

24204.00

Bexley ARB Review Set

Prepared for:

Charles Hillman
2281 Bryden Road
Bexley, OH



1. FINISH GARAGE FLOOR
 2. FINISH GARAGE FLOOR
 3. FINISH GARAGE FLOOR

PREPARED BY:



JEZERINAC GEERS & ASSOCIATES
 5640 FRANTZ ROAD
 DUBLIN, OH 43017



MOODY•NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OH 43215

PHONE: 614 766-0066 FAX: 614 766-1223

PHONE: (614) 461-4664 FAX: (614) 280-8881

ABBREVIATIONS

Table of abbreviations categorized by letter (A-Z). Includes symbols for architectural elements like doors, windows, and materials, and their corresponding abbreviations.

SYMBOLS LEGEND

Visual symbols for various architectural features: Building Section, Wall Section, Detail Section, Exterior Elevation, Interior Elevation, Window/Curtain Wall Elevation, Vertical Elevation/Level Mark, Spot Elevation, Revision Cloud & Tag, View Title, Graphical Scale, Matchline/View Reference, Grids Heads/Lines, Room Tags, Room Occupancy Tag, Room Finish Tag, Door Type Tag, Wall Type Tag, Window Type Tag, Ceiling Tag, Curtain Panel Type Tag, Coded Note/Accessory Tag, Keynote, Furniture/Equipment Tag, Casework Tag, Millwork Note, North Arrow, Area Tag.

CODE SUMMARY

OWNER: OWNERS NAME: CHARLES HILLMAN OWNERS ADDRESS: 2281 BRYDEN RD, BEXLEY, OH 43209 OWNERS PHONE: 614.537.0989 HOME OWNER AGENT/CONTRACTOR: CONTRACTORS NAME: MIKE WAGNER CONTRACTORS ADDRESS: 880 E. 11th AVE, COLUMBUS, OH 43211 CONTRACTORS PHONE: 614.421.6102 SITE ADDRESS: 2281 BRYDEN RD, BEXLEY, OH 43209 SITE ZONING: SITE AREA: 11,250 SF PARKING REQUIRED: EXISTING DRIVEWAY/GARAGE TO REMAIN PARKING SHOWN: N/A BUILDING CODES: OHIO BUILDING CODE: 2017 OHIO PLUMBING CODE: 2017 OHIO MECHANICAL CODE: 2017 NATIONAL ELECTRIC CODE: 2017 INTERNATIONAL FUEL GAS CODE: 2015 INTERNATIONAL ENERGY CONSERVATION CODE: 2012 ICC A117.1-2009 ACCESSIBLE AND USEABLE BUILDINGS AND FACILITIES ASHRAE 90.1 2010 OHIO FIRE CODE: 2017 COLUMBUS OHIO ZONING CODE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN NFPA 101 LIFE SAFETY CODE 2015 BUILDING DATA: CONSTRUCTION TYPE: V USE GROUP: R-3 ALLOWABLE HEIGHT: 35'-0" ACTUAL HEIGHT: 24'-0" AREA SF INFORMATION: FOOTPRINT AREA OF ENTIRE HOUSE: 1,437 SF FLOOR AREA OF ADDITION: 375 SF

INDEX OF DRAWINGS

Index of drawings table with columns for Volume 1 and Volume 2, listing drawing numbers and names.

AREA MAP



VICINITY MAP



MATERIALS LEGEND

Materials legend table listing various materials and their corresponding hatching patterns used in the drawings.

Change description table with columns for #, DATE, and CHANGE DESCRIPTION.

CLIENT LOGO IF AVAILABLE: Bexley ARB Review Set 2281 Bryden Road Bexley, OH FOR Charles Hillman

