RESIDENCE

2415 Havenwood Dr S- Columbus, OH 43209



SCOPE	OF	WORK

NEW ADDITION AND RENOVATION OF EXISTING BUILDING INTERIOR SPACE AND ADJUSTED CONFIGURATION OF FLOOR PLAN LAYOUT.

CODE DATA	
APPLICABLE CODES	
BUILDING CODE:	2019 RESIDENTIAL CODE OF OHIO
ZONING CLASSIFICATION	R-6
BUILDING CODE ANALYSIS	

DUILDING CODE ANAL 1313	
PRIMARY USE GROUP	

CONSTRUCTION TYPE:

R (RESIDENTIAL)	
AREA:	
TOTAL AREA:	3,175 SF
NUMBER OF STORIES:	2

CONSTRUCTION TYPE:	VB: NOT SPRINKLED
SEISMIC CATEGORY	A
EXTERIOR WALL RATING	0 HOURS
ALLOWABLE HEIGHT	35'-0"
ACTUAL HEIGHT	25'-1"

GENERAL SCOPE OF WORK

- B. PERFORM ALL CONSTRUCTION WORK INDICATED OR OTHERWISE REQUIRED FOR COMPLETION OF THE PROJECT EXCEPT AS NOTED OTHERWISE.
- C. ANY DAMAGE TO PROPERTY WHICH OCCURS DURING THE PROCESS OF CONSTRUCTION SHALL BE REPAIRED/REPLACED TO MATCH EXISTING AT NO ADDITIONAL COST TO OWNER.
- D. THE CONTRACTOR SHALL KEEP THE WORK AREA CLEAN AND FREE OF DEBRIS AND REMOVE ALL TRASH AND DEBRIS FROM THE CONSTRUCTION AREA DAILY. NO FLAMMABLE MATERIALS OR LIQUIDS MAY BE STORED IN THE EXISTING BUILDING OR IN ANY NEW ADDITION. MUD AND DEBRIS TRACKED ONTO OWNER PAVING OR CITY STREETS TO BE CLEANED IMMEDIATELY.
- SCHEDULE AND COORDINATE THE WORK OF THE COMPLETE PROJECT TO ASSURE AN EFFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF ALL ELEMENTS WITH PROVISIONS FOR ACCOMMODATING ITEMS TO BE
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ORDERING OF MATERIALS TO PROHIBIT DELAYS OF THE CONSTRUCTION SCHEDULE OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE DELIVERY OF MATERIALS IN A TIMELY MANNER.
- PROVIDE ALL REQUIRED NOTICES FOR INSPECTIONS AND APPROVALS OF THE WORK BY THE AUTHORITY HAVING JURISDICTION (AHJ). THE MOST RESTRICTIVE CODE REQUIREMENTS AS INTERPRETED BY LOCAL OFFICIALS

G. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK, UNLESS SPECIFICALLY NOTED.

- THE GENERAL CONTRACTOR SHALL RESPOND TO ALL REQUIREMENTS OF THE ARCHITECT AND CONSULTANTS FOR VERIFICATIONS, RESPONSES, AND SUBMISSIONS.
- PROVIDE SUBCONTRACTORS WITH A FULL-SET OF THE CONSTRUCTION DOCUMENTS TO ENSURE COORDINATION BETWEEN ALL TRADES AND EACH SUBCONTRACTOR.
- ALL CONSTRUCTION WORK MUST BE OF GOOD QUALITY FREE FROM DEFECTS AND IN ACCORDANCE WITH REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS OR THE WORK MAY BE CONSIDERED DEFECTIVE AND SUBJECT TO CORRECTION OR REPLACEMENT BY THE CONTRACTOR WITHIN A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION.

COORDINATION WITH SEPARATE CONTRACTORS

- COORDINATE WITH THE OWNER'S SEPARATE CONTRACTORS OR SUPPLIERS FOR WORK INDICATED AS BEING OWNER-FURNISHED & CONTRACTOR INSTALLED (OFCI), OR NOT-IN-CONTRACT (NIC). PROVIDE SCHEDULED DATES WHEN THE PROJECT WILL BE READY FOR DELIVERY OR INSTALLATION OF OWNER FURNISHED PRODUCTS, AS APPLICABLE.
- M. COORDINATE THE WORK OF THIS PROJECT WITH OTHER CONTRACTORS AT SEPARATE CONSTRUCTION PROJECTS WITHIN THE SAME DEVELOPMENT, SO THAT THIS WORK WILL NOT INTERFERE WITH OR DELAY THEIR
- N. COORDINATE, RECEIVE AT SITE, VERIFY RECEIPT, HANDLE, STORE ON-SITE (IF REQUIRED), PROTECT AND INSTALL OWNER-FURNISHED PRODUCTS, AND PROVIDE SERVICE CONNECTIONS AS APPLICABLE.
- O. REPAIR DAMAGE TO OWNER-FURNISHED PRODUCTS CAUSED BY CONSTRUCTION OPERATIONS TO THE OWNER'S SATISFACTION.

COORDINATION WITH FIXTURES, FURNISHINGS & EQUIPMENT (FF&E)

- REVIEW THE OWNER'S SEPARATE CASEWORK/FIXTURES, FURNISHINGS, EQUIPMENT, & SIGNAGE DRAWINGS FOR UNIT SIZES, WEIGHTS, SERVICE-CONNECTIONS AND CLEARANCES REQUIRED WHETHER FURNISHED OR INSTALLED BY THE CONTRACTOR OR OTHERS. VERIFY THAT REQUIRED ROUGH-INS, CONNECTIONS AND CLEARANCES WILL BE PROVIDED.
- Q. PROVIDE ALL HVAC, PLUMBING, GAS OR ELECTRIC SERVICE CONNECTIONS TO CASEWORK / FIXTURES, SIGNAGE, OR EQUIPMENT INDICATED (WHETHER UNITS ARE INSTALLED BY CONTRACTOR OR BY OTHERS).

- R. AT PROJECTIONS OF FINISHED SURFACES, INCLUDING PILASTERS OR THICKENED WALLS, RETURN ALL EXPOSED SURFACE FINISHES BACK TO THE PRIMARY SURFACE EVEN IF NOT SPECIFICALLY NOTED.
- PERFORM ALL CUTTING, PATCHING AND FITTING TO ACCOMMODATE CONSTRUCTION WORK AND TO ACHIEVE THE INTENT OF THE CONSTRUCTION DOCUMENTS. CUT & PATCH PARTITIONS FOR INSTALLATION OF PLUMBING OR ELECTRICAL SERVICES AND FOR INSTALLATION OF WALL BLOCKING, IF NECESSARY. PROVIDE ESCUTCHEONS, GROMMETS AND SIMILAR SURFACE CLOSURE OR FINISHED TRIMS AT EXPOSED PENETRATIONS OF
- BRACE PARTITIONS, SUSPEND CEILINGS OR SOFFITS, AND BRACE PLATFORMS, SUSPENDED ITEMS OR SIMILAR CONSTRUCTION ONLY TO STRUCTURAL ELEMENTS ABOVE EVEN IF NOT SPECIFICALLY NOTED. DO NOT ANCHOR TO ROOF DECK, PLUMBING / SPRINKLER PIPES, DUCTWORK, ELECTRICAL CONDUIT OR SIMILAR ELEMENTS.

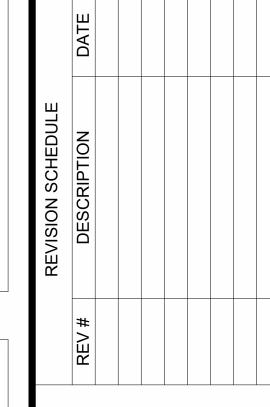
SITE VERIFICATION

- . ANY DISCREPANCY WITH THE EXISTING SITE CONDITIONS AND/OR THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION AND INSTRUCTION. THESE CONSTRUCTION DOCUMENTS HAVE BEEN DESIGNED AND DRAWN ASSUMING EXISTING BUILDING CONDITIONS MATCH THE ORIGINAL DRAWINGS. THE CONTRACTOR, IMMEDIATELY UPON ARRIVAL AT THE SITE, SHALL VERIFY ALL EXISTING STRUCTURAL COLUMN DIMENSIONS, STRUCTURAL BEARING HEIGHTS AND EXISTING DIMENSIONS. IF DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND EXISTING FIELD CONDITIONS, CONTACT THE CONSTRUCTION MANAGER AND THE ARCHITECT IMMEDIATELY TO DETERMINE WHAT ACTION SHOULD BE TAKEN TO MATCH EXISTING CONDITIONS. THE BEGINNING OF CONSTRUCTION BY THE GENERAL CONTRACTOR
- ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO THE SUBMISSION OF HIS BID OR THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER AND ARCHITECT OF THE DISCOVERY OF EXISTING UTILITIES NOT SHOWN OR NOTED ON DRAWINGS.
- W. THE CONTRACTOR SHALL VERIFY THE EXISTING FINISH FLOOR ELEVATION AT ALL OPENINGS OF THE BUILDING SHELL PRIOR TO ESTABLISHING THE FINISH FLOOR ELEVATION. X. REPORT ANY DISCREPANCIES FOUND IN THE FIELD IMMEDIATELY TO THE CONSTRUCTION MANAGER AND THE ARCHITECT PRIOR TO MAKING ANY STRUCTURAL MODIFICATIONS OR ORDERING ANY MATERIALS.

SHEET INDEX						
#	Sheet Name	REV	DATE			
A0.0	COVER SHEET					
A0.1	GENERAL NOTES					
A1.0	SITE PLAN					
A2.0	GARAGE PLANS					
A3.0	DEMOLITION PLANS					
A4.0	PROPOSED PLANS					
A8.0	REFLECTED CEILING PLANS					
A10.0	EXTERIOR ELEVATIONS					
A11.0	DOOR & WINDOW SCHEDULE					

Sheet Name	REV	DATE
ES .		
3		
ANS		
ANS		
ILING PLANS		
/ATIONS		
W SCHEDULE		

ABB	REVIATIONS				
AFF	ABOVE FINISHED FLOOR	FLR	FLOOR	REINF	REINFORCING
ALUM	ALUMINUM	FRR	FIRE RESISTANCE RATING	REQD	REQUIRED
APPROX	APPROXIMATE	FRT	FIRE RETARDANT TREATED	REV	REVERSE
ARCH	ARCHITECTURAL	GA	GAUGE	RI	RIGID INSULATION
BD	BOARD	GALV	GALVANIZED	RO	ROUGH OPENING
BLDG	BUILDING	GYP	GYPSUM	RWL	RAIN WATER LEADER
CFS	COLD FORMED STEEL	GL	GLASS	S	SINK
CPT	CARPET	GWB	GYPSUM WALL BOARD	SIM	SIMILAR
CJ	CONTROL JOINT	HM	HOLLOW METAL	SPEC	SPECIFICATIONS
CL	CLOSET	HT	HEIGHT	SS	STAINLESS STEEL
CLR	CLEAR	INSUL	INSULATION	STD	STANDARD
CLG	CEILING	L	LONG	STRUCT	STRUCTURAL
COL	COLUMN	MAX	MAXIMUM	TS	TUBE STEEL
CONC	CONCRETE	MC	MEDICINE CABINET	TD	TO DATUM
CONT	CONTINUOUS	MECH	MECHANICAL	T/O	TOP OF
CONST	CONSTRUCTION	MFR	MANUFACTURER	T&G	TONGUE & GROOVE
COORD	COORDINATE	MIN	MINIMUM	TYP	TYPICAL
CORR	CORRIDOR	MIR	MIRROR	U/S	UNDERSIDE
C/W	COMPLETE WITH	MISC	MISCELLANEOUS	UNO	UNLESS NOTED OTHERWISE
D	DEPTH/ DEEP	MTD	MOUNTED	VB	VAPOR BARRIER
DIA	DIAMETER	N/A	NOT APPLICABLE	VEST	VESTIBULE
DN	DOWN	NIC	NOT IN CONTRACT	W	WIDTH
D/W	DISHWASHER	NTS	NOT TO SCALE	W/	WITH
DWG	DRAWING	OC	ON CENTER		
EA	EACH	OD	OUTSIDE DIAMETER		
ELEC	ELECTRICAL	ОН	OVERHEAD		
ELEV	ELEVATION	PL	PROPERTY LINE		
EQ	EQUAL	PLAM	PLASTIC LAMINATE		
EXP	EXPANSION	PTD	PAINTED		
EXT	EXTERIOR	PVC	POLYVINYL CHLORIDE		
F	FRIDGE	R	RADIUS OR RISER		
FD	FLOOR DRAIN	R/H	RANGE AND HOOD FAN		
FE	FIRE EXTINGUISHER	RD	ROOF DRAIN		
FG	FIBERGLASS	REF	REFER TO		



NAME: PAUL JOSEPH FATKIN

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	Room Schedule			Room Schedule	
Number	Name	Area	Number	Name	Area
EVEL 0			200	HALLWAY	105 SF
01	RECREATION ROOM	369 SF	201	LINEN 1	5 SF
002	STORAGE 1	31 SF	202	OFFICE	100 SF
003	GYM	64 SF	203	CL.OFFICE	6 SF
004	LAUNDRY/MECH ROOM	494 SF	204	BEDROOM 2	131 SF
005	BATH	60 SF	205	ВАТН 3	46 SF
006	CL.02	6 SF	206	WALK-IN CLOSET	53 SF
07	CL.01	11 SF	207	WATER CLOSET	22 SF
EVEL 1			208	PRIMARY BATHROOM	68 SF
00	EX.FRONT PORC	141 SF	209	PRIMARY BEDROOM	200 SF
01	EX.LIVING ROOM	146 SF	210	LAUNDRY	44 SF
02	COAT 1	7 SF	211	BEDROOM 3	104 SF
03	DINING	162 SF	212	CL	9 SF
04	ENTRY WAY	100 SF	213	CL	10 SF
05	BATH 2	32 SF	Grand tot	al	3175 SF
06	KITCHEN	248 SF			
07	FAMILY ROOM	193 SF			
80	MUDROOM	51 SF			

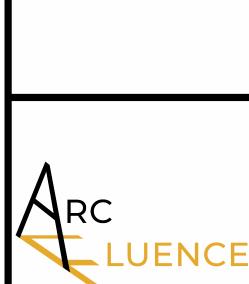
PANTRY

HALLWAY

COVERED PORCH

78 SF





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RESIDENCE

2415 Havenwood Dr S-Columbus, OH 43209

COVER SHEET

GENERAL CONTRACTOR:

- 1. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO ENFORCE CODE COMPLIANCE AND ANY ORDINANCES GOVERNING THE WORK OF THIS
- 2. THE GENERAL CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION.
- 3. ANY WRITTEN NOTES / DIMENSIONS TAKE PRECEDENCE OVER SCALE, GC TO VERIFY ALL DIMENSIONS, ANY DISCREPENCY DISCOVERED SHALL BE
- COMMUNICATED IMMEDIATLY TO THE ACRHITECT BEFORE TAKING ACTION. 4. MANUFACTURERS SPECIFICATIONS FOR INSTALLATION OF MATERIALS AND APPLIANCES SHALL BE FOLLOWED.
- 5. GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF VARIOUS TRADES TO EXPEDITE THE CONSTRUCTION IN A CONTINUOUS MANNER UNTIL THE

 6. STAIR LANDINGS SHALL BE A MINIMUM LENGTH OF 36" OR THE WIDTH OF THE STAIRCASE WHICHEVER IS GREATER. GOVERNING MUNICIPALITY ISSUES THE CERTIFICATE OF OCCUPANCY. 7. A DOOR MAY BE LOCATED AT THE TOP THE STEPS SO LONG AS THE DOOR DOES NOT SWING OVER THE STAIRS AND PROVIDED THAT THE TOP STEP

EXCAVATION:

- 1. FOOTINGS SHALL BE PLACED ON NATURAL UNDISTURBED SOIL EXCAVATED BELOW LOCAL FROST LINE.
- 2. TOP OF FOUNDATION SHALL BE A MINIMUM 8" ABOVE FINISHED GRADE.
- 3. DO NOT BACKFILL UNTIL FLOOR FRAMING IS ATTACHED TO SILL PLATE AND SHEATHING IS INSTALLED. 4. FINISHED GRADE SHALL PROVIDE DRAINAGE AWAY FROM FOUNDATION, GRADE SHALL FALL A MIN. 6" WITHIN THE FIRST 10' OF AREA AROUND FOUNDATION. FINAL LANDSCAPE SHALL NOT INTERFERE WITH MIN. SLOPE.

