

LEGEND

- PROPERTY LINE
- BROOM FINISH CONCRETE PAVING
- PROPOSED DECIDUOUS TREE
- PROPOSED COLUMNAR TREE
- PROPOSED ORNAMENTAL TREE
- DECIDUOUS SHRUB
- EVERGREEN SHRUB
- PERENNIALS, GRASSES, AND GROUND COVER
- LAWN

- ### NOTES:
- REFER TO SHEET L1.1 FOR CONCEPTUAL PLANT PALETTE
 - ALL LANDSCAPE BEDS ARE TO BE IRRIGATED

ZONING REQUIREMENTS

1254.12 - LIVINGSTON AVENUE DISTRICT (LA) DESIGN STANDARDS
Pedestrian Realm, Landscaping and Screening

r. The recommended minimum width of public sidewalks on Livingston Avenue is twelve feet (12), however protrusions into the public right-of-way and sidewalks for outdoor pedestrian seating and other landscape features are encouraged, provided that a minimum clear sidewalk width of eight feet (8) is maintained.

t. Street trees shall be required along all street frontages. The minimum number of shade trees required is determined by the formula of one tree per 30 lineal feet, or fraction thereof, of frontage.

Livingston Ave: 212 linear feet of frontage = 7 shade trees required
8 shade trees provided

Francis Ave: 145 linear feet of frontage = 5 shade trees required
5 shade trees provided

u. At the time of planting a new shade tree shall have a minimum 2.5 inch caliper trunk and new shrubs for screening shall have a minimum height of 24 inches, and be maintained at that height or greater.

v. In areas without a grass tree lawn, a 2' accent strip shall be installed adjacent to the curb line.

w. For all street tree planting beds, a 6' wide tree well with a minimum exposed space of 60 square feet shall be provided and edged in limestone curbing.

x. Landscape plantings shall be developed to break up expanses of pavement within off-street parking areas.

z. The use of landscape features such as pedestrian furniture, decorative railings, tree guards, trash receptacles, bollards and similar such accessories shall reference the Joint Livingston Avenue Plan.

aa. A fence shall be provided along a lot line that borders a residentially zoned or used property at a height of 8 feet, as per the requirements in Section 1264.05.

bb. A surface parking lot or vehicular circulation area shall be screened from all abutting public streets with a minimum 4-foot solid masonry or stone wall; or a minimum 4-foot decorative metal tube or solid metal bar fence (excluding chain link, wire mesh or other similar material), with a minimum 3-foot wide landscaped area along the parking lot side of the fence.

cc. Landscaping is needed for surface parking lots in order to further screen parking from the view of public rights-of-way, provide mitigation for stormwater through reducing, slowing and cooling runoff, and to create visual relief from large pavement areas. This landscaping might be in well-designed border plantings that frame the lot or within landscape beds large enough to sustain successful plant growth.

dd. Dumpsters shall be located behind the principal building and be screened from public view on all 4 sides, to the height of the dumpster.



Columbus
100 Northwoods Blvd, Ste A
Columbus, Ohio 43235
p 614.255.3399

Cincinnati
20 Village Square, Floor 3
Cincinnati, Ohio 45246
p 614.360.3066

PODdesign.net

Project Name
Bexley Family Housing
2300 East Livingston Ave.
Bexley, Ohio

Prepared For
The Community Builders
736 Oak Street
Columbus, Ohio 43205

PRELIMINARY
NOT FOR CONSTRUCTION

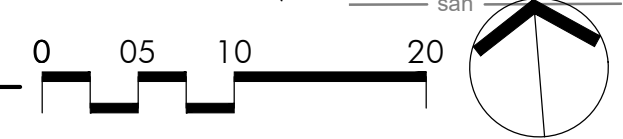
Project Info
Project # 24###
Date 11/25/2024
By GM, AC
Scale As Shown