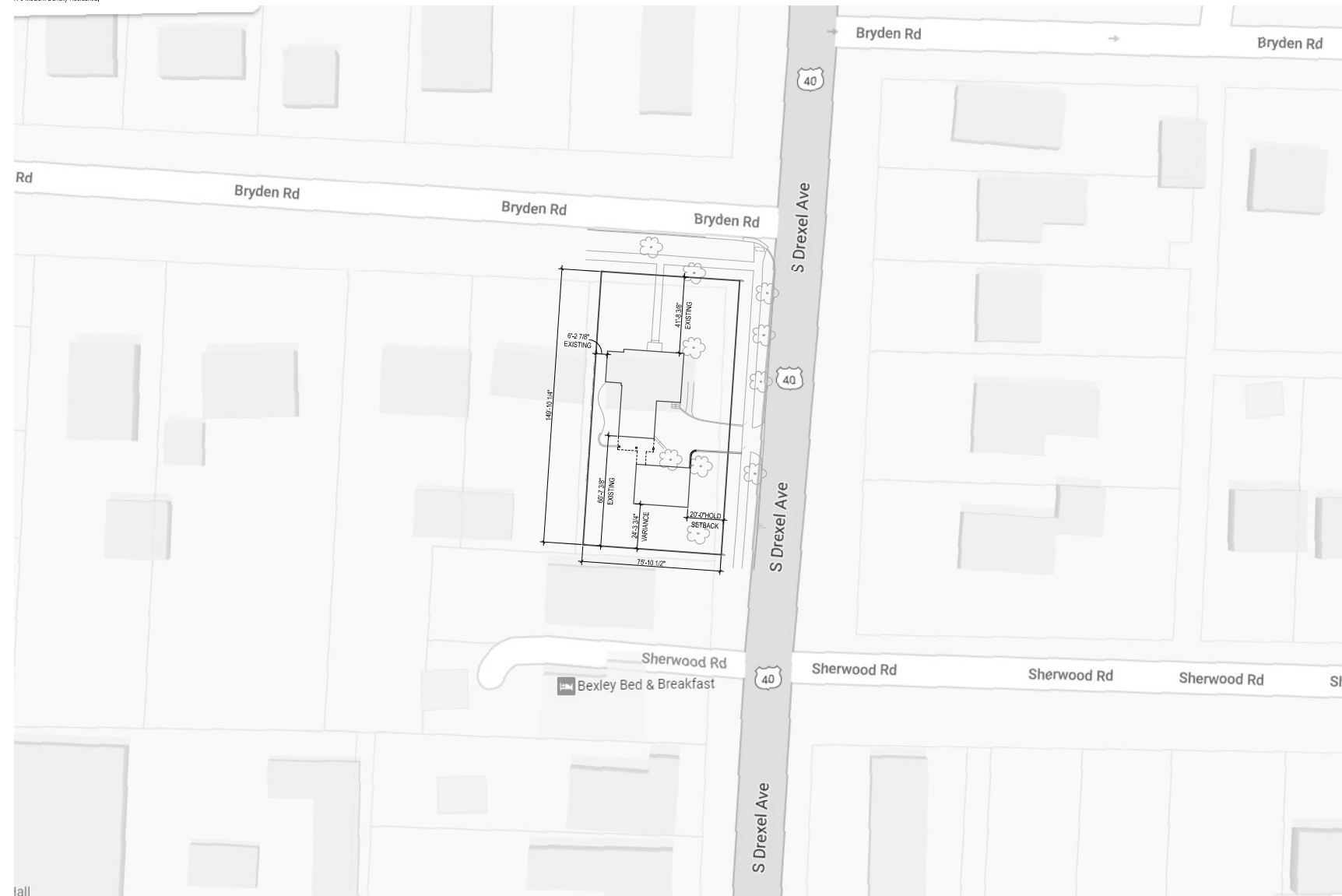
MOODY-NOLAN 300 SPRUCE STREET SUITE 300 COLUMBUS, OHIO 43215 PHONE: (614) 461-4664 FAX: (614) 280-8881

DRAWING INDEX

Drawing index table with columns for DATE, DRAWN BY, CHECKED BY, and DRAWING NUMBER (G001).

2281 Bryden Rd.
Bexley, OH 43209

Parcel ID: 024-01974
Map R# Number: 020.052 01500
Property Class Code: 510
R-3 Medium Density Residential



