

RESIDENCE

2415 Havenwood Dr S- Columbus, OH 43209



SCOPE OF WORK

NEW ADDITION AND RENOVATION OF EXISTING BUILDING INTERIOR SPACE AND ADJUSTED CONFIGURATION OF FLOOR PLAN LAYOUT.

CODE DATA

APPLICABLE CODES

BUILDING CODE: 2019 RESIDENTIAL CODE OF OHIO
ZONING CLASSIFICATION: R-6

BUILDING CODE ANALYSIS

PRIMARY USE GROUP
R (RESIDENTIAL)

AREA:
TOTAL AREA: **3,175 SF**
NUMBER OF STORIES: **2**

CONSTRUCTION TYPE:
CONSTRUCTION TYPE: **VB: NOT SPRINKLED**

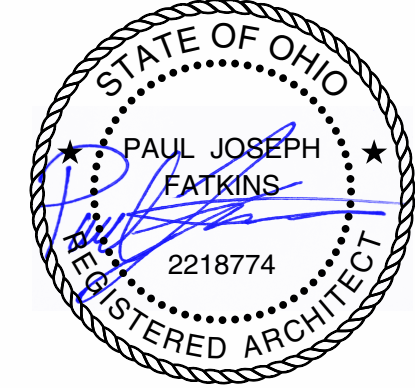
SEISMIC CATEGORY
EXTERIOR WALL RATING: **0 HOURS**
ALLOWABLE HEIGHT: **35'-0"**
ACTUAL HEIGHT: **25'-1"**

#	Sheet Name	REV	DATE
A0.0	COVER SHEET		
A0.1	GENERAL NOTES		
A1.0	SITE PLAN		
A2.0	GARAGE PLANS		
A3.0	DEMOLITION PLANS		
A4.0	PROPOSED PLANS		
A8.0	REFLECTED CEILING PLANS		
A10.0	EXTERIOR ELEVATIONS		
A11.0	DOOR & WINDOW SCHEDULE		

ABBREVIATIONS

AF	ABOVE FINISHED FLOOR	FLR	FLOOR	REINF	REINFORCING
ALUM	ALUMINUM	FR	FIRE RESISTANCE RATING	REQD	REQUIRED
APPROX	APPROXIMATE	FRT	FIRE RETARDANT TREATED	REV	REVERSE
ARCH	ARCHITECTURAL	GA	Gauge	RI	RIGID INSULATION
BD	BOARD	GALV	GALVANIZED	RO	ROUGH OPENING
BLDG	BUILDING	GYP	GYPSPUM	RWL	RAIN WATER LEADER
CFS	COLD FORMED STEEL	GL	GLASS	S	SINK
CPT	CARPET	GWB	GYPSPUM WALL BOARD	SIM	SIMILAR
CJ	CONTROL JOINT	HM	HOLLOW METAL	SPEC	SPECIFICATIONS
CL	CLOSET	HT	HEIGHT	SS	STAINLESS STEEL
CLR	CLEAR	INSUL	INSULATION	STD	STANDARD
CLG	CEILING	L	LONG	STRUC	STRUCTURAL
COL	COLUMN	MAX	MAXIMUM	TS	TUBE STEEL
CONC	CONCRETE	MC	MEDICINE CABINET	TD	TO DATUM
CONT	CONTINUOUS	MECH	MECHANICAL	T/O	TOP OF
CONST	CONSTRUCTION	MFR	MANUFACTURER	T&G	TONGUE & GROOVE
COORD	COORDINATE	MIN	MINIMUM	TYP	TYPICAL
CORR	CORRIDOR	MIR	MIRROR	UIS	UNDERSIDE
CW	COMPLETE WITH	MISC	MISCELLANEOUS	UNO	UNLESS NOTED OTHERWISE
D	DEPTH/ DEEP	MTD	MOUNTED	VB	VAPOR BARRIER
DIA	DIAMETER	N/A	NOT APPLICABLE	VEST	VESTIBULE
DN	DOWN	NIC	NOT IN CONTRACT	W	WIDTH
DW	DISHWASHER	NTS	NOT TO SCALE		
DWG	DRAWING	OC	ON CENTER		
EACH	EACH	OD	OUTSIDE DIAMETER		
ELEC	ELECTRICAL	OH	OVERHEAD		
ELEV	ELEVATION	PL	PROPERTY LINE		
EQ	EQUAL	PLAM	PLASTIC LAMINATE		
EXP	EXPANSION	PTD	PAINTED		
EXT	EXTERIOR	PVC	POLYVINYL CHLORIDE		
F	FRIIDGE	R	RADIUS OR RISER		
FD	FLOOR DRAIN	R/H	RANGE AND HOOD FAN		
FE	FIRE EXTINGUISHER	RD	ROOF DRAIN		
FG	FIBERGLASS	REF	REFER TO		

NAME: PAUL JOSEPH FATKINS
LICENSE #: ARC.2218774
EXPIRATION: 12/31/2025



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DATE	DESCRIPTION	REV #

Room Schedule			Room Schedule		
Number	Name	Area	Number	Name	Area
LEVEL 0					
001	RECREATION ROOM	369 SF	200	HALLWAY	105 SF
002	STORAGE 1	31 SF	201	LINEN 1	5 SF
003	GYM	64 SF	202	OFFICE	100 SF
004	LAUNDRY/MECH ROOM	494 SF	203	CL OFFICE	6 SF
005	BATH	60 SF	204	BEDROOM 2	131 SF
006	CL.02	6 SF	205	BATH 3	46 SF
007	CL.01	11 SF	206	WALK-IN CLOSET	53 SF
LEVEL 1					
100	EX FRONT PORC	141 SF	207	WATER CLOSET	22 SF
101	EX LIVING ROOM	146 SF	208	PRIMARY BATHROOM	68 SF
102	COAT 1	7 SF	209	PRIMARY BEDROOM	200 SF
103	DINING	162 SF	210	LAUNDRY	44 SF
104	ENTRY WAY	100 SF	211	BEDROOM 3	104 SF
105	BATH 2	32 SF	212	CL	9 SF
106	KITCHEN	248 SF	213	CL	10 SF
107	FAMILY ROOM	193 SF	Grand total		3175 SF
108	MUDROOM	51 SF			
109	PANTRY	42 SF			
110	HALLWAY	36 SF			
111	COVERED PORCH	78 SF			
LEVEL 2					

- A. **GENERAL SCOPE OF WORK**
- B. PERFORM ALL CONSTRUCTION WORK INDICATED OR OTHERWISE REQUIRED FOR COMPLETION OF THE PROJECT - EXCEPT AS NOTED OTHERWISE.
- C. ANY DAMAGE TO PROPERTY WHICH OCCURS DURING THE PROCESS OF CONSTRUCTION SHALL BE REPAIRED/REPLACED TO MATCH EXISTING AT NO ADDITIONAL COST TO OWNER.
- D. THE CONTRACTOR SHALL KEEP THE WORK AREA CLEAN AND FREE OF DEBRIS AND REMOVE ALL TRASH AND DEBRIS FROM THE CONSTRUCTION AREA DAILY. NO FLAMMABLE MATERIALS OR LIQUIDS MAY BE STORED IN THE EXISTING BUILDING OR IN ANY NEW ADDITION. MUD AND DEBRIS TRACKED ONTO OWNER PAVING OR CITY STREETS TO BE CLEANED IMMEDIATELY.
- E. SCHEDULE AND COORDINATE THE WORK OF THE COMPLETE PROJECT TO ASSURE AN EFFICIENT AND ORDERLY SEQUENCE OF INSTALLATION OF ALL ELEMENTS - WITH PROVISIONS FOR ACCOMMODATING ITEMS TO BE INSTALLED LATER.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE TIMELY ORDERING OF MATERIALS TO PROHIBIT DELAYS OF THE CONSTRUCTION SCHEDULE OF THIS PROJECT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE DELIVERY OF MATERIALS IN A TIMELY MANNER.
- G. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK, UNLESS SPECIFICALLY NOTED.
- H. PROVIDE ALL REQUIRED NOTICES FOR INSPECTIONS AND APPROVALS OF THE WORK BY THE AUTHORITY HAVING JURISDICTION (AHJ). THE MOST RESTRICTIVE CODE REQUIREMENTS AS INTERPRETED BY LOCAL OFFICIALS WILL APPLY.
- I. THE GENERAL CONTRACTOR SHALL RESPOND TO ALL REQUIREMENTS OF THE ARCHITECT AND CONSULTANTS FOR VERIFICATIONS, RESPONSES, AND SUBMISSIONS.
- J. PROVIDE SUBCONTRACTORS WITH A FULL-SET OF THE CONSTRUCTION DOCUMENTS TO ENSURE COORDINATION BETWEEN ALL TRADES AND EACH SUBCONTRACTOR.
- K. ALL CONSTRUCTION WORK MUST BE OF GOOD QUALITY - FREE FROM DEFECTS AND IN ACCORDANCE WITH REQUIREMENTS OF THE CONSTRUCTION DOCUMENTS - OR THE WORK MAY BE CONSIDERED DEFECTIVE - AND SUBJECT TO CORRECTION OR REPLACEMENT BY THE CONTRACTOR WITHIN A PERIOD OF ONE (1) YEAR AFTER SUBSTANTIAL COMPLETION.
- COORDINATION WITH SEPARATE CONTRACTORS**
- L. COORDINATE WITH THE OWNER'S SEPARATE CONTRACTORS OR SUPPLIERS FOR WORK INDICATED AS BEING OWNER-FURNISHED & CONTRACTOR INSTALLED (OFICI), OR NOT-IN-CONTRACT (NIC). PROVIDE SCHEDULED DATES WHEN THE PROJECT WILL BE READY FOR DELIVERY OR INSTALLATION OF OWNER FURNISHED PRODUCTS, AS APPLICABLE.
- M. COORDINATE THE WORK OF THIS PROJECT WITH OTHER CONTRACTORS AT SEPARATE CONSTRUCTION PROJECTS WITHIN THE SAME DEVELOPMENT, SO THAT THIS WORK WILL NOT INTERFERE WITH OR DELAY THEIR OPERATIONS.
- N. COORDINATE, RECEIVE AT SITE, VERIFY RECEIPT, HANDLE, STORE ON-SITE (IF REQUIRED), PROTECT AND INSTALL OWNER-FURNISHED PRODUCTS, AND PROVIDE SERVICE CONNECTIONS AS APPLICABLE.
- O. REPAIR DAMAGE TO OWNER-FURNISHED PRODUCTS CAUSED BY CONSTRUCTION OPERATIONS TO THE OWNER'S SATISFACTION.
- COORDINATION WITH FIXTURES, FURNISHINGS & EQUIPMENT (FF&E)**
- P. REVIEW THE OWNER'S SEPARATE CASEWORK/FIXTURES, FURNISHINGS, EQUIPMENT, & SIGNAGE DRAWINGS FOR UNIT SIZES, WEIGHTS, SERVICE-CONNECTIONS AND CLEARANCES REQUIRED - WHETHER FURNISHED OR INSTALLED BY THE CONTRACTOR OR OTHERS. VERIFY THAT REQUIRED ROUGH-INS, CONNECTIONS AND CLEARANCES WILL BE PROVIDED.
- Q. PROVIDE ALL HVAC, PLUMBING, GAS OR ELECTRIC SERVICE CONNECTIONS TO CASEWORK / FIXTURES, SIGNAGE, OR EQUIPMENT INDICATED (WHETHER UNITS ARE INSTALLED BY CONTRACTOR OR BY OTHERS).
- GENERAL EXECUTION OF THE WORK**
- R. AT PROJECTIONS OF FINISHED SURFACES, INCLUDING PILASTERS OR THICKENED WALLS, RETURN ALL EXPOSED SURFACE FINISHES BACK TO THE PRIMARY SURFACE EVEN IF NOT SPECIFICALLY NOTED.
- S. PERFORM ALL CUTTING, PATCHING AND FITTING TO ACCOMMODATE CONSTRUCTION WORK AND TO ACHIEVE THE INTENT OF THE CONSTRUCTION DOCUMENTS. CUT & PATCH PARTITIONS FOR INSTALLATION OF PLUMBING OR ELECTRICAL SERVICES AND FOR INSTALLATION OF WALL BLOCKING, IF NECESSARY. PROVIDE ESCUTCHEONS, GROMMETS AND SIMILAR SURFACE CLOSURE OR FINISHED TRIMS AT EXPOSED PENETRATIONS OF FINISHED SURFACES.
- T. BRACE PARTITIONS, SUSPEND CEILINGS OR SOFFITS, AND BRACE PLATFORMS. SUSPENDED ITEMS OR SIMILAR CONSTRUCTION ONLY TO STRUCTURAL ELEMENTS ABOVE - EVEN IF NOT SPECIFICALLY NOTED. DO NOT ANCHOR TO ROOF DECK, PLUMBING / SPRINKLER PIPES, DUCTWORK, ELECTRICAL CONDUIT OR SIMILAR ELEMENTS.
- SITE VERIFICATION**
- U. ANY DISCREPANCY WITH THE EXISTING SITE CONDITIONS AND/OR THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION AND INSTRUCTION. THESE CONSTRUCTION DOCUMENTS HAVE BEEN DESIGNED AND DRAWN ASSUMING EXISTING BUILDING CONDITIONS MATCH THE ORIGINAL DRAWINGS. THE CONTRACTOR, IMMEDIATELY UPON ARRIVAL AT THE SITE, SHALL VERIFY ALL EXISTING STRUCTURAL COLUMN DIMENSIONS, STRUCTURAL BEARING HEIGHTS AND EXISTING DIMENSIONS. IF DISCREPANCIES ARE FOUND BETWEEN WHAT IS SHOWN ON THE DRAWINGS AND EXISTING FIELD CONDITIONS, CONTACT THE CONSTRUCTION MANAGER AND THE ARCHITECT IMMEDIATELY TO DETERMINE WHAT ACTION SHOULD BE TAKEN TO MATCH EXISTING CONDITIONS. THE BEGINNING OF CONSTRUCTION BY THE GENERAL CONTRACTOR MEANS ACCEPTANCE OF THE EXISTING CONDITIONS.
- V. ALL UTILITY LOCATIONS SHOWN ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES (WHETHER SHOWN OR NOT) PRIOR TO THE SUBMISSION OF HIS BID OR THE COMMENCEMENT OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER AND ARCHITECT OF THE DISCOVERY OF EXISTING UTILITIES NOT SHOWN OR NOTED ON DRAWINGS.
- W. THE CONTRACTOR SHALL VERIFY THE EXISTING FINISH FLOOR ELEVATION AT ALL OPENINGS OF THE BUILDING SHELL PRIOR TO ESTABLISHING THE FINISH FLOOR ELEVATION.
- X. REPORT ANY DISCREPANCIES FOUND IN THE FIELD IMMEDIATELY TO THE CONSTRUCTION MANAGER AND THE ARCHITECT PRIOR TO MAKING ANY STRUCTURAL MODIFICATIONS OR ORDERING ANY MATERIALS.