FOUNDATION:

- 1. FOUNDATION WALLS AND BASEMENT SLAB OR MONOLITHIC SLAB NOT EXPOSED TO THE WEATHER SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH
- 2. ANY CONCRETE FOUNDATION WALLS AND OR SLABS INCLUDING GARAGE SLABS, PORCHES ETC... THAT ARE EXPOSED TO THE WEATHER SHALL HAVE A MIN. COMPRESSIVE STRENGTH OF 3500 PSI.
- 3. REFER TO PROJECT STRUCTURAL ENGINEERING FOR FOOTING / PIER SCHEDULE.
- 4. A SOILS TEST AND REPORT IS RECOMMENDED TO BE COMPLETED PRIOR TO STRUCTURAL ENGINEERING. 5. STRUCTURAL ENGINEER TO COORDINATE WITH SOIL ENGINEERING TO PRODUCE A FOUNDATION DESIGN CAPABLE OF SUPPORTING STRUCTURE INCLUDING A FOOTING AND REBAR SCHEDULE. FOUNDATION PLAN SHALL BE STAMPED BY A LICENSED STRUCTURAL ENGINEER.

FRAMING:

- 1. ALL DIMENSIONS ON FLOOR PLANS ARE TO ROUGH FRAMING. 2. FOR 2 X 6 EXTERIOR WALLS, A 2 X 6 P.T. SILL PLATE SHALL BE ANCHORED TO THE FOUNDATION. FOR 2 X 4 EXTERIOR WALLS, A 2 X 4 P.T. SILL PLATE
- SHALL BE ANCHORED TO THE FOUNDATION WALL. 3. RIM BOARD SHALL BE A MIN 1-1/8" THICK AND BEAR APA STAMP.
- 4. MANUFACTURED FLOOR JOISTS SHALL NOT EXCEED THE ALLOWED SPAN LISTED IN MANUFACTURERS DESIGN GUIDE. 5. LUMBER SUPPLIER TO FURNISH SHOP DRAWINGS TO GENERAL CONTRACTOR OF THE FLOOR JOIST AND ROOF SYSTEM BEARING A LICENSED
- ENGINEER'S STAMP AND SIGNATURE 6. PREMIUM #2 OR BETTER DOUGLAS FIR STUDS TO BE FURNISHED TO JOB SITE UNLESS DIRECTED OTHERWISE BY GENERAL CONTRACTOR. BUILDING
- SUPPLIER TO VERIFY STUD QUALITY PRIOR TO DELIVERY OF MATERIALS. 7. BUILT UP BEAMS OF 2 X MEMBERS SHALL BE NAILED TOGETHER WITH NOT LESS THAN 16D NAILS AT 16" O.C. ON ALL EDGES. BUILT UP COLUMNS OF 2 X
- MEMBERS SHALL BE NAILED TOGETHER WITH A MIN. TWO ROWS OF 16D NAILS AT 10" O.C. STAGGERED.
- 8. ALL SHEATHING SHALL BE APA RATED AND SHALL NOT EXCEED MAXIMUM SPAN RATING. FLOOR SHEATHING SHALL BE TONGUE AND GROOVE. GAP ALL WAFERBOARD SHEATHING. INSTALL H CUPS ON ALL ROOF SHEATHING.
- 9. TRUSSES SHALL BE PRE-ENGINEERED AND SUPPLIED BY TRUSS MANUFACTURER BEARING LABELS TO MATCH ROOF SHOP DRAWING. SHOP DRAWING TO BEAR LOCAL STATE STRUCTURAL ENGINEER'S STAMP.
- 10. STANDARD STUD FRAMING AT EACH END OF EACH BEAM UNLESS OTHERWISE NOTED SHALL CONSIST OF (1) KING STUD AN (2) TRIMMER STUDS
- 11. ALL EXTERIOR FRAMING WALLS SHALL BE AT 16" O.C. U.N.O. ALL INTERIOR BEARING WALLS FRAMING SHALL BE AT 16" O.C. U.N.O. ALL INTERIOR NON BEARING WALLS SHALL BE NO GREATER THAN 24" O.C
- 12. FRAMING TO INCLUDE ALL STAIRS, FUR-DOWNS, DECKS, PLANT SHELVES AND CEILING JOISTS.
- 13. (3) STUDS MIN. REQUIRED AT ALL CORNERS. 14. WOOD CONNECTORS SHALL BE SIMPSON STRONG TIE OR U.S.P. METAL CONNECTORS HAVING APPROVAL FROM THE NATIONAL CODE COUNCIL. ALTERNATIVELY, REFER TO RCO TABLE 602.3(1). SOLID BLOCKING SHALL BE PROVIDED AT ENDS OR BEARING POINTS OF ALL WOOD JOISTS AND
- TRUSSES. INSTALL ALL METAL CONNECTERS PER MANUFACTURERS SPECIFICATIONS.
- 15. MULTIPLE PLATES OR LEDGERS SHALL BE NAILED TOGETHER WITH 16D NAILS AT 8" O.C. CONNECT P.T. SILL PLATES WITH "J" BOLTS. MULTIPLE MEMBERS SHALL BE ENGINEERED BY PROFESSIONAL ENGINEER.
- 16. BLOCK ALL HORIZONTAL EDGES OF WALL SHEATHING WITH 2" NOMINAL BLOCKING. 17. ALL LEDGER BOLTS SHALL HAVE PLATE WASHERS WITH A MIN. DIAMETER OF THREE TIMES THE DIAMETER OF SPECIFIED BOLT. UNLESS SPECIFIED
- OTHERWISE BY STRUCTURAL ENGINEER.
- 18. MINIMUM NAILING SHALL COMPLY WITH RCO TABLE 602.3(1).
- 19. FLOOR SHEATHING SHALL BE GLUED AND NAILED TO FLOOR JOISTS WITH 10 D RING-SHANK NAILS.
- 20. PROVIDE HOLD DOWNS AT SHEAR WALLS PER ENGINEERING 21. WOOD BEAMS UP TO TWO PLY'S NAIL TOGETHER WITH TWO ROWS 16D NAILS AT 12" O.C. STAGGER ROWS. WOOD BEAMS OF THREE PLY'S NAIL TOGETHER WITH TWO STAGGERED ROWS EACH SIDE WITH 16D NAILS AT 12" O.C. WOOD BEAMS OF FOUR PLY'S BOLT TOGETHER PER STRUCTURAL ENGINEERING.
- 22. BALLOON FRAME ALL BEARING WALLS. 23. SPACE 2 X 4 WALL STUDS EXCEEDING 10' IN HEIGHT AT A MIN. 12" O.C. SPACE 2 X 6 WALLS EXCEEDING 14' IN HEIGHT AT A MIN. 12" O.C.
- 24. FIRE BLOCK ALL STUD WALLS OVER 10' IN HEIGHT PER SECTION RCO 602.8 and 302.11 25. BEAMS, HEADERS, AND TRUSSES TO HAVE FULL WIDTH BEARING AT EACH END.

VENTILATION:

- 1. ALL CRAWL SPACES TO BE VENTILATED BY MEAN OF SCREENED VENTS (1 SQ. FT. OF VENT PER 150 SQ. FT. OF CRAWL SPACE AS REQUIRED BY 2019
- RCO. PROVIDE A VENT WITHIN 3' OF EACH CORNER OF CRAWLSPACE. 2. FOR LIGHT AND VENTILATION, A ROOM MAY BE CONSIDERED AS PART OF AN ADJOINING ROOM WHEN A MIN. 1/2 THE AREA OF COMMON WALL IS OPEN, UNOBSTRUCTED AND PROVIDES A MIN. OPENING OF 1/10TH THE FLOOR AREA OF THE ROOM OR 25 SQ. FT. (WHICH EVER IS GREATER). RCO 303.2
- 3. ATTIC VENTILATION TO COMPLY WITH SECTION 806.2 OF THE 2019 RCO. THE MINIMUM NET FREE VENTILATING AREA SHALL BE 1/150 OF THE AREA OF 4. VENTED SOFFIT SYSTEM TO WORK IN CONJUNCTION WITH STANDARD 12" SQUARE TURTLE VENTS TO BE THE STANDARD ATTIC VENTILATION SYSTEM UNLESS SPECIFIED OTHERWISE BY USE OF A RIDGE CAP VENT OR A MID- RIDGE VENTILATION SYSTEM.

- WINDOWS / GLAZING: 1. BEDROOM WINDOWS TO HAVE A FINISHED SILL HEIGHT OF 44" MAX ABOVE FINISHED FLOOR (A.F.F.)
- 2. SUPPLY ALL HABITABLE ROOMS WITH NATURAL LIGHT USING AN OPERABLE EXTERIOR WINDOW WITH A MIN. AREA OF 8% OF THE FLOOR AREA PER
- EACH ROOM FOR LIGHT AND 4% OF THE FLOOR AREA PER EACH ROOM FOR NATURAL VENTILATION. 3. WINDOWS WITHIN 24" OR LESS ABOVE FINISHED FLOOR SHALL HAVE TEMPERED SAFETY GLASS.
- 4. TOP ALL WINDOWS PER PLAN
- 5. WINDOWS WITHIN 24" OF EXTERIOR DOORS SHALL BE TEMPERED SAFETY GLASS. 6. ALL BEDROOM / SLEEPING ROOM WINDOWS TO HAVE A CLEAR OPENING OF 5.7 SQUARE FEET MINIMUM WITH A MIN. WIDTH OF 20" AND MIN. HEIGHT OF
- 7. PROVIDE A MIN. 9" FLASHING AROUND ALL EXTERIOR WINDOWS WITH COUNTER-FLASHING AND APPROVED CAULKING. INSTALL ALL WINDOWS AND FLASHING PER MANUFACTURERS SPECIFICATIONS.

WINDOW WELLS:

- 1. 44" MAXIMUM DEPTH (LADDERS NOT REQUIRED). FOR WINDOW WELLS WITH A DEPTH GREATER THAN 44" PROVIDE STEPS OR LADDERS PER RCO
- 2. WELLS MUST MAINTAIN MINIMUM OF 36" HORIZONTAL CLEARANCE FROM FOUNDATION TO FRONT OF WINDOW WELL MAINTAINING A MIN. 9 SQ. FT. 3. WELLS MUST MAINTAIN A MINIMUM OF 35 OF VERTICAL CLEARANCE FROM ANY BUILDING PROJECTION SUCH AS CANTILEVERS OR BAY WINDOWS

EXTERIOR DOORS:

- 1. ALL EXTERIOR DOORS SHALL HAVE A FLOOR LANDING ON EACH SIDE OF THE DOOR.
- 2. FLOOR LANDINGS AT EXTERIOR DOORS SHALL NOT BE MORE THAN 1.5" LOWER THAN TOP OF THRESHOLD. IF DOOR IS NOT A REQUIRED EXIT DOOR,
- THE LANDING SHALL NOT EXCEED 8" FROM TOP OF THRESHOLD. 3. 3. ALL LANDINGS SHALL MAINTAIN A WIDTH OF 35. MIN. MEASURED IN THE DIRECTION OF TRAVEL

BRICK VENEER:

- 1. EACH GALVANIZED BRICK TIE SHALL SUPPORT NO MORE THAN TWO SQUARE FEET.
- 2. ATTACH BRICK TIES TO WALL STUDS.
- 3. PLACE BRICK TIES AROUND OPENINGS NO MORE THAN 36 INCHES O.C. AND WITHIN 12 INCHES OF OPENING. 4. BRICK TIES SHALL BE MECHANICALLY ATTACHED TO HORIZONTAL JOINT REINFORCEMENT.
- 5. FLASHING SHALL BE LOCATED BENEATH THE FIRST COURSE OF MASONRY ABOVE FOUNDATION WALL AND OTHER POINTS OF SUPPORT 6. PROVIDE WEEPHOLES IN THE OUTSIDE OF THE MASONRY WALLS AT 32 INCHES O.C. MAXIMUM SPACING AND SHALL BE A MIN. 3/16" DIAMETER LOCATED
- IMMEDIATELY ABOVE FLASHING.
- 7. FOLLOW ALL OTHER REQUIREMENTS FOUND IN RCO SECTION 703.7.1

STUCCO:

- 1. USE EXTERIOR PORTLAND CEMENT PLASTER SYSTEM /19200 OVER LABELED EXTERIOR WALLS.
- 2. APPLY STUCCO AFTER COMPLETION OF ROUGH FRAMING TO PREVENT CRACKING.
- 3. USE GALVANIZED 20 GAUGE WEEP SCREED, FASTENERS, CORNER AID, Z-FLASHING IN ALL TYPICAL AREAS.
- 4. APPLY APPROVED HOUSE WRAP OVER EXTERIOR WALL SHEATHING. INSTALL PER MANUFACTURER'S SPECIFICATIONS. 5. USE EZ SEAL (6") BUTANE AT ALL PENETRATIONS.
- 6. J METAL AT ALL WINDOWS AND DOORS WHERE APPLICABLE.
- 7. EPS FOAM TRIM WHERE SPECIFIED ON ELEVATIONS.

WEATHER PROTECTION:

- 1. INSTALL 1 OR 2 LAYERS OF GRADE D (15LB) FELT UNDER ASPHALT ROOF SHINGLES PER RCO 905.1.
- 2. INSTALL TYVEK OR APPROVED HOUSE WRAP BEHIND ALL EXTERIOR SIDING AND MASONRY 3. INSTALL SELF ADHERED POLYMER MODIFIED BITUMEN SHEET FROM EDGE OF FASCIA TO A LINE 24" BEHIND THE EXTERIOR WALL LINE, AND ALL ROOF
- 4. INSULATE AND WEATHER STRIP ALL ATTIC AND CRAWL SPACE ACCESS HATCHES W/ SAME 'R' VALUE AS THE FLOOR / CEILING ASSEMBLY.
- 5. PROVIDE METAL FLASHING OR 15 LB FELT BETWEEN WOOD SHEATHING AND CONCRETE PORCHES, LANDINGS, STEPS AND STAIRS.
- METAL FLASHING TO BE PROVIDED WHEREVER WATER FROM WEATHER BARRIER CAN ENTER DWELLING.