Revisions

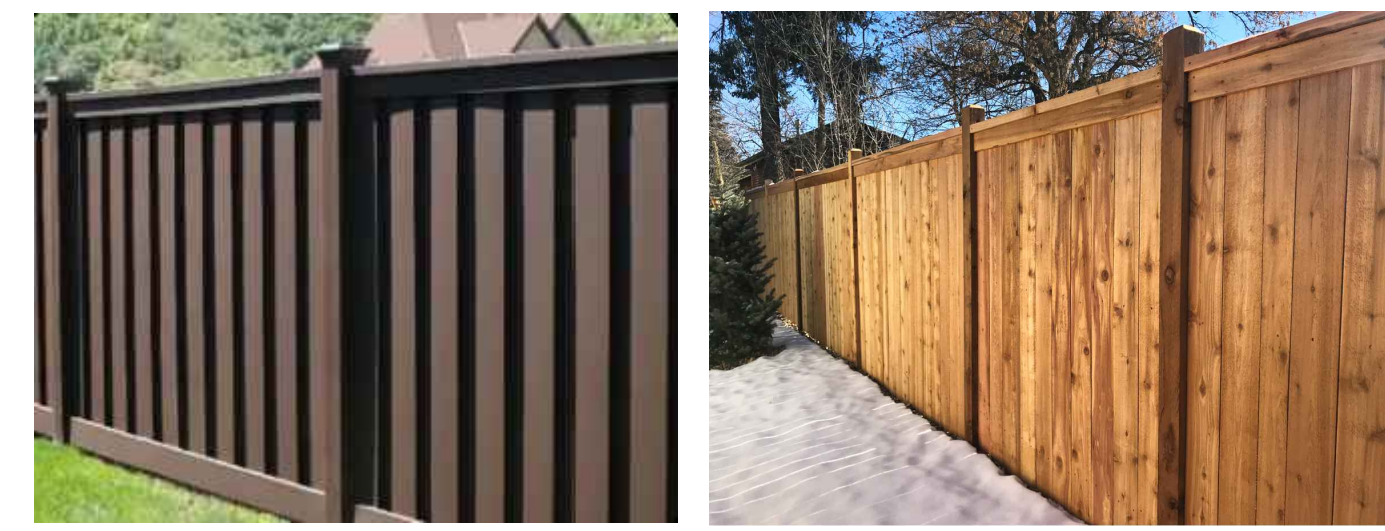
Sheet Title
CONCEPTUAL LANDSCAPE PLAN

Sheet #
L1.0

1 Conceptual Landscape Plan
SCALE: 1" = 10'-0"



NOTE:
LANDSCAPE PLANS SHOWN FOR REFERENCE ONLY.
FINAL APPROVAL OF THESE PLANS TO BE
OBTAINED BY TREE AND PUBLIC GARDENS COMMISSION



2 Fence Reference Imagery

PARKING SUMMARY
1254.12 - PARKING AND CIRCULATION

II. Minimum parking ratios:

Housing 1.0 per unit: 27 x 1 space = 27 parking spaces required
27 parking spaces provided

