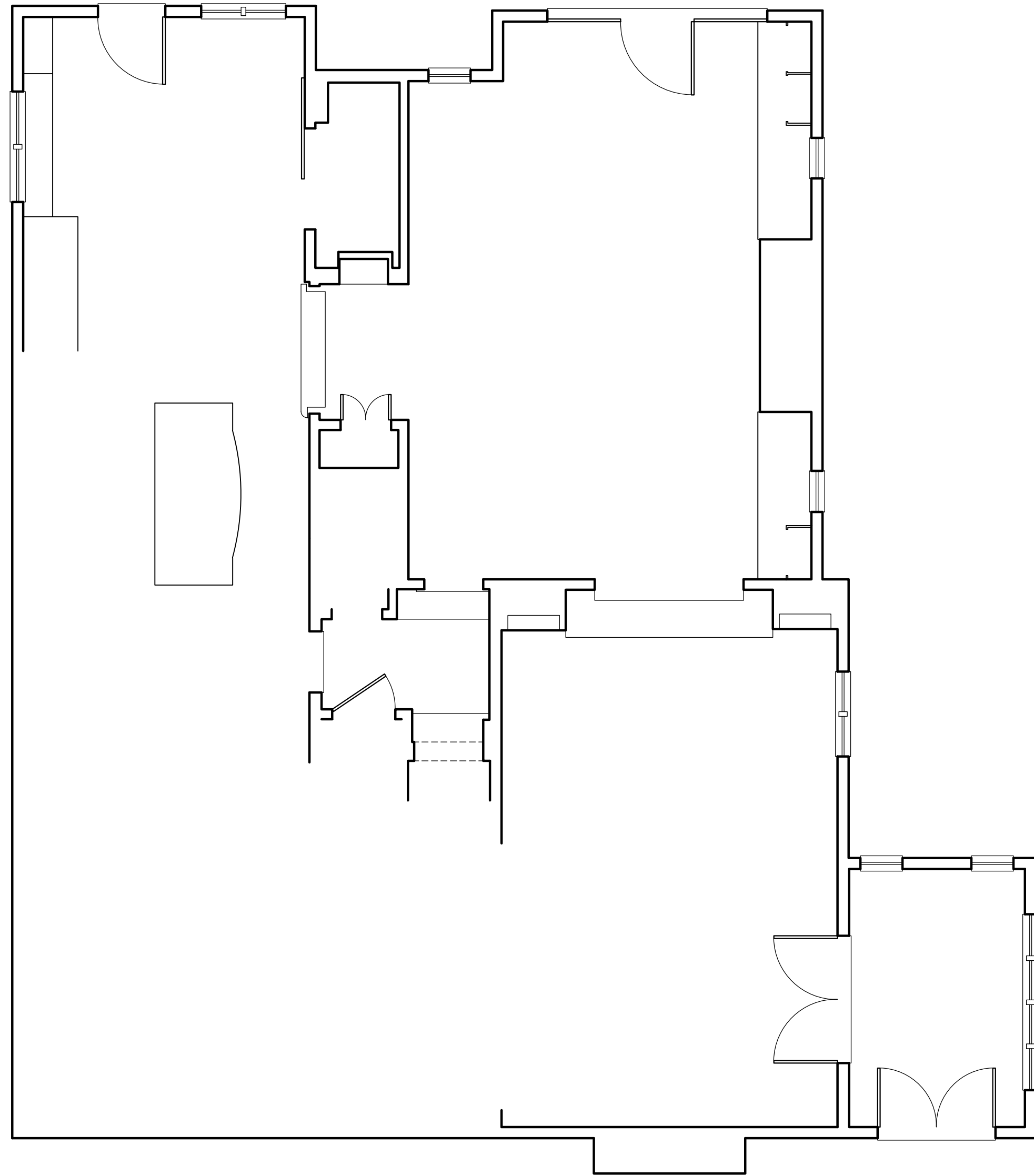
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(614) 487-0637

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A-1

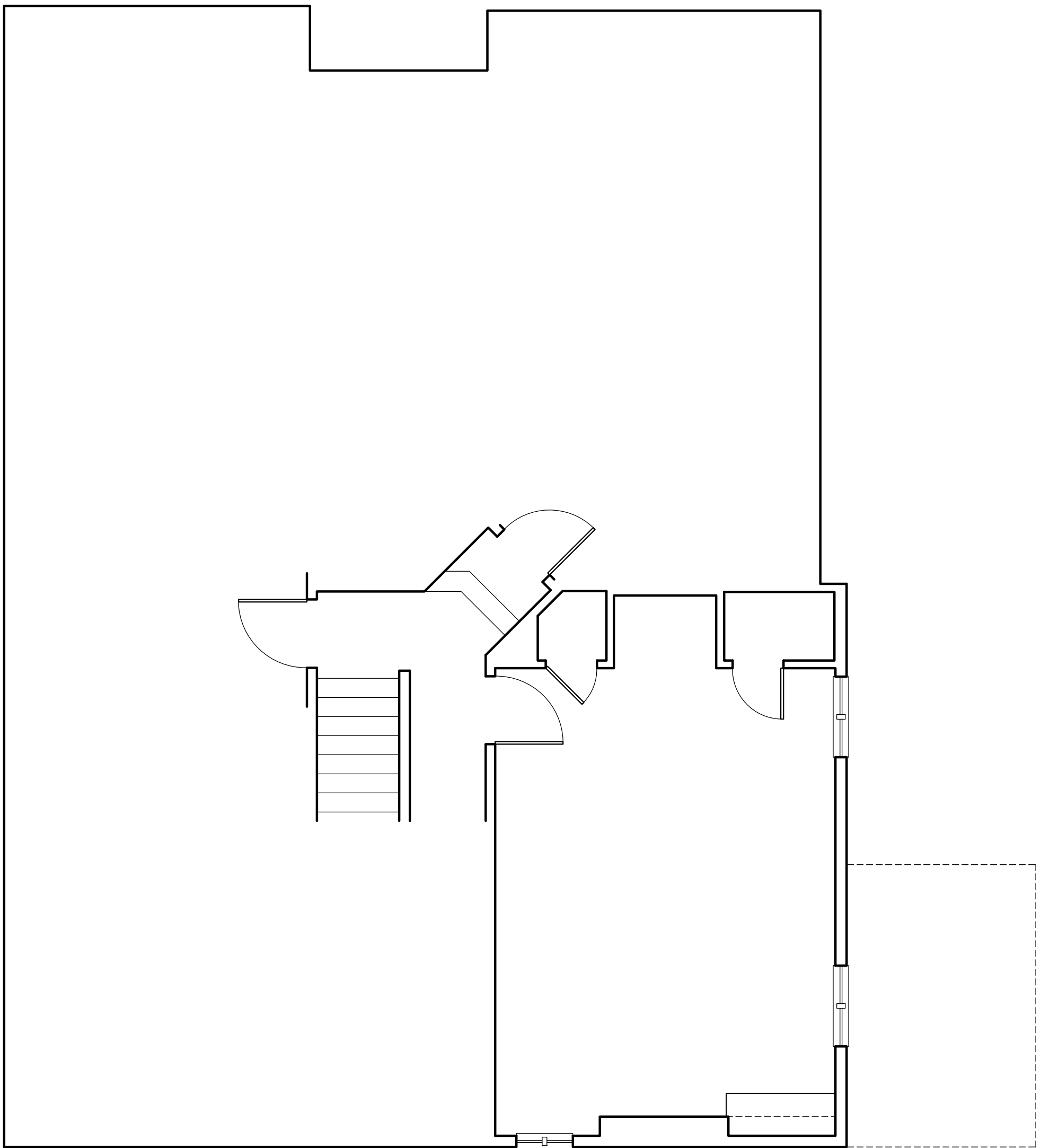
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FIRST FLOOR PLAN

EXISTING
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN

EXISTING
SCALE: 1/4" = 1'-0"

ADDITION & REMODELING
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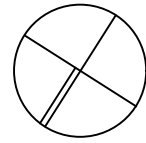
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A-2 EXIST

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SITE VICINITY PLAN
EXISTING
SCALE: 1" = 20'-0"