1 PLAN Site Parcel
1" = 30'-0"



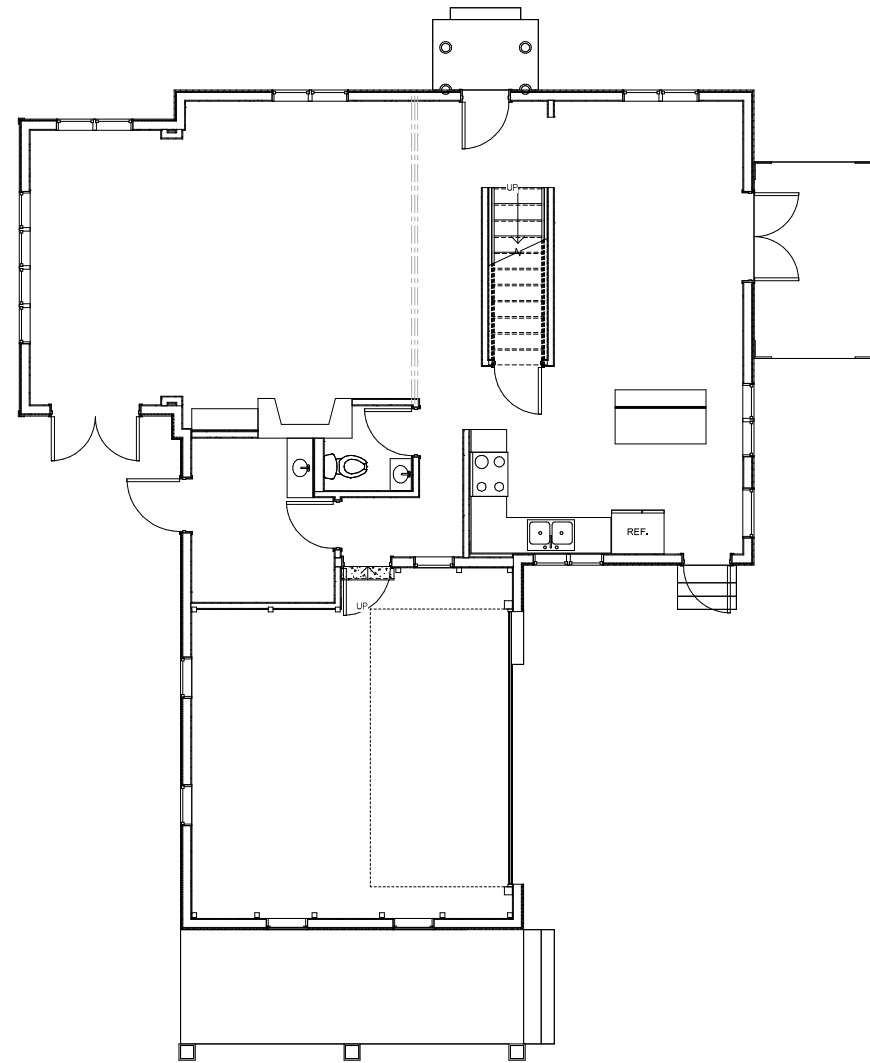
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DRAWING TITLE
SITE PLAN

PROGRESS DRAWING NOT FOR CONSTRUCTION	07/11/2024	
	DRAWN BY: CM	CHECKED BY: DM
	24204.00	
	A100	
CONSTRUCTION DOCUMENTATION		



1 PLAN FIRST FLOOR - EXISTING CONDITIONS
1/4" = 1'-0"

GENERAL NOTES

1. ALL MATERIALS, FINISHES, AND TYPE TO MATCH EXISTING CONDITIONS.
2. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
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4. DASHED LINEWORK ON DEMOLITION SHEETS INDICATE ELEMENTS TO BE REMOVED.
5. CONTRACTOR SHALL PROVIDE CONTROL JOINTS, WHERE NECESSARY, TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS OF PRODUCTS USED.
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- ⑦ WOOD PANEL.
- ⑧ NEW BRICK INFILL TO MATCH EXISTING BRICK WALL.
- ⑨ NEW STAR BEYOND.
- ⑩ 6" LAP, WOOD SIDING.
- ⑪ BRICK WATER TABLE.
- ⑫ NEW PITCH TO FOLLOW EXISTING PITCH AT 2ND FLOOR.
- ⑬ NEW PLANTER.
- ⑭ NEW 18'-7" X 8'-7" OVERHEAD DOOR.
- ⑮ REMOVE EXISTING DOOR, NO INFILL, FINISHED ENDS.
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- ⑰ WOOD TRIM.

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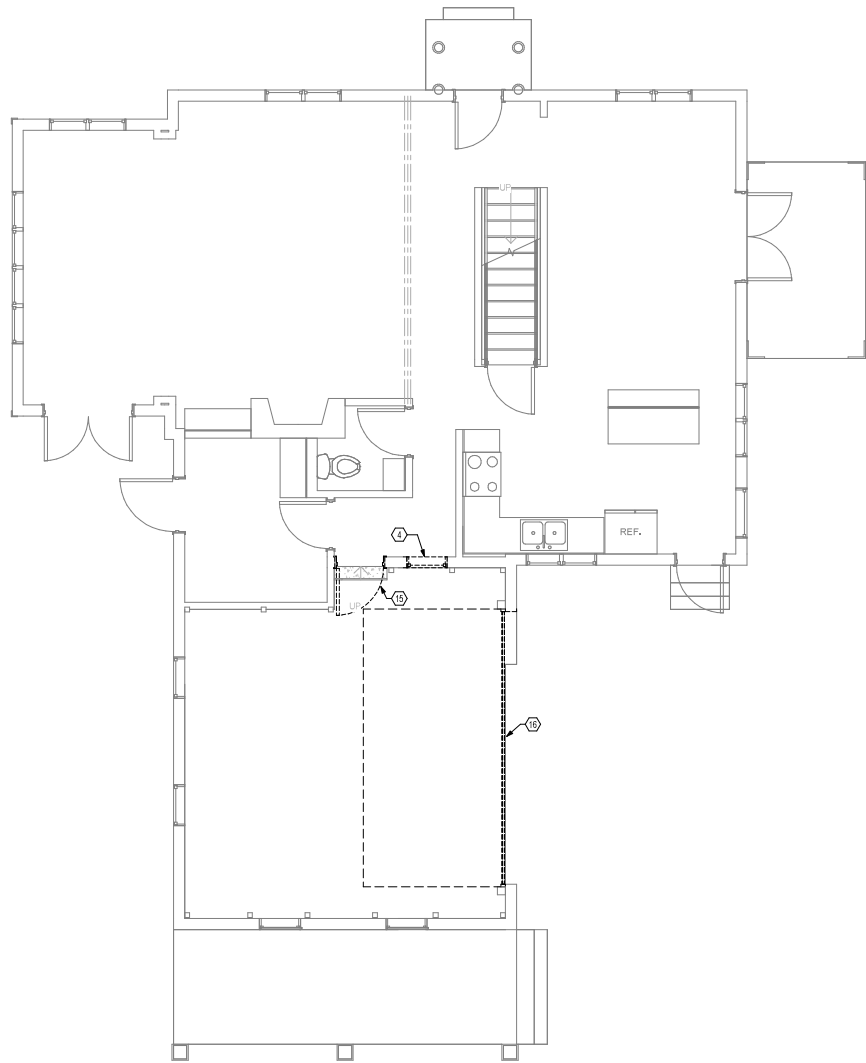
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DRAWING TITLE
FIRST FLOOR - EXISTING CONDITIONS