STAIRWAYS:

- 1. MAXIMUM RISER HEIGHT = 8 1/4" INCHES, TREADS TO BE A MIN. 9" WITH NO MORE THAN 3/8" VARIATION.
- 2. WHERE STAIRS ARE CURVED A MIN. RETURN OF 6" OF TREAD MUST BE MAINTAINED
- 3. STAIRWAYS WITH SOLID RISERS MUST HAVE A NOSING NOT LESS THAN 3/4" INCHES AND NO MORE THAN 1 1/4" INCHES. FOR TREADS 11" INCHES OR DEEPER, NOSING IS NOT REQUIRED.
- 4. PROVIDE MINIMUM HEAD ROOM OF 6'-8" THRU-OUT STAIRWAY.
- 5. ALL STAIRS MUST HAVE A MINIMUM WIDTH OF 36"
- DOES NOT EXCEED 8" LOWER THAN TOP OF FLOOR. 8. ALL STEPS SHALL BE A EQUAL DISTANCE FROM TOP OF LANDING TO FINISHED FLOOR. (HEIGHT DIVIDED BY HOW MANY RISERS = EQUAL DISTANCE).

- 1. HANDRAILS ARE REQUIRED AT ALL STAIRWAYS HAVING MORE THAN TWO RISERS 2. HANDRAILS SHALL BE PLACED NOT LESS THAN 34" INCHES AND NOT MORE THAN 38" INCHES HIGH.
- 3. GUARDRAILS (42" INCHES) ARE REQUIRED AT ALL LANDINGS, DECKS, OR FLOOR LEVELS MORE THAN 30" ABOVE FINISHED GRADE AND SHALL SUPPORT A MIN. 200 LBS.
- 4. BALUSTERS FOR HANDRAILS OR GUARDRAILS SHALL BE SPACED SO THAT A 4" INCH SPHERE CAN NOT PASS THROUGH.
- 5. RETURN ALL HANDRAILS INTO WALL NEWEL POST OR SAFETY TERMINAL. 3. HANDRAILS DEEPER THAN 2 5/8" INCHES SHALL HAVE FINGER GROOVES 3/4" INCH BY 1/4" DEEP ROUTED THE ENTIRE LENGTH OF AT LEAST ONE SIDE OF 5. SPIRAL STAIRCASE NOTE: (IF PLAN CALLS FOR ONE): THE MIN. CLEAR WIDTH SHALL BE 26" WITH EACH TREAD HAVING A 7.5" MIN. TREAD DEPTH

FIRE WARNING SYSTEM AND PROTECTION:

- 1. GARAGE WALLS NOT COMMON WITH HABITABLE SPACE SHALL BE SHEET ROCKED WITH 1/2" GYP BOARD APPLIED TO THE GARAGE SIDE. GARAGE WALLS COMMON WITH HABITABLE SPACE SHALL BE SHEET ROCKED WITH 5/8" TYPE 'X' GYP BOARD APPLIED TO THE GARAGE SIDE. (TYPICAL AT WALLS
- AND CEILING WHEN APPLICABLE). WRAP ALL BEAMS WITH 5/8" TYPE 'X' GYP BOARD. 2. ENTRANCE DOORS FROM GARAGE SHALL BE A 20 MINUTE APPROVED FIRE RATED DOOR.
- 3. SHEET ROCK BELOW ALL STAIRS WITH 5/8" TYPE 'X' GYP BOARD.
- 4. FIREPLACE CHIMNEYS MUST EXTEND MIN. 24" INCHES ABOVE ANY ROOF WITHIN A TEN FEET RADIUS
- 5. PROVIDE SMOKE DETECTORS IN ALL BEDROOMS, SLEEPING AREAS, ALONG WITH ONE PER HABITABLE FLOOR LEVEL, INCLUDING BASEMENTS AND CRAWL SPACES. 6. ALARM UNITS SHALL BE INTERCONNECTED THROUGHOUT RESIDENCE
- 7. ALL SMOKE DETECTORS SHALL BE HARD WIRED WITH A BATTERY BACK-UP.

MECHANICAL

- TERMINATE MECHANICAL DUCTS WITHIN 4 FEET OF AN OPERABLE EXTERIOR DOOR OR WINDOW OR AIR INLET. 2. MAX LENGTH OF DRYER VENT IS 25 FEET. REDUCE LENGTH BY 2.5 FEET FOR EACH 45 DEGREE BEND OR 5 FEET FOR EACH 90 DEGREE BEND.
- 3. DRYER EXHAUST SYSTEMS SHALL CONVEY MOISTURE TO THE OUTSIDE OF THE BUILDING. SCREENS SHALL NOT BE INSTALLED AT THE DUCT TERMINAL. DUCTS SHALL HAVE A BACK DRAFT DAMPER. 4. A MIN. 90% MIN. EFFICIENCY FURNACE SHALL BE INSTALLED.
- 5. COMBUSTION AIR SHALL BE PROVIDED TO FURNACE AREA IN ACCORDANCE WITH LOCAL NATURAL GAS SPECIFICATIONS.
- 6. METAL OR FOIL TAPE MUST BE USED ON DUCTING. CLOTH TAPE IS PROHIBITED. 7. TERMINATE EXHAUST OUTLETS A MIN. 3 FEET ABOVE AN OPERABLE DOOR, WINDOW OR AIR VENT WITHIN 10 FEET OF EXHAUST TERMINAL
- 8. INSTALL CEMENT, FIBER-CEMENT OR GLASS MATT GYPSUM BACKERS PER MANUFACTURERS RECOMMENDATIONS FOR ALL WALL TILE / PANELS IN TUB AND SHOWER AREAS.
- 9. GAS LINES SHALL NOT PASS THROUGH OR PENETRATE ANY DUCT OR PLENUM. 10. TAPE ALL DUCT JOINTS, CONNECTIONS AND SEAMS 11. GAS FIREPLACES MUST BE DIRECT VENT TERMINATING EXHAUST TO THE EXTERIOR. APPLIANCE SHALL BE EQUIPPED WITH AN EASY ACCESS GAS SHUT-OFF VALVE WITHIN 6 FEET OF APPLIANCE.
- 12. COMBUSTION AIR TO FURNACE MUST BE SUPPLIED BY TWO VERTICAL OPENINGS (ONE 12" ABOVE FLOOR AND ONE 12" BELOW CEILING) EACH WITH ONE SQUARE INCH PER 4,000 BTU/H OF THE TOTAL INPUT RATING OF ALL APPLIANCES WITHIN THE SPACE. COMBUSTION AIR TO BE BROUGHT IN FROM OUTSIDE. AS AN ALTERNATIVE, COMBUSTION AIR MAY BE SUPPLIED BY TWO HORIZONTAL OPENINGS EACH WITH ONE SQUARE INCH PER 2,000 BTU/H OF THE TOTAL INPUT RATING OF ALL APPLIANCES WITHIN THE SPACE.
- 13. INSULATE HEATING TRUNKS AND BRANCH SUPPLY DUCTS IN UNFINISHED AREAS, CRAWL SPACES, ATTICS, UNHEATED GARAGES ETC.

PLUMBING:

- 1. ANCHOR / STRAP WATER HEATERS TO RESIST HORIZONTAL MOVEMENT WITH THE UPPER STRAP IN THE TOP 1 /3 SECTION OF THE APPLIANCE AND THE
- BOTTOM STRAP A MIN. 4" ABOVE THE CONTROLS PER IRC P2801.7 2. ALL APPLIANCES WHICH REQUIRE PRESSURE RELIEF VALVES SHALL ALSO BE PROVIDED WITH A FULL SIZED DRAIN EXTENDING TO A FLOOR DRAIN. A
- FLOOR DRAIN SHALL BE PROVIDED AT ALL WATER HEATERS. 3. SHOWER PANS MUST HAVE AN APPROVED LINER ENDING 3" ABOVE THE FINISHED THRESHOLD, PROVIDE SOLID STUD BLOCKING BEHIND LINER EDGE.
- 4. TOILETS NOT TO EXCEED 1.6 GALLONS FLUSH, SHOWER HEADS NOT TO EXCEED 2.5 GALLONS PER MINUTE. 5. INSTALL APPROVED NON-FREEZE TYPE BACKFLOW PREVENTION HOSE BIBS PER MANUFACTURER'S RECOMMENDATIONS
- 6. TERMINATE PLUMBING VENTS A MIN. TWO FEET ABOVE OR 10 FEET AWAY FROM ALL OUTSIDE AIR INTAKE OR EGRESS OPENINGS 7. SHOWERS AND TUBS OF ANY KIND SHALL HAVE A TEMPERATURE SAFETY VALVE / MIXER SET AT A MAX. 120 DEG. FAHRENHEIT.
- 8. TUB AND SHOWER SURROUNDS MUST BE WATER RESISTANT MATERIALS WITH A MIN. HEIGHT OF 6'-0" A.F.F. PROVIDE CEMENT BACKING BEHIND ALL DISHWASHER WASTE SHALL DISCHARGE INDIRECTLY THROUGH THE DISHWASHER TERMINAL OF A GARBAGE DISPOSAL
- 10. WATER HAMMER ARRESTORS REQUIRED WITH QUICK-CLOSING VALVE(DISH CLOTHES WASHERS) PER IRC P2903.5 11. TRAP PRIMERS REQUIRED AT ALL FLOOR DRAINS. 12. PLUMBING FIXTURES LOCATED BELOW THE ELEVATION OF THE SERVICING SEWER MAN HOLE COVER SHALL BE EQUIPPED WITH A BACKWATER VALVE OR APPROVED BACKFLOW PREVENTION SYSTEM. THIS REQUIRES BASEMENT PLUMBING TO BE PLUMBED INDEPENDENTLY.
- 13. INSTALL INSTANT OR ELECTRIC HOT WATER HEATERS NOT CONTAINING A TRADITIONAL TANK PER MANUFACTURER'S INSTRUCTIONS, MUST COMPLY TO THE RCO CODE REQ. 14. SHOWER COMPARTMENTS SHALL HAVE AT LEAST 900 SQUARE INCHES OF FLOOR AREA AND SHALL BE OF SUFFICIENT SIZE TO INSCRIBE A CIRCLE WITH A DIAMETER NOT LESS THAN 30 INCHES. HINGED SHOWER DOORS SHALL OPEN OUTWARD. THE WALL AREA ABOVE BUILT-IN TUBS HAVING
- INSTALLED SHOWER HEADS AND IN-SHOWER COMPARTMENTS SHALL BE CONSTRUCTED AS PER RCO SECTION 702.4. SUCH WALLS SHALL FORM A WATER TIGHT JOINT WITH EACH OTHER AND WITH EITHER THE TUB, RECEPTOR, OR SHOWER FLOOR. 15. BATHROOMS, WATER CLOSET COMPARTMENTS, AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH A WINDOW OF NOT LESS THAN 3 SQUARE FEET, ONE HALF OF WHICH MUST BE OPERABLE. IF NO WINDOWS ARE DESIRED BY HOME OWNER, A MECHANICAL VENTILATION SYSTEM SHALL BE
- 16. WATER CLOSETS TO BE A MINIMUM OF 30" WIDE WITH 24" X 30" OF UNOBSTRUCTED SPACE IN FRONT OF THE TOILET. 17. ALL ENCLOSED WATER CLOSETS TO BE EQUIPPED WITH A 60 CFM EXHAUST FAN WITH TERMINATION TO THE EXTERIOR 18. PROVIDE EXPANSION TANK FOR CULINARY WATER SYSTEM. LOCATE IN MECHANICAL ROOM PER IRC P2903.4

REQUIRED. THE MINIMUM VENTILATION RATES SHALL BE 50 CFM FOR CONTINUOUS VENTILATION.

- 19. PROVIDE ACCESS TO MOTORS AND PUMPS ON ALL JETTED TUBS. 20. PLUMBING AND CONDUIT PENETRATIONS WITHIN A GARAGE SEPARATION WALL SHALL BE COPPER OF FERROUS 21. COOKING APPLIANCES SHALL BE LABELED AND APPROVED FOR HOUSEHOLD TYPE FOR DOMESTIC USE AND INSTALLED PER MANUFACTURERS
- 22. PLUMBER TO COMPLY WITH MANUFACTURER' HOLE CUTTING GUIDELINES AND RECOMMENDATIONS FOR ALL I-JOISTS AND BEAM PENETRATIONS. DO NOT HAMMER I-JOISTS FOR PLUMBING HOLES.

ELECTRICAL:

- 1. A MINIMUM OF 50% OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICIENCY LAMPS (COMPACT FLUORESCENT, T-8 OR SMALLER LINEAR FLUORESCENT. OR LAMPS WITH A MINIMUM EFFICACY OF: 60 LUMENS/WATT, FOR LAMPS OVER 15 WATTS TO 40 WATTS AND 40
- LUMENS/WATT FOR LAMPS 15 WATTS OR LESS) FOR ENERGY CONSERVATION. SECTION N1104.1 & SECTION 404.1 IECC 2. SMALL APPLIANCE BRANCH CIRCUITS RATED AT 20 AMPS MUST BE PROVIDED TO SERVE ALL GENERAL WALL RECEPTACLES, COUNTERTOPS IN
- KITCHENS, DINING ROOM AND LAUNDRY AREA. 3. A MAXIMUM OF 4 RECEPTACLES MAY BE SERVED BY EACH CIRCUIT. 4. A DEDICATED CIRCUIT IS REQUIRED FOR THE LAUNDRY AREA AND BATHROOMS (ARTICLES 210.52(D) AND 210.11 (C), NEC AS AMENDED.) 5. BRANCH CIRCUITS SUPPLYING ALL ELECTRICAL OUTLETS (EXCEPT BATHROOMS, KITCHENS AND GARAGES MUST BE PROTECTED BY A LISTED ARC-
- FAULT CIRCUIT INTERRUPTER, COMBINATION-TYPE, TO PROVIDE PROTECTION TO THE BRANCH CIRCUIT. (ARTICLES 210.12 (A) AN 210.12 (B) NEC) 6. RECESSED FIXTURES INSTALLED IN AN INSULATED CAVITY OF THE THERMAL ENVELOPE MUST BE "IC-RATED" AND SEALED WITH A GASKET OR CAULK TO LIMIT AIR LEAKAGE (SECTION 402.4.5, IECC) 7. INSTALL CONCRETE ENCASED ELECTRODE (UFER GROUND) AS PART OF THE GROUNDING ELECTRODE SYSTEM. THIS GROUND CONSISTS OF A
- MINIMUM 20' LENGTH OF ELECTRICALLY CONDUCTIVE NO. 4 REINFORCING BAR ENCASED BY AT LEAST 2" OF CONCRETE AND LOCATED NEAR THE BOTTOM OF A CONCRETE FOUNDATION OR FOOTING THAT IS IN DIRECT CONTACT WITH THE EARTH. (ARTICLE 250-52(A)(3)NEC.)
- 8. LIGHTING INSTALLED IN WET LOCATIONS SHALL BE MARKED "SUITABLE FOR WET LOCATIONS". LIGHTING INSTALLED IN DAMP LOCATIONS SHALL BE MARKED "SUITABLE FOR DAMP LOCATIONS".
- 9. REFER TO IRC SECTION E3902 FOR ALL AREAS REQUIRING AN ARC-FAULT OR GROUND-FAULT INTERRUPTER PROTECTION SUCH AS BATHROOMS, GARAGES, KITCHENS, LAUNDRY ROOMS, EXTERIOR OUTLETS UNFINISHED SPACES, ETC. 10. PROVIDE AT LEAST ONE OUTLET WITHIN 25FT OF HVAC EQUIPMENT 11. ALL GENERAL PURPOSE OUTLETS SHALL BE TAMPER RESISTANT.
- 12. A MIN. ONE SWITCHED LIGHT IS REQUIRED AT ALL ATTIC AND CRAWL SPACE ACCESSES, UTILITY ROOMS, BASEMENTS OR STORAGE AREAS. 13. CARBON MONOXIDE ALARMS SHALL BE INSTALLED ON EACH HABITABLE LEVEL OF A DWELLING UNIT EQUIPPED WITH FUEL BURNING APPLIANCES. CARBON MONOXIDE ALARMS SHALL HAVE 110 VOLT PERMANENT POWER WITH BATTERY BACKUP AND SHALL BE INTERCONNECTED WITH THE SMOKE

18. PLACE ONE GFCI OUTLET PER GARAGE DOOR BAY INSIDE GARAGE

- 14. PLASTIC ELECTRICAL BOXES IN GARAGE FIRE WALLS TO BE TWO HOUR LISTING. 15. SPACE OUTLETS SO THAT NO POINT MEASURED HORIZONTALLY ALONG FLOOR LINE IN ANY WALL SPACE IS GREATER THAN 6 FEET FROM A
- RECEPTACLE OUTLET IRC E3901.2.1 16. LIGHTING REQUIRED AT ALL INTERIOR AND EXTERIOR STAIRWAYS, SWITCHED AT EACH FLOOR LEVEL WITH ANY STAIR RUN IS 6 STEPS OR MORE IRC 17. CLOSET LIGHTING SHALL BE MINIMUM 18" FROM SHELVING OR OTHER COMBUSTIBLES MEASURED HORIZONTALLY.
- 19. HALLWAYS LONGER THAN 10' SHALL HAVE A MIN. ONE OUTLET PROVIDED IRC SECTION E3901.10 20. THE ELECTRICAL PANEL SHALL HAVE A 30"WIDE X 36" DEEP UNOBSTRUCTED WORKING SPACE FOR EASY ACCESS WITH A MIN. 6'-6" HEAD ROOM. IRC 21. ELECTRICIAN SHALL FOLLOW MANUFACTURERS GUIDE FOR DRILLING OR NOTCHING HOLES IN I-JOISTS AND BEAMS. DO NOT "HAMMER" HOLES INTO I-JOIST FOR PENETRATIONS.