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COVER SHEET

Scale:
1/8" = 1'-0"

A0.0

SITE LEGEND

- PROPERTY LINE
- PUBLIC RIGHT OF WAY BOUNDARY
- NEW ADDITION
- EXISTING RESIDENCE
- ▨ DEMOLITION EXISTING STRUCTURE

SITE DATA

ADDRESS 2415 S HAVENWOOD DR
 OWNER : CHERESNICK COREY E
 PARCEL NUMBER 020-003037-00
 ZONING CLASSIFICATION R6- RESIDENTIAL

SCOPE WORK

NEW ADDITION AND RENOVATION OF EXISTING BUILDING
 INTERIOR SPACE AND ADJUSTED CONFIGURATION OF FLOOR
 PLAN LAYOUT. ADDITION OF 2 CAR GARAGE

DEVELOPMENT INFORMATION

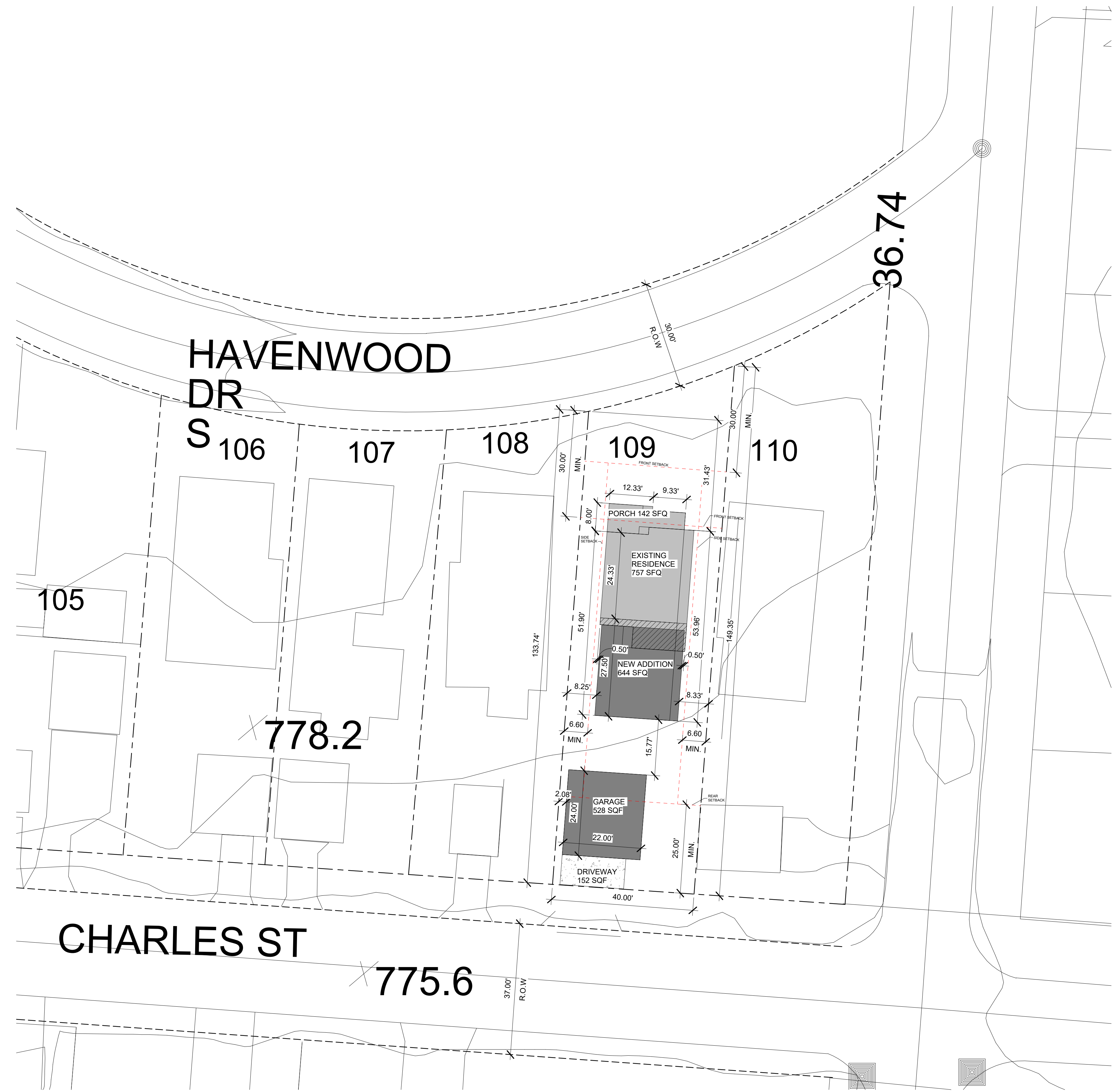
ZONING DESIGNATION =R-6
 TOTAL LAND AREA = 5,641 SF

PROSED LOT COVER
 EXISTING HOUSE + PORCH = 757 SF + 142 SF
 PROPOSED GARAGE = 528 SF
 PROPOSED ADDITION + PORCH = 427 SF + 78 SF

TOTAL BUILDING COVER =1,932 SF (34%)

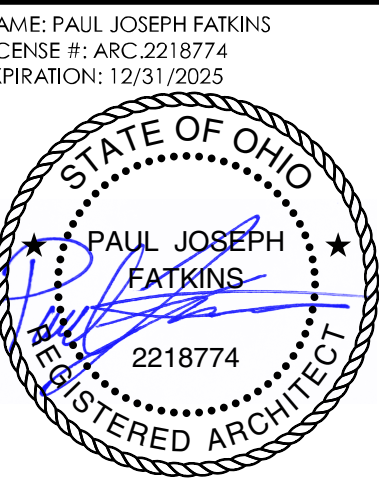
PROPOSED DEVELOP COVER
 BUILDING COVER = 1,932 SF
 DRIVEWAY EXISTING = 152 SF

TOTAL =2,084 SF (37%)



1 SITE
 1/16" = 1'-0"

NOTE: ARCHITECTURAL SITE PLAN DOES NOT SUPERSEDE A PROFESSIONAL SURVEY CONDUCTED BY A LICENCED SURVEYOR. SITE INFORMATION HAS BEEN SOURCED FROM FRANKLIN COUNTRY AUDITOR WEBSITE.



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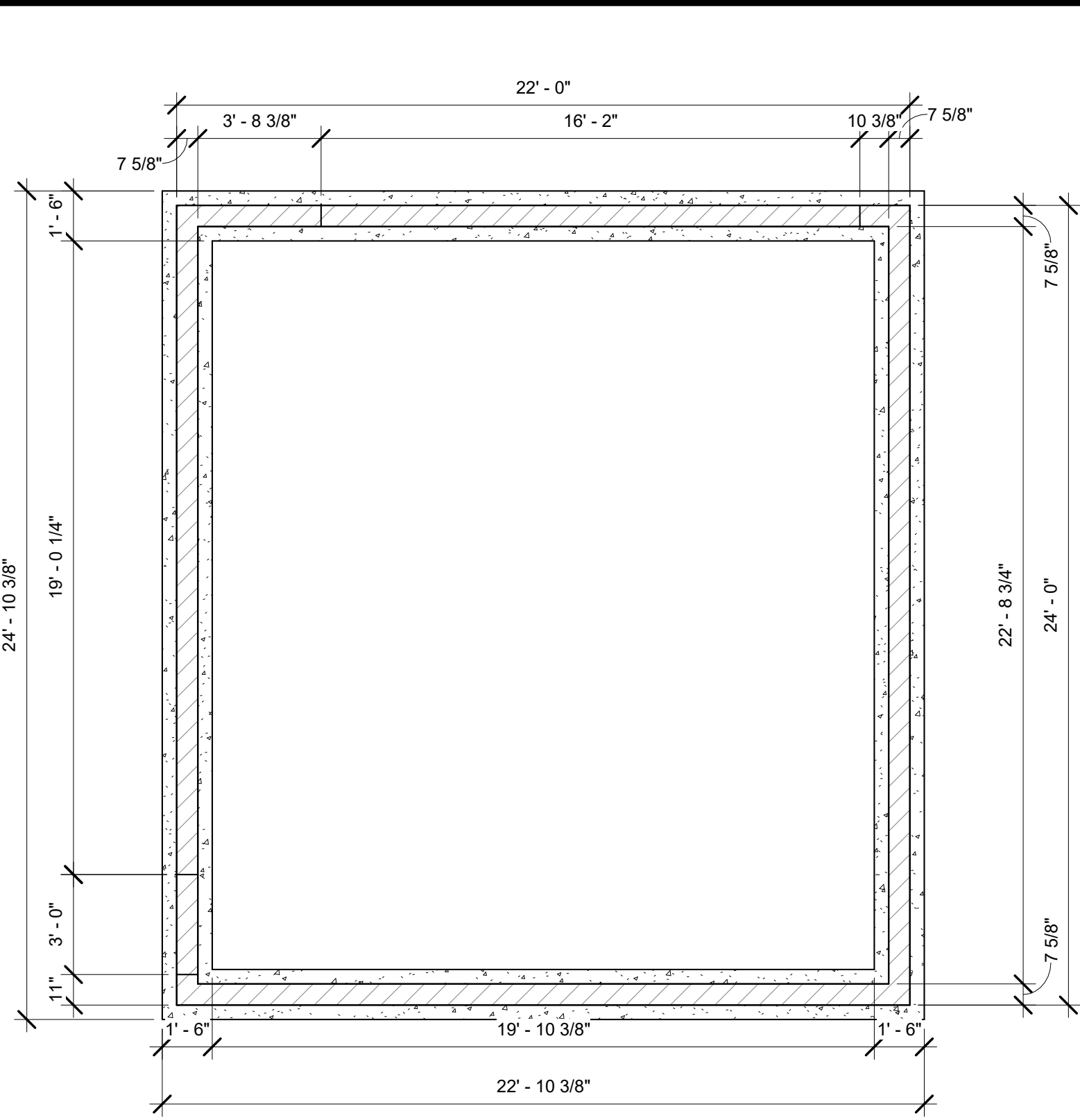


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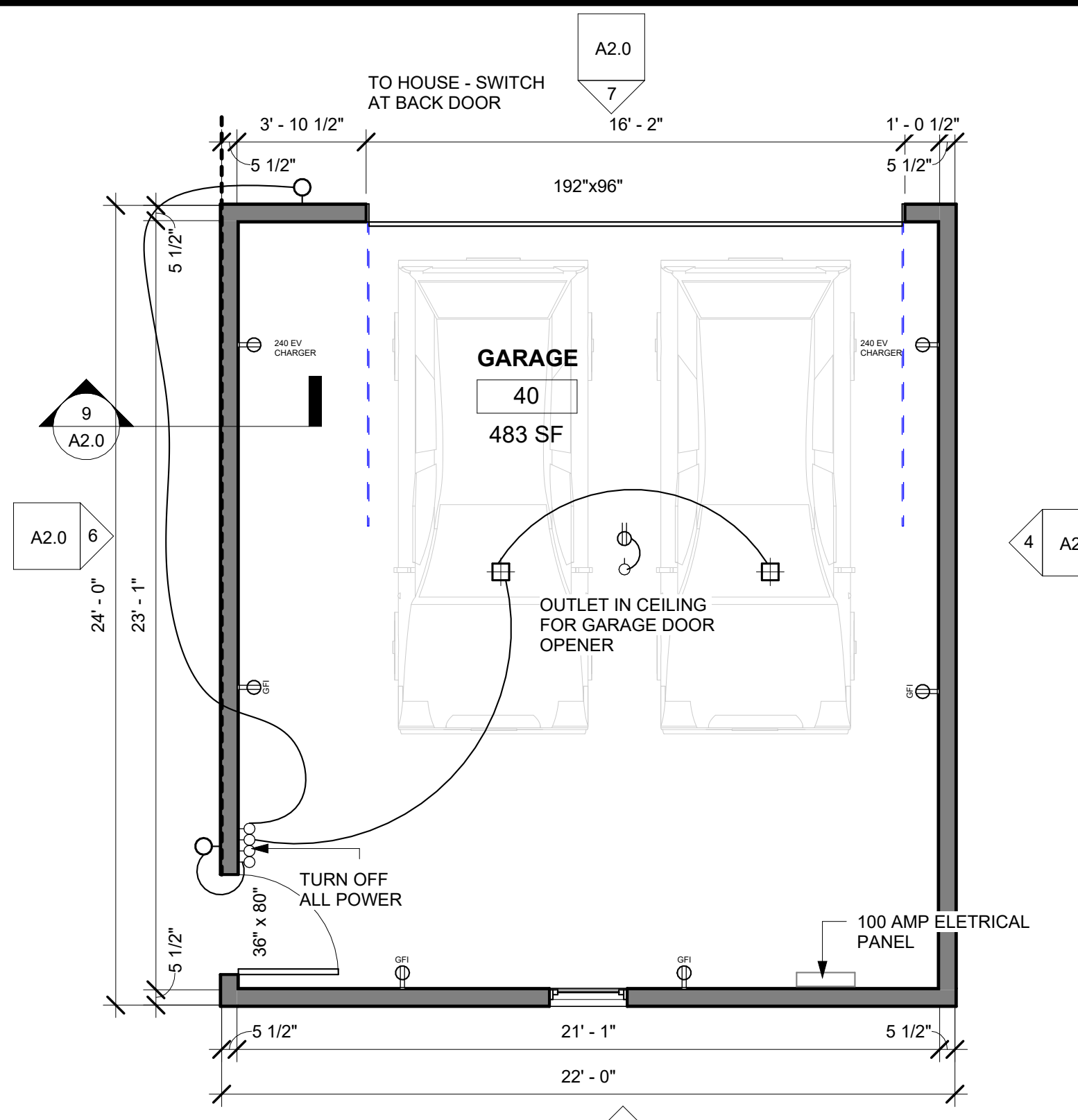
SITE PLAN
 Scale:
 As indicated A1.0