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CONSTRUCTION DOCUMENTATION



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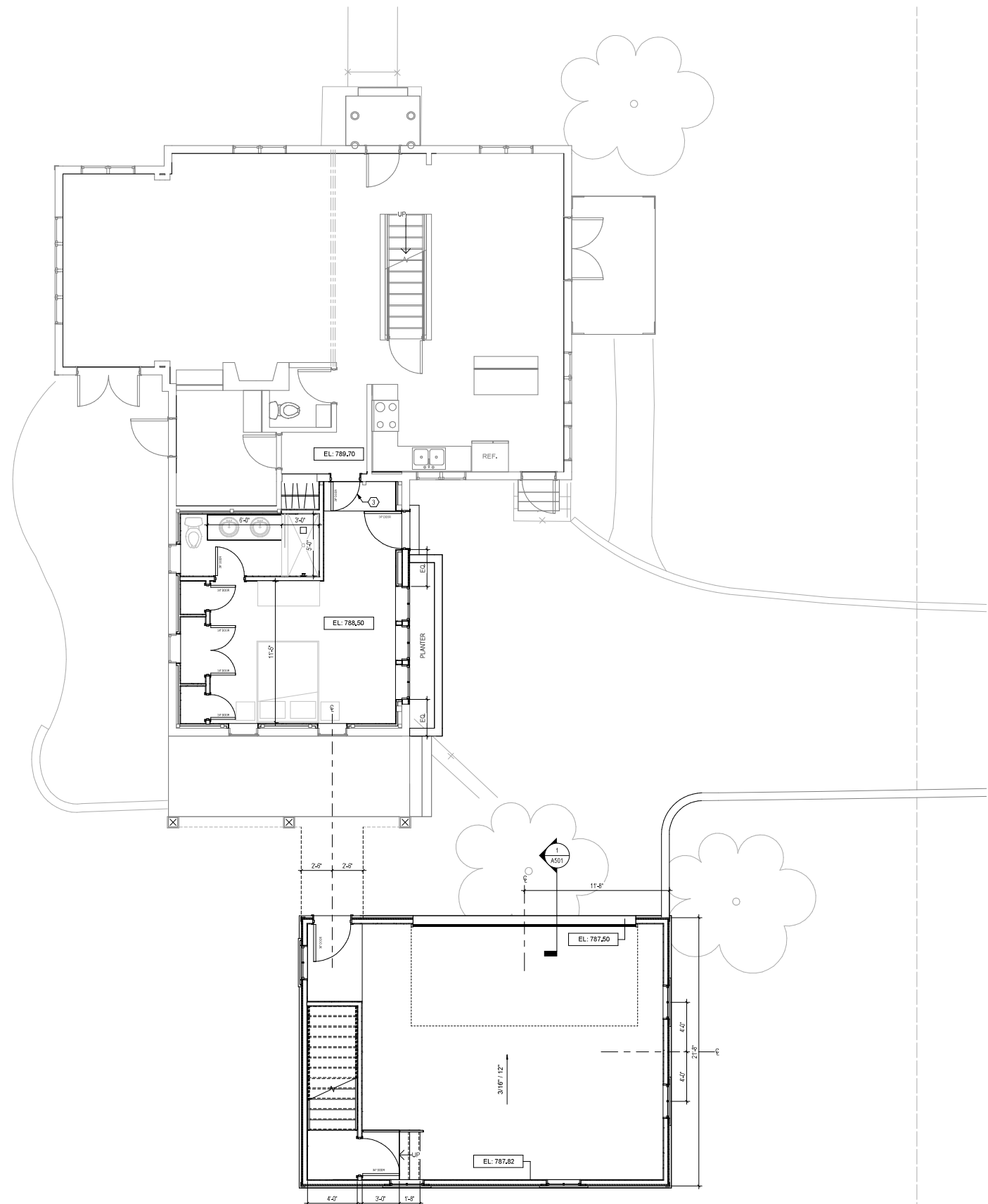
CLIENT LOGO IF AVAILABLE **Bexley ARB Review Set**
281 Bryan Road
Bexley, OH
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FIRST FLOOR - DEMOLITION