INSULATION AND PRESCRIPTIVE ENERGY CODE REOUIREMENTS:

- 1. PROJECT DESIGNED WITH 2 X 4 EXTERIOR WALLS ARE NON-PRESCRIPTIVE AND REQUIRE A RES-CHECK REPORT TO BE FURNISHED TO THE
- 2. PROJECT DESIGNED WITH 2 X 6 EXTERIOR WALLS SHALL COMPLY WITH THE PRESCRIPTIVE ENERGY CODE REQUIREMENTS AS FOLLOWS: (A.) CEILINGS TO BE INSULATED WITH R-49 INSULATION OR BETTER. (8.) EXTERIOR WALLS INSULATED WITH R-20 INSULATION (INCLUDING GARAGE SEPARATION WALLS.
- (C.) BASEMENT WALLS INSULATED WITH R-10 (CONTINUOUS) OR R13 (CAVITY) INSULATION.
- (D.) U-FACTORS SHALL EQUAL 0.30 FOR FENESTRATION (0.60 FOR SKYLIGHTS) (E.) ALL WINDOWS MUST BE NFRC 100 COMPLIANT
- (F.) A PERMANENT CERTIFICATE IS TO BE POSTED ON OR IN THE ELECTRICAL PANEL THAT LISTS THE PREDOMINANT "R" VALUES INSTALLED IN THE ROOF / CEILINGS, WALLS, FOUNDATIONS AND FLOORS AS WELL AS THE U-FACTORS FOR WINDOWS, DOORS AND SKYLIGHTS (CHAPTERS 4,5,6 OF THE IECC)

<u>VARIOUS NOTES:</u>

- 1. WHERE ROOF AND OR CEILING FRAMING EXCEEDS 16" ON CENTER SPACING, 5/8" TYPE X DRYWALL IS REQUIRED.
- 2. DRYWALL ORIENTATION IS TO BE PERPENDICULAR TO THE FRAMING MEMBERS (TABLE R702.3.5 OF THE 2018 IRC) 3. ATTIC ACCESS (LOCATION PER PLAN) SHALL BE A MIN. WIDTH OF 22 INCHES AND A MINIMUM LENGTH OF 30 • WITH A SWITCHED LIGHT TO THE
- ATTIC SPACE 4. CRAWL SPACE ACCESS TO BE A MINIMUM WIDTH OF 18" AND A MINIMUM LENGTH OF 24"
- AT 12" FROM THE NARROWER EDGE. ALL TREADS SHALL BE IDENTICAL AND THE RISE SHALL BE NO MORE THAN 9 1/2". A MINIMUM HEADROOM OF 6'-6" IS REQUIRED. A CONTINUOUS GRASPABLE HANDRAIL IS REQ. ON THE OUTSIDE AT 34" TO 38" ABOVE THE NOSING AN PROVIDED WITH BALUSTERS SPACED SO THAT A 4" SPHERE CAN NOT PASS THROUGH. HANDRAILS ARE REQUIRED FOR STAIR RUNS HAVING 4 OR MORE

CONSTRUCTION DOCUMENTS

OWNER'S CONSTRUCTION MANAGER.

- A. THE CONSTRUCTION CONTRACT INCLUDES THE EXECUTED, SIGNED AGREEMENT BETWEEN THE OWNER AND THE CONTRACTOR, AND THE CONSTRUCTION DOCUMENTS, WHICH INCLUDES THE DRAWINGS AND THE SPECIFICATIONS.
- B. BY EXECUTION OF THE CONSTRUCTION CONTRACT, THE CONTRACTOR REPRESENTS THAT THEY HAVE (1) READ AND UNDERSTANDS THE REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS, (2) VISITED THE PROJECT-SITE, (3) BECOME FAMILIAR WITH THE LOCAL CONDITIONS UNDER WHICH THE WORK WILL BE PERFORMED, (4) CORRELATED PERSONAL OBSERVATIONS WITH REQUIREMENTS OF THE CONTRACT DOCUMENTS, AND (5) THAT THEY WILL COMPLY WITH ALL REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS.
- C. THE INTENT OF THE CONSTRUCTION DOCUMENTS IS TO INCLUDE ALL ITEMS NECESSARY FOR THE PROPER EXECUTION AND COMPLETION OF THE CONSTRUCTION WORK - AND TO PROVIDE (FURNISH AND INSTALL) ALL PRODUCTS, MATERIALS, EQUIPMENT OR ACCESSORIES REQUIRED FOR PROPER OPERATION, IN ACCORDANCE WITH THEIR MANUFACTURER'S REQUIREMENTS.
- D. CAREFULLY STUDY AND COMPARE THE VARIOUS DRAWINGS (INCLUDING BUT NOT LIMITED TO ARCHITECTURAL, STRUCTURAL, MECHANICAL OR ELECTRICAL) AND OTHER CONTRACT DOCUMENTS WITH THE EXISTING CONDITIONS AT THE PROJECT-SITE BEFORE STARTING CONSTRUCTION. ANY DISCREPANCY WITH THE EXISTING SITE CONDITIONS AND/OR THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION AND INSTRUCTION. THESE CONSTRUCTION DOCUMENTS HAVE BEEN DESIGNED AND DRAWN ASSUMING EXISTING BUILDING CONDITIONS MATCH THE ORIGINAL DRAWINGS. THE CONTRACTOR, IMMEDIATELY UPON ARRIVAL AT THE SITE, SHALL VERIFY ALL EXISTING STRUCTURAL COLUMN DIMENSIONS, STRUCTURAL BEARING HEIGHTS AND EXISTING DIMENSIONS. IF DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND EXISTING FIELD CONDITIONS, CONTACT THE CONSTRUCTION MANAGER AND THE ARCHITECT IMMEDIATELY TO DETERMINE WHAT ACTION SHOULD BE TAKEN TO MATCH EXISTING CONDITIONS. THE BEGINNING OF CONSTRUCTION BY THE GENERAL CONTRACTOR MEANS ACCEPTANCE OF THE EXISTING CONDITIONS.
- E. IN THE EVENT OF CONFLICT OR AMBIGUITY WITHIN THE CONSTRUCTION DOCUMENTS, THE CONTRACTOR WILL BE DEEMED TO HAVE AGREED TO PROVIDE THE GREATER QUANTITY AND / OR BETTER QUALITY OF MATERIALS AND / OR WORK. OMISSIONS IN THE DESCRIPTION OF THE WORK DO NOT RELIEVE THE CONTRACTOR FROM PROVIDING A COMPLETE PROJECT.
- THE CONTRACTOR SHALL FULLY ACQUAINT THEMSELVES WITH THE CONDITIONS AND REQUIREMENTS OF THE DRAWINGS AND ACCOMPANYING SPECIFICATIONS, INCLUDING OTHER PARTS OF THE PROPOSED CONTRACT DOCUMENTS, AND FULLY UNDERSTAND THE CONDITIONS, DIFFICULTIES AND RESTRICTIONS COMPLETELY, BEFORE EXECUTING THE WORK. IT IS UNDERSTOOD THAT OMISSIONS FROM THE BID, DUE TO FAILURE OF THE CONTRACTOR TO FULLY ACQUAINT THEMSELVES WITH THE CONSTRUCTION DOCUMENTS, WILL NOT ENTITLE THEM TO ADDITIONAL CONSIDERATION AND/OR COMPENSATION. G.C. SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT SITE PRIOR TO COMMENCING THE WORK.
- G. ALL WORK PERFORMED SHALL COMPLY WITH THE CONTRACT DOCUMENTS, DRAWINGS AND SPECIFICATIONS, INCLUDING THESE GENERAL NOTES. THE G.C. SHALL COORDINATE THE INTENT OF THE GENERAL NOTES WITH ALL THE TRADES.
- EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT THEMSELVES WITH THIS KNOWLEDGE DOES NOT RELIEVE THEM OF ANY RESPONSIBILITY FOR

H. GC TO FOLLOW CONSTRUCTION DOCUMENTS AS DETAILED AND DIMENSIONED. DO NOT SCALE DRAWINGS.

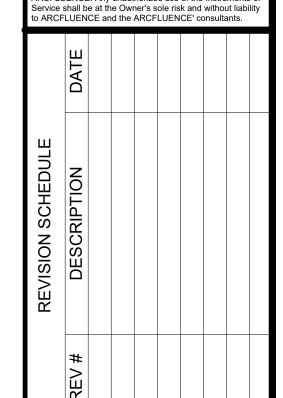
- PERFORMING HIS/HER WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE. J. NO DEVIATION FROM CONTRACT DRAWINGS AND SPECIFICATIONS SHALL BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT OR
- K. ALL SYMBOLS AND ABBREVIATIONS USED ON THE DRAWINGS ARE CONSIDERED TO BE CONSTRUCTION STANDARDS. IF THE CONTRACTOR HAS QUESTIONS REGARDING SAME, OR THEIR EXACT MEANING, THE ARCHITECT SHALL BE NOTIFIED FOR CLARIFICATION.
- L. WHERE A TYPICAL CONDITION IS DETAILED, IT SHALL BE UNDERSTOOD THAT ALL LIKE OR SIMILAR CONDITIONS ARE THE SAME UNLESS SPECIFICALLY NOTED OR DETAILED OTHERWISE. M. MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT NECESSARY FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE
- INCLUDED AS IF THEY ARE INDICATED IN THE DRAWINGS. N. NOTES APPEAR ON VARIOUS SHEET FOR VARIOUS SYSTEMS AND MATERIALS. SHEETS ARE TO BE REVIEWED AND NOTES ON ANY ONE SHEET ARE TO BE APPLIED TO RELATED SYSTEMS AND MATERIALS DEPICTED ON OTHER DRAWINGS.
- O. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER AND ARCHITECT OF THE DISCOVERY OF EXISTING UTILITIES NOT SHOWN OR NOTED ON DRAWINGS. THE CONTRACTOR SHALL PROTECT THEM FROM DAMAGE
- P. THE CONTRACTOR SHALL VERIFY EXACT LOCATIONS AND DEPTHS OF UNDERGROUND UTILITY SERVICES PRIOR TO ANY EXCAVATION WHEN APPLICABLE.
- Q. REPAIR, RE-ROUTE, AND EXTEND ALL SERVICES/UTILITIES, PIPING, AND CONDUIT OF EXISTING ITEMS AND EQUIPMENT AS REQUIRED DURING THE CONSTRUCTION PROCESS FOR THE COMPLETE INSTALLATION AND OPERATIONS OF NEW EQUIPMENT. THIS INCLUDES ALL ITEMS SHOWN OR NOT SHOWN ON THE DRAWINGS. RESET EXISTING EQUIPMENT OR RELATED ITEMS AS REQUIRED FOR PROPER OPERATION.

R. THE CONTRACTOR SHALL PROVIDE ALL ENGINEERED SHORING, BARRICADING AND BRACING NECESSARY TO ENSURE THE STRUCTURAL

- STABILITY OF THE BUILDING AND THE HEALTH OF THE PUBLIC AND ALL WHO ENTER THE BUILDING DURING COMPLETION OF THE SCOPE OF WORK DEFINED BY THIS ARCHITECTURAL DOCUMENTATION SET. S. IT IS IMPERATIVE THAT THE ROOF FRAMING AND ROOFING SYSTEM BE KEPT INTACT TO ELIMINATE POTENTIAL WATER DAMAGE OR MOISTURE INFILTRATION. THE CONTRACTOR SHALL KEEP THE BUILDING WATERTIGHT AT ALL TIMES AND MAKE REPAIRS IMMEDIATELY SHOULD ANY
- T. ALL WORK SHALL BE DONE IN A SAFE AND WORKMANLIKE MANNER AND IN STRICT ACCORDANCE WITH THE LOCAL AND/OR STATE (IF APPLICABLE) BUILDING CODES, NATIONAL ELECTRIC CODE, ADA-ADAAGS AND OTHER ADOPTED ACCESSIBILITY STANDARDS, OSHA, AND ALL APPLICABLE CODES, REGULATIONS, ORDINANCES AND AUTHORITIES HAVING JURISDICTION. MODIFICATIONS REQUIRED BY THE ABOVE AND
- AUTHORITY SHALL BE MADE WITHOUT ADDITIONAL CHARGE TO THE OWNER.
- U. ALL EMERGENCY BUILDING EXITS REQUIRED BY CODE, SHALL BE OPERABLE AND UNOBSTRUCTED DURING CONSTRUCTION PERIOD. V. DURING ENTIRE CONSTRUCTION PERIOD, PROVIDE ONE U.L. LISTED 2A:20BC DRY CHEMICAL FIRE EXTINGUISHER, OR ONE STANDARD U.L. LISTED 2-1/2 GALLON WATER (E-10) AND ONE U.L. LISTED 10BC CARBON DIOXIDE FIRE EXTINGUISHER MOUNTED TOGETHER IN EACH 3000 SQ.
- FT. OF WORK AREA OR FRACTION THEREOF (MINIMUM OF TWO AVAILABLE IN ALL CONSTRUCTION AREAS AT ALL TIMES). W. BOTH PLACEMENT AND QUANTITY OF FIRE EXTINGUISHERS TO BE DETERMINED BY THE FIRE MARSHALL AND COMPLY WITH ALL N.F.P.A. REQUIREMENTS. G.C. TO COORDINATE INSTALLATION.
- X. THE CONTRACTOR SHALL REVIEW THE LOCATIONS OF ALL FIRE LIFE SAFETY DEVICES WITH THE FIRE INSPECTOR AND THE OWNER REPRESENTATIVE FOR ON-SITE APPROVAL PRIOR TO INSTALLATION.
- Y. IF MODIFICATION TO SPRINKLER SYSTEM IS REQUIRED THE GENERAL CONTRACTOR SHALL HIRE A LICENSED SPRINKLER CONTRACTOR. CONTRACTOR TO SUBMIT SIGNED AND SEALED SPRINKLER DRAWINGS FOR APPROVAL PRIOR TO ANY ALTERATION OF THE AUTOMATIC SPRINKLER SYSTEM. WORK TO BE DONE UNDER SEPARATE PERMIT. SPRINKLER CONTRACTOR TO BE RESPONSIBLE FOR ALL PERMITS, PLAN SUBMITTALS, AND FEES ASSOCIATED WITH THIS PROJECT AS REQUIRED BY LOCAL FIRE CODES. NEW BUILDING TO BE INSTALLED THROUGHOUT WITH AN IBC APPROVED AUTOMATIC FIRE SPRINKLER SYSTEM, FURNISHED & INSTALLED BY A LICENSED SPRINKLER
- Z. PENETRATIONS IN WALLS, FLOORS OR ROOF REQUIRING PROTECTED OPENINGS SHALL BE FIRE-STOPPED IN ACCORDANCE WITH LOCAL CODES AND AS NOTED WITHIN THE CONSTRUCTION DOCUMENTS.
- AA. ALL ITEMS TO BE SUPPLIED AND INSTALLED (TO A FULLY FINISHED LEVEL) BY G.C. G.C. TO PROVIDE POWER AS REQUIRED.
- AB. BEFORE BEGINNING WORK AT THE SITE, THE CONTRACTOR MUST INSPECT THE EXISTING BUILDING AND DETERMINE THE EXTENT OF EXISTING FINISHES, SPECIALTIES, CASEWORK, BUILT-IN FURNITURE, EQUIPMENT, AND OTHER ITEMS WHICH MUST BE REMOVED AND/OR REINSTALLED IN ORDER TO PERFORM THE WORK UNDER THIS CONTRACT.
- THE CONTRACTOR SHALL VERIFY THE EXISTING FINISH FLOOR ELEVATION AT ALL OPENINGS OF THE EXISTING BUILDING PRIOR TO ESTABLISHING THE FINISH FLOOR ELEVATION. REPORT ANY DISCREPANCIES FOUND IN THE FIELD IMMEDIATELY TO THE CONSTRUCTION MANAGER AND THE ARCHITECT PRIOR TO MAKING ANY STRUCTURAL MODIFICATIONS OR ORDERING OF ANY MATERIALS.