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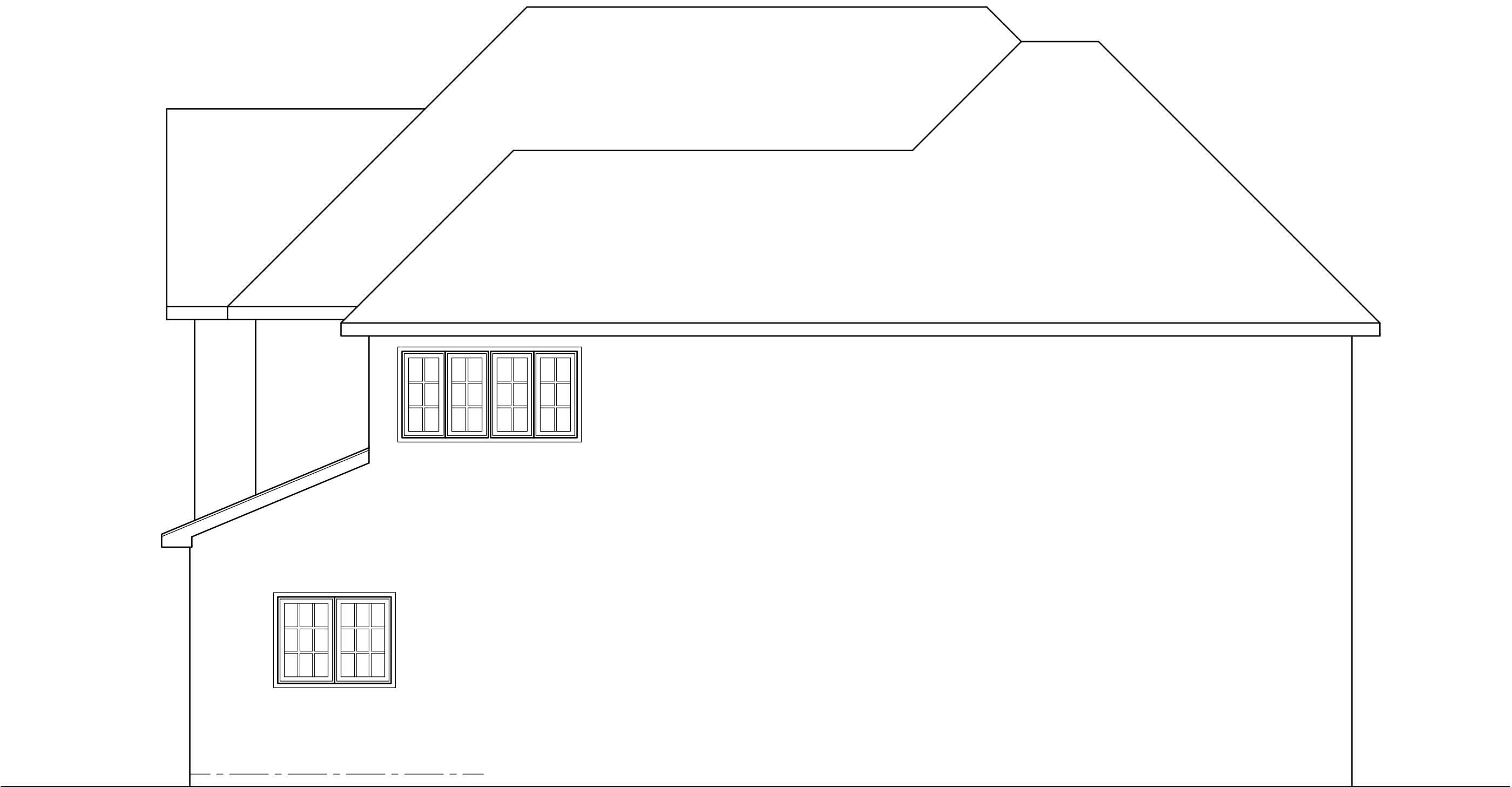
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FRONT (EAST) ELEVATION

EXISTING
SCALE: 1/4" = 1'-0"



SIDE (SOUTH) ELEVATION

EXISTING
SCALE: 1/4" = 1'-0"



REAR (WEST) ELEVATION

EXISTING
SCALE: 1/4" = 1'-0"

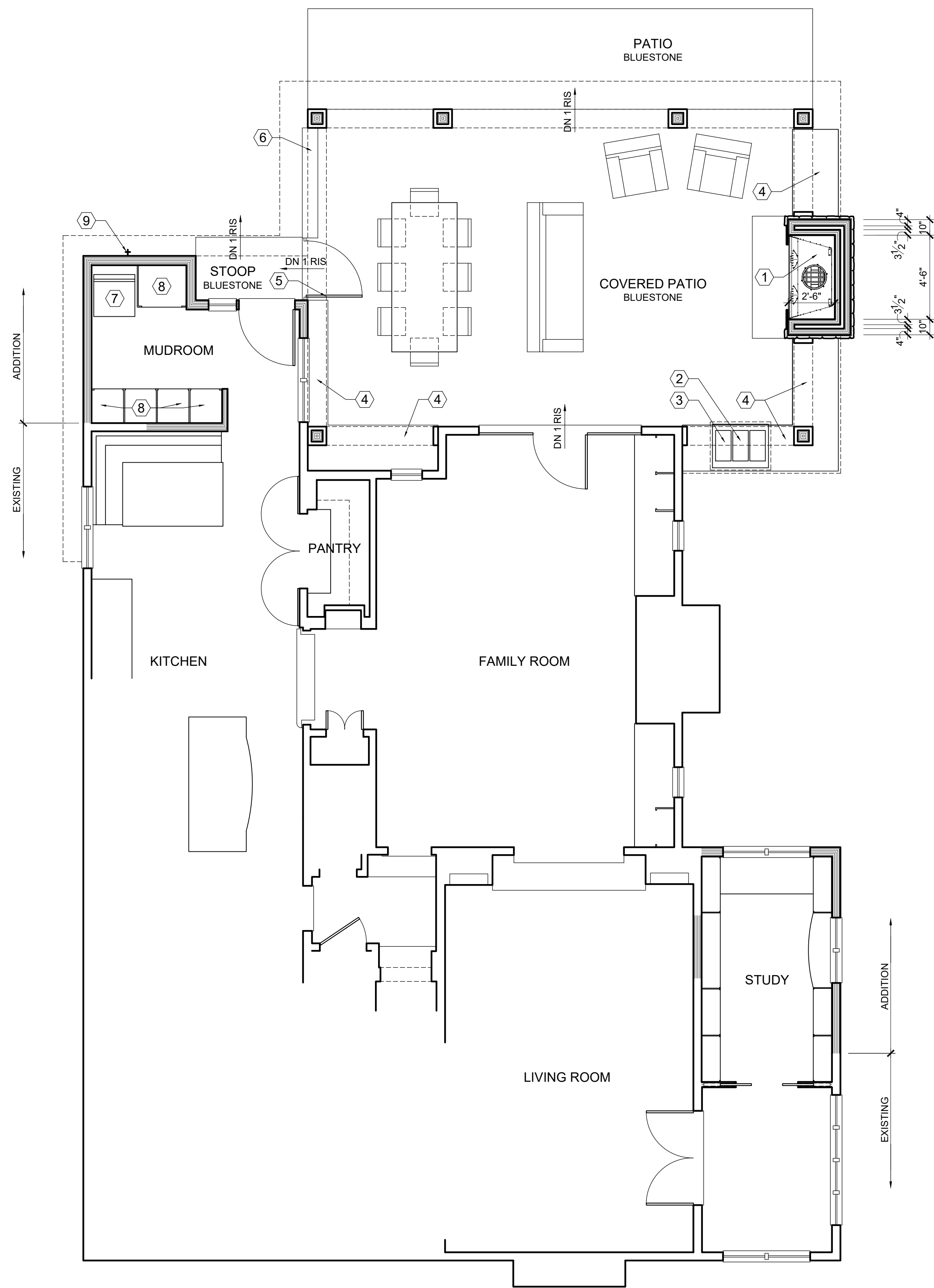
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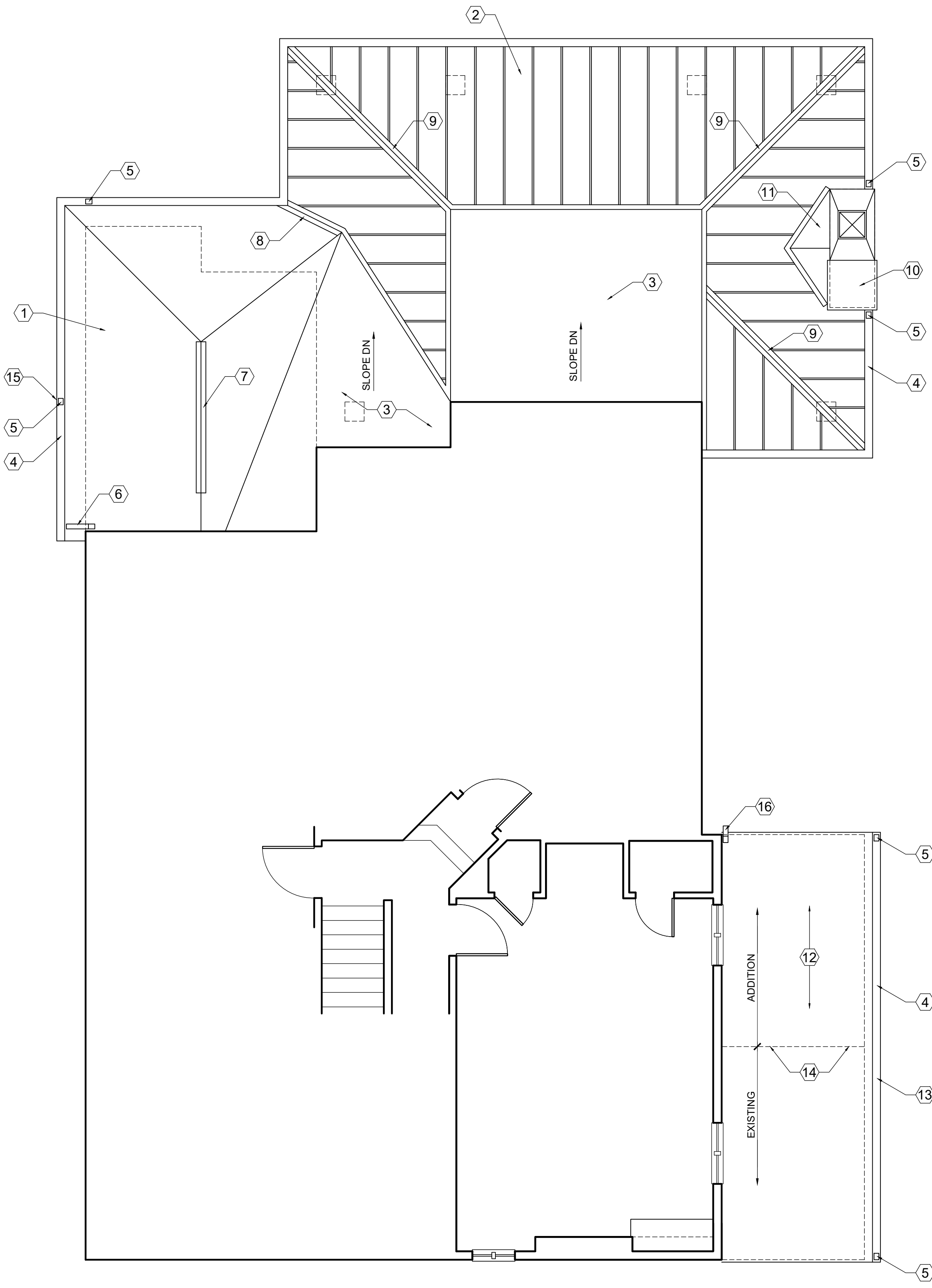
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A-3 EXIST