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CONSTRUCTION DOCUMENTATION		

1 PLAN FIRST FLOOR - DEMOLITION
1/4" = 1'-0"



1 PLAN FIRST FLOOR - NEW CONSTRUCTION
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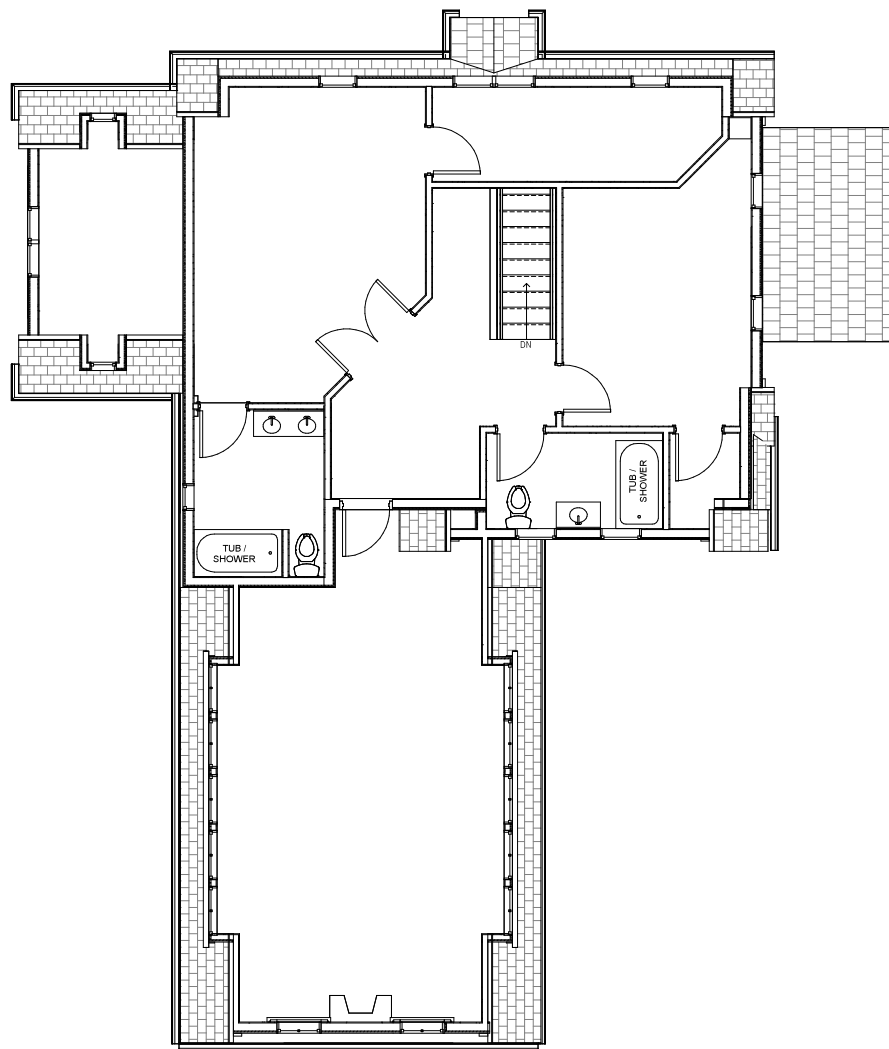
#	DATE	CHANGE DESCRIPTION

CLIENT LOGO IF AVAILABLE: **Bexley ARB Review Set**
 2201 Bryden Road
 Bexley, OH
 FOR: **Charles Hillman**