NAME: PAUL JOSEPH FATKINS EXPIRATION: 12/31/2025 /FATKINS 2218774

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RESIDENCE 2415 Havenwood Dr S-Columbus, OH 43209

GENERAL NOTES

SITE LEGEND

— – PROPERTY LINE

PUBLIC RIGHT OF WAY

NEW ADDITION

EXISTING RESIDENCE

DEMOLITION EXISTING STRUCTURE

SITE DATA

ADDRESS 2415 S HAVENWOOD DR

CHERESNICK COREY E OWNER:

020-003037-00 **PARCEL NUMBER**

ZONING CLASSIFICATION R6- RESIDENTIAL

SCOPE WORK

NEW ADDITION AND RENOVATION OF EXISTING BUILDING INTERIOR SPACE AND ADJUSTED CONFIGURATION OF FLOOR PLAN LAYOUT. ADDITION OF 2 CAR GARAGE

DEVELOPMENT INFORMATION

ZONING DESIGNATION TOTAL LAND AREA = 5,641 SF

PROSED LOT COVER

EXISTING HOUSE + PORCH = 757 SF + 142 SF = 528 SF PROPOSED GARAGE

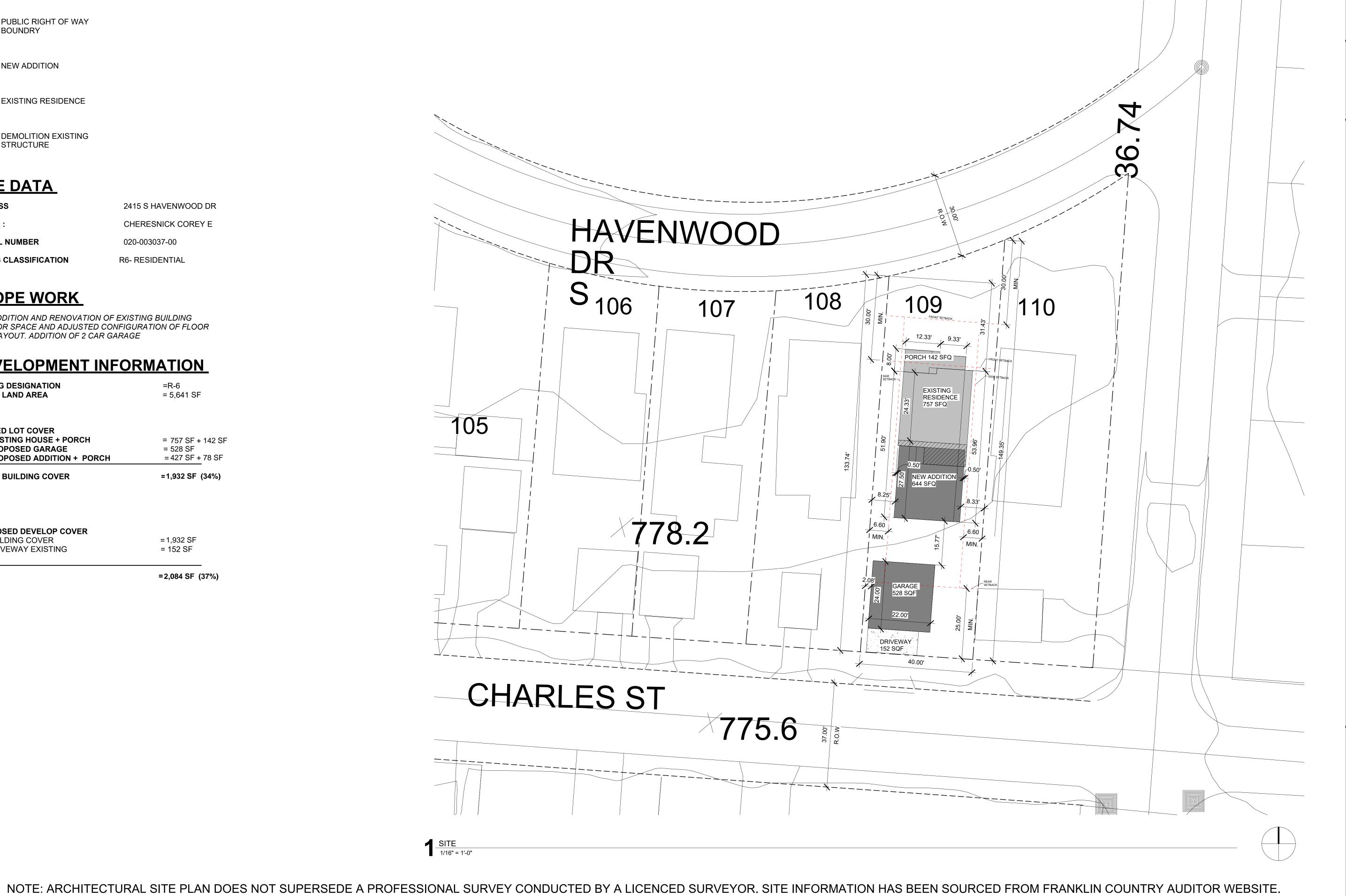
PROPOSED ADDITION + PORCH = 427 SF + 78 SF

TOTAL BUILDING COVER =1,932 SF (34%)

PROPOSED DEVELOP COVER

=1,932 SF **BUILDING COVER** = 152 SF DRIVEWAY EXISTING

TOTAL =2,084 SF (37%)



NAME: PAUL JOSEPH FATKINS LICENSE #: ARC.2218774

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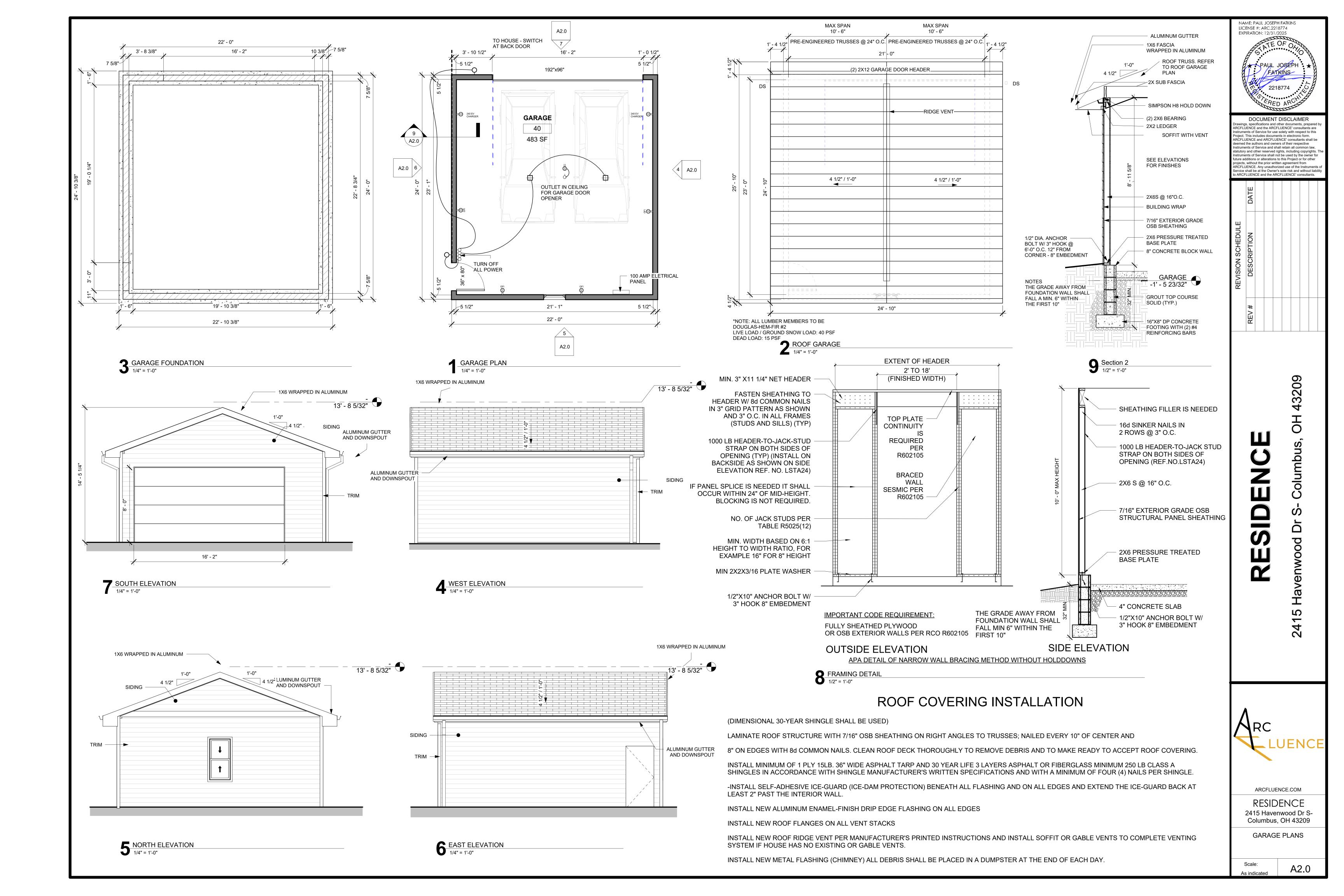
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SITE PLAN

A1.0



DEMOLITION KEYNOTES

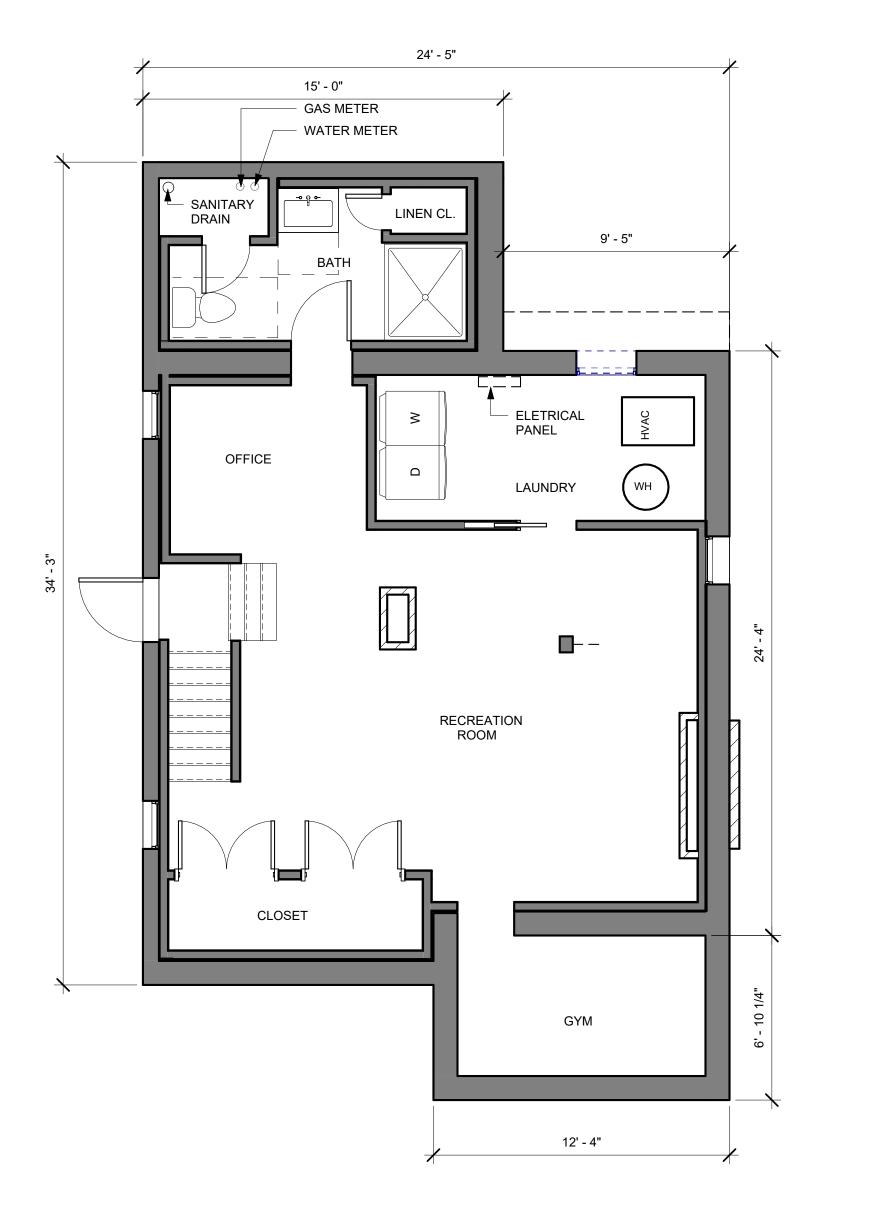
- 1 DEMO PORTION OF EXISTING WALL. SEE PROPOSED FOR EXTENTS OF DEMO WORK.
- 2 REMOVE EXISTING WINDOW.
- 3 DEMO PORTION OF EXISTING WALL TO ALLOW INSTALLATION OF NEW OPENING. SEE PROPOSED FOR MORE INFO
- 4 REMOVE EXISTING DOOR HARDWARE & FRAME.
- 5 DEMO ROOF STRUCTURE.
- 6 DEMO EXISTING CABINET