Deciduous Shade Trees



Gleditsia triacanthos var. *inermis* 'Sky Cole'
Skyline Honeylocust



Ulmus 'New Horizon'
New Horizon Elm



Ginkgo biloba
Princeton Sentry Ginkgo



Acer x freemanii
Freeman maple



Quercus x warei 'Long'
Regal Prince Oak



Magnolia virginiana
Sweetbay Magnolia



Taxus x media 'Hicksii'
Hicks Yew



Taxus x media 'Everlow'
Everlow Yew



Juniperus chinensis,
Chinese juniper



Juniperus virginiana 'Grey Owl'
Grey Owl Juniper

Ornamental Trees

Evergreen Shrubs

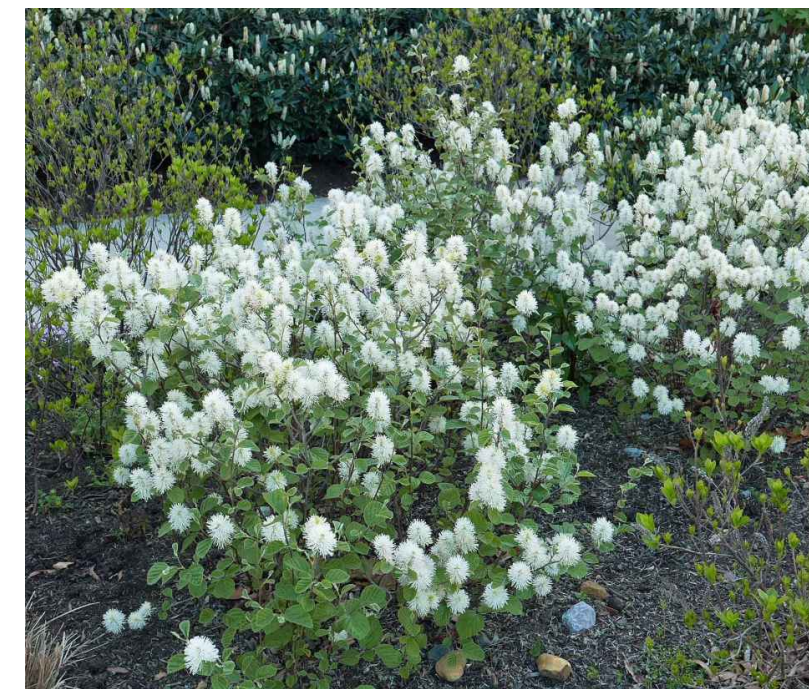
Deciduous Shrubs



Hydrangea quercifolia
Munchkin Oakleaf Hydrangea



Hydrangea quercifolia
Snow Queen Oakleaf Hydrangea



Fothergilla gardenii
Dwarf Fothergilla



Clethra alnifolia
Vanilla Spice Summersweet

Perennials, Grasses, and Groundcover



Carex glauca
Blue Sedge



Pennisetum alopecuroides
Hameln Dwarf Fountain Grass



Calamagrostis x acutiflora 'Karl Foerster'
Karl Foerster Reed Grass



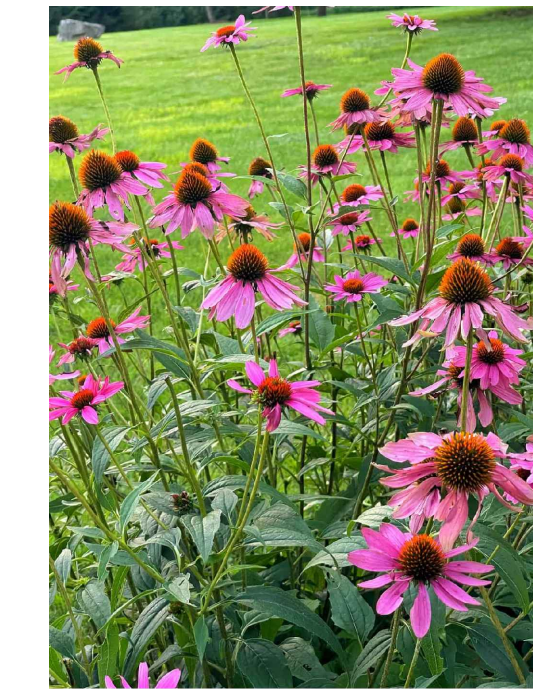
Parthenocissus quinquefolia
Virginia Creeper



Dryopteris filix-mas
Male fern



Liriope spicata
Creeping lilyturf



Echinacea purpurea
Purple coneflower



Hosta 'Blue Angel'
Blue Angel Hosta



Schizachyrium scoparium
Little bluestem



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p 614.255.3399

Cincinnati
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Revisions

Sheet Title

**PLANT
PALETTE
IMAGERY**

Sheet #

L1.1







Architectural Review Board

Decision and Record of Action - January 9, 2025

The City of Bexley's Architectural Review Board took the following action at this meeting:

Application Number: BZAP-24-49

Address: 2300 Livingston

Applicant: Bill Downing

Owner: Bexley Apartments LLC

Request: The applicant is seeking Architectural Review and a recommendation to the Board of Zoning and Planning for a Certificate of Appropriateness.

MOTION: The motion to move this application to the Board of Zoning and Planning without a recommendation was made by Mr. Heyer and seconded by Mr. Hall:

The findings of facts and decisions of the Board for application number BZAP-24-49 for the property located at 2300 Livingston as stated by Karen Bokor: That the Architectural Review Board moves this application to the Board of Zoning and Planning without a recommendation. The ARB does not feel a recommendation in the positive or negative is appropriate at this time and would like to see the following issues explored and the application remanded back to the Architectural Review Board for design approval and a Certificate of Appropriateness:

- Massing
- Incorporation into the Livingston joint plan
- Building details/massing/rooflines
- Proximity to parks and city recreational areas
- Study of the residential character of the building in this mixed use commercial district
- All other issues addressed at the meeting of the ARB and reflected in the meeting minutes

The applicant, Bill Downing, agreed to the findings of fact and decision of the Board.

VOTE: All members voted in favor.

RESULT: The applicant was moved to the Board of Zoning and Planning without a recommendation with the condition that it be remanded back to the

Architectural Review Board for design review and a Certificate of Appropriateness.

Staff Certification: Recorded in the Official Journal this 9th day of January, 2025.