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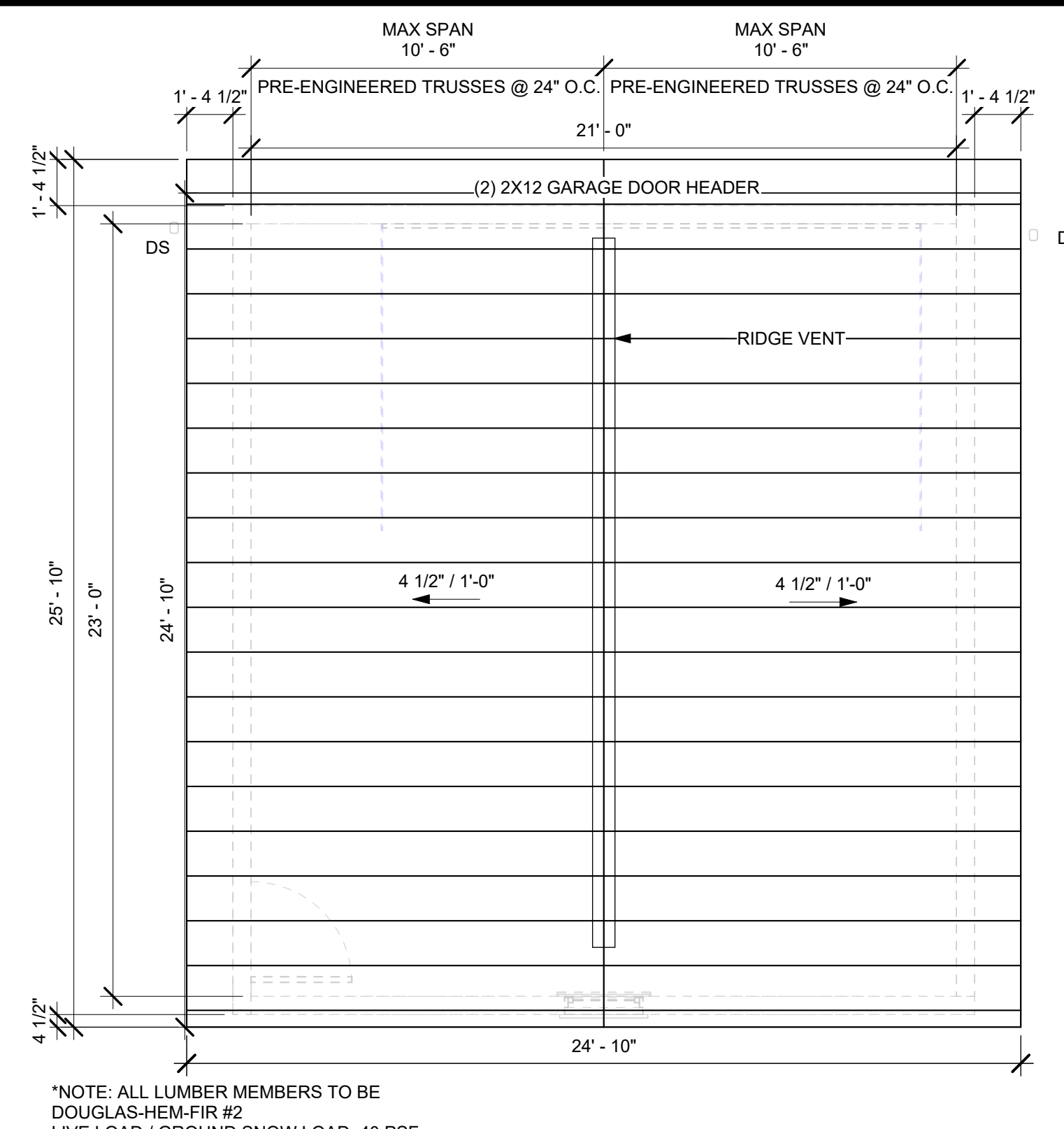
REVISION	SCHEDULE	DESCRIPTION	DATE
REV #			



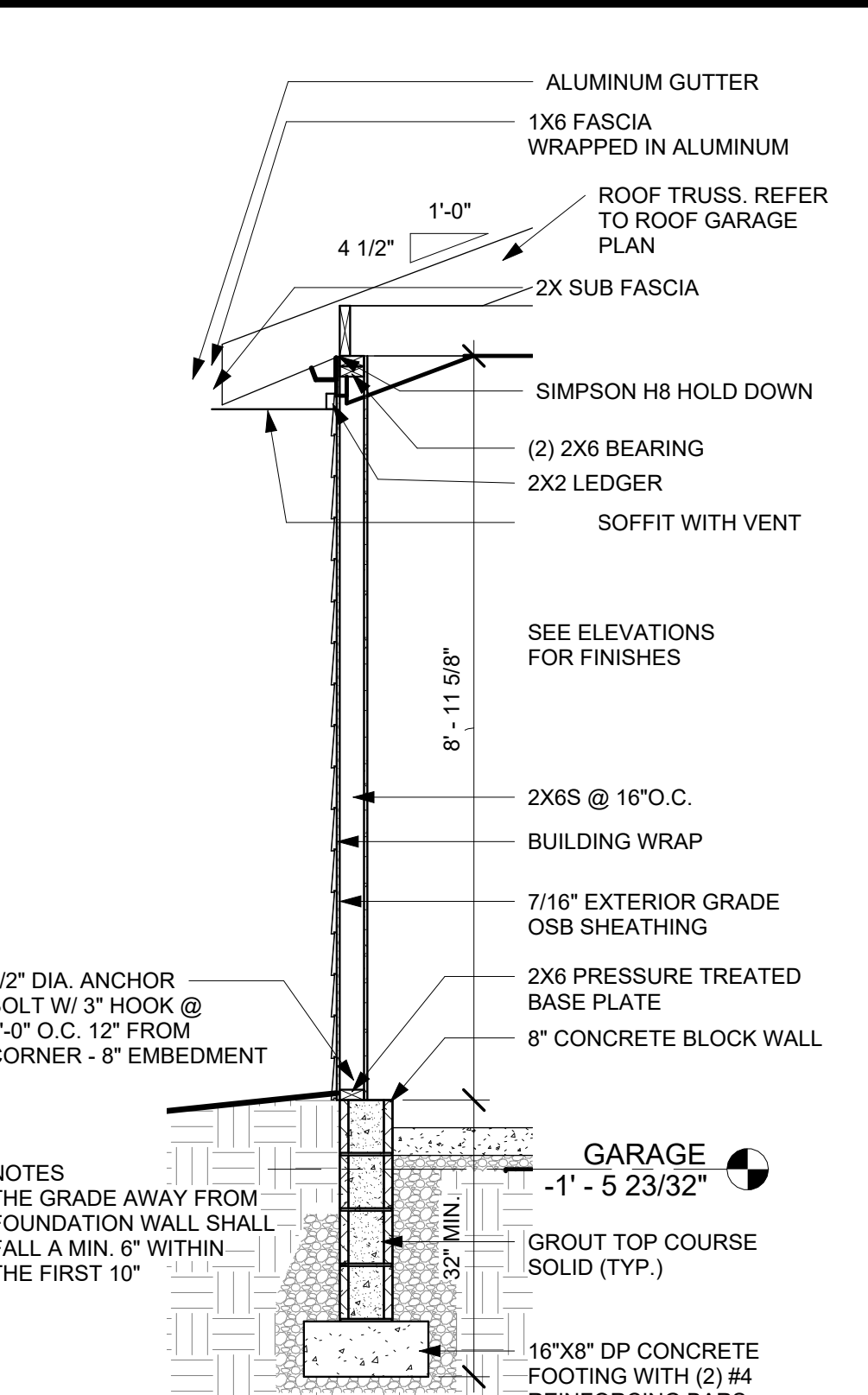
3 GARAGE FOUNDATION
 1/4" = 1'-0"



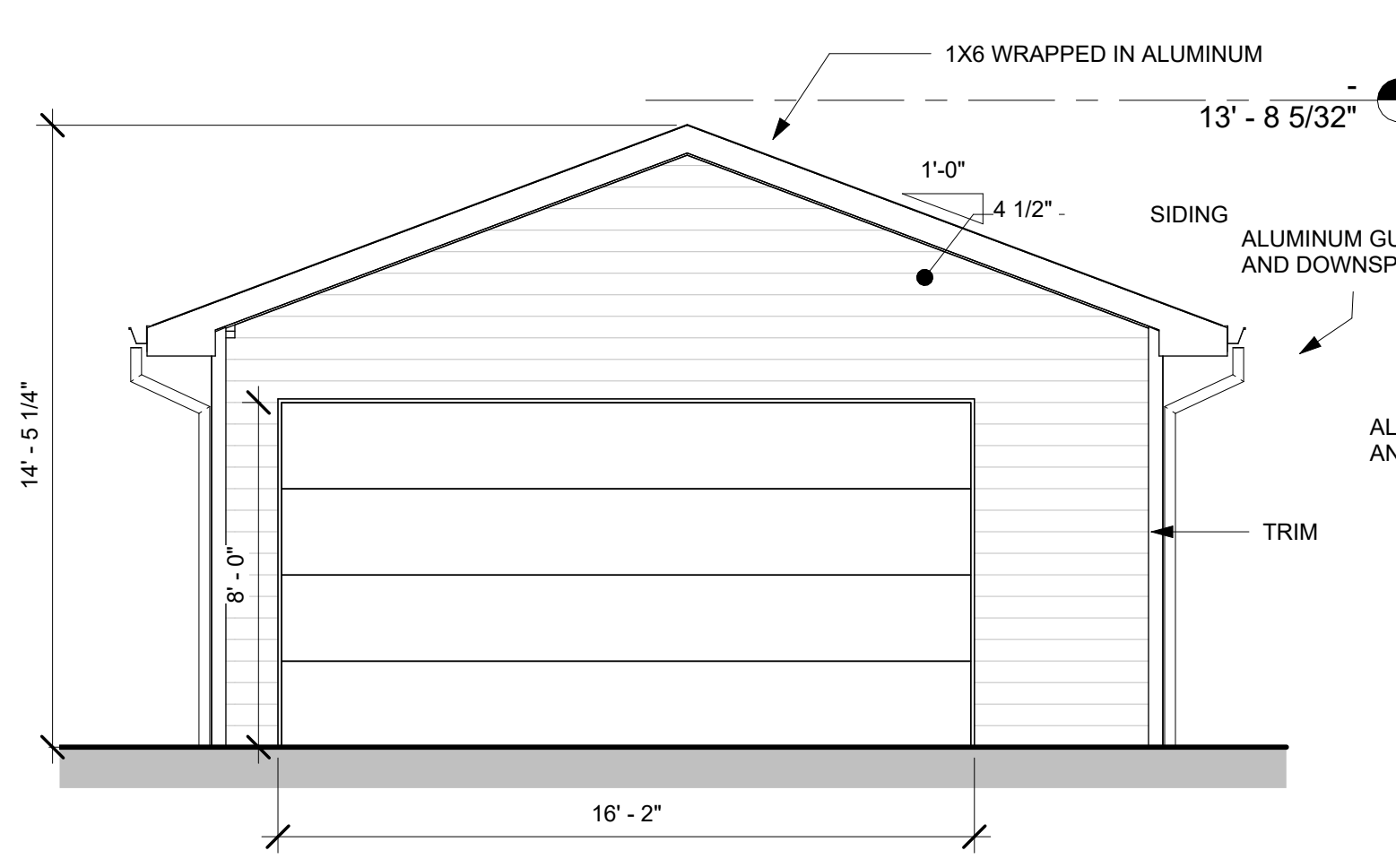
1 GARAGE PLAN
 1/4" = 1'-0"



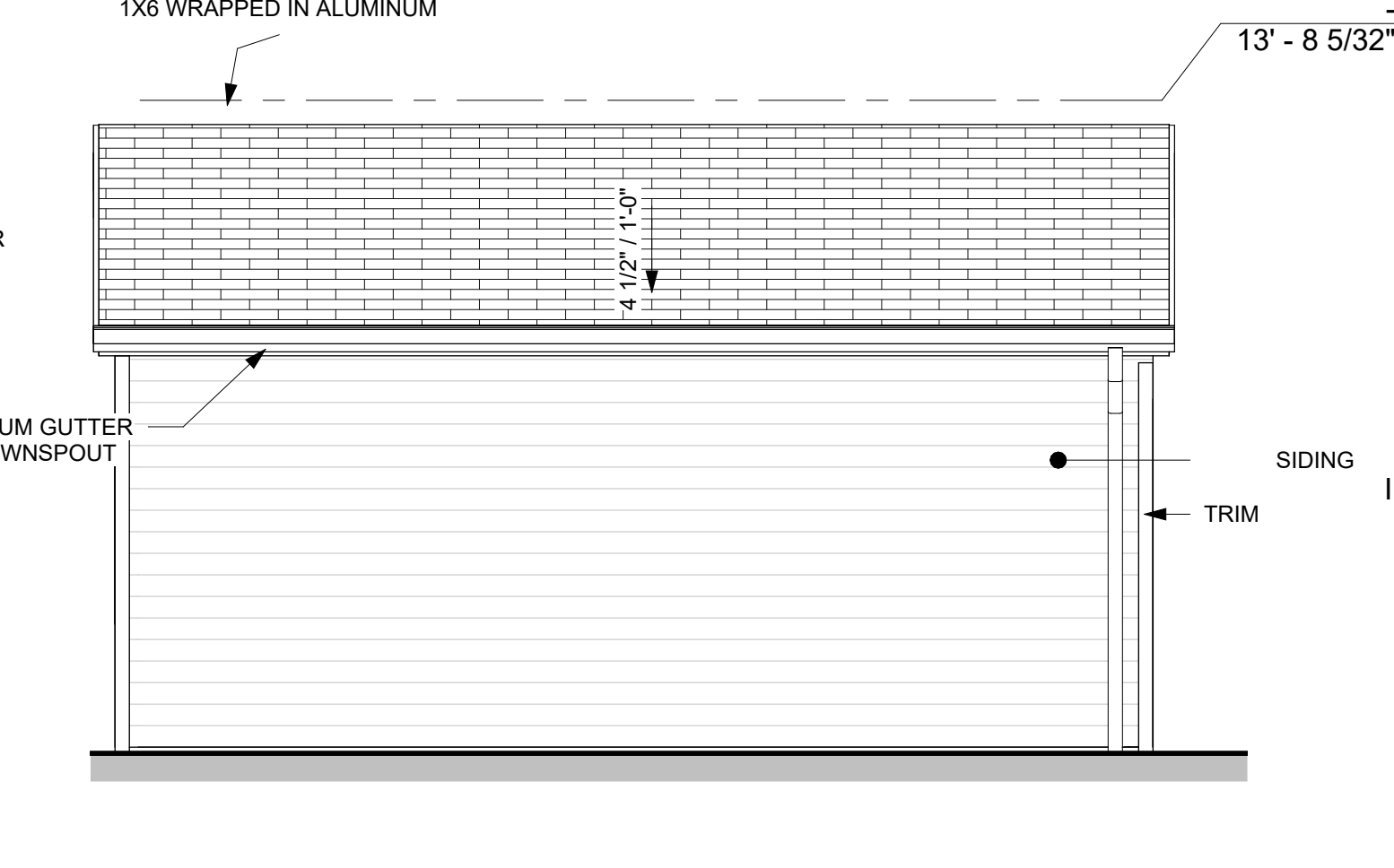
2 ROOF GARAGE
 1/4" = 1'-0"