MOODY-NOLAN 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

DRAWING TITLE
FIRST FLOOR - NEW CONSTRUCTION

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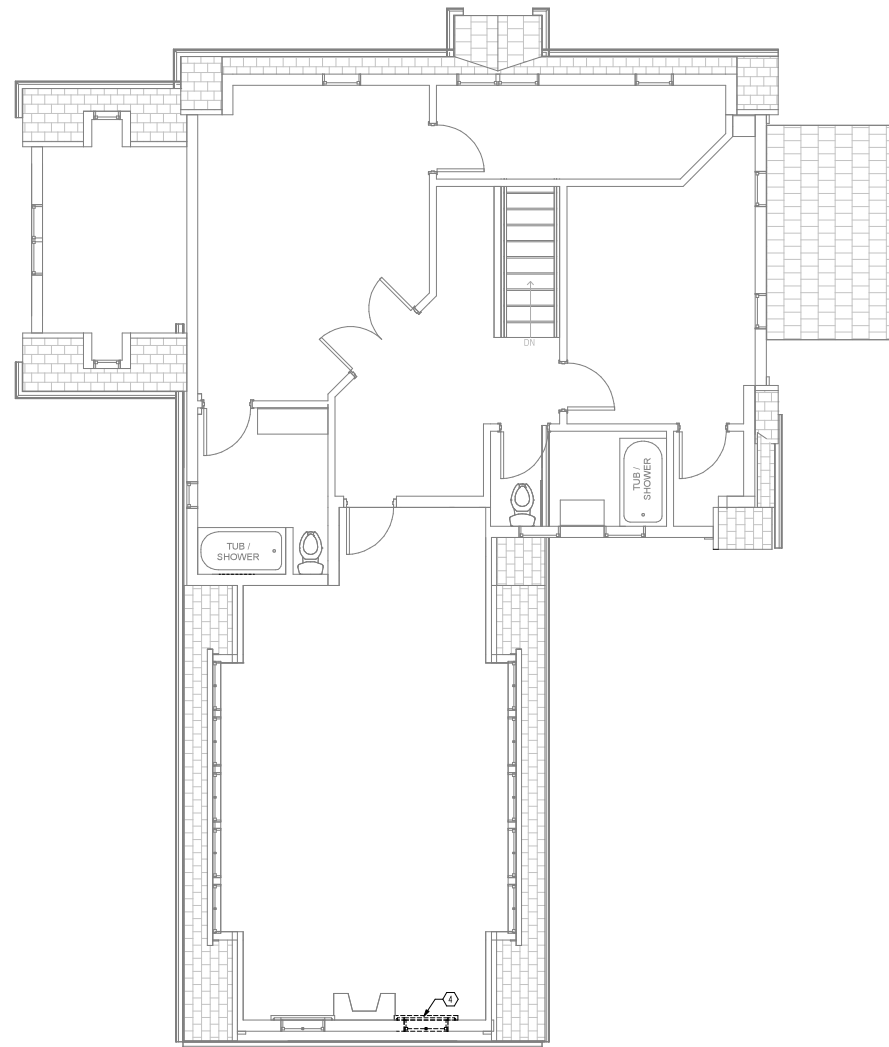
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SECOND FLOOR - EXISTING CONDITIONS

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CONSTRUCTION DOCUMENTATION		

1 PLAN SECOND FLOOR - EXISTING CONDITIONS
 1/4" = 1'-0"



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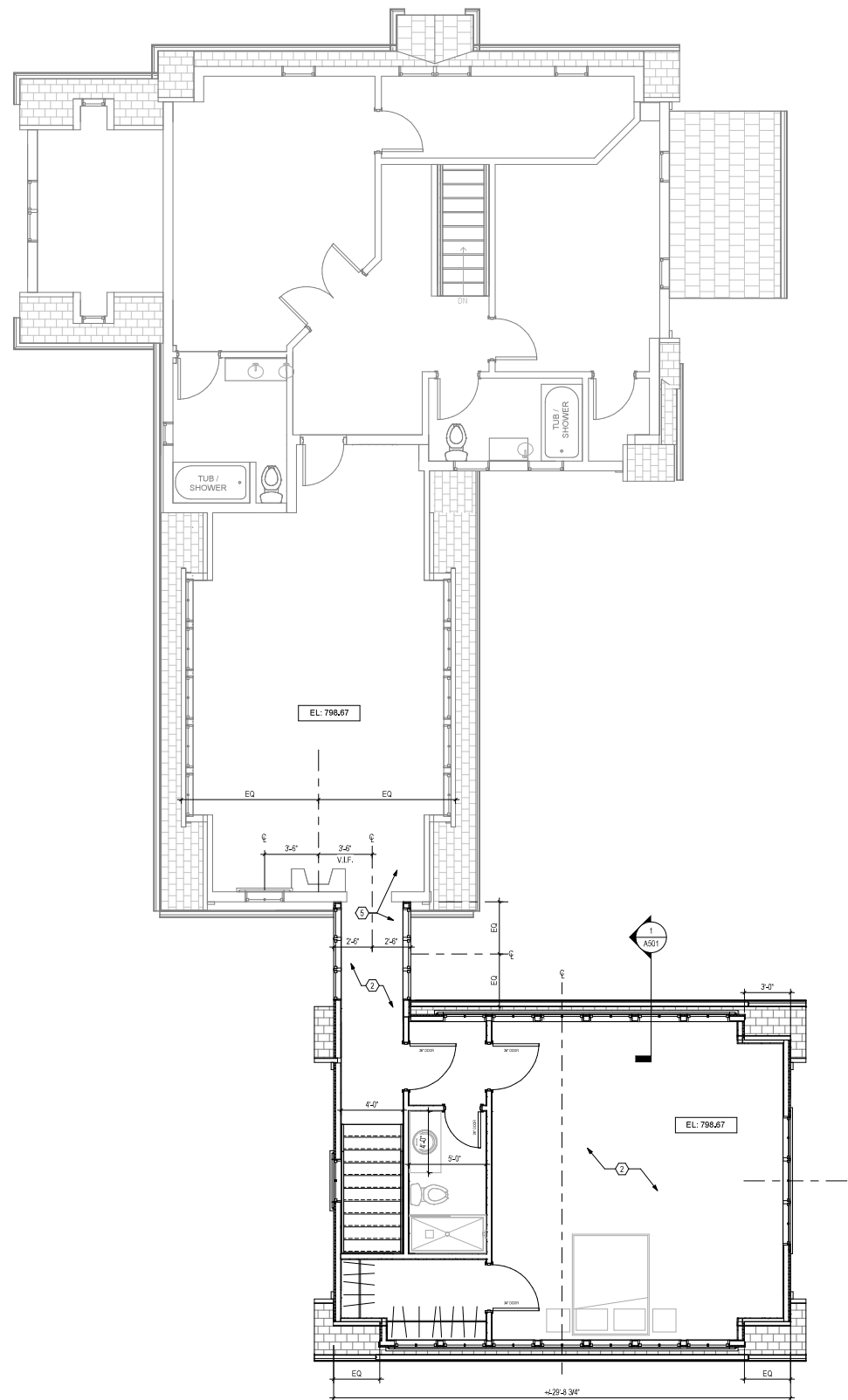
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SECOND FLOOR - DEMOLITION