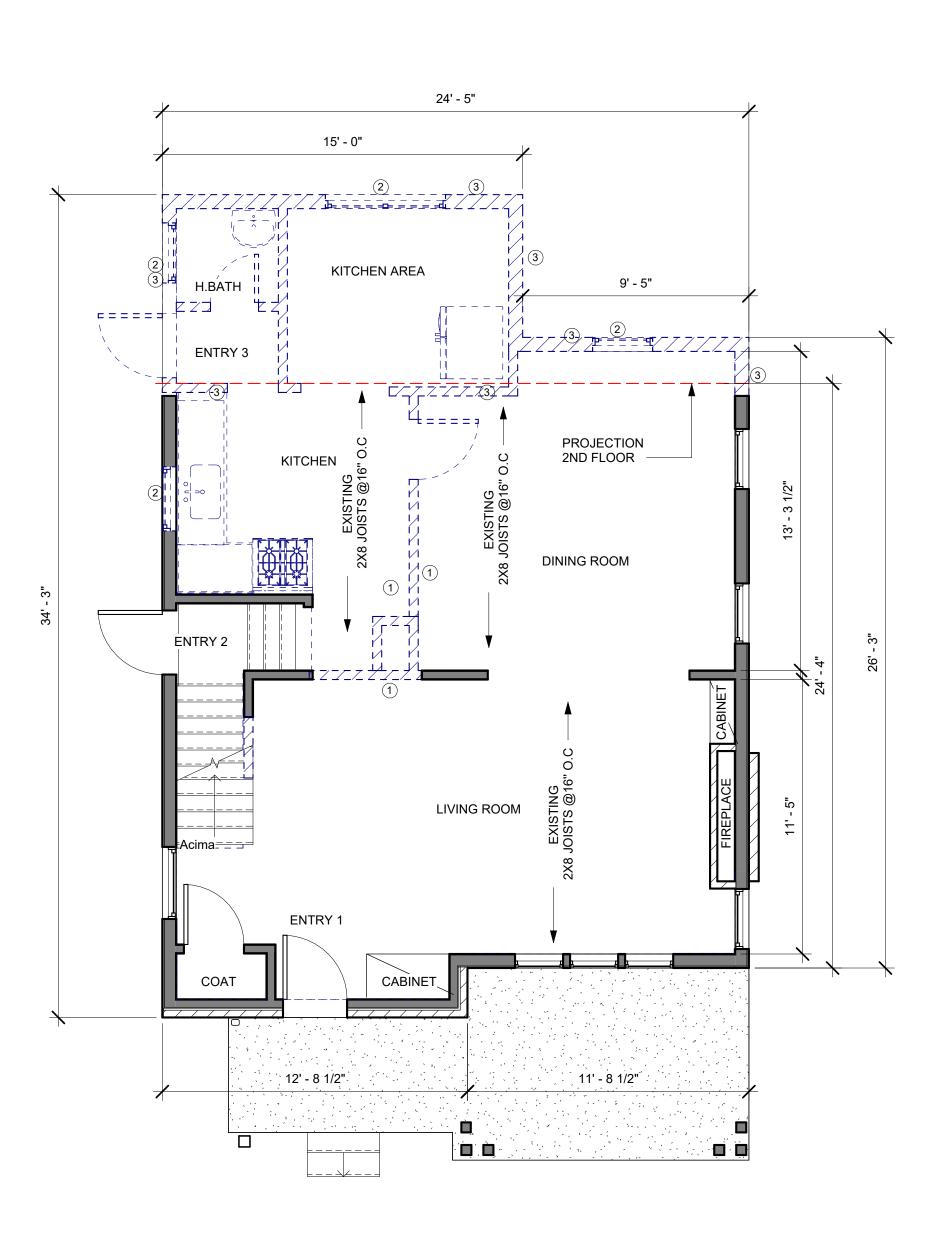
GENERAL NOTES:

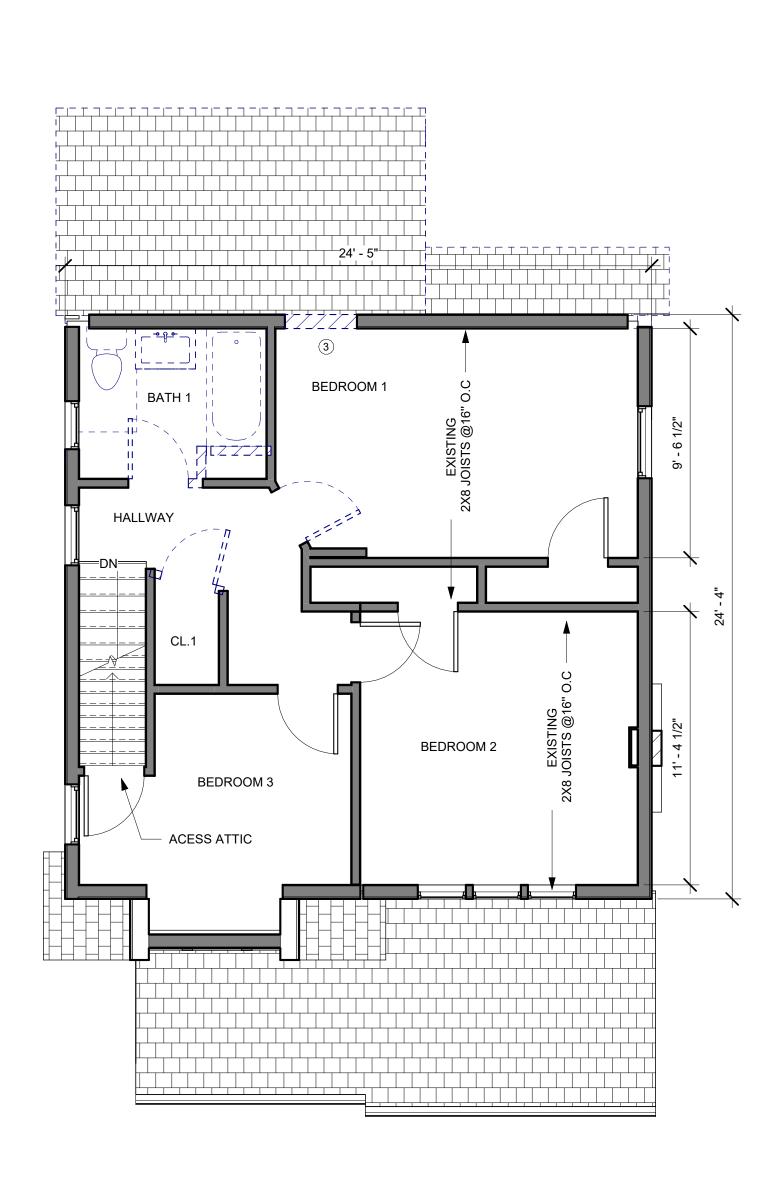
- 1: WALLS ARE GYPSUM BOARD OR PLASTER ON WOOD STUDS UNLESS NOTED OTHERWISE OTHERWIZE. WALL TO BE REMOVED ENTIRE HEIGHT FROM FINISH FLOOR TO UNDERSIDE OF DECK.
- 2: FILL AND LEVEL ALL HOLES IN FLOORS AND WALLS AFTER REMOVAL OF PIPES, DUCTS, CONDUITS AND OTHER PENETRATING ITEMS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED.
- 4: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS.
- ALL EXISTING FLOORS NOT DEMOLISHED TO BE PREPARED FOR INSTALLATION OF NEW FINISH.
- 6: ALL WALLS TO RECEIVE NEW GYPSUM BOARD, EXTERIOR WALLS TO ALSO RECEIVE NEW
- 7: PROVIDE TEMPORARY BRACING FOR ALL EXISTING STRUCTURAL ELEMENTS TO BE REMOVED UNTIL NEW MEMBERS ARE PROPERLY INSTALLED.

INSULATION, REFER TO WALL SECTIONS.

8: DEMO ALL ITEMS DASHED.







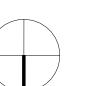
LEVEL 0 DEMOLITION

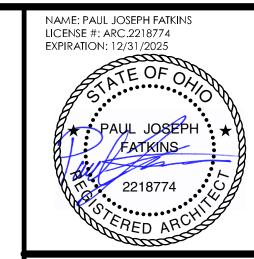
1/4" = 1'-0"





3 LEVEL 2 DEMOLITION
1/4" = 1'-0"





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	DATE				
REVISION SCHEDULE	DESCRIPTION				
	REV#				

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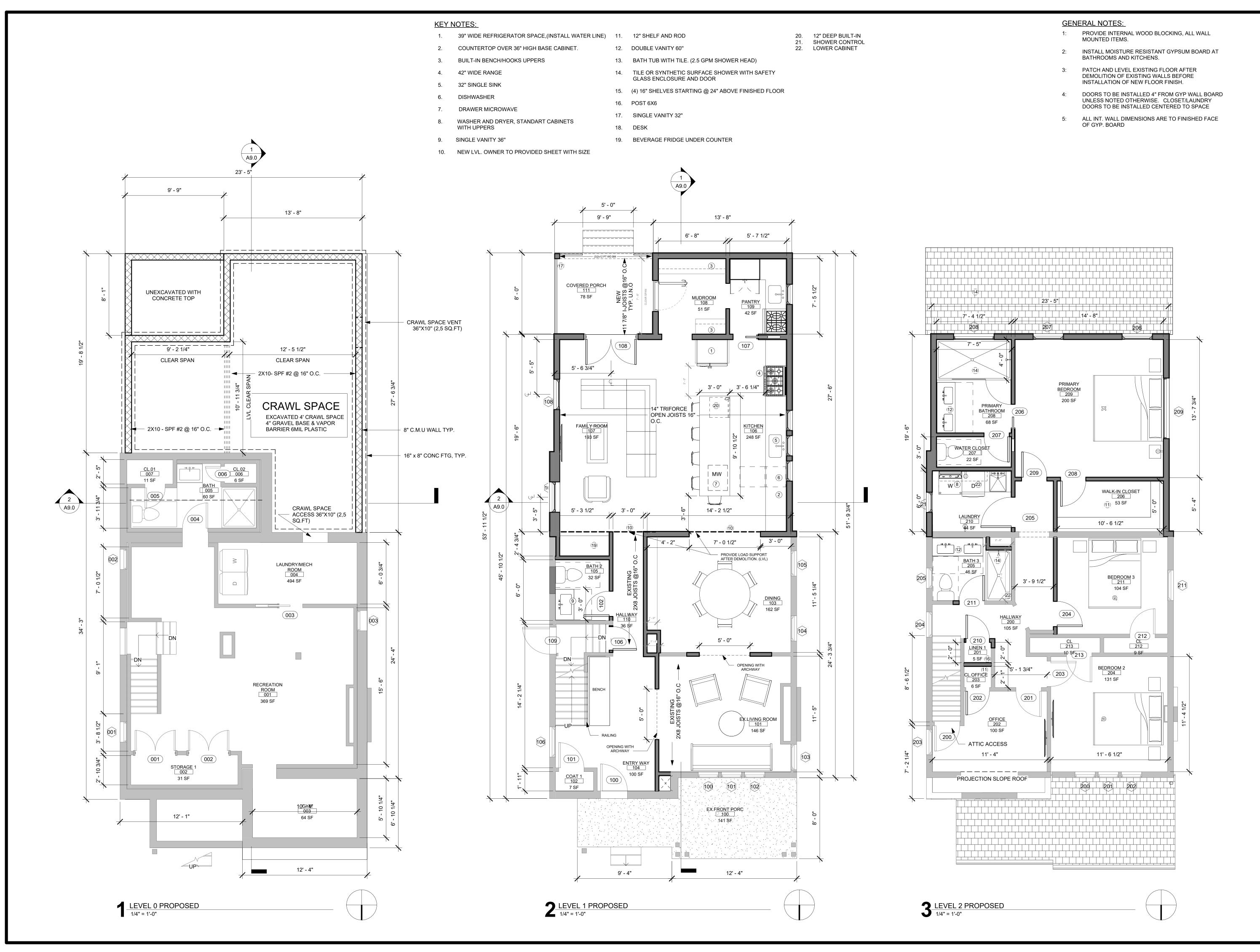