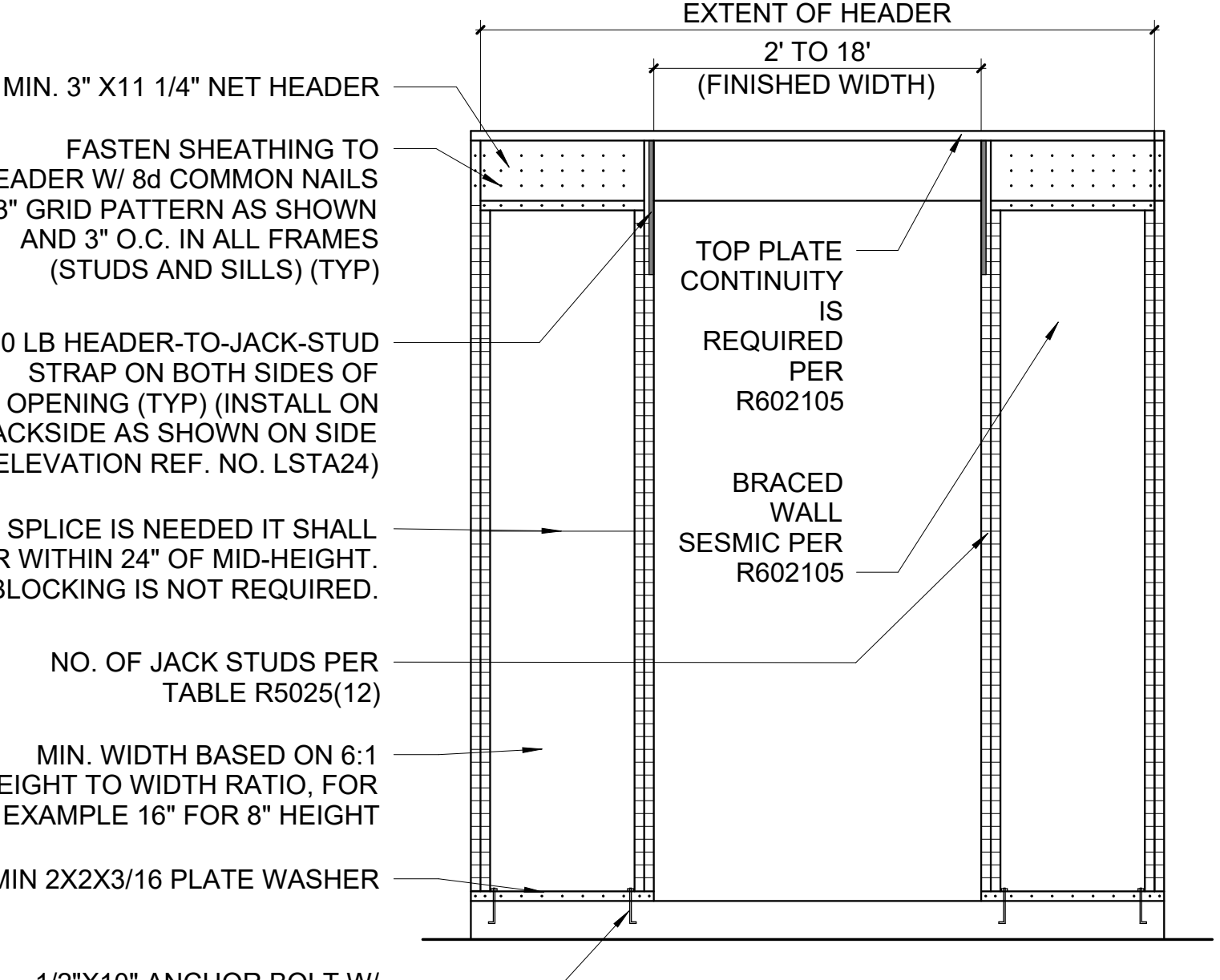
9 Section 2
 1/2" = 1'-0"



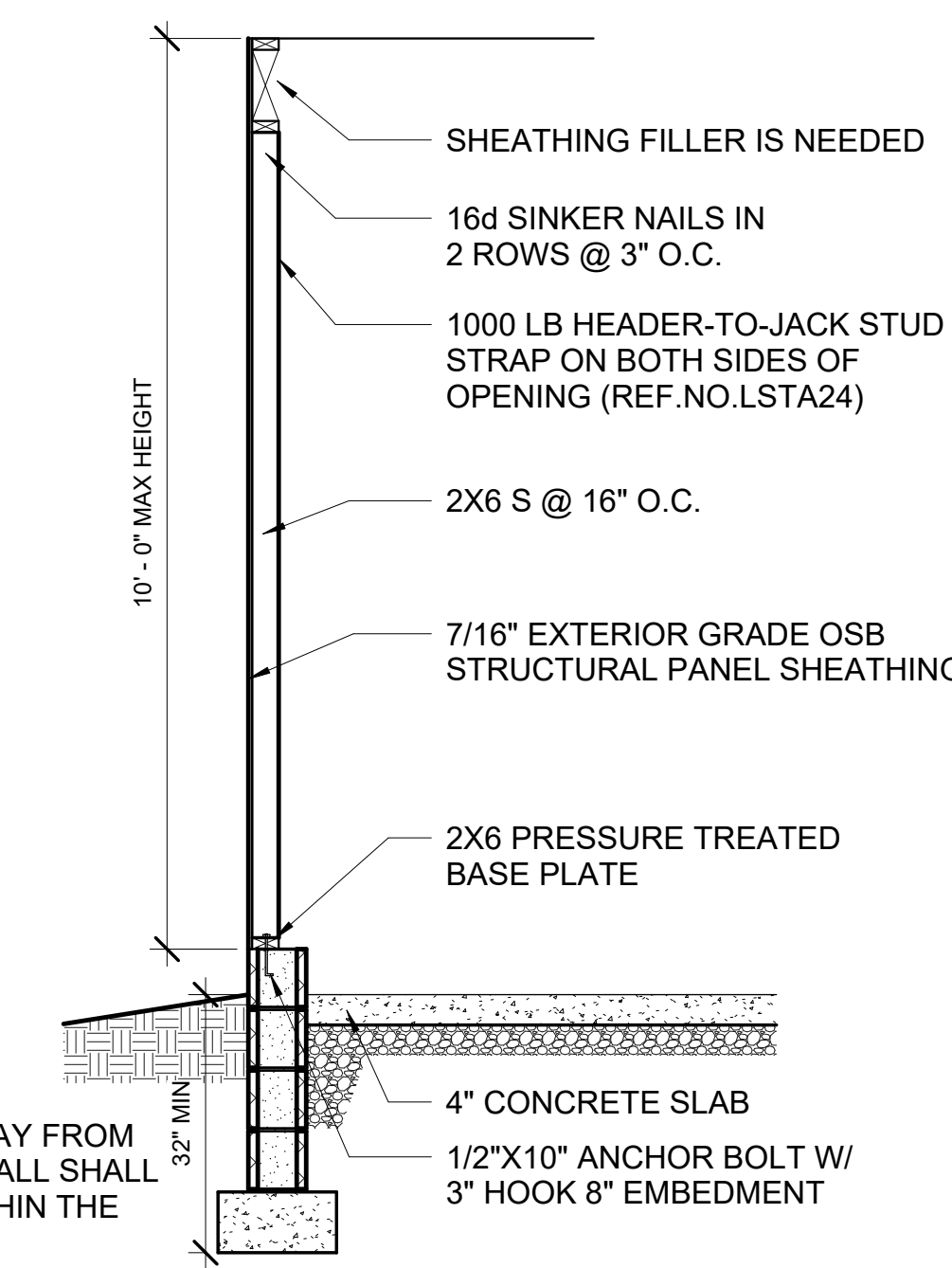
7 SOUTH ELEVATION
 1/4" = 1'-0"



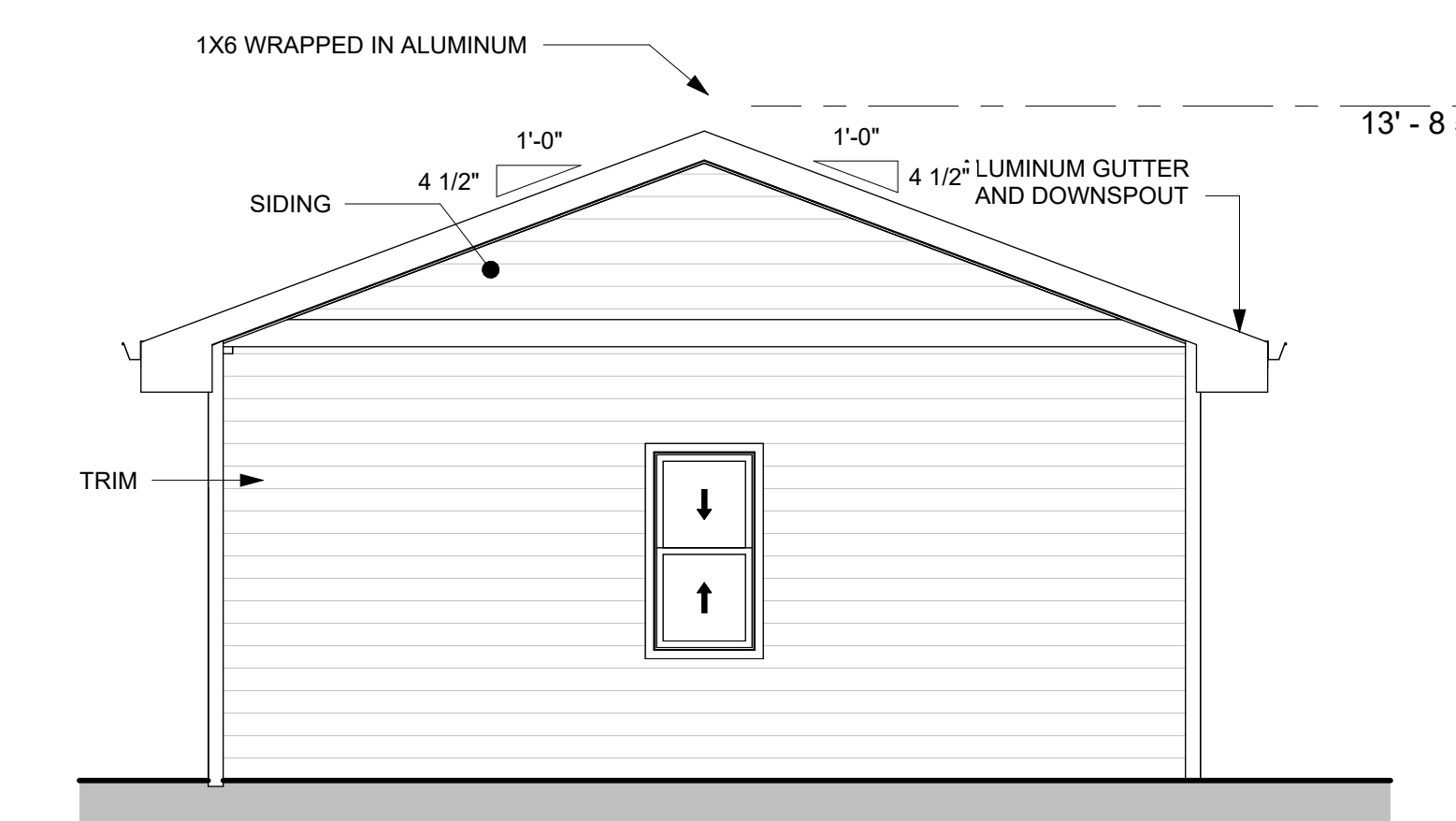
4 WEST ELEVATION
 1/4" = 1'-0"



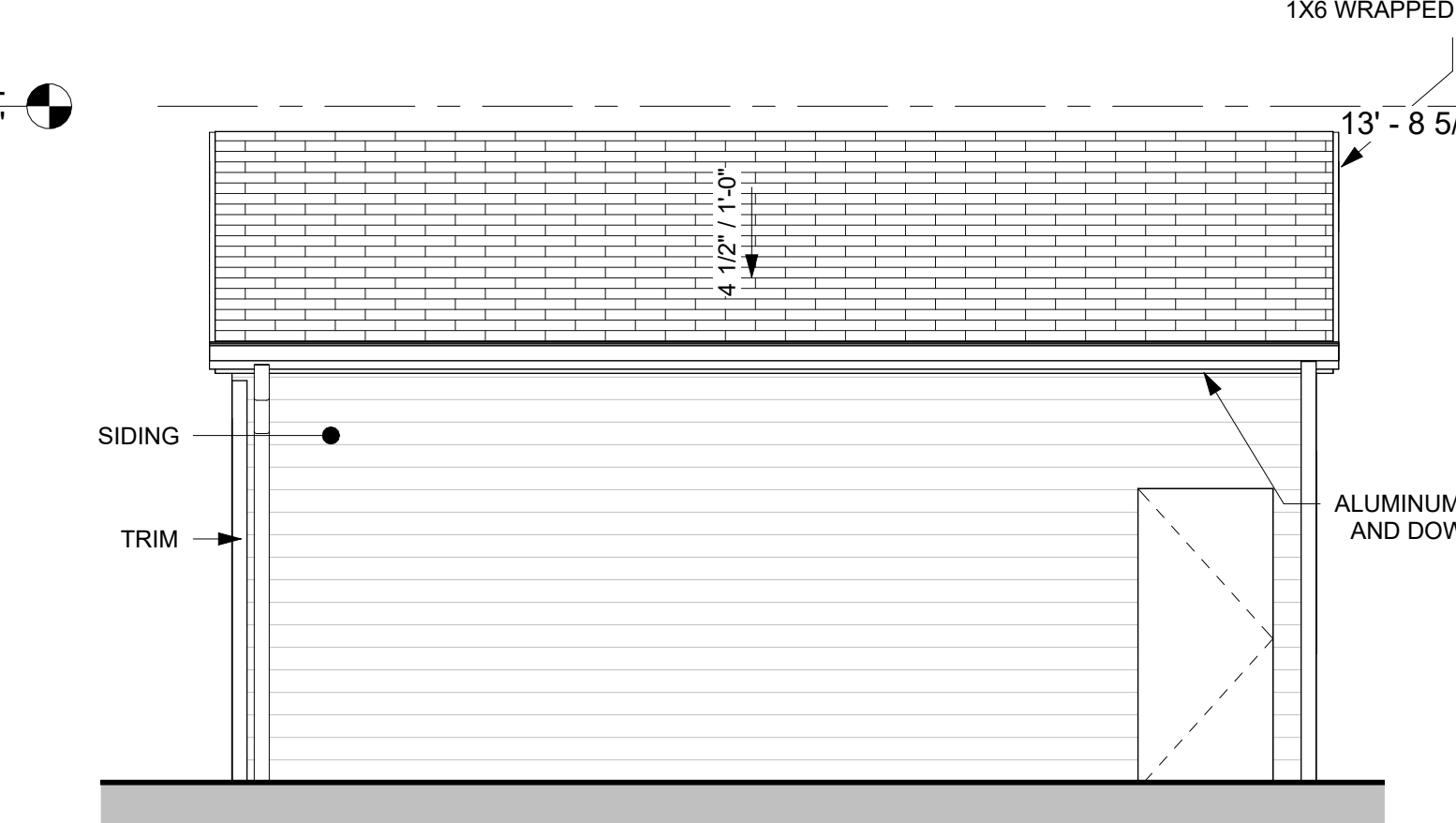
8 FRAMING DETAIL
 1/2" = 1'-0"



SIDE ELEVATION



5 NORTH ELEVATION
 1/4" = 1'-0"



6 EAST ELEVATION
 1/4" = 1'-0"

ROOF COVERING INSTALLATION

(DIMENSIONAL 30-YEAR SHINGLE SHALL BE USED)
 LAMINATE ROOF STRUCTURE WITH 7/16" OSB SHEATHING ON RIGHT ANGLES TO TRUSSES; NAILED EVERY 10" OF CENTER AND 8" ON EDGES WITH 8d COMMON NAILS. CLEAN ROOF DECK THOROUGHLY TO REMOVE DEBRIS AND TO MAKE READY TO ACCEPT ROOF COVERING.
 INSTALL MINIMUM OF 1 PLY 15LB. 36" WIDE ASPHALT TARP AND 30 YEAR LIFE 3 LAYERS ASPHALT OR FIBERGLASS MINIMUM 250 LB CLASS A SHINGLES IN ACCORDANCE WITH SHINGLE MANUFACTURER'S WRITTEN SPECIFICATIONS AND WITH A MINIMUM OF FOUR (4) NAILS PER SHINGLE.
 -INSTALL SELF-ADHESIVE ICE-GUARD (ICE-DAM PROTECTION) BENEATH ALL FLASHING AND ON ALL EDGES AND EXTEND THE ICE-GUARD BACK AT LEAST 2" PAST THE INTERIOR WALL.
 INSTALL NEW ALUMINUM ENAMEL-FINISH DRIP EDGE FLASHING ON ALL EDGES
 INSTALL NEW ROOF FLANGES ON ALL VENT STACKS
 INSTALL NEW ROOF RIDGE VENT PER MANUFACTURER'S PRINTED INSTRUCTIONS AND INSTALL SOFFIT OR GABLE VENTS TO COMPLETE VENTING SYSTEM IF HOUSE HAS NO EXISTING OR GABLE VENTS.
 INSTALL NEW METAL FLASHING (CHIMNEY) ALL DEBRIS SHALL BE PLACED IN A DUMPSTER AT THE END OF EACH DAY.