Matt Klingler, Zoning Officer

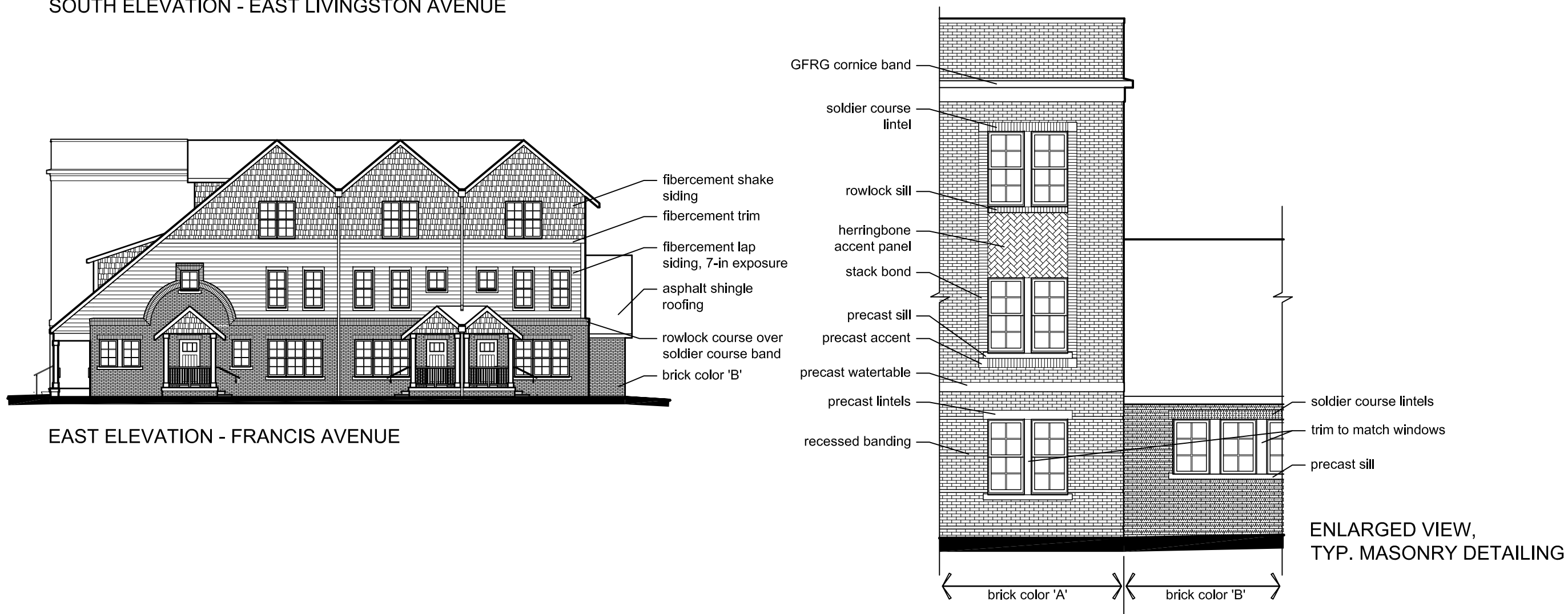


Karen Bokor, Design Consultant

cc: Applicant, File Copy

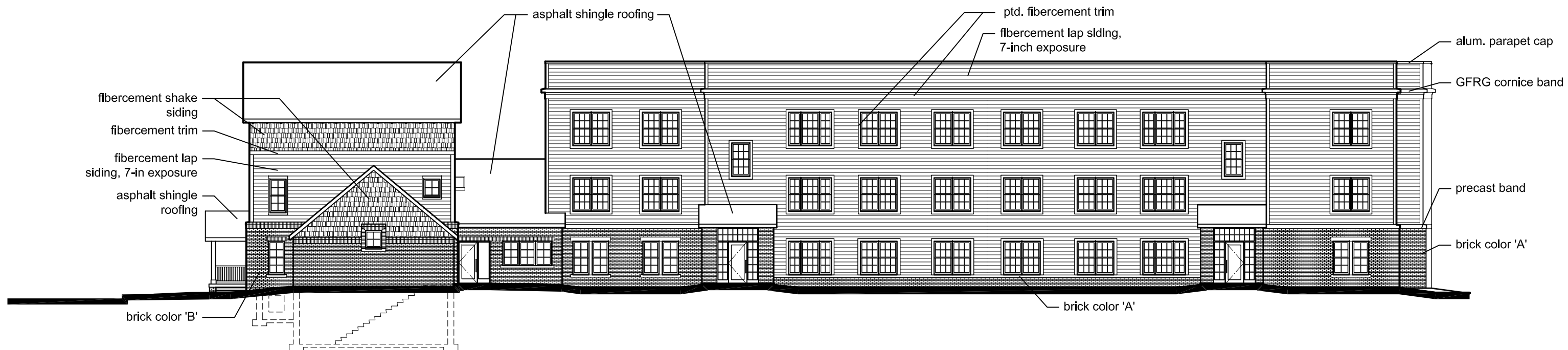


SOUTH ELEVATION - EAST LIVINGSTON AVENUE



EAST ELEVATION - FRANCIS AVENUE

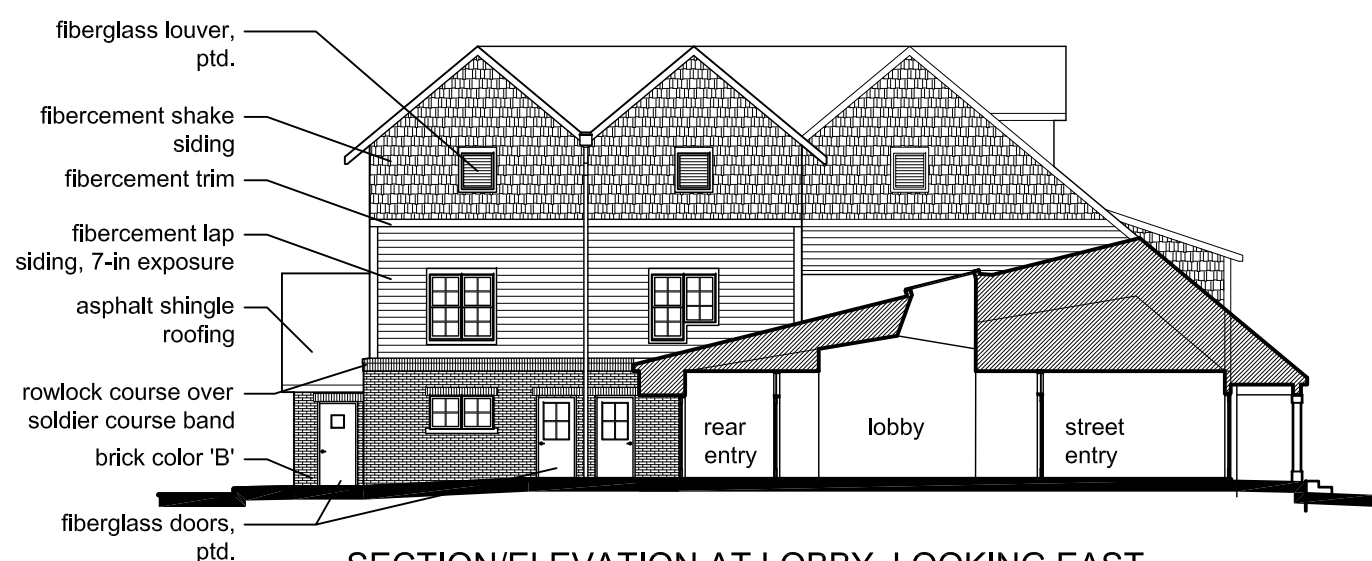
ENLARGED VIEW,
TYP. MASONRY DETAILING



NORTH ELEVATION



WEST ELEVATION



SECTION/ELEVATION AT LOBBY, LOOKING EAST

0 4' 8' 16' 24' rdl: #20163 COPYRIGHT © 2024



SOUTH ELEVATION - EAST LIVINGSTON AVENUE



EAST ELEVATION - FRANCIS AVENUE