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	A102A	
CONSTRUCTION DOCUMENTATION		

1 PLAN SECOND FLOOR - DEMOLITION
 1/4" = 1'-0"



1 PLAN SECOND FLOOR - NEW CONSTRUCTION
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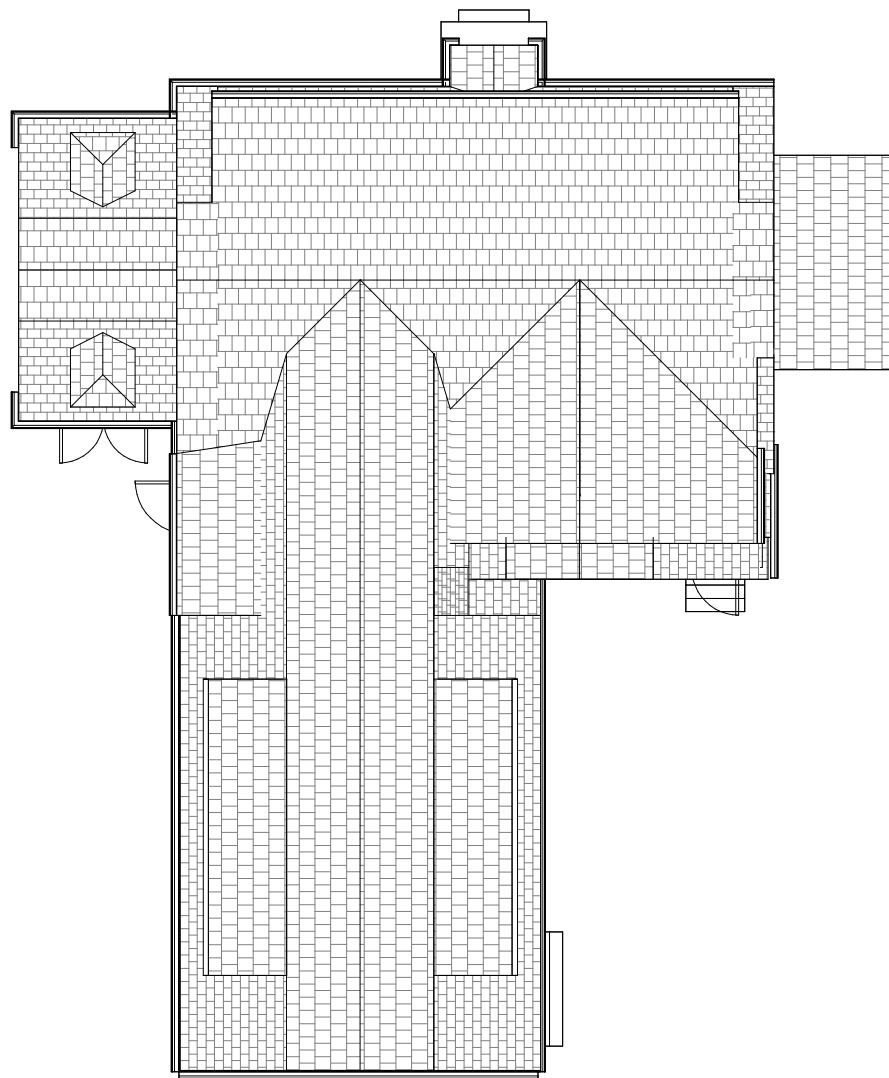
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SECOND FLOOR - NEW CONSTRUCTION

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1 PLAN ROOF LEVEL - EXISTING CONDITIONS
1/4" = 1'-0"

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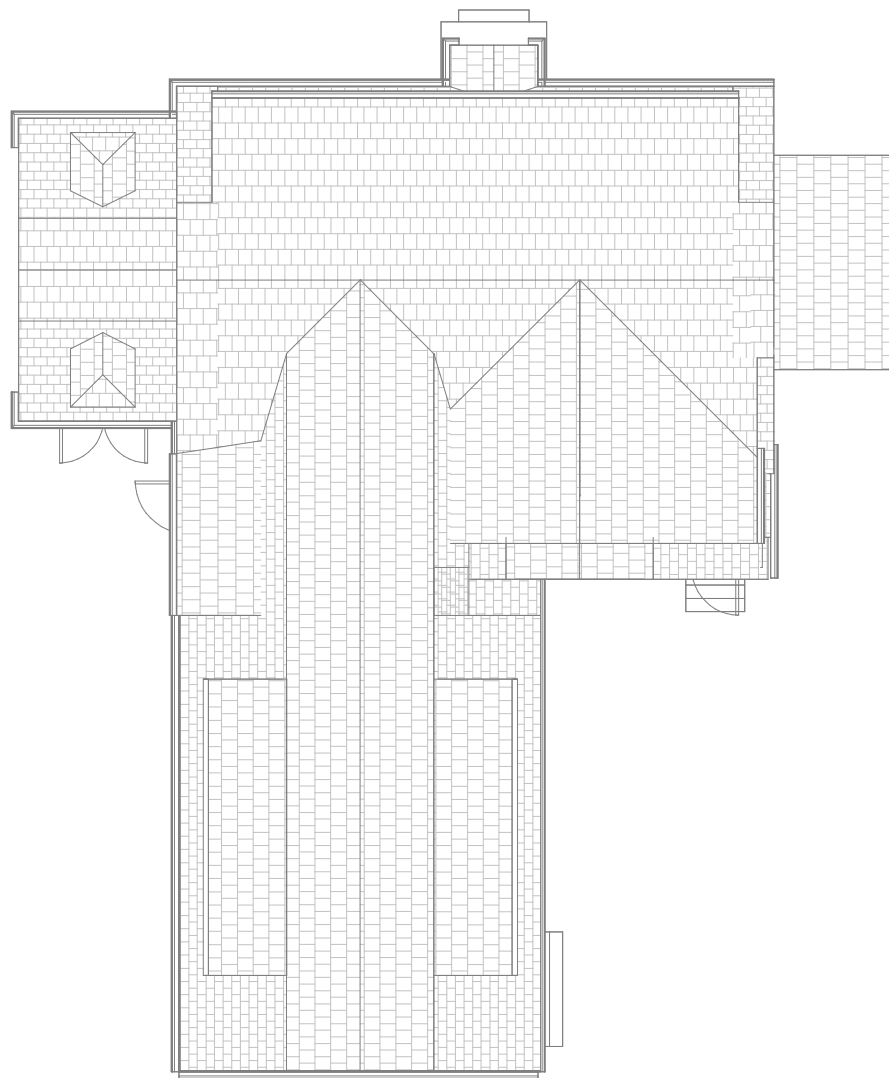
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ROOF LEVEL - EXISTING CONDITIONS

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- 4 REMOVE EXISTING WINDOW, INFILL AND FINISH.
- 5 ALIGN NEW 2nd FLOOR, ABOVE GARAGE, w/ EXISTING 2nd FLOOR OF THE REST OF THE HOUSE.
- 6 ALIGN ROOF PEAKS, COORDINATE BETWEEN CONTRACTOR & STRUCTURAL ENGINEER.
- 7 WOOD PANEL.
- 8 NEW BRICK INFILL TO MATCH EXISTING BRICK WALL.
- 9 NEW STAR BEYOND.
- 10 6" LAP, WOOD SIDING.
- 11 BRICK WATER TABLE.
- 12 NEW PITCH TO FOLLOW EXISTING PITCH AT 2nd FLOOR.
- 13 NEW PLANTER.
- 14 NEW 18'-7" X 8'-4" OVERHEAD DOOR.
- 15 REMOVE EXISTING DOOR, NO INFILL, FINISHED ENDS.
- 16 REMOVE EXISTING OVERHEAD DOOR, INFILL AND FINISH.
- 17 WOOD TRIM.