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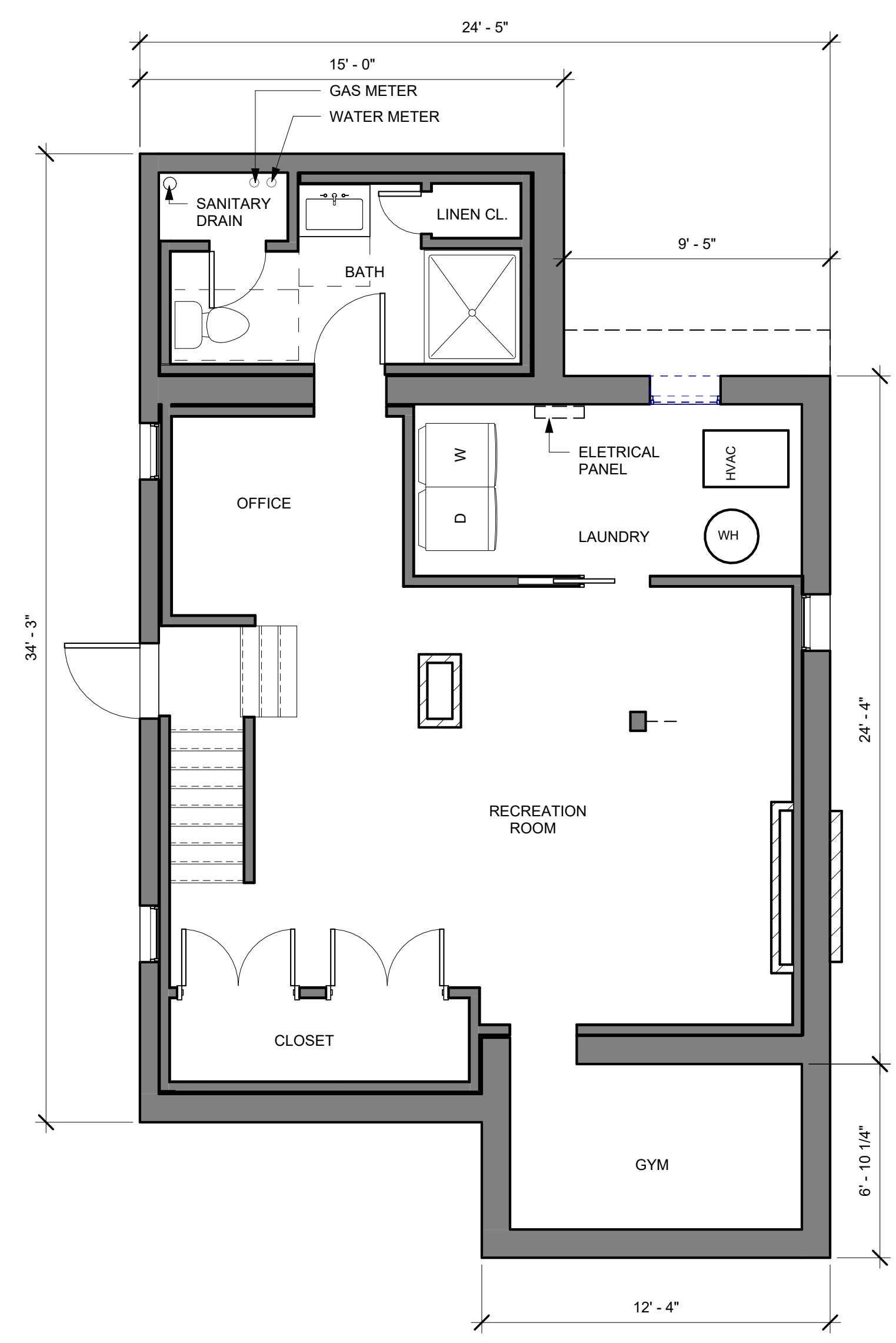
DEMOLITION KEYNOTES

- 1 DEMO PORTION OF EXISTING WALL. SEE PROPOSED FOR EXTENTS OF DEMO WORK.
- 2 REMOVE EXISTING WINDOW.
- 3 DEMO PORTION OF EXISTING WALL TO ALLOW INSTALLATION OF NEW OPENING. SEE PROPOSED FOR MORE INFO
- 4 REMOVE EXISTING DOOR HARDWARE & FRAME.
- 5 DEMO ROOF STRUCTURE.
- 6 DEMO EXISTING CABINET

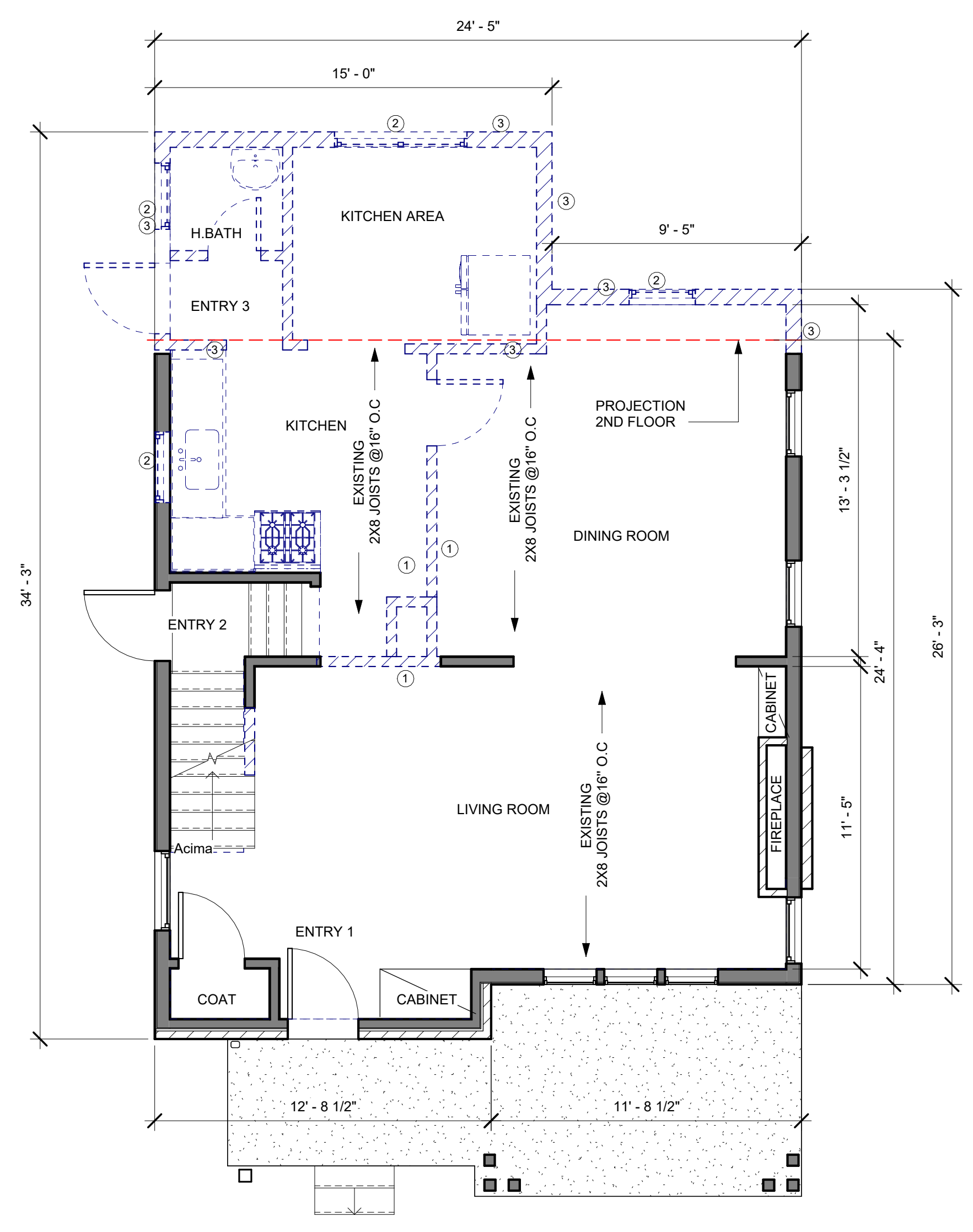
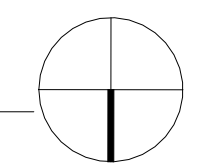
GENERAL NOTES:

- 1: WALLS ARE GYPSUM BOARD OR PLASTER ON WOOD STUDS UNLESS NOTED OTHERWISE OTHERWISE. WALL TO BE REMOVED ENTIRE HEIGHT FROM FINISH FLOOR TO UNDERSIDE OF DECK.
- 2: FILL AND LEVEL ALL HOLES IN FLOORS AND WALLS AFTER REMOVAL OF PIPES, DUCTS, CONDUITS AND OTHER PENETRATING ITEMS.
- 3: CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES INCURRED.
- 4: CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS.
- 5: ALL EXISTING FLOORS NOT DEMOLISHED TO BE PREPARED FOR INSTALLATION OF NEW FINISH.
- 6: ALL WALLS TO RECEIVE NEW GYPSUM BOARD, EXTERIOR WALLS TO ALSO RECEIVE NEW INSULATION, REFER TO WALL SECTIONS.
- 7: PROVIDE TEMPORARY BRACING FOR ALL EXISTING STRUCTURAL ELEMENTS TO BE REMOVED UNTIL NEW MEMBERS ARE PROPERLY INSTALLED.
- 8: DEMO ALL ITEMS DASHED.

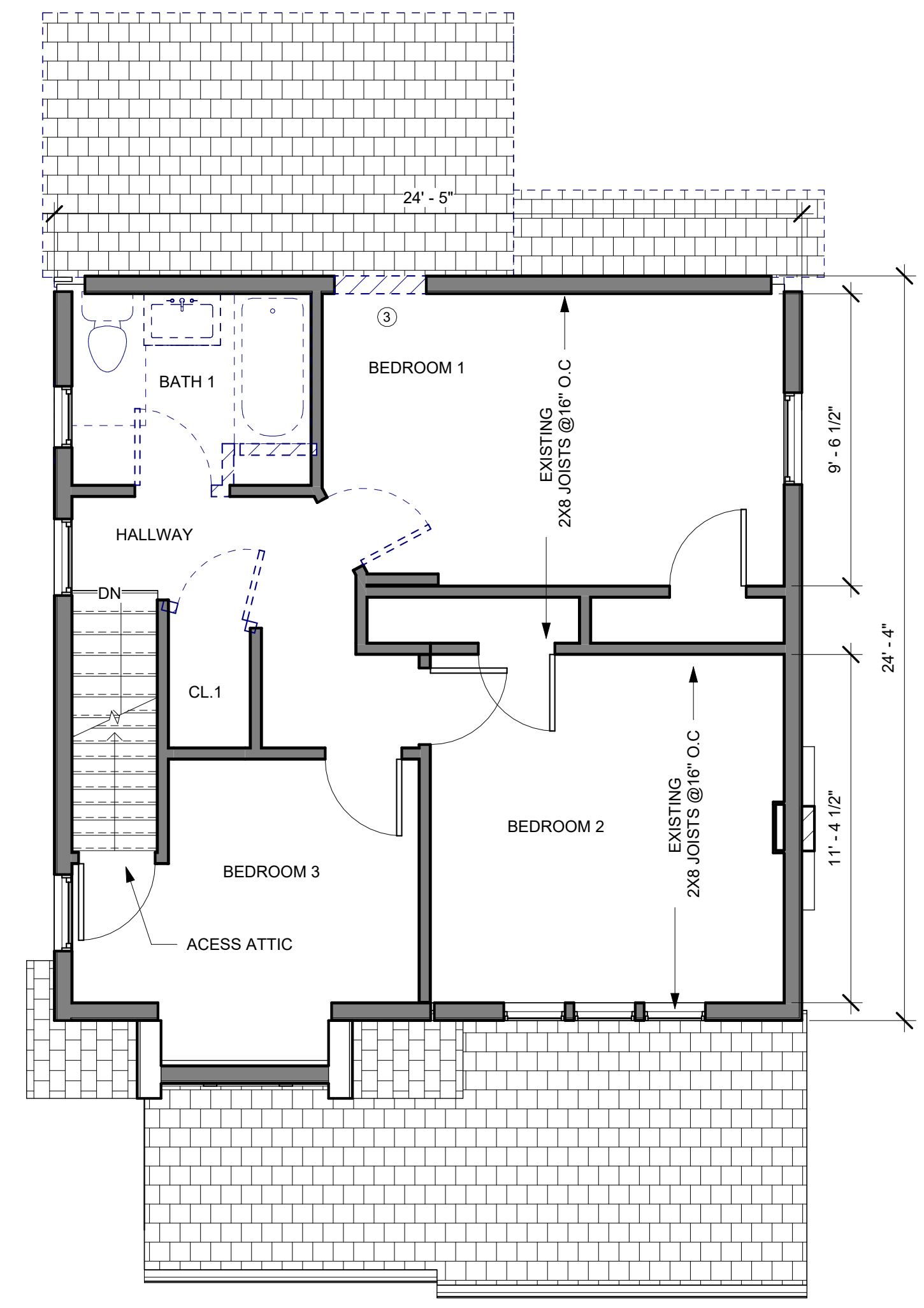
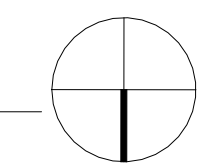
REV #	DESCRIPTION	DATE



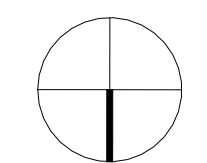
1 LEVEL 0 DEMOLITION
 1/4" = 1'-0"



2 LEVEL 1 DEMOLITION
 1/4" = 1'-0"



3 LEVEL 2 DEMOLITION
 1/4" = 1'-0"



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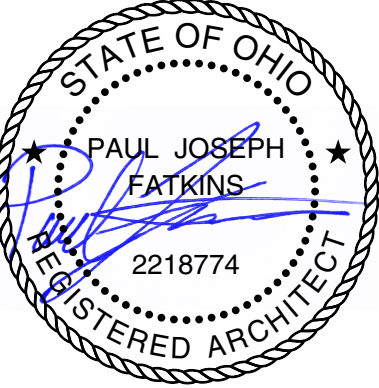
KEY NOTES:

- | | | |
|---|---|--|
| 1. 39" WIDE REFRIGERATOR SPACE.(INSTALL WATER LINE) | 11. 12" SHELF AND ROD | 20. 12" DEEP BUILT-IN SHOWER CONTROL LOWER CABINET |
| 2. COUNTERTOP OVER 36" HIGH BASE CABINET. | 12. DOUBLE VANITY 60" | 21. SHOWER CONTROL |
| 3. BUILT-IN BENCH/HOOKS UPPERS | 13. BATH TUB WITH TILE. (2.5 GPM SHOWER HEAD) | 22. LOWER CABINET |
| 4. 42" WIDE RANGE | 14. TILE OR SYNTHETIC SURFACE SHOWER WITH SAFETY GLASS ENCLOSURE AND DOOR | |
| 5. 32" SINGLE SINK | 15. (4) 16" SHELVES STARTING @ 24" ABOVE FINISHED FLOOR | |
| 6. DISHWASHER | 16. POST 6X6 | |
| 7. DRAWER MICROWAVE | 17. SINGLE VANITY 32" | |
| 8. WASHER AND DRYER, STANDART CABINETS WITH UPPERS | 18. DESK | |
| 9. SINGLE VANITY 36" | 19. BEVERAGE FRIDGE UNDER COUNTER | |
| 10. NEW LVL. OWNER TO PROVIDED SHEET WITH SIZE | | |

GENERAL NOTES:

- 1: PROVIDE INTERNAL WOOD BLOCKING, ALL WALL MOUNTED ITEMS.
- 2: INSTALL MOISTURE RESISTANT GYPSUM BOARD AT BATHROOMS AND KITCHENS.
- 3: PATCH AND LEVEL EXISTING FLOOR AFTER DEMOLITION OF EXISTING WALLS BEFORE INSTALLATION OF NEW FLOOR FINISH.
- 4: DOORS TO BE INSTALLED 4" FROM GYP WALL BOARD UNLESS NOTED OTHERWISE. CLOSET/LAUNDRY DOORS TO BE INSTALLED CENTERED TO SPACE
- 5: ALL INT. WALL DIMENSIONS ARE TO FINISHED FACE OF GYP. BOARD

NAME: PAUL JOSEPH FATKINS
 LICENSE #: ARC.2218774
 EXPIRATION: 12/31/2025



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REVISION	SCHEDULE	DESCRIPTION	DATE

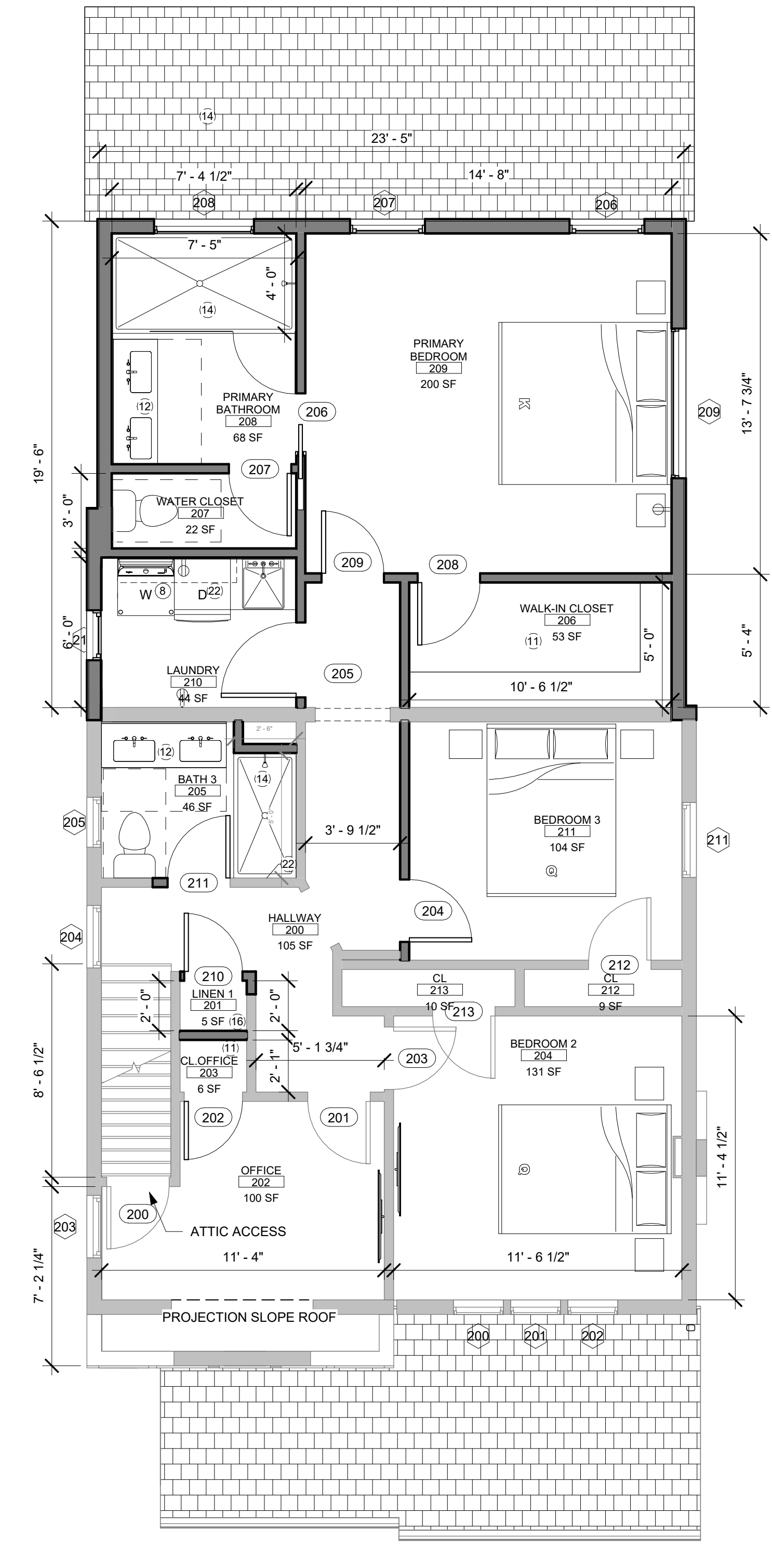
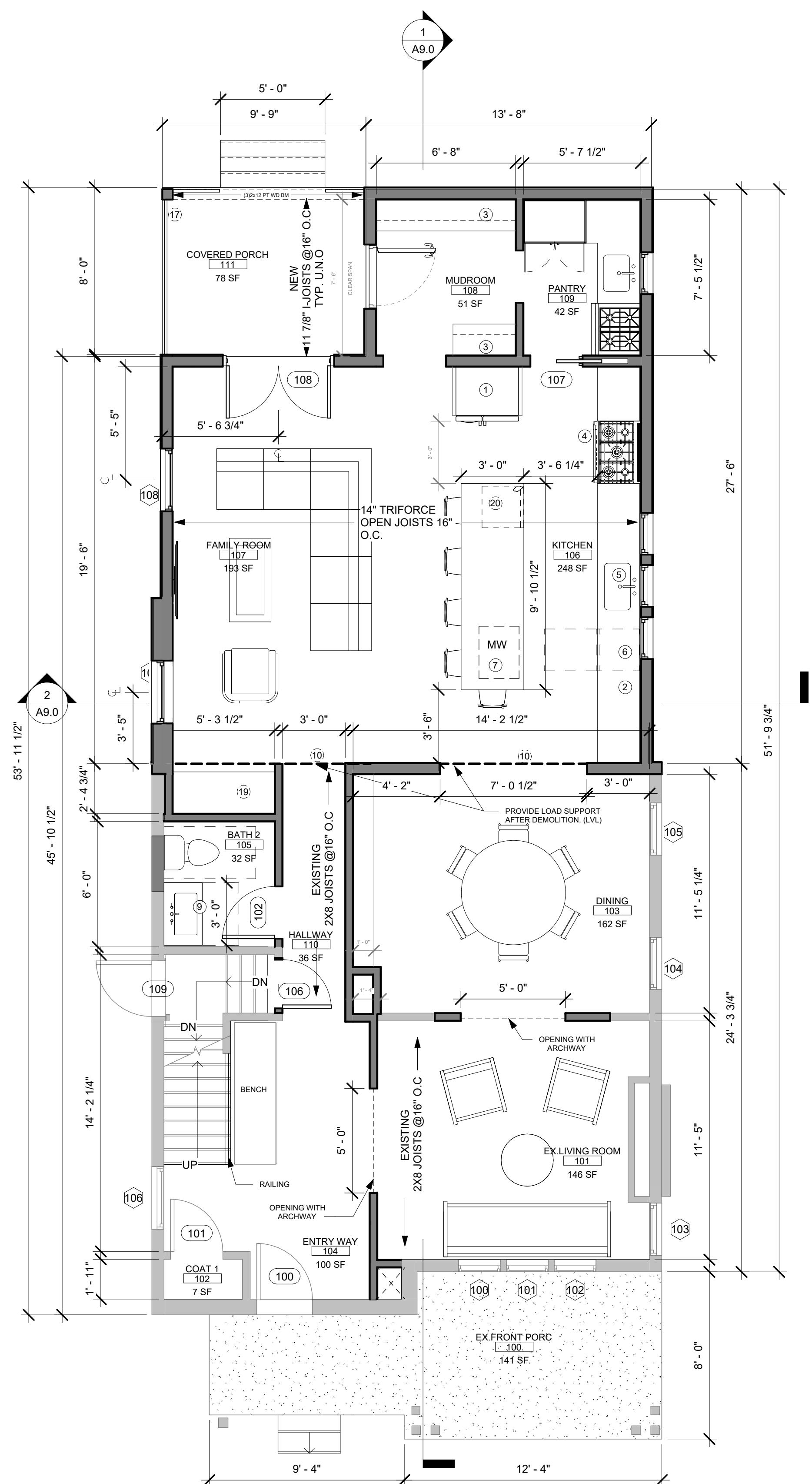
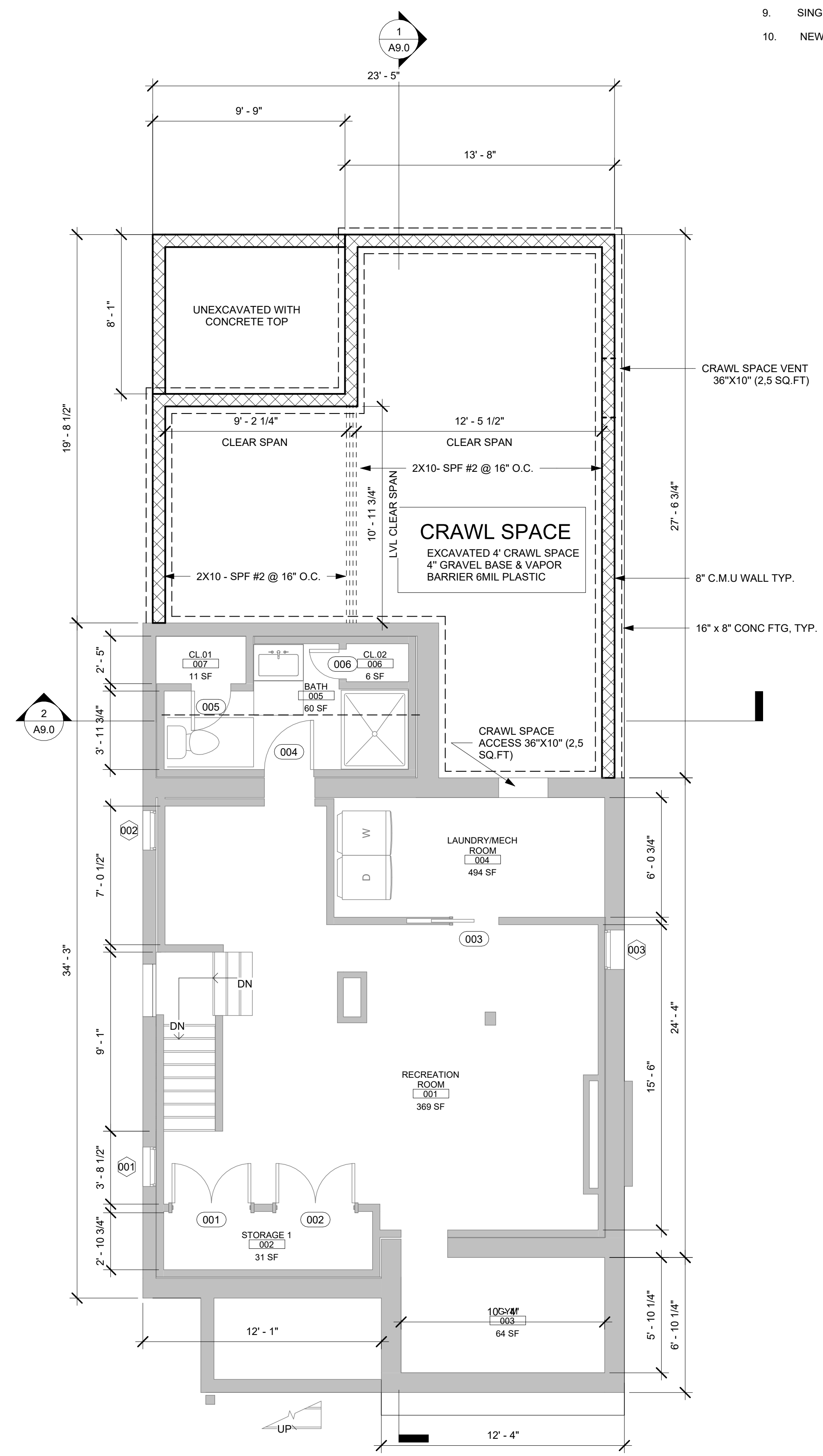
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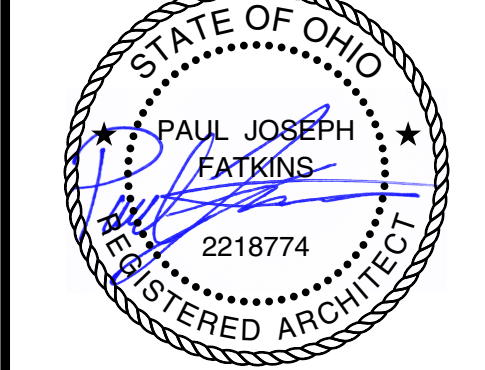
PROPOSED PLANS

Scale: 1/4" = 1'-0" **A4.0**



ELECTRICAL PANEL SCHEDULE			
200 AMP 1PHASE			
CIR	LOAD	CIR	LOAD
1	REFRIGERATOR	20AMP	MICROWAVE
3	DISHWASHER	20AMP	A/C
5	DRYER	30AMP	STOVE
7	WATER HEATER	30AMP	WASHER
9	SMOKE DETECTOR	15AMP	GFCI BATHROOM OUTLETS
11	LIVING RM & KITCHEN LIGHTS	15AMP	LIVING RM AND DINING RM
13	2ND FLR HALL & P BED LIGHTS	15AMP	BEDROOMS 2&3 LIGHTS
15	PRIMARY BEDROOM OUTLETS	20AMP	BEDROOMS 2&3 OUTLETS
17	BEDROOM 4 LIGHTS	15 AMP	BEDROOM 4 OUTLETS
19		20	
21		22	
23		24	
25		26	
27		28	
29		30	