December 9, 2024 RDLA # 20163P COPYRIGHT © 2024

BEXLEY APARTMENTS | 2300 E. LIVINGSTON AVE. | ELEVATION

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NORTH ELEVATION



WEST ELEVATION

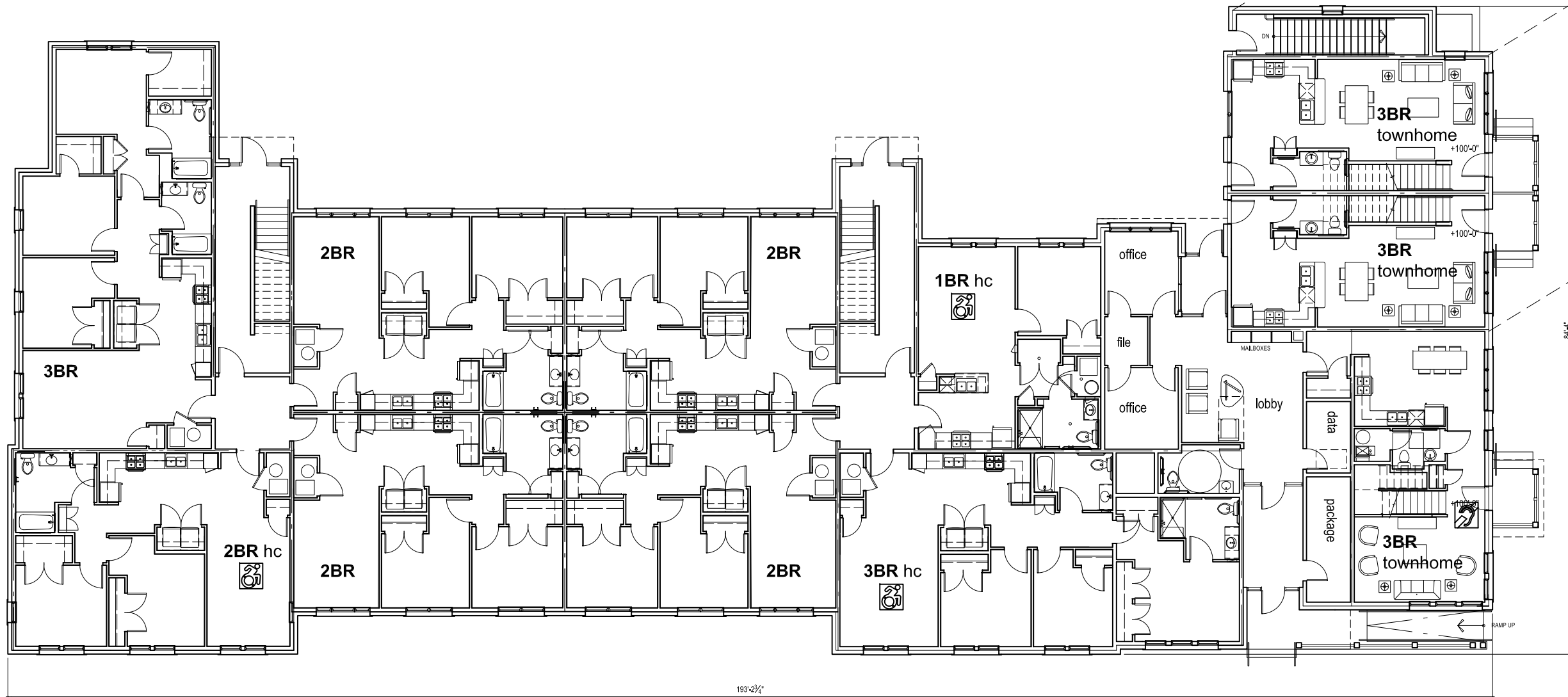


SECTION/ELEVATION AT LOBBY, LOOKING EAST

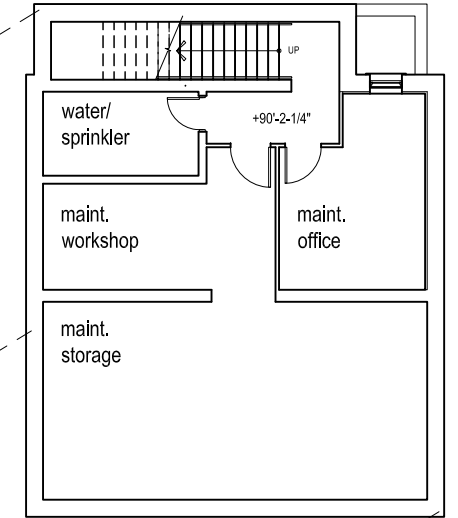
December 9, 2024 RDLA # 20163P COPYRIGHT © 2024

BEXLEY APARTMENTS | 2300 E. LIVINGSTON AVE. | ELEVATION

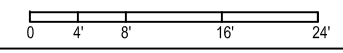
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GROUND FLOOR PLAN
12,311 GSF FOOTPRINT