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

- FIRST FLOOR PLAN NOTES**
- 1. DIMENSIONS BASED ON HEATILATOR CASTLEWOOD - 42-B WOOD BURNING FIREPLACE
 - 2. GRILL
 - 3. EXHAUST HOOD OVER GRILL
 - 4. COUNTER
 - 5. WROUGHT IRON GATE
 - 6. LOW WALL
 - 7. STACKED WASHER AND DRYER
 - 8. LOCKER
 - 9. HOSE BIBB WITH HOT WATER



SECOND FLOOR/LOW ROOF PLAN
SCALE: 1/4" = 1'-0"

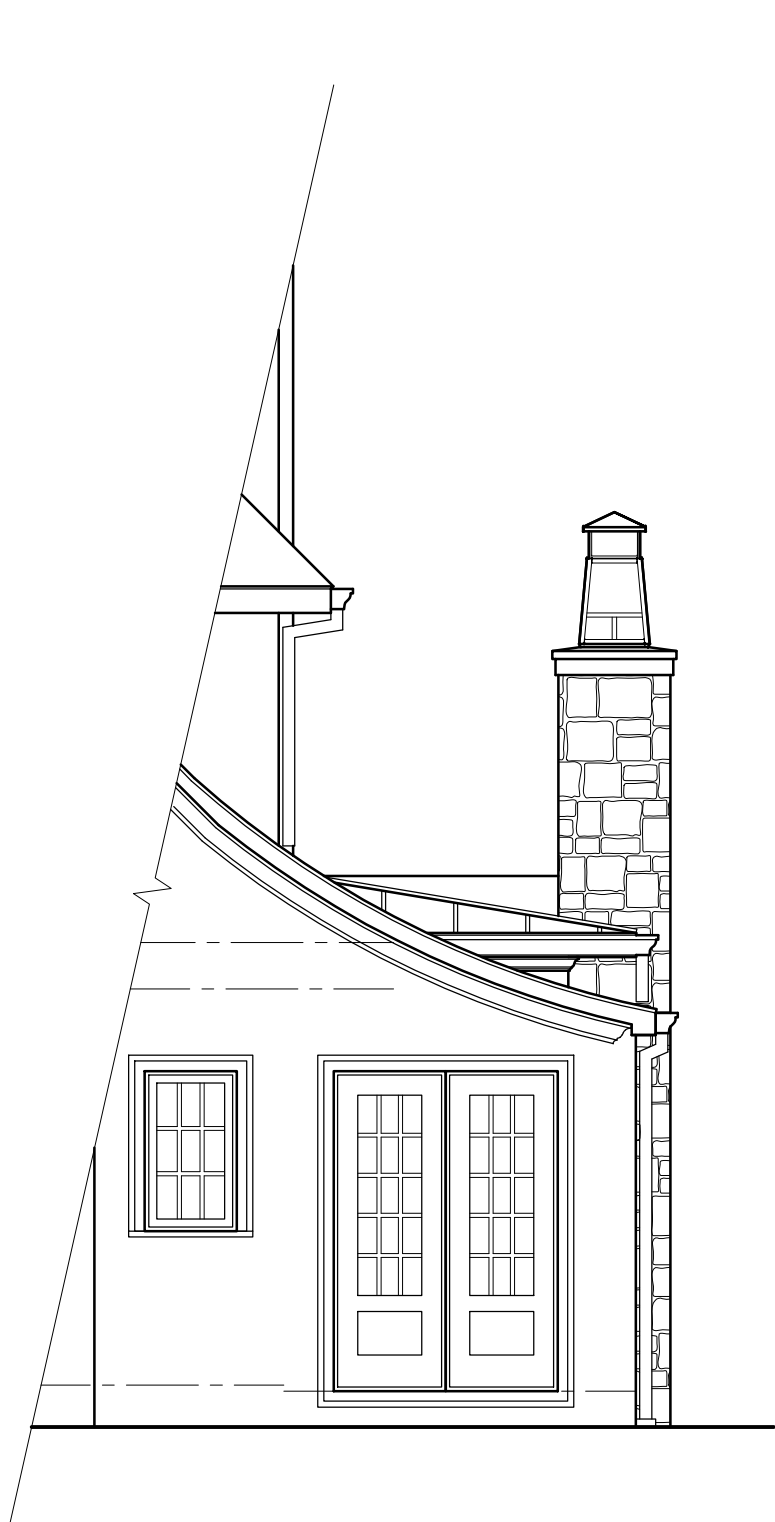
- SECOND FLOOR/LOW ROOF PLAN NOTES**
- 1. DIMENSIONAL ROOF SHINGLES TO MATCH EXISTING
 - 2. PREFINISHED STANDING SEAM METAL ROOF. ROOF PANELS 1'-6" WIDE
 - 3. REINFORCED RUBBER MEMBRANE ROOFING
 - 4. PREFINISHED OGEE STYLE ALUMINUM GUTTER MATCHING EXISTING
 - 5. PREFINISHED ALUMINUM DOWNSPOUT MATCHING EXISTING
 - 6. DOWNSPOUT FROM ROOF ABOVE
 - 7. RIDGE VENT BENEATH SHINGLES
 - 8. VALLEY FLASHING
 - 9. HIP CAP PER METAL ROOFING MANUFACTURER
 - 10. LIMESTONE CHIMNEY SHOULDER
 - 11. SADDLE OF PREFINISHED ALUMINUM
 - 12. ICE AND WATER GUARD UNDERLAYMENT BENEATH SHINGLES OF ADDITION
 - 13. EXISTING GUTTER TO BE REPLACED
 - 14. WEAVE NEW SHINGLES INTO EXISTING
 - 15. REUSE EXISTING DOWNSPOUT BOOT AND LOCATION
 - 16. REROUTE EXISTING DOWNSPOUT FROM ABOVE

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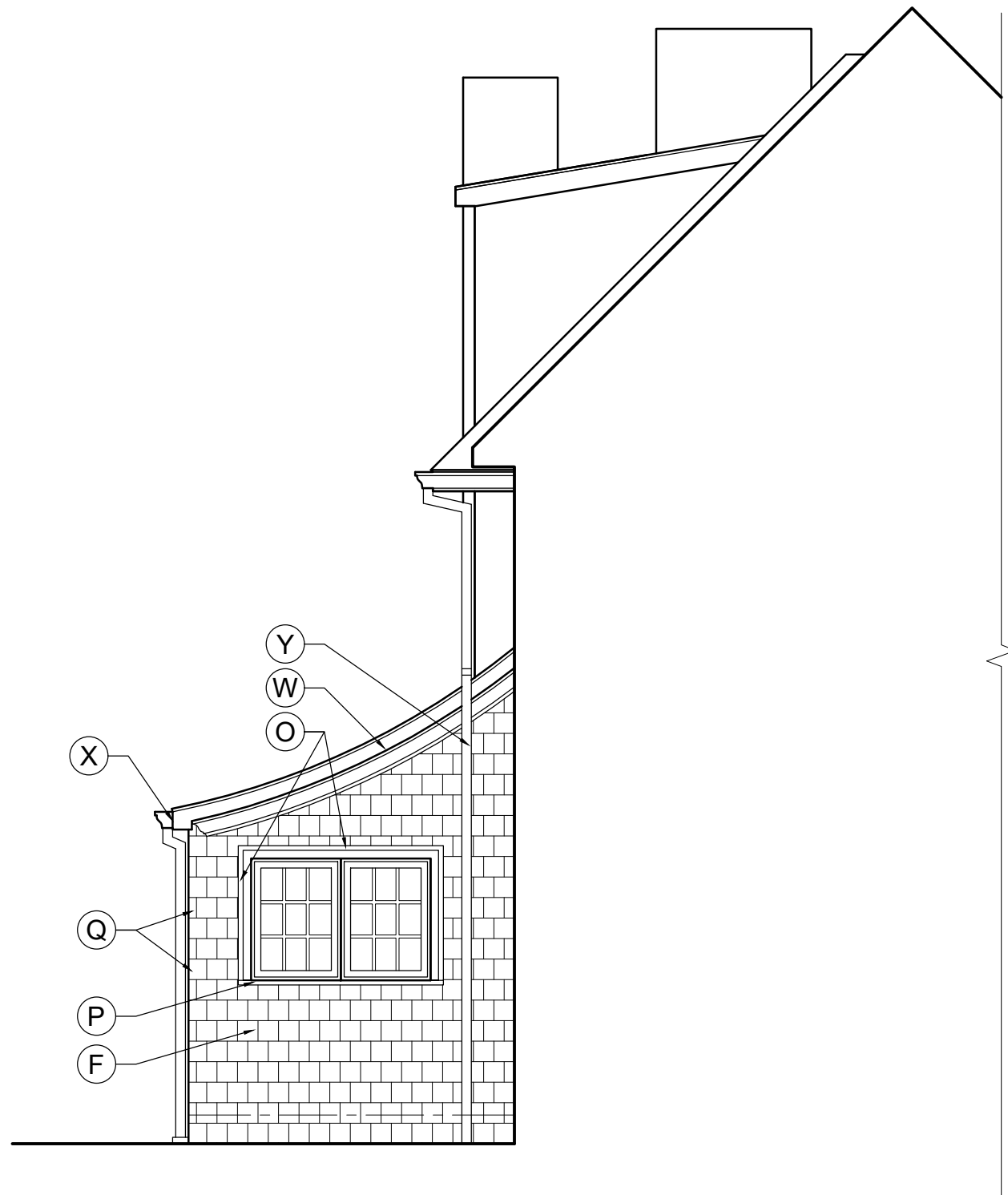
FRONT (EAST) ELEVATION

SCALE: 1/4" = 1'-0"



SIDE (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"



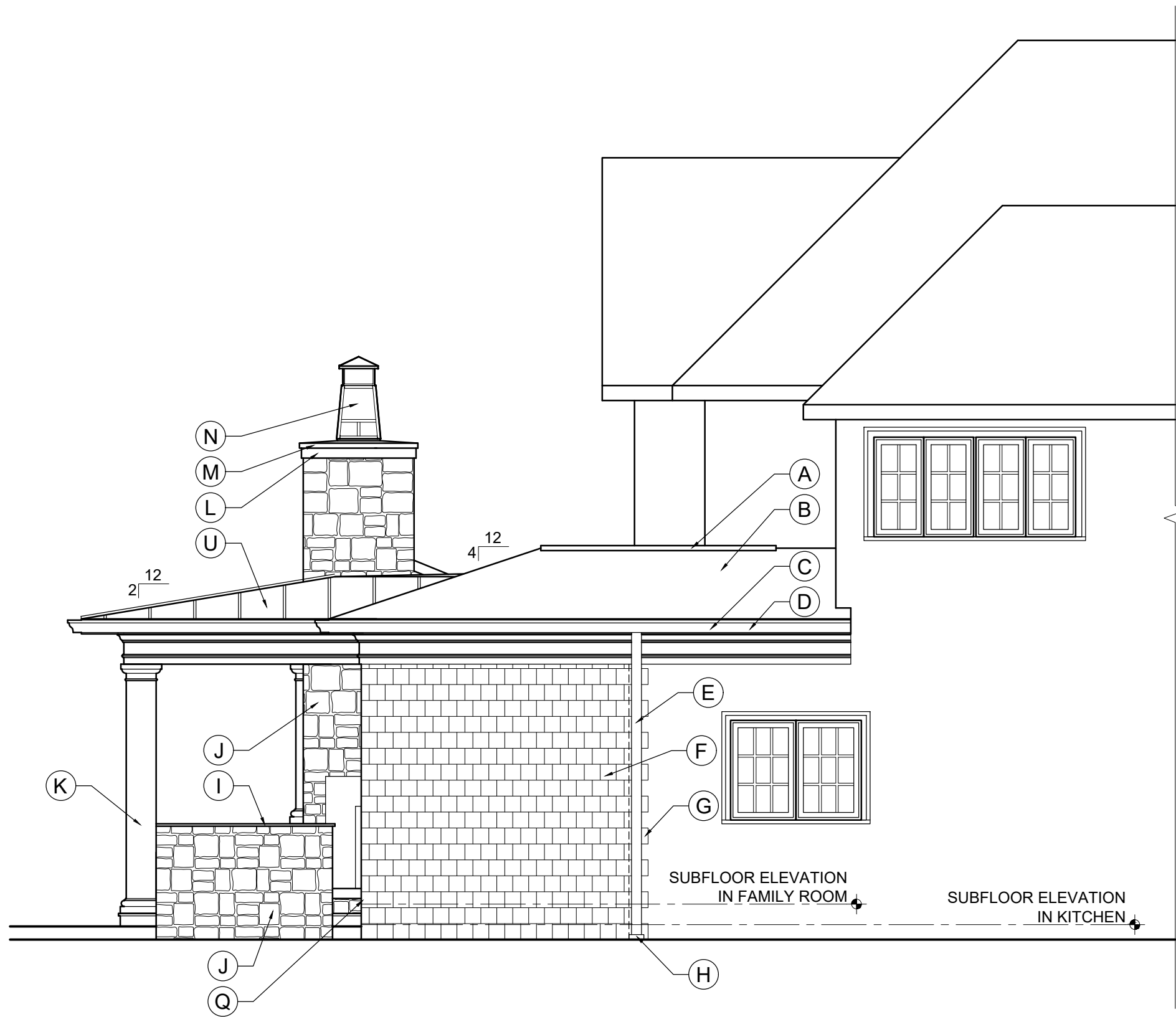
STUDY (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



REAR (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



SIDE (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"

- ELEVATION NOTES**
- ALL EXTERIOR TRIM TO BE WOOD OR BORAL, TRU EXTERIOR POLY ASH. IF WOOD TRIM IS USED, TRIM TO BE REDWOOD OR SMOOTH FINISH CEDAR. ALL SURFACES OF TRIM TO BE PRIMED PRIOR TO INSTALLATION. SAW CUTS AND NAIL HOLES TO BE PRIMED.
 - ALL GUTTERS AND DOWNSPOUTS TO CONNECT UNDERGROUND TO DRAIN TILE AND DRAIN TILE TO BE ROUTED TO CURB AT STREET. IF EXISTING DRAIN TILE ARE TO BE USED, CONTRACTOR TO VERIFY THAT EXISTING DRAIN TILE ARE OPERATING PROPERLY PRIOR TO CONNECTING NEW DOWNSPOUTS
- A. RIDGE VENT BENEATH SHINGLES
B. DIMENSIONAL ROOF SHINGLES TO MATCH EXISTING
C. PREFINISHED OGEE STYLE ALUMINUM GUTTER TO MATCH EXISTING
D. 1X6 FASCIA
E. PREFINISHED ALUMINUM DOWNSPOUT TO MATCH EXISTING
F. WOOD SHINGLES TO MATCH AND ALIGN WITH EXISTING
G. TOOTH NEW SHINGLES INTO EXISTING DOWNSPOUT BOOT. REUSE EXISTING
- I. GRANITE COUNTERTOP
J. THIN-CUT STONE VENEER TO MATCH EXISTING STONE ON CHIMNEY AT FRONT OF HOUSE
K. HB&G PERMACAST SQUARE COLUMN WITH TUSCAN BASE AND CAPITAL, 12" WIDTH
L. CUT LIMESTONE BAND, 4" EXPOSURE
M. METAL CROWN CAP
N. CHIMNEY POT BY FIREPLACE MANUFACTURER
O. BACK BANDED TRIM TO MATCH ORIGINAL AT EXISTING OPENINGS ALONG DRIVEWAY AND FRONT OF HOUSE
P. WOOD SILL TO MATCH ORIGINAL AT EXISTING OPENINGS
Q. WOOD SHINGLES TO BE MITERED AT CORNERS MATCHING ORIGINAL
R. REINFORCED RUBBER MEMBRANE ROOFING
S. FLASHING PER RUBBER MEMBRANE ROOFING MANUFACTURER
T. SIDE WALL FLASHING, EXTEND UP UNDER WOOD SHINGLES. HOLD WOOD SHINGLES 2" AWAY FROM ROOF SURFACE
U. PREFINISHED STANDING SEAM METAL ROOF. PANELS 1'-6" WIDE
V. BLUESTONE ON PATIO AND RISER
W. CROWN AND RAKE TRIM TO MATCH EXISTING
X. FASCIA TO MATCH AND ALIGN WITH EXISTING
Y. RELOCATE EXISTING DOWNSPOUT
Z. CUT LIMESTONE, 4" THICK
AA. ICE AND WATER GUARD UNDERLAYMENT BENEATH ENTIRE ROOF SURFACE

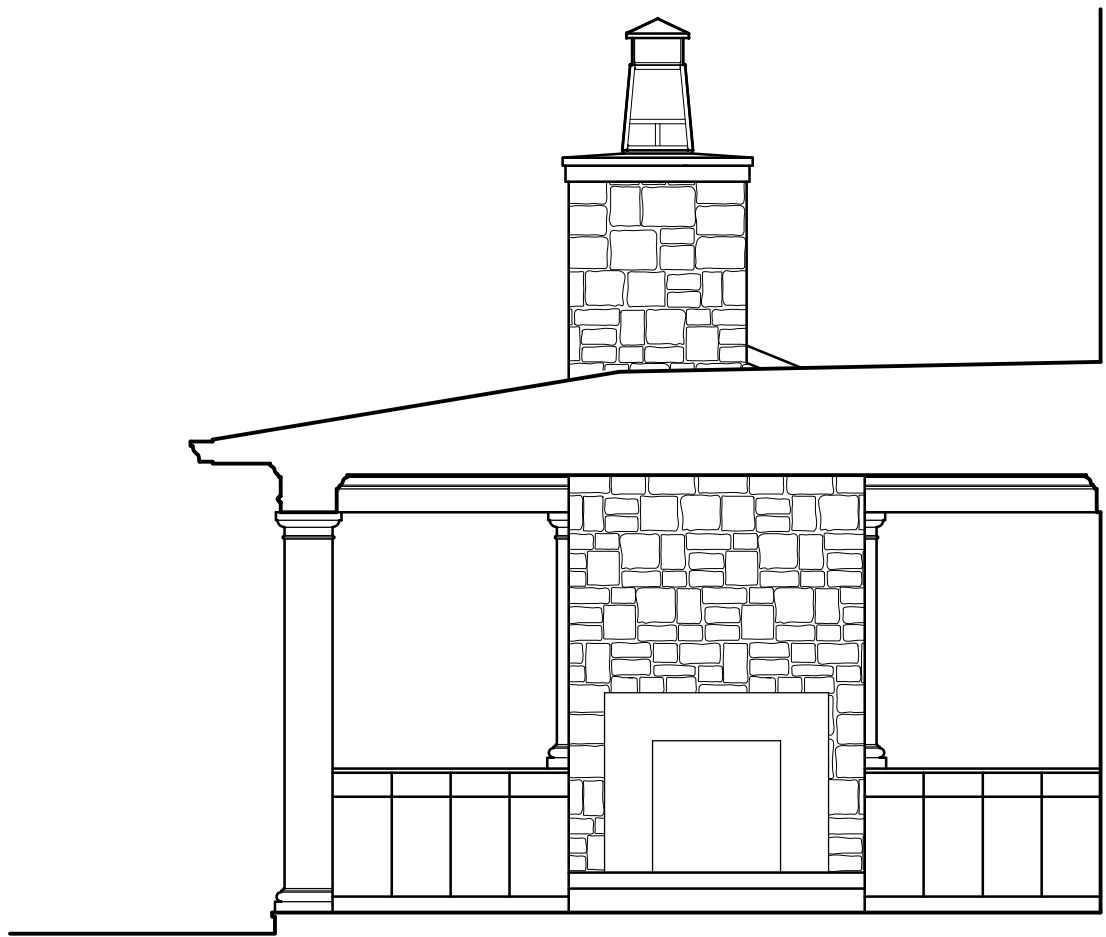
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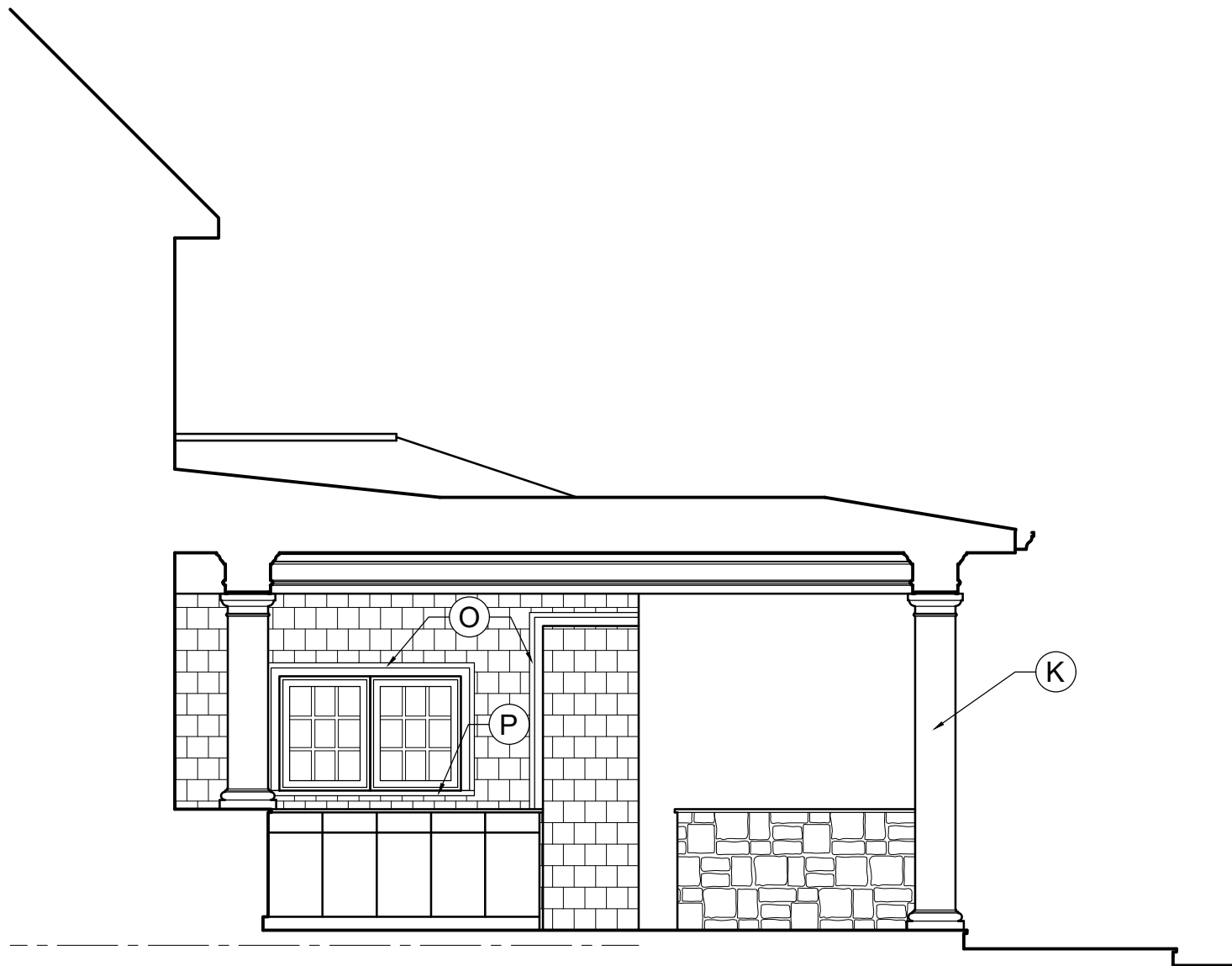
COVERED PATIO (SOUTH) ELEVATION

SCALE: 1/4" = 1'-0"



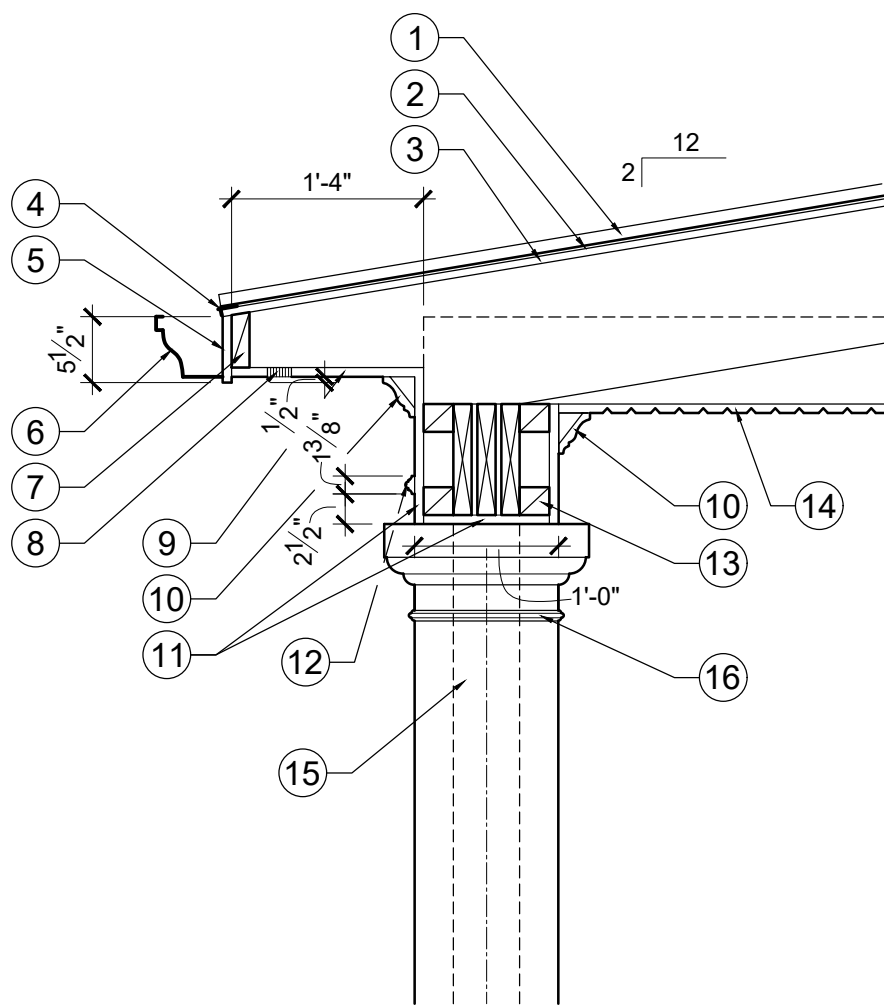
COVERED PATIO (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



COVERED PATIO (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"



DETAIL

PORCH BREAST
SCALE: 3/4" = 1'-0"

- MATERIAL LIST**
1. PREFINISHED STANDING SEAM METAL ROOF, 1'-6" WIDE PANELS
 2. 30# ROOFING FELTS
 3. 5/8" ROOF SHEATHING
 4. PREFINISHED METAL DRIP EDGE, MATERIAL TO BE COMPATIBLE WITH METAL OF ROOF
 5. 1X6 FASCIA
 6. PREFINISHED OGEE PROFILE ALUMINUM GUTTER TO MATCH EXISTING
 7. 2X SUBFASCIA
 8. 2" CONTINUOUS SOFFIT VENT
 9. EXTERIOR GRADE PLYWOOD SOFFIT
 10. HOLMES LUMBER, CROWN HL3425, 3/4" X 4 1/4"
 11. 1X TRIM
 12. HOLMES LUMBER, PANEL MOLDING HL71388, 3/4" X 1 3/8"
 13. BLOCKING AS REQUIRED
 14. BEAD BOARD CEILING, COX INTERIOR INC., VG325 - 3 1/4" X 3/4"
 15. HB&G PERMACAST SQUARE COLUMN WITH TUSCAN BASE AND CAPITAL, 12" WIDTH
 16. HB&G PERMACAST TUSCAN NECK MOLDING

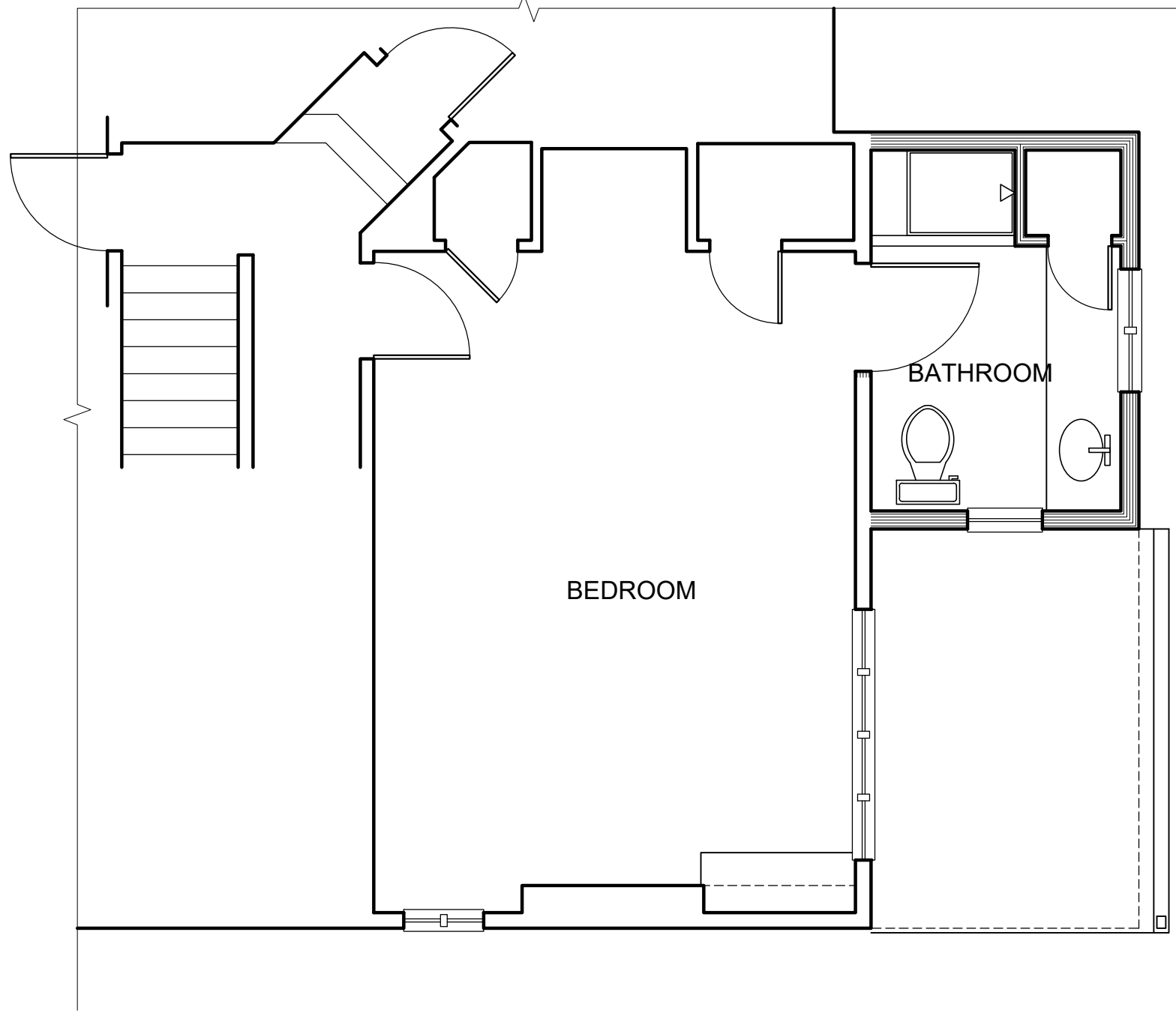
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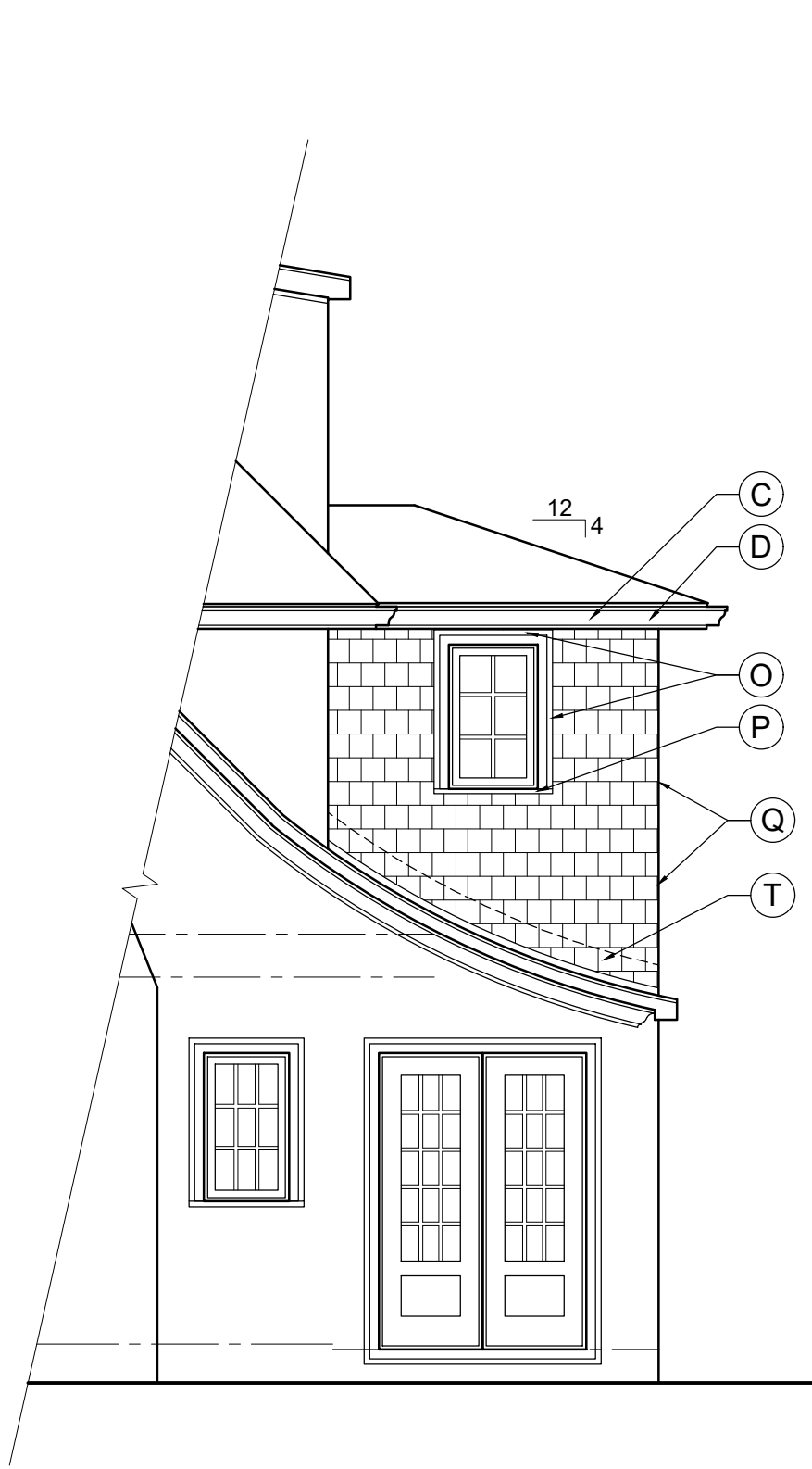
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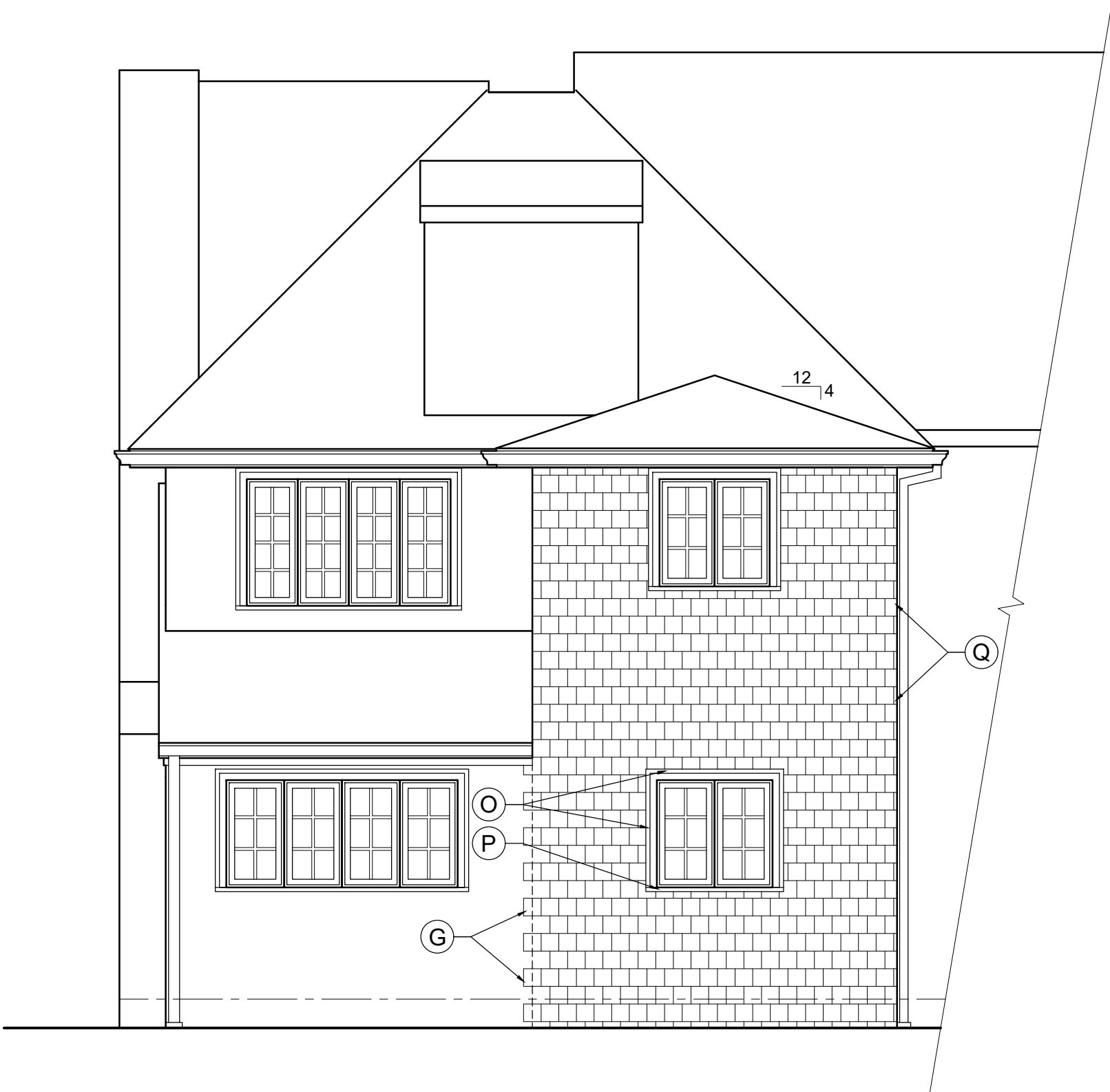
SECOND FLOOR/LOW ROOF PLAN

ALTERNATE - BATHROOM ADDITION
SCALE: 1/4" = 1'-0"



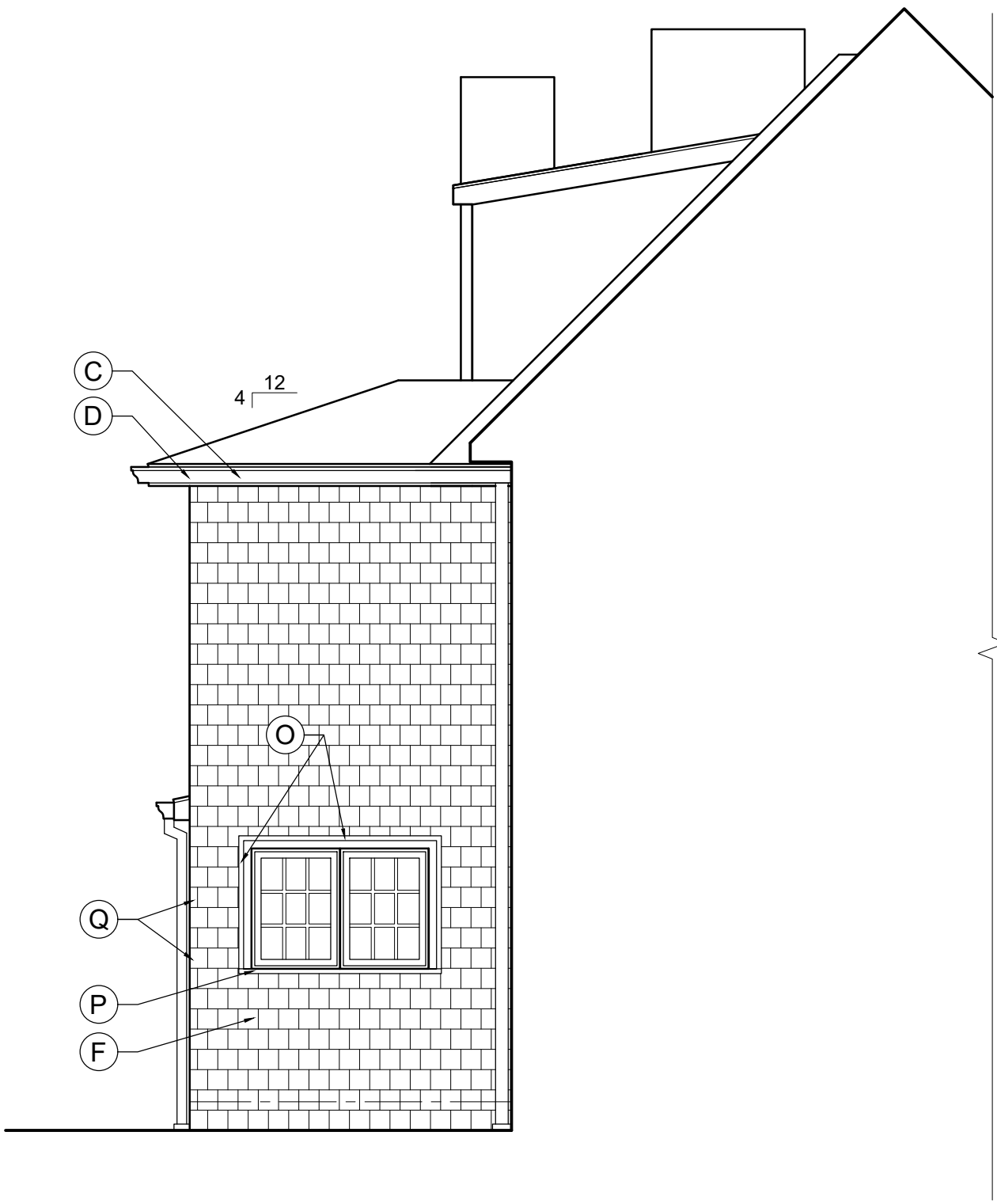
FRONT (EAST) ELEVATION

ALTERNATE - BATHROOM ADDITION
SCALE: 1/4" = 1'-0"



SIDE (NORTH) ELEVATION

ALTERNATE - BATHROOM ADDITION
SCALE: 1/4" = 1'-0"



STUDY (WEST) ELEVATION

ALTERNATE - BATHROOM ADDITION
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES**
- ALL EXTERIOR TRIM TO BE WOOD OR BORAL, TRU EXTERIOR POLY ASH. IF WOOD TRIM IS USED, TRIM TO BE REDWOOD OR SMOOTH FINISH CEDAR. ALL SURFACES OF TRIM TO BE PRIMED PRIOR TO INSTALLATION. SAW CUTS AND NAIL HOLES TO BE PRIMED.
 - ALL GUTTERS AND DOWNSPOUTS TO CONNECT UNDERGROUND TO DRAIN TILE AND DRAIN TILE TO BE ROUTED TO CURB AT STREET. IF EXISTING DRAIN TILE ARE TO BE USED, CONTRACTOR TO VERIFY THAT EXISTING DRAIN TILE ARE OPERATING PROPERLY PRIOR TO CONNECTING NEW DOWNSPOUTS
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 - B. DIMENSIONAL ROOF SHINGLES TO MATCH EXISTING
 - C. PREFINISHED OGEE STYLE ALUMINUM GUTTER TO MATCH EXISTING
 - D. 1X6 FASCIA
 - E. PREFINISHED ALUMINUM DOWNSPOUT TO MATCH EXISTING
 - F. WOOD SHINGLES TO MATCH AND ALIGN WITH EXISTING
 - G. TOOTH NEW SHINGLES INTO EXISTING DOWNSPOUT BOOT. REUSE EXISTING
 - H. GRANITE COUNTERTOP
 - I. THIN-CUT STONE VENEER TO MATCH EXISTING STONE ON CHIMNEY AT FRONT OF HOUSE
 - J. HB&G PERMACAST SQUARE COLUMN WITH TUSCAN BASE AND CAPITAL, 12" WIDTH
 - K. CUT LIMESTONE BAND, 4" EXPOSURE
 - L. METAL CROWN CAP
 - M. CHIMNEY POT BY FIREPLACE MANUFACTURER
 - N. BACK BANDED TRIM TO MATCH ORIGINAL AT EXISTING OPENINGS ALONG DRIVEWAY AND FRONT OF HOUSE
 - O. WOOD SILL TO MATCH ORIGINAL AT EXISTING OPENINGS
 - P. WOOD SHINGLES TO BE MITERED AT CORNERS MATCHING ORIGINAL
 - Q. REINFORCED RUBBER MEMBRANE ROOFING FLASHING PER RUBBER MEMBRANE ROOFING MANUFACTURER
 - T. SIDE WALL FLASHING, EXTEND UP UNDER WOOD SHINGLES. HOLD WOOD SHINGLES 2" AWAY FROM ROOF SURFACE
 - U. PREFINISHED STANDING SEAM METAL ROOF. PANELS 1'-6" WIDE
 - V. BLUESTONE ON PATIO AND RISER
 - W. CROWN AND RAKE TRIM TO MATCH EXISTING
 - X. FASCIA TO MATCH AND ALIGN WITH EXISTING
 - Y. RELOCATE EXISTING DOWNSPOUT
 - Z. CUT LIMESTONE, 4" THICK
 - AA. ICE AND WATER GUARD UNDERLAYMENT BENEATH ENTIRE ROOF SURFACE

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