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DEMOLITION PLANS

A3.0



PAUL JOSEPH
FATKINS

2218774

DOCUMENT DISCLAIMED

NAME: PAUL JOSEPH FATKINS

LICENSE #: ARC.2218774

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EV# DESCRIPTION DATE

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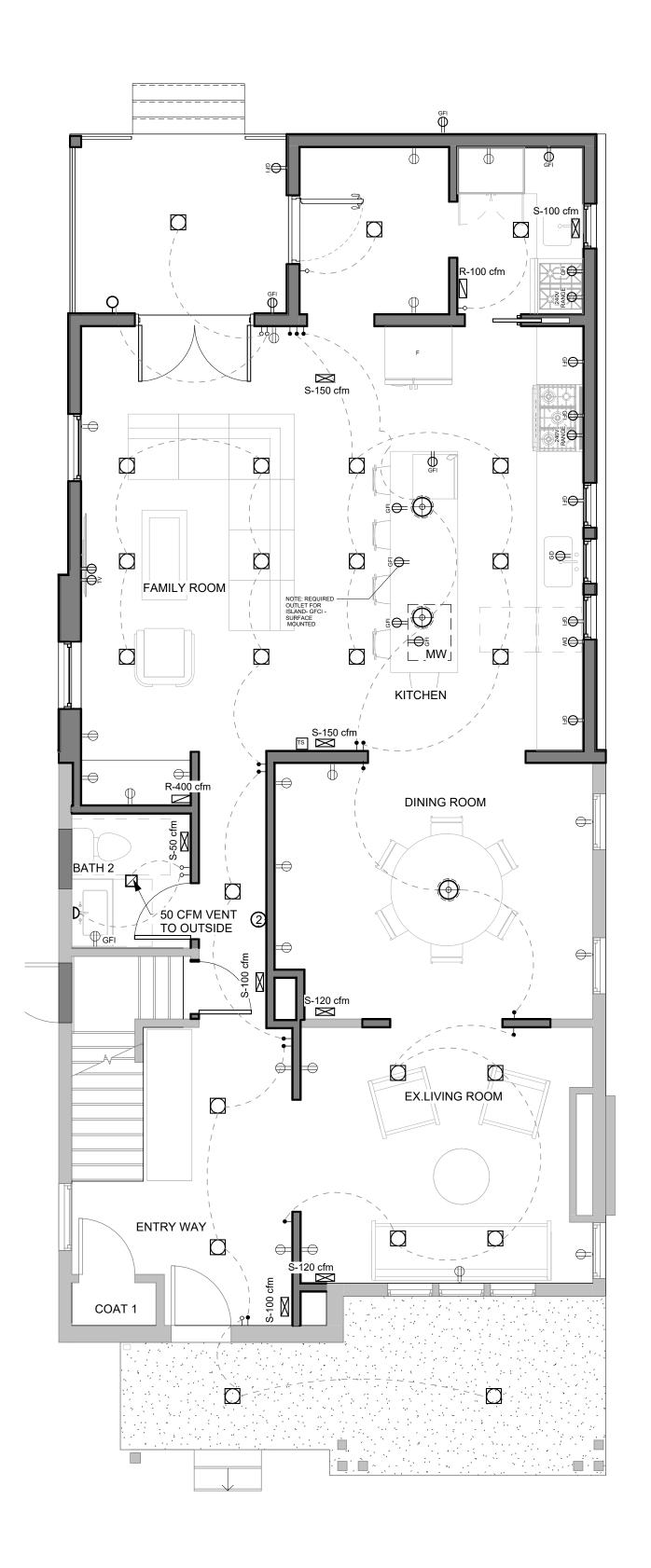
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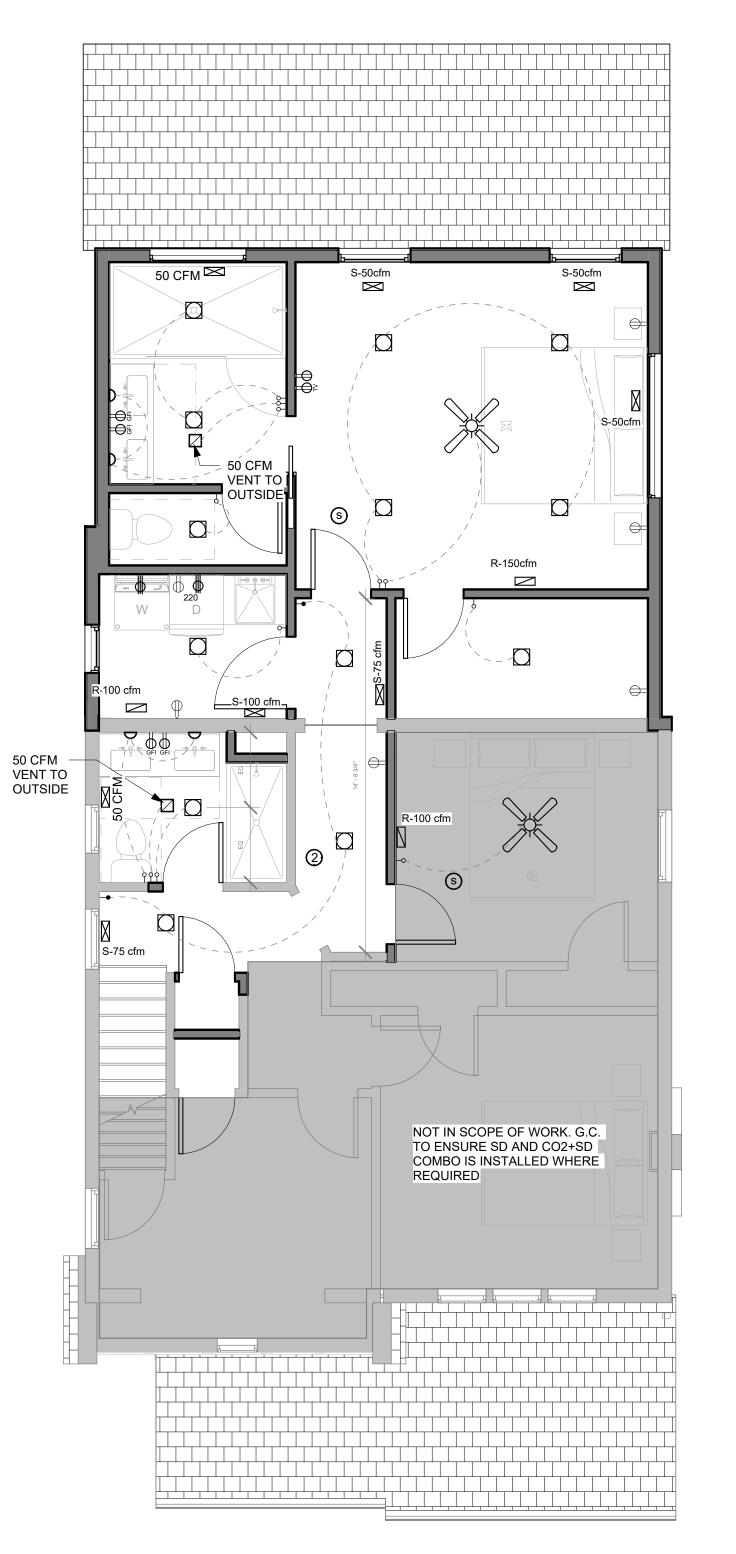
PROPOSED PLANS

Scale: 1/4" = 1'-0" A4.0

	ELECTRICA	L PANEI	_ SCH	HEDULE					
	200 AMP 1PHASE								
CIR	LOAD		CIR	LOAD					
11	REFRIGIRATOR	20AMP	2	MICROWAVE	20AMP				
3	DISHWASHER	20AMP	4	A/C	20AMP				
5	DRYER	30AMP	6	STOVE	40AMP				
7	WATER HEATER	30AMP	8	WASHER	20AMP				
9	SMOKE DETECTOR	15AMP	10	GFCI BATHROOM OUTLETS	20AMP				
11	LIVING RM & KITCHEN LIGHTS	15AMP	12	LIVING RM AND DINING RM	15AMP				
13	2ND FLR HALL & P BED LIGHTS	15AMP	14	BEDROOMS 2&3 LIGHTS	15AMP				
15	PRIMARY BEDROOM OUTLETS	20AMP	16	BEDROOMS 2&3 OUTLETS	15AMP				
17	BEDROOM 4 LIGHTS	15 AMP	18	BEDROOM 4 OUTLETS	15 AMP				
19			20						
21			22						
23			24						
25			26						
27			28						
29			30						

GAS METER	
WATER METER SANITARY DRAIN	
ELETRICAL PANEL WH	
NOT IN SCOPE OF WORK. G.C. TO ENSURE SD AND CO2+SD COMBO IS INSTALLED WHERE REQUIRED	





3 LEVEL 2 ELECTRICAL
1/4" = 1'-0"

GENERAL NOTES:

CENTER LIGHT FIXTURES IN ROOMS UNLESS NOTED OR DIMENSIONED OTHERWISE.

2. PROVIDE AFCI PROTECTION REQUIRED BY NEC FOR 15 AND 20 AMP CIRCUIT THAT SERVE OUTLETS AND DEVICES EXCLUDING BATHROOMS, GARAGES AND OUTSIDE AREAS.

3. ALL SMOKE ALARMS TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING

4. BASEMENT AREAS HAVE TO BE BOTH AFCI AND GFCI COMBINATION PROTECTED

5. READILY ACCESSIBLE EMERGENCY SERVICE DISCONNECTS
ON THE SUPPLY SIDE ARE REQUIRED ON THE OUTDOOR OR

WITHIN SIGHT OF A DWELLING UNIT PER NEC 230.85

6. ISLAND RECEPTACLES ARE REQUIRED TO BE ON TOP OF THE ISLAND SURFACE, OR YOU HAVE TO HAVE PROVISIONS FOR A FUTURE ADDITION OF A RECEPTACLE OUTLET TO SERVE THE ISLAND

② SMOKE AND CO2 DETECTOR

LEGEND

S SMOKE DETECTOR

OH WALL MOUNTED EXTERIOR LIGHT

☐ EXHAUST

† THREE WAY SWITCH
γ WALL SWITCH

SWITCH LOCATED

ON NEXT LEVEL

CEILING LIGHT

Y

TELEVISION / CABLE

CAT - 5

RETURN REGISTER

THERMOSTAT

CEILING FAN AND LIGHT

PENDENT

RECESSED SPOT LIGHT

△ CAMERA POWER

SCONCE

Total Floor Area of Dwelling (NEC 220.12) 1934 S

Factor	Quant	ity	Volt Amperes (VA)		
"General Lighting"	22	- *			
1. General Lighting (SQFT X 3 VA/SQ FT (Table 220.12)	3 X 1934	sqff	5802		
 Small Appliance Circuits (1500 VA per circuit) (NEC 220.52(A)) (minimum 2) 	1500 X 4		6000		
3. Laundry Circuit (1500 VA per circuit) (NEC 220.52(B))	1500 X 1		1500		
 Total General Lighting Load (Add lines 1, 2 & 3): 	25.00		13302		
5. First 3000 VA @ 100%:			3000		
 Total General Lighting Load – 3000 = 10302 @ 	35%=		3606		
 Net General Lighting Load (Per NEC 220.42) (Add lin 	es 5 & 6):		6606		
*Fixed Appliances(if insufficient space, use back):	YES	NO			
Garbage Disposal	1		900		
Bathroom Fan	1		700		
Microwave	1		1400		
Dishwasher	1		1500		
Other:					
Other:					
	922	Total	4500		
 3 or less Appliances, Total Appliance VA; 4 or more Appliances, 75% of Total Appliance VA (NEC 	220.53):		3375		
*Other Loads (including motors, EV charger(s), etc.)	YES	NO	Nameplate Rating (VA)		
9. Electric Range (8000VA or Nameplate)**	1		8000		
10. HVAC	1		6000		
11. Electric Oven	1		5000		
12. Electric Dryer (5000 VA minimum)**	1		5000		

***Service Rating (Amperes)=

* For every "YES" answer, indicate VA rating of equipment

** Nameplate rating must be used if larger

*** Service Rating shall be greater than or equal to the Service load

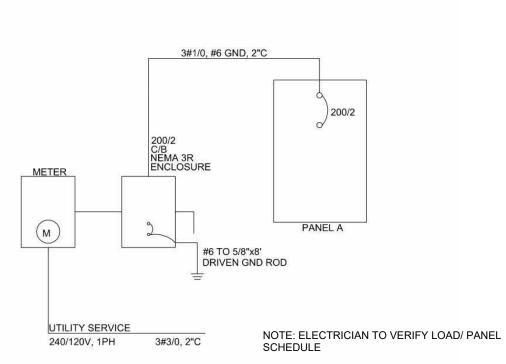
Total Service Load Volt-Amperes (VA) (Add lines 7, 8 & 9 thru 16) =
Total Service Load Volt-Amperes / 240-volts = 142 Amperes

13. Electric Vehicle Charger

16. 25% of largest motor (NEC 430.24)

14. Other:

15. Other:



Riser diagram

RESIDENCE

NAME: PAUL JOSEPH FATKINS LICENSE #: ARC.2218774 EXPIRATION: 12/31/2025

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REFLECTED CEILING PLANS

cale: 4" = 1'-0"

<u>LEVEL 0 ELECTRICAL</u>

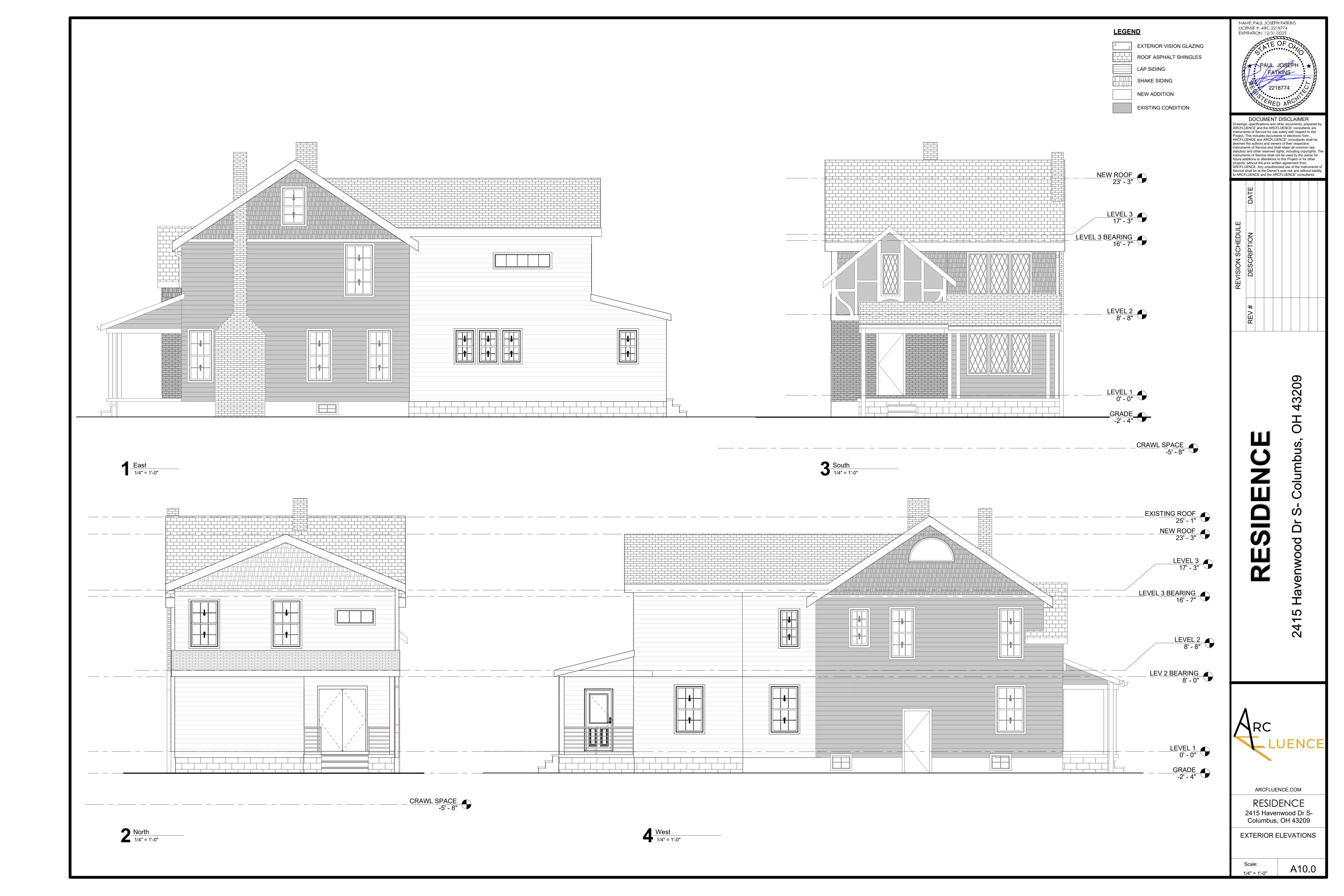
1/4" = 1'-0"

LEVEL 0 ELECTRICAL

1/4" = 1'-0"

LEVEL 1 ELECTRICAL

1/4" = 1'-0"



DOOR SCHEDULE						
				FRAME		
#	TYPE	WIDTH	HEIGHT	TYPE	R	
001	STORAGE 1	4' - 0"	6' - 8"	W-1	2,3	
002	STORAGE 1	4' - 0"	6' - 8"	W-1	2,3	
003	LAUNDRY/MECH ROOM	2' - 2"	6' - 8"	W-1	2,3	
004	BATH 1	2' - 6"	7' - 0"	W-1	2,3	
005	CL.01	2' - 0"	6' - 8"	W-1	2,3	
006	CL.01	1' - 6"	6' - 8"	W-1	2,3	
100	ENTRY	2' - 8"	6' - 8"	W-1	2,3	
101	COAT 1	2' - 6"	7' - 0"	W-1	2,3	
102	BATH 2	2' - 6"	6' - 8"	W-1	2,3	
103	MUDROOM	3' - 0"	6' - 8"	W-1	2,3	
106	ACESS BASEMENT	2' - 4"	6' - 8"	W-1	2,3	
107	PANTRY	2' - 2"	6' - 8"	W-1	2,3	
108	FAMILY ROOM	5' - 0"	6' - 8"	W-1	2,3	
109	SIDE ENTRY	2' - 8"	6' - 8"	W-1	2,3	
200	ACESS ATTIC	2' - 6"	7' - 0"	W-1	2,3	
201	OFFICE	2' - 6"	7' - 0"	W-1	2,3	
202	CL.OFFICE	2' - 4"	6' - 8"	W-1	2,3	
203	BEDROOM 2	2' - 6"	7' - 0"	W-1	2,3	
204	BEDROOM 3	2' - 6"	6' - 8"	W-1	2,3	
205	LAUNDRY	3' - 0"	6' - 8"	W-1	2,3	
206	PRIMARY BATH	2' - 2"	6' - 8"	W-1	2,3	
207	WATER CLOSET	2' - 6"	6' - 8"	W-1	2,3	
208	WALK IN CLOSET	2' - 6"	7' - 0"	W-1	2,3	
209	PRIMARY BEDROOM	2' - 6"	7' - 0"	W-1	2,3	
210	LINEN CLOSET	2' - 4"	6' - 8"	W-1	2,3	
211	BATH 3	2' - 6"	6' - 8"	W-1	2,3	
212	CLOSET	2' - 6"	7' - 0"	W-1	2,3	
213	CLOSET	2' - 6"	7' - 0"	W-1	2,3	

DOOR REMARKS

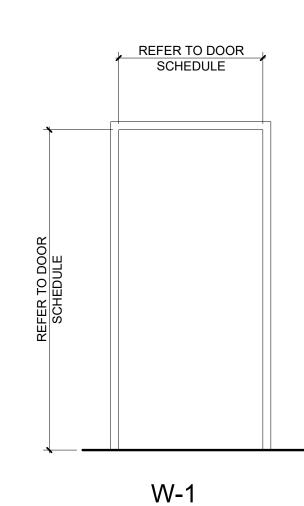
OWNER.