NAME: PAUL JOSEPH FATKINS
 LICENSE #: ARC.2218774
 EXPIRATION: 12/31/2025



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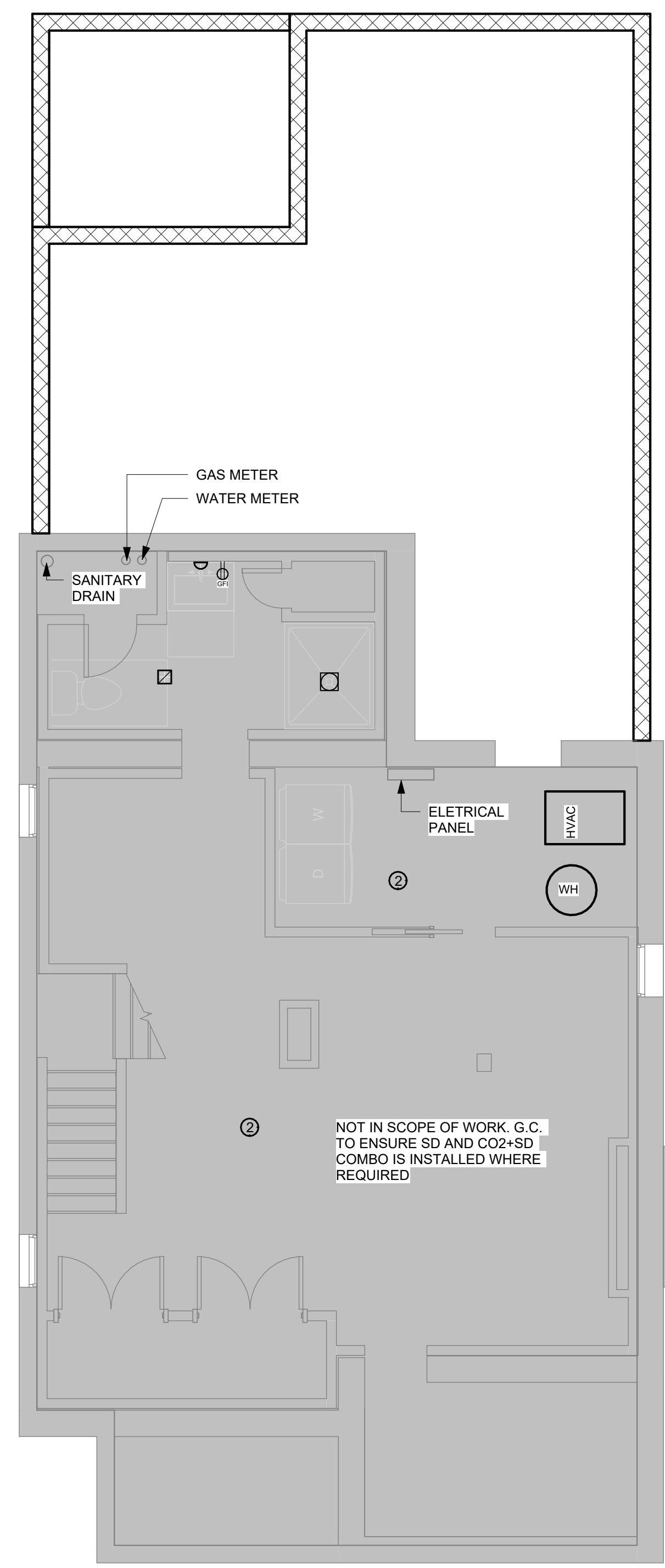
GENERAL NOTES:

- CENTER LIGHT FIXTURES IN ROOMS UNLESS NOTED OR DIMENSIONED OTHERWISE.
- PROVIDE AFCI PROTECTION REQUIRED BY NEC FOR 15 AND 20 AMP CIRCUIT THAT SERVE OUTLETS AND DEVICES EXCLUDING BATHROOMS, GARAGES AND OUTSIDE AREAS.
- ALL SMOKE ALARMS TO BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTUATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN THE INDIVIDUAL DWELLING UNIT.
- BASEMENT AREAS HAVE TO BE BOTH AFCI AND GFCI COMBINATION PROTECTED
- READILY ACCESSIBLE EMERGENCY SERVICE DISCONNECTS ON THE SUPPLY SIDE ARE REQUIRED ON THE OUTDOOR OR WITHIN SIGHT OF A DWELLING UNIT PER NEC 230.85
- ISLAND RECEPTACLES ARE REQUIRED TO BE ON TOP OF THE ISLAND SURFACE. OR YOU HAVE TO HAVE PROVISIONS FOR A FUTURE ADDITION OF A RECEPTACLE OUTLET TO SERVE THE ISLAND

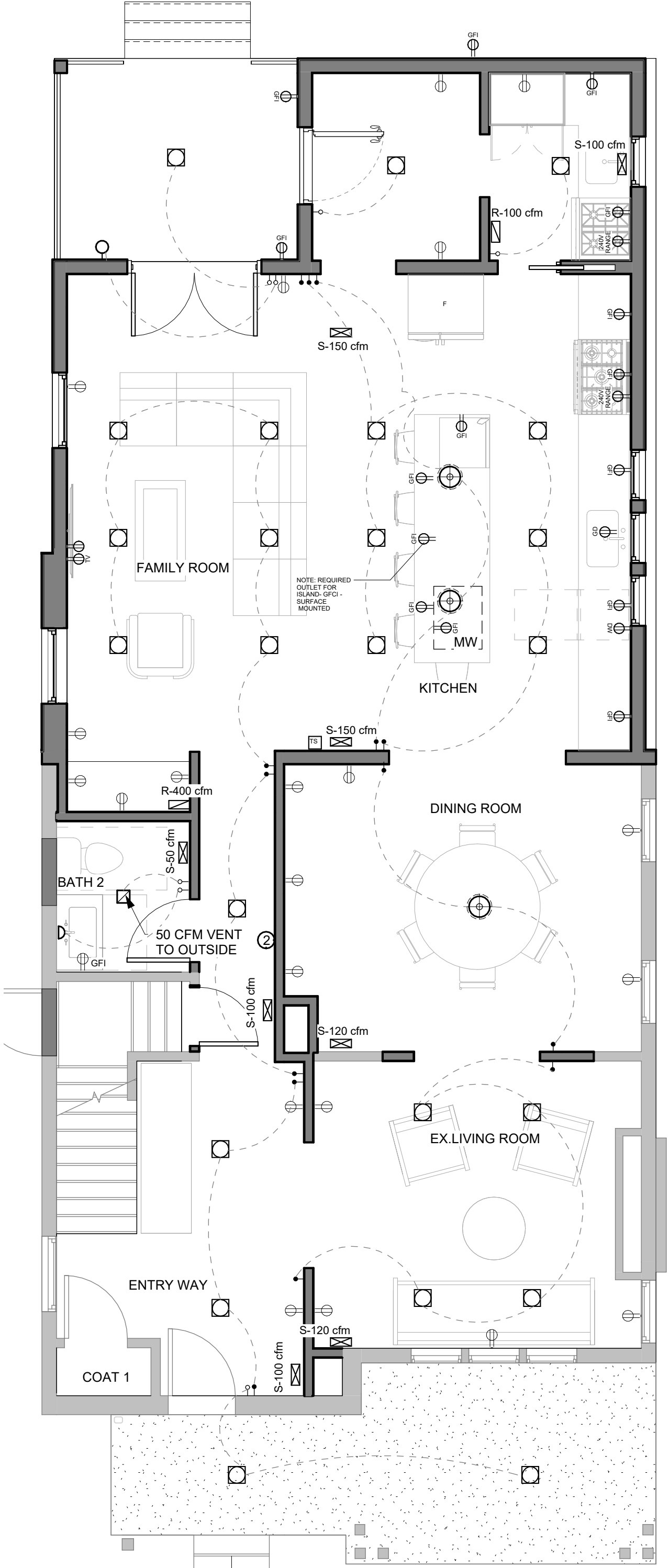
LEGEND

- ⊕ OUTLET
- ⊗ SMOKE AND CO2 DETECTOR
- ⊙ SMOKE DETECTOR
- ⊖ WALL MOUNTED EXTERIOR LIGHT
- ⊖ EXHAUST
- ↑ THREE WAY SWITCH
- ⊖ WALL SWITCH
- ↗ SWITCH LOCATED ON NEXT LEVEL
- CEILING LIGHT
- ⊖ TELEVISION / CABLE
- ⊖ CAT - 5
- ⊖ FLOOR REGISTER
- ⊖ RETURN REGISTER
- ⊖ THERMOSTAT
- ⊗ CEILING FAN AND LIGHT
- ⊕ PENDENT
- ⊖ RECESSED SPOT LIGHT
- △ CAMERA POWER
- ∩ SCONCE

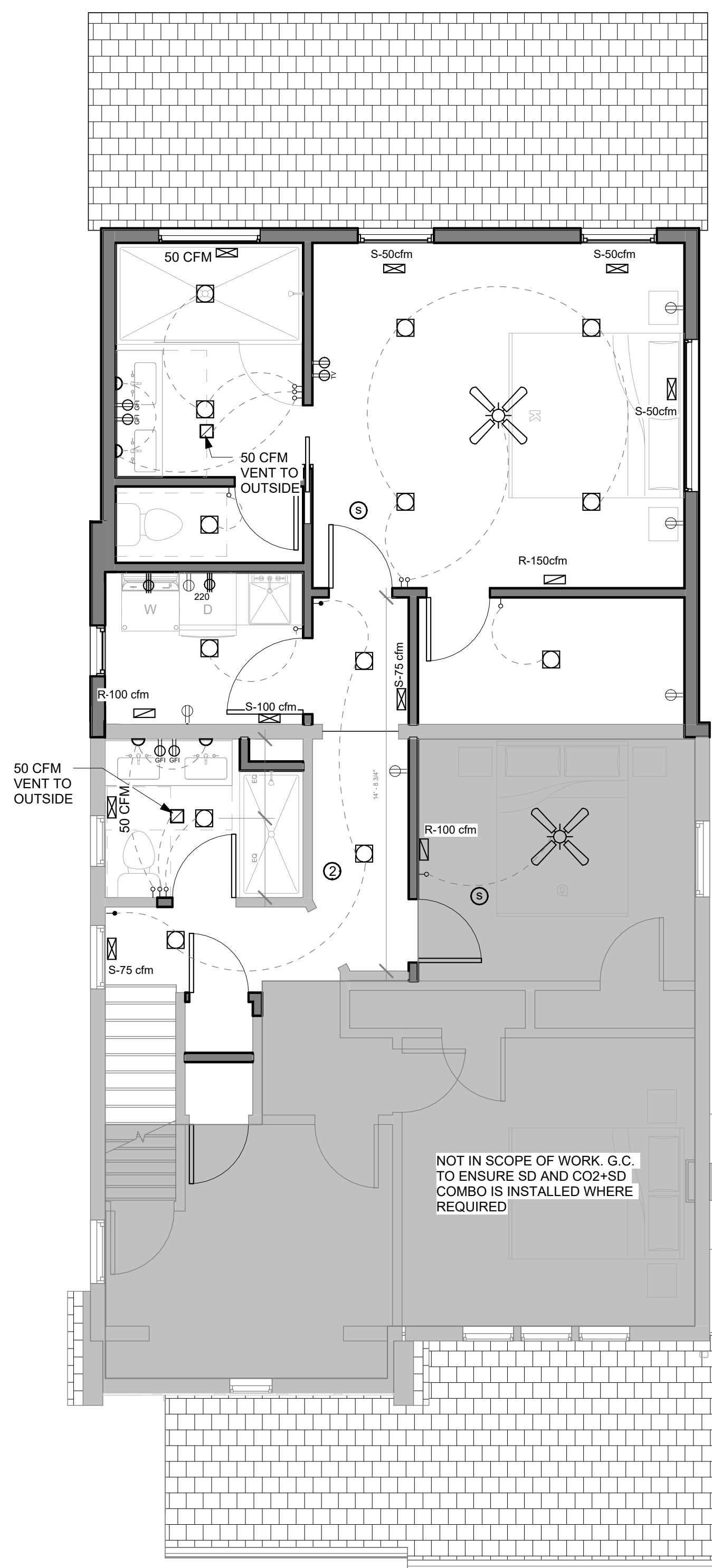
DATE	DESCRIPTION	REV #



1 LEVEL 0 ELECTRICAL
1/4" = 1'-0"



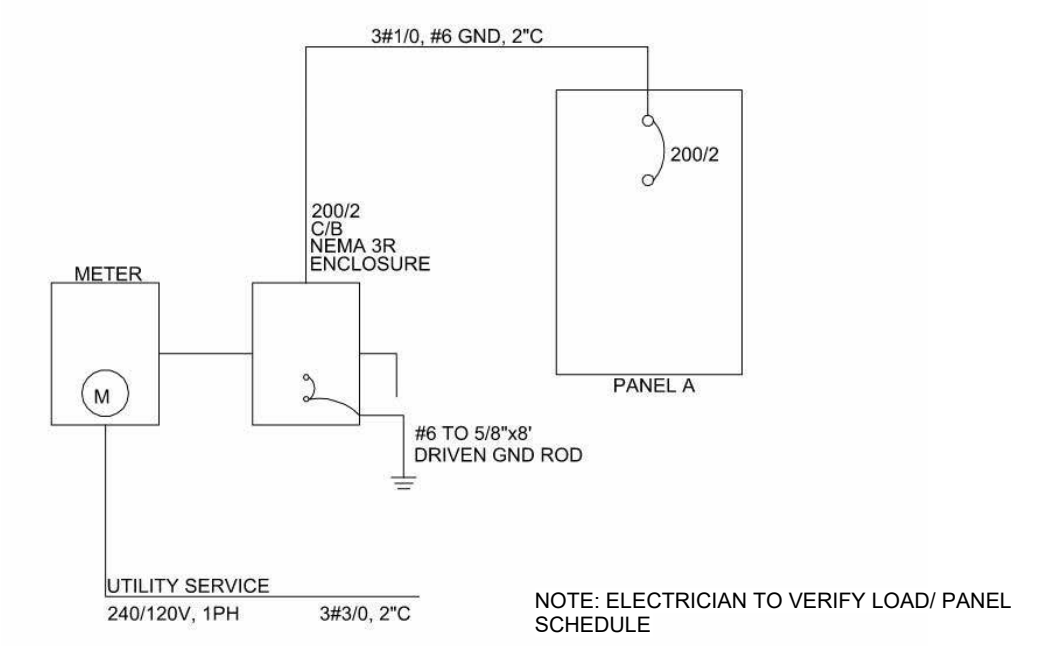
2 LEVEL 1 ELECTRICAL
1/4" = 1'-0"



3 LEVEL 2 ELECTRICAL
1/4" = 1'-0"

Total Floor Area of Dwelling (NEC 220.12) 1934 SQFT.