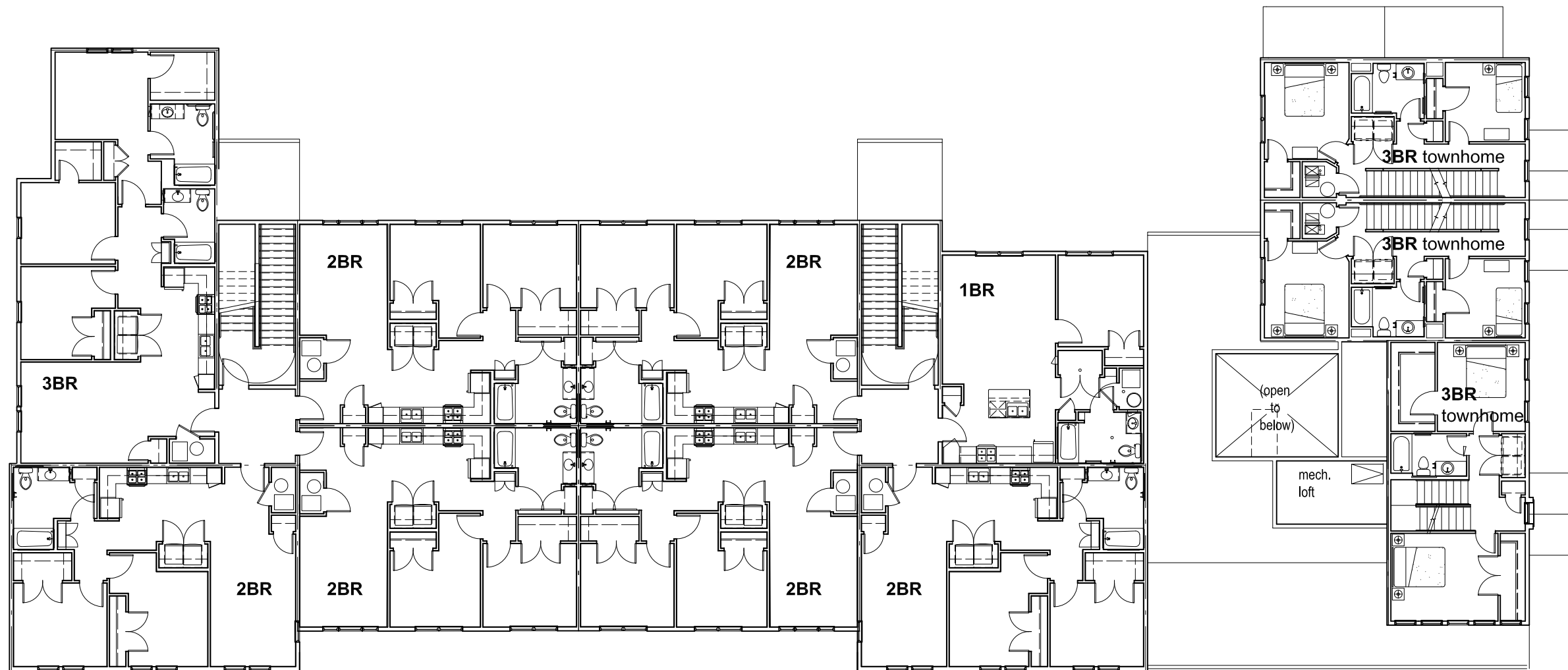


BASEMENT PLAN

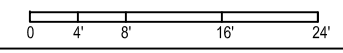


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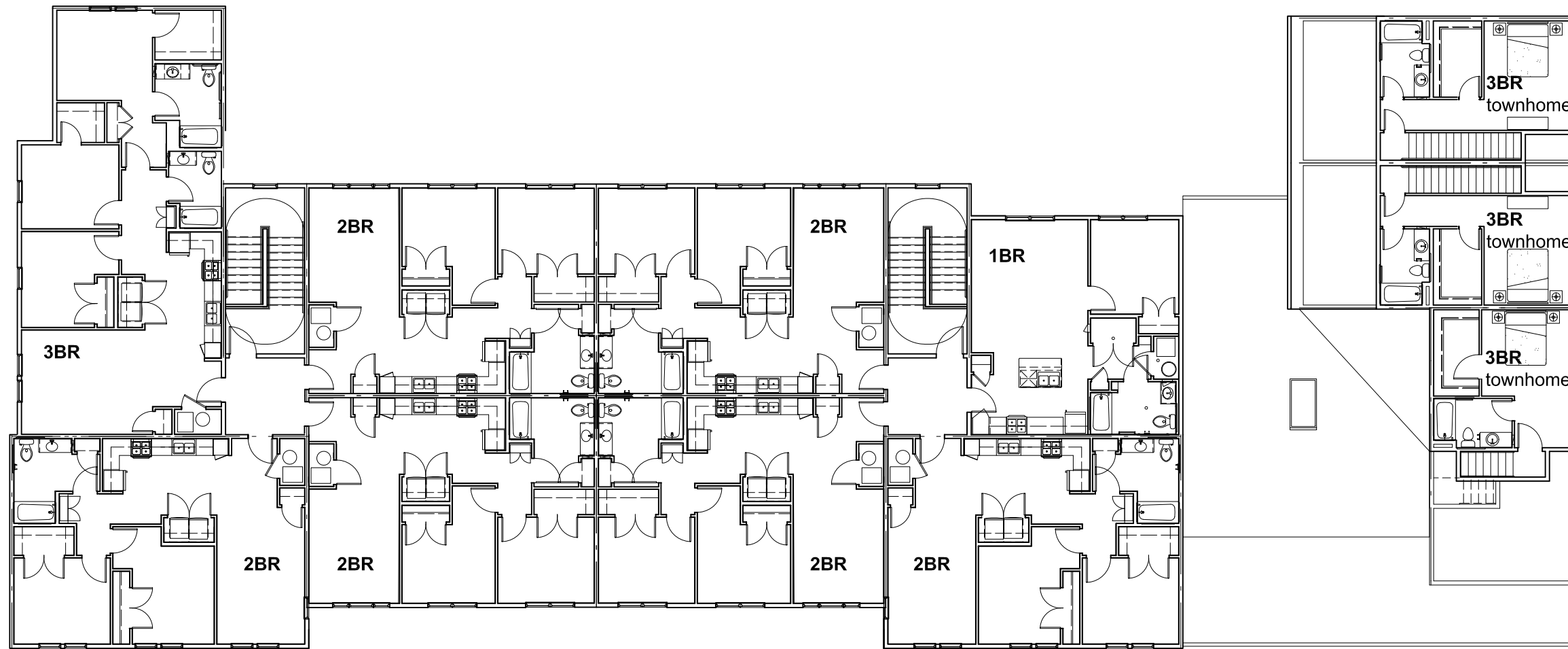


SECOND FLOOR PLAN

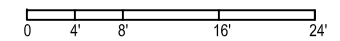


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THIRD FLOOR PLAN



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Enlarged South Elevation
'Apartment' portion

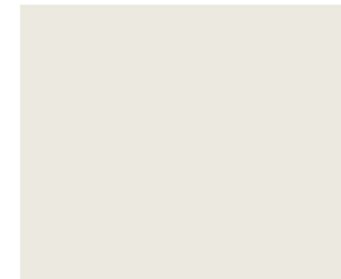
Enlarged East Elevation
'Townhome' portion



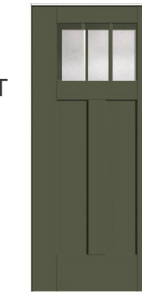
ALUMINUM STOREFRONTS
KAWNEER PERMAFLUOR ARCHITECTURAL COATING
COLOR: "ANTIQUE BRONZE"



FIBER CEMENT SHAKE SIDING
JAMES HARDIE OR SIMILAR FIBER CEMENT SHAKE SIDING
FIELD PAINTED
SHERWIN WILLIAMS PAINT "ALABASTER" SW 7008



TYPICAL TRIM
FIELD PAINTED FIBER CEMENT
SHERWIN WILLIAMS PAINT "ALABASTER" SW 7008



TOWNHOME ENTRY DOORS
THERMATRU FIBERGLASS CRAFTSMAN DOOR
SHERWIN WILLIAMS PAINT "ROCKWOOD GREEN" SW 2816



APARTMENT TOWNHOME

TYPICAL FIBER CEMENT LAP SIDING
JAMES HARDIE FIBER CEMENT SMOOTH LAP SIDING
COLOR: "ROYCROFT VELLUM" SW 2833 AND "BUTTER UP" SW 6681