PROVIDED BY CONTRACTOR.

1. DOOR HARDWARE TO BE SELECTED BY OWNER AND

2. DOOR STYLE AND MATERIAL TO BE SELECTED BY

3. NEW HEADER AT FIRST FLOOR TO BE (2) 2x8 WOOD, SECOND FLOOR (2) 2x6 PER 2019 RCO PER TABLES 602.7(1) AND 602.7(2)



WOOD FRAME FRAME TYPES 1/2" = 1'-0"

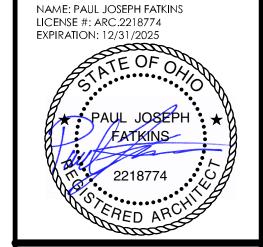
	WIND	OW S	SCHE	DULE	•	I
#	ROOM	SILL HEIGHT	HEIGHT	WIDTH	LEVEL	REMARKS
001	EX.BASEMENT	6' - 0"	1' - 6"	2' - 0"	LEVEL 0	
001	EX.BASEMENT	6' - 0"	1' - 6"	2' - 0"	LEVEL 0	,
002	EX.BASEMENT	6' - 0"	1' - 0"	2' - 0"	LEVEL 0	
100	EX. LIVING ROOM	2' - 4"	4' - 4"	2' - 0"	LEVEL 0	-
100	EX. LIVING ROOM	2' - 4"	4' - 4"	2' - 0"	LEVEL 1	-
101	EX. LIVING ROOM	2' - 4"	4 - 4			
				2' - 0"	LEVEL 1	
103	EX. LIVING ROOM	1' - 6"	5' - 6"	2' - 6"	LEVEL 1	
104	EX.DINING ROOM	1' - 6"	5' - 6"	2' - 6"	LEVEL 1	
105	EX.DINING ROOM	1' - 6"	5' - 6"	2' - 6"	LEVEL 1	
106	EX.STAIR	2' - 0"	5' - 0"	3' - 0"	LEVEL 1	
107	FAMILY ROOM	2' - 0"	5' - 0"	3' - 0"	LEVEL 1	
108	FAMILY ROOM	2' - 0"	5' - 0"	3' - 0"	LEVEL 1	<u> </u>
109	KITCHEN	3' - 6"	3' - 6"	2' - 0"	LEVEL 1	
110	KITCHEN	3' - 6"	3' - 6"	2' - 0"	LEVEL 1	
111	KITCHEN	3' - 6"	3' - 6"	2' - 0"	LEVEL 1	
112	PANTRY	3' - 6"	3' - 6"	2' - 0"	LEVEL 1	
200	BEDROOM 2	2' - 2"	4' - 4"	2' - 0"	LEVEL 2	
201	BEDROOM 2	2' - 2"	4' - 4"	2' - 0"	LEVEL 2	
202	BEDROOM 2	2' - 2"	4' - 4"	2' - 0"	LEVEL 2	<u> </u>
203	OFFICE	1' - 4"	5' - 4"	2' - 6"	LEVEL 2	2,3
204	STAIR	1' - 4"	5' - 4"	2' - 6"	LEVEL 2	2,3
205	BATH 3	2' - 7"	4' - 0"	2' - 0"	LEVEL 2	2,3
206	PRIMARY BEDROOM	2' - 6"	5' - 0"	3' - 0"	LEVEL 2	2,3
207	PRIMARY BEDROOM	2' - 6"	5' - 0"	3' - 0"	LEVEL 2	2,3
208	PRIMARY BATHROOM	5' - 0"	1' - 6"	4' - 0"	LEVEL 2	2,3
209	PRIMARY BEDROOM	5' - 0"	1' - 6"	6' - 0"	LEVEL 2	2,3
210	LAUNDRY	2' - 6"	4' - 0"	2' - 0"	LEVEL 2	2,3
300	ATTIC	1' - 0"	4' - 0"	2' - 6"	LEVEL 3	2,3
301	ATTIC	3' - 0"	2' - 0"	4' - 11 1/2"	LEVEL 3	2,3

WINDOW REMARKS

- 1. PROVIDE TEMPERED GLASS PER ANSI Z97.1
- 2. WINDOW TYPE, STYLE AND MATERIAL TO BE SELECTED BY OWNER.
- ALL WINDOW HEADERS AT FIRST FLOOR TO BE (2) 2x8 WOOD AND (2) 2X6 AT SECOND FLOOR PER RCO 2019 TABLE 602.7(1) UNLESS NOTED OTHERWISE

GENERAL NOTES:

- 1. DOOR HARDWARE TO BE SELECTED BY OWNER AND PROVIDED BY CONTRACTOR
- 2. DOOR STYLE AND MATERIAL TO BE SELECTED BY OWNER
- 3. WINDOW TYPE, STYLE AND MATERIAL TO BE SELECTED BY OWNER
- 4. ALL WINDOW HEADERS AT FIRST FLOOR TO BE (2) 2X8 WOOD AND (2) 2X6 AT SECOND FLOOR PER RCO 2019 TABLE 602.7(1)
- 5. GC TO VERIFY ALL DIMENSIONS SHOWN



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	KEV#				

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> DOOR & WINDOW SCHEDULE

Scale: /2" = 1'-0" A11.0

<u>Authorization Letter For Representative</u>

Kate Cheresn	ick —— here	eby give authorization	toAustin Yoke				
Owner's Name		, ,	Representative's Name				
to complete, submit, and	d represent my inte	erest in the City of Be	xley Architectural Review Board				
Application process for r	my personal prope	erty at2415 S Hav	venwood Dr. Bexley, OH 43209				
		Property Address					
I ensure that the represe credible information whe Yours Truly,			ne project and will provide of the application.				
Kate Cheresnick	dotloop verified 12/12/24 6:50 AM EST QWPR-INNQ-OGHX-X0DQ		12/12/2024				
Owner's Signature	,		Date				
Kate Cheresn	nick						
Print Name							

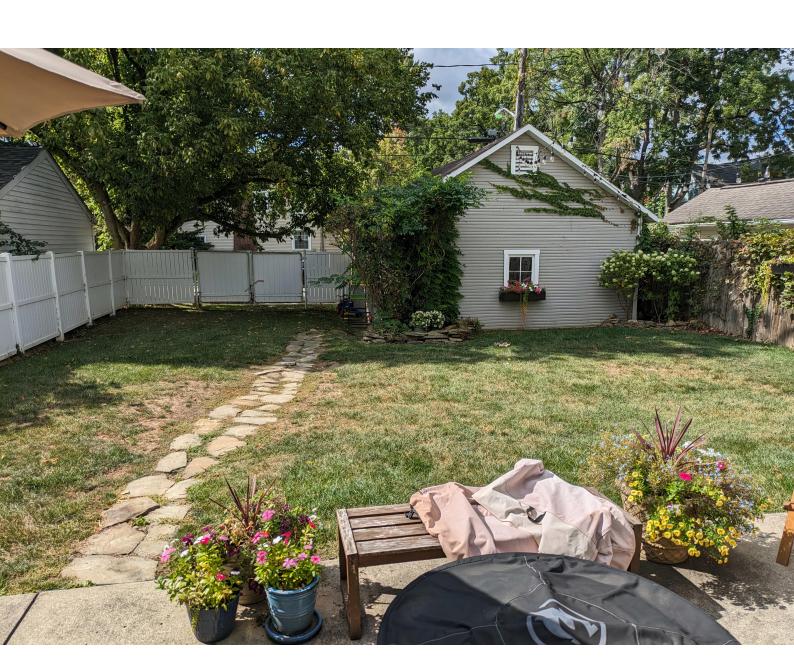


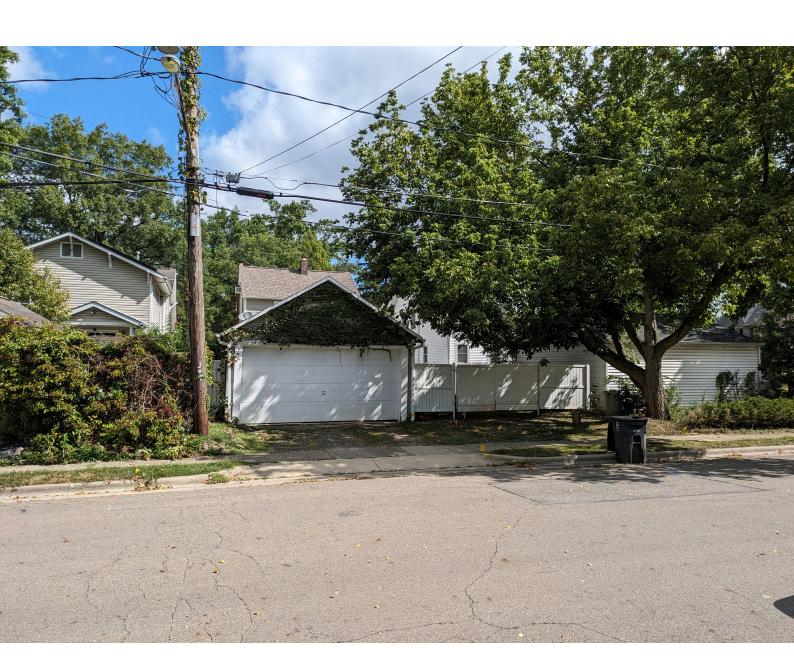














PUBLIC RIGHT OF WAY BOUNDRY

NEW ADDITION

EXISTING RESIDENCE

DEMOLITION EXISTING STRUCTURE

SITE DATA

2415 S HAVENWOOD DR CHERESNICK COREY E PARCEL NUMBER 020-003037-00

R6-RESIDENTIAL

SCOPE WORK

ZONING CLASSIFICATION

NEW ADDITION AND RENOVATION OF EXISTING BUILDING INTERIOR SPACE AND ADJUSTED CONFIGURATION OF FLOOR PLAN LAYOUT. ADDITION OF 2 CAR GARAGE

DEVELOPMENT INFORMATION

ZONING DESIGNATION TOTAL LAND AREA =R-6 = 5,641 SF

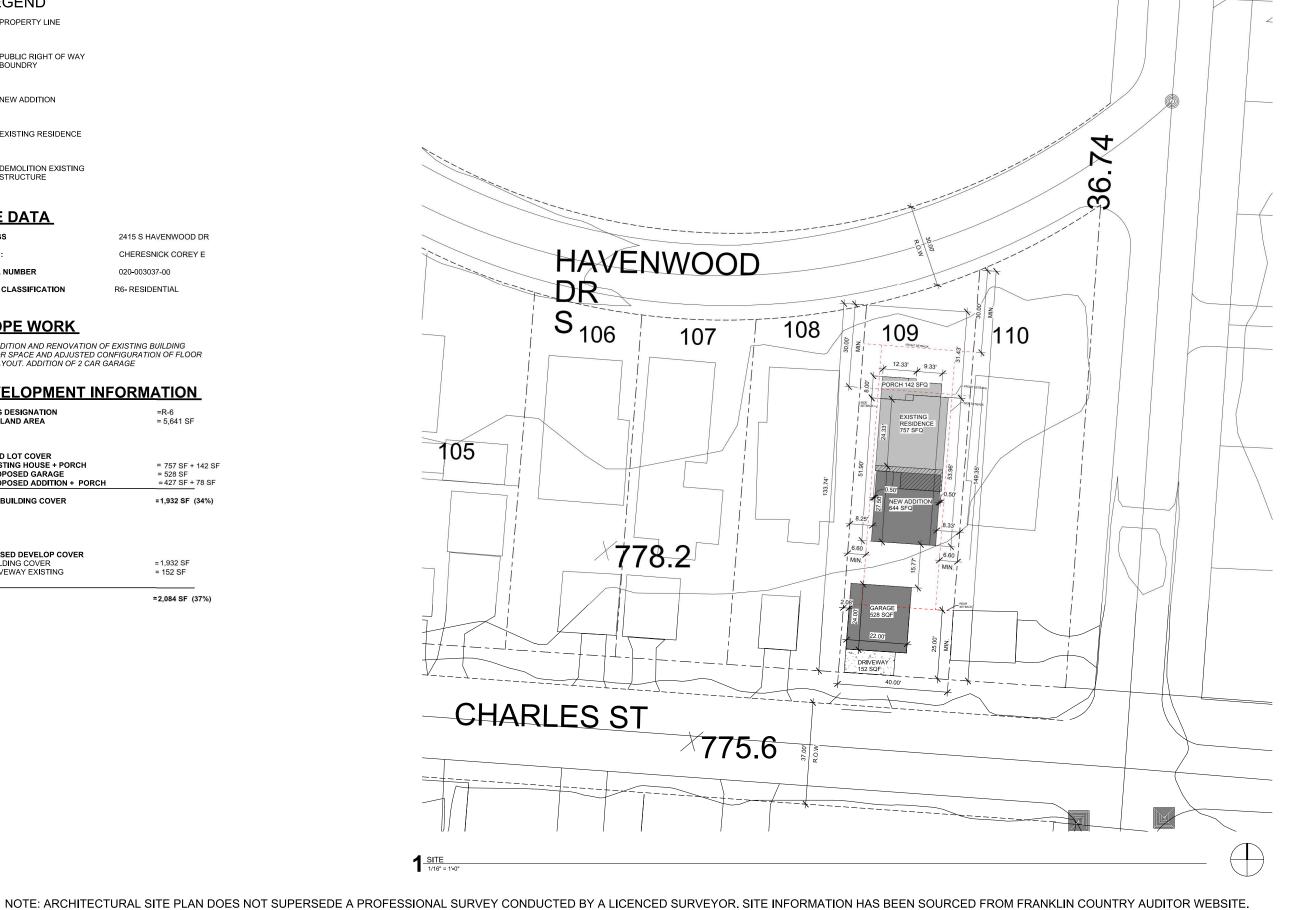
PROSED LOT COVER
EXISTING HOUSE + PORCH
PROPOSED GARAGE
PROPOSED ADDITION + PORCH = 757 SF + 142 SF = 528 SF = 427 SF + 78 SF

TOTAL BUILDING COVER =1,932 SF (34%)

PROPOSED DEVELOP COVER

BUILDING COVER DRIVEWAY EXISTING = 1,932 SF = 152 SF

TOTAL =2,084 SF (37%)



RESIDENCE

Columbus, OH 43209

က်

Havenwood Dr 2415



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SITE PLAN

Scale:

A1.0