Factor	Quantity	Volt Amperes (VA)
General Lighting		
1. General Lighting (SQFT X 3 VA/SQ FT (Table 220.12))	3 X 1934 sqft	5802
2. Small Appliance Circuits (1500 VA per circuit) (NEC 220.52(A)) (minimum 2)	1500 X 4	6000
3. Laundry Circuit (1500 VA per circuit) (NEC 220.52(B))	1500 X 1	1500
4. Total General Lighting Load (Add lines 1, 2 & 3):		13302
5. First 3000 VA @ 100%:		3000
6. Total General Lighting Load - 3000 =	10302 @ 35% =	3606
7. Net General Lighting Load (Per NEC 220.42) (Add lines 5 & 6):		6606
*Fixed Appliances (if insufficient space, use back):		
• Garbage Disposal	✓	900
• Bathroom Fan	✓	700
• Microwave	✓	1400
• Dishwasher	✓	1500
• Other:		
• Other:		
Total		4500
8. 3 or less Appliances, Total Appliance VA;		
4 or more Appliances, 75% of Total Appliance VA (NEC 220.53):		3375
*Other Loads (including motors, EV charger(s), etc.)		
9. Electric Range (8000VA or Nameplate)**	✓	8000
10. HVAC	✓	6000
11. Electric Oven	✓	5000
12. Electric Dryer (5000 VA minimum)**	✓	5000
13. Electric Vehicle Charger	✓	
14. Other:		
15. Other:		
16. 25% of largest motor (NEC 430.24)		
Total Service Load Volt-Amperes (VA) (Add lines 7, 8 & 9 thru 16) =		33981
Total Service Load Volt-Amperes / 240-volts =		142 Amperes
**Service Rating (Amperes) = 200		
* For every "YES" answer, indicate VA rating of equipment		
** Nameplate rating must be used if larger		
*** Service Rating shall be greater than or equal to the Service load		



Riser diagram

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 REFLECTED CEILING PLANS
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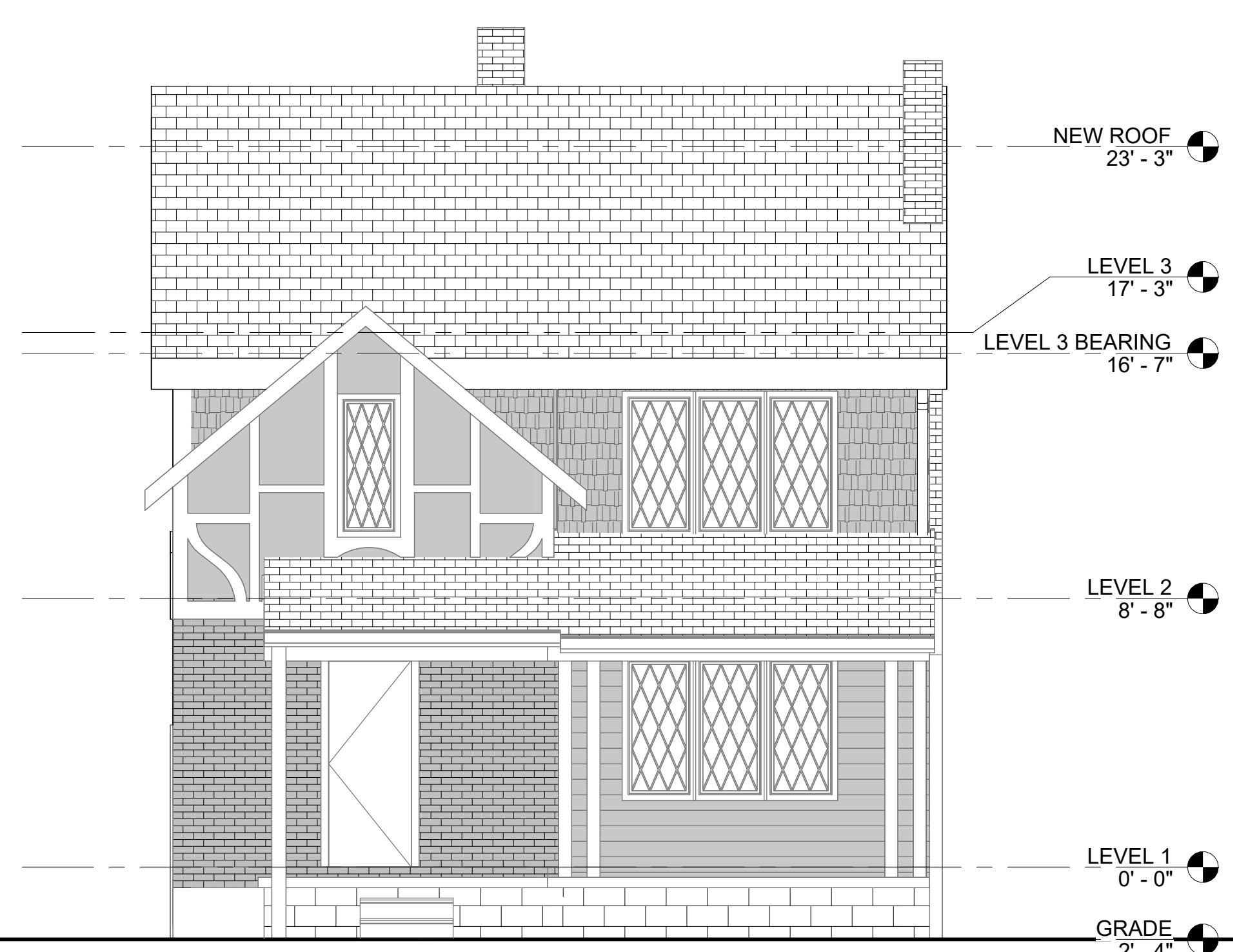
REV #	DESCRIPTION	DATE

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 EXTERIOR ELEVATIONS

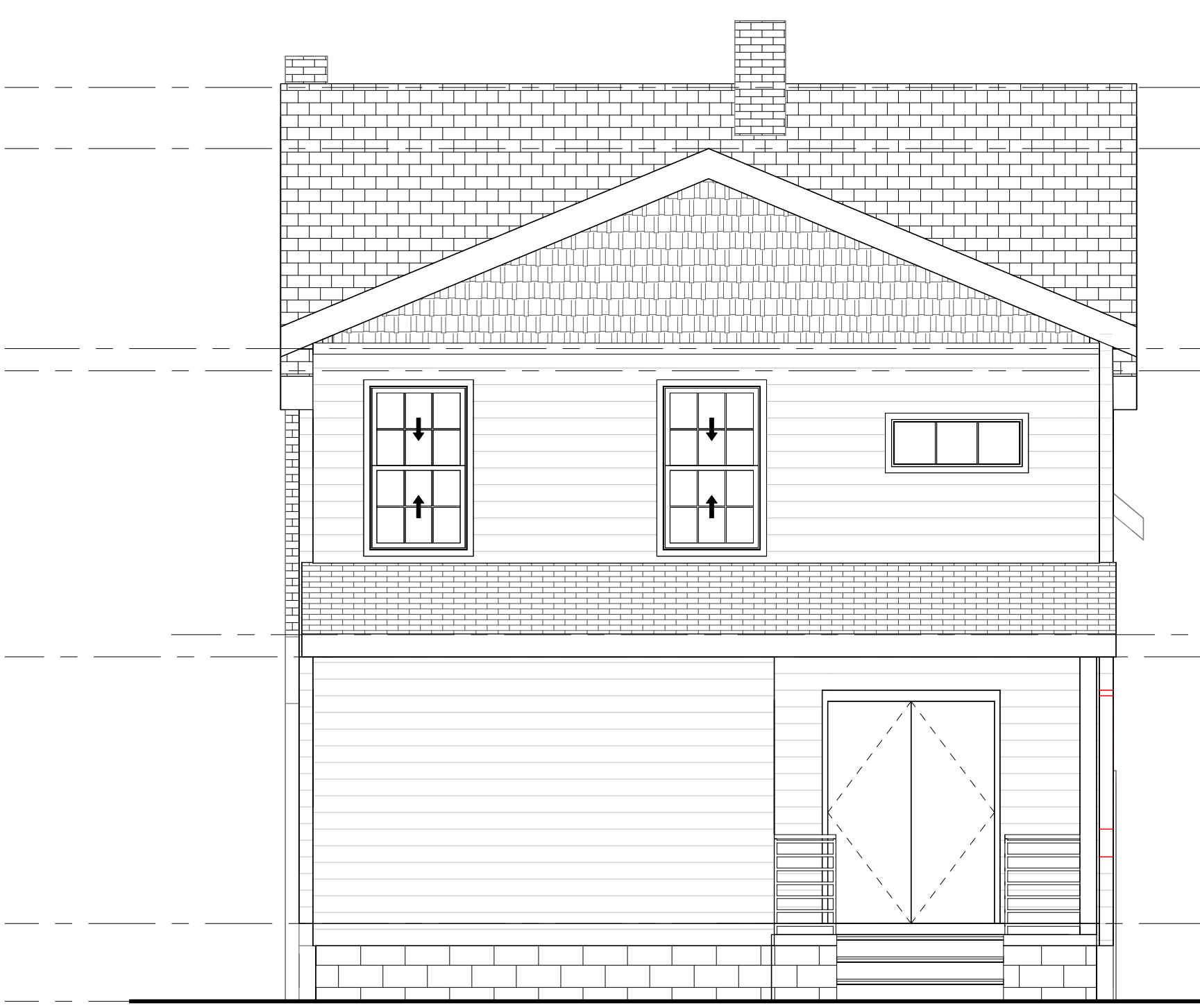
Scale: 1/4" = 1'-0" **A10.0**

- LEGEND**
- EXTERIOR VISION GLAZING
 - ROOF ASPHALT SHINGLES
 - LAP SIDING
 - SHAKE SIDING
 - NEW ADDITION
 - EXISTING CONDITION



1 East
 1/4" = 1'-0"

3 South
 1/4" = 1'-0"



2 North
 1/4" = 1'-0"

4 West
 1/4" = 1'-0"

CRAWL SPACE
 -5' - 8"

CRAWL SPACE
 -5' - 8"

Authorization Letter For Representative

I, Kate Cheresnick hereby give authorization to Austin Yoke
Owner's Name Representative's Name

to complete, submit, and represent my interest in the City of Bexley Architectural Review Board

Application process for my personal property at 2415 S Havenwood Dr. Bexley, OH 43209
Property Address

I ensure that the representative has substantial knowledge of the project and will provide credible information when and if necessary for the processing of the application.

Yours Truly,

<i>Kate Cheresnick</i>	dotloop verified 12/12/24 6:50 AM EST QWPR-INNQ-OGHX-X0DQ
------------------------	---

Owner's Signature

12/12/2024
Date

Kate Cheresnick
Print Name



2415













SITE LEGEND

- PROPERTY LINE
- PUBLIC RIGHT OF WAY BOUNDARY
- NEW ADDITION
- ▒ EXISTING RESIDENCE
- ▨ DEMOLITION EXISTING STRUCTURE

SITE DATA

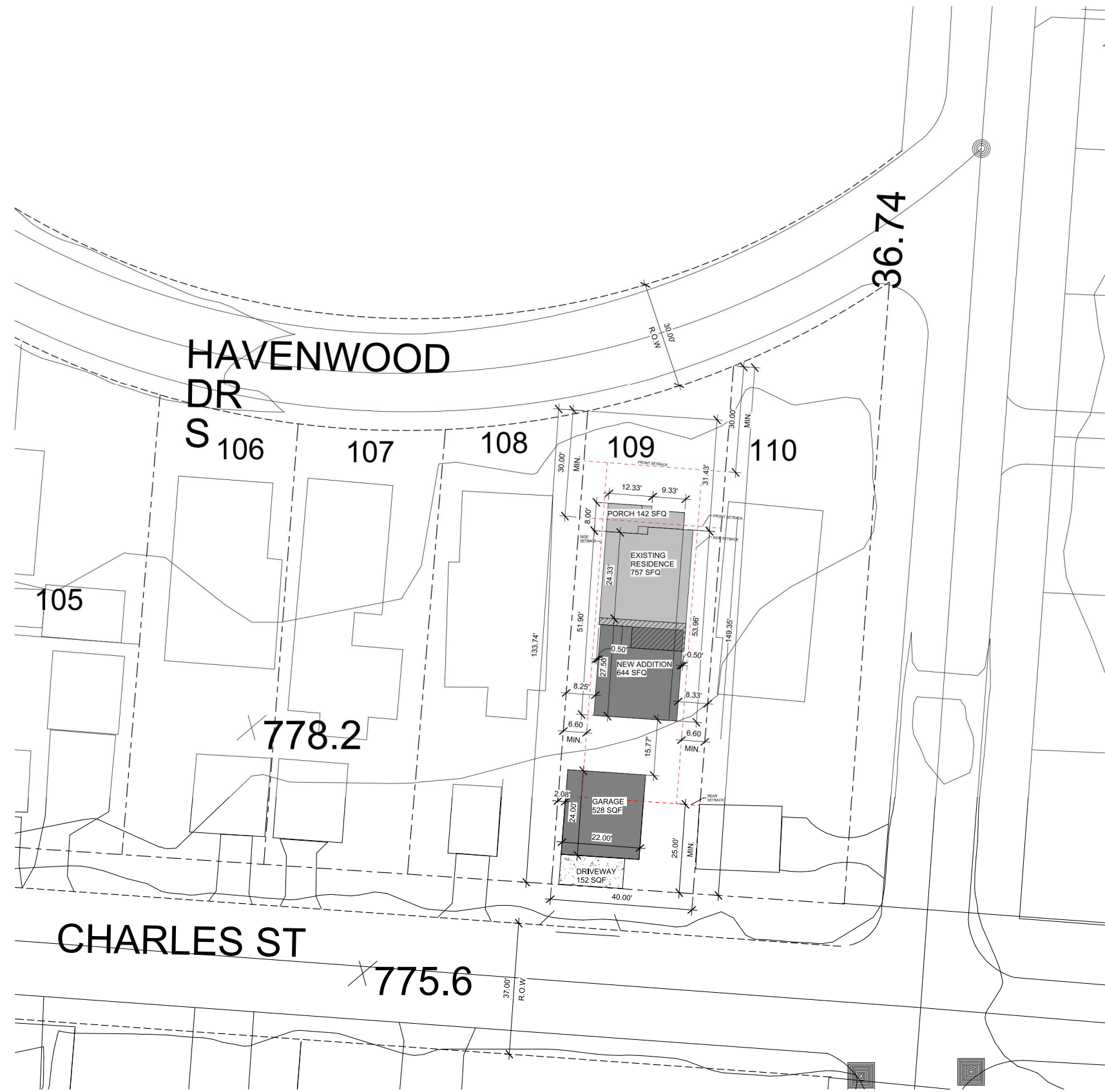
ADDRESS: 2415 S HAVENWOOD DR
 OWNER: CHERESNICK COREY E
 PARCEL NUMBER: 020-003037-00
 ZONING CLASSIFICATION: R6- RESIDENTIAL

SCOPE WORK

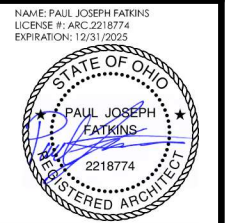
NEW ADDITION AND RENOVATION OF EXISTING BUILDING INTERIOR SPACE AND ADJUSTED CONFIGURATION OF FLOOR PLAN LAYOUT. ADDITION OF 2 CAR GARAGE

DEVELOPMENT INFORMATION

ZONING DESIGNATION	=R-6
TOTAL LAND AREA	= 5,641 SF
PROSED LOT COVER	
EXISTING HOUSE + PORCH	= 757 SF + 142 SF
PROPOSED GARAGE	= 528 SF
PROPOSED ADDITION + PORCH	= 427 SF + 78 SF
TOTAL BUILDING COVER	=1,932 SF (34%)
PROPOSED DEVELOP COVER	
BUILDING COVER	= 1,932 SF
DRIVEWAY EXISTING	= 152 SF
TOTAL	=2,084 SF (37%)



1 SITE
1/16" = 1'-0"



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SITE PLAN

Scale: As indicated A1.0

NOTE: ARCHITECTURAL SITE PLAN DOES NOT SUPERSEDE A PROFESSIONAL SURVEY CONDUCTED BY A LICENCED SURVEYOR. SITE INFORMATION HAS BEEN SOURCED FROM FRANKLIN COUNTRY AUDITOR WEBSITE.