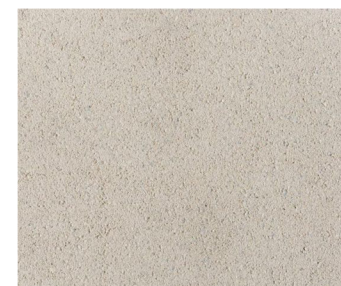
TYPICAL WINDOW
PELLA 250 SERIES HIGH PERFORMANCE WINDOWS OR SIMILAR.
COLOR "FOSSIL" SINGLE HUNG CONFIGURATION



BRICK COLOR A
GLEN-GERY EXTRUDED FACE BRICK, CITY LINE SERIES. BLADE CUT
"AUTUMN HARVEST BLEND"



BRICK COLOR B
GLEN-GERY EXTRUDED FACE BRICK, URBAN GRAY VELOUR SERIES.
"BEIGE GRAY VELOUR"



PRECAST ARCHITECTURAL CONCRETE WATERTABLE COURSE
ROCK CAST ARCHITECTURAL CAST STONE
SMOOTH FINISH "RIESLING"



ROOF SHINGLES
CERTAINTEED LANDMARK SERIES
"WEATHERED WOOD"

12.12.2024 RDL 20163P

FENCE SCREENING



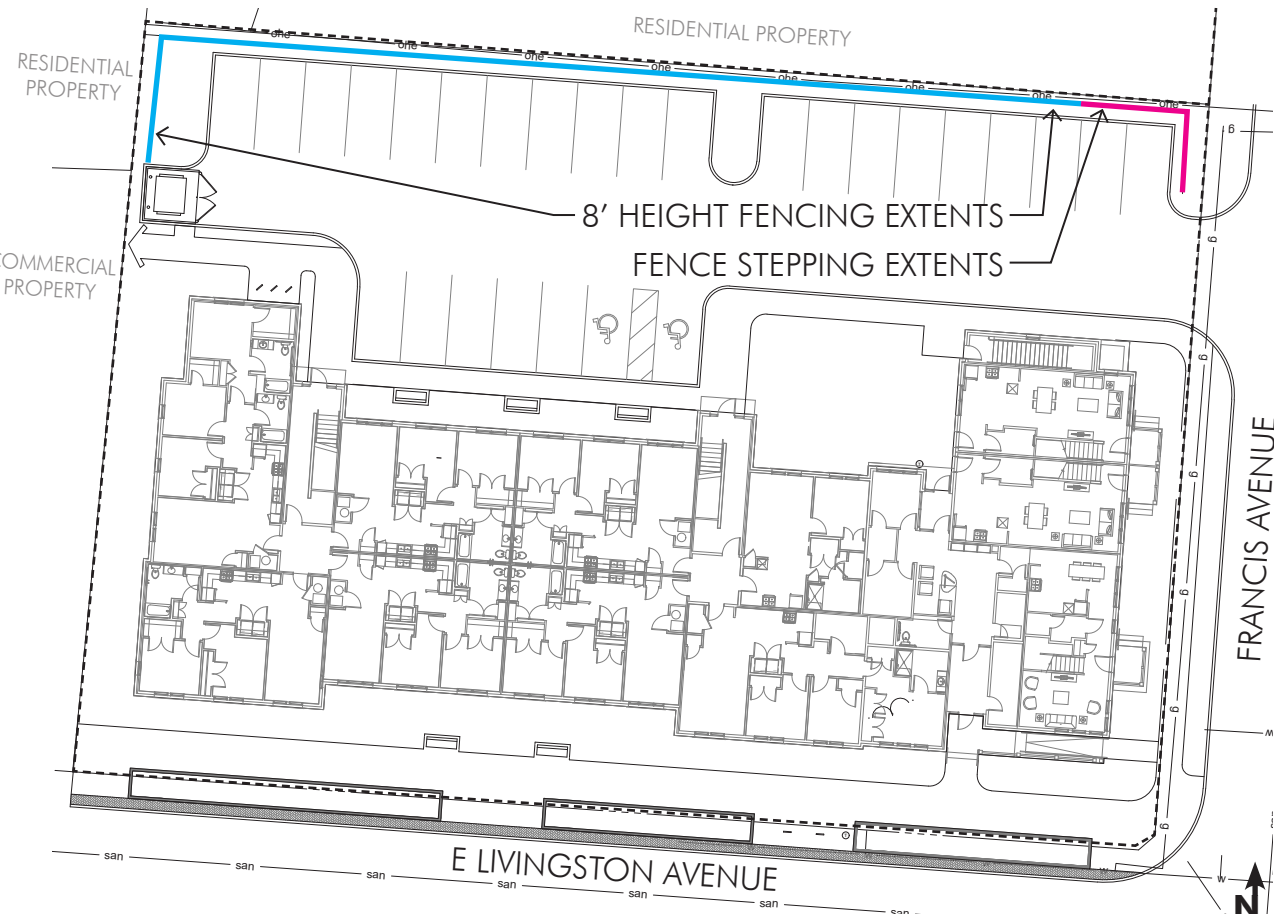
REFERENCE IMAGE
8' HEIGHT FENCE
100% OPAQUE
MATERIAL SELECTIONS TBD



ELEVATION



PERSPECTIVE



SITE REFERENCE PLAN (not to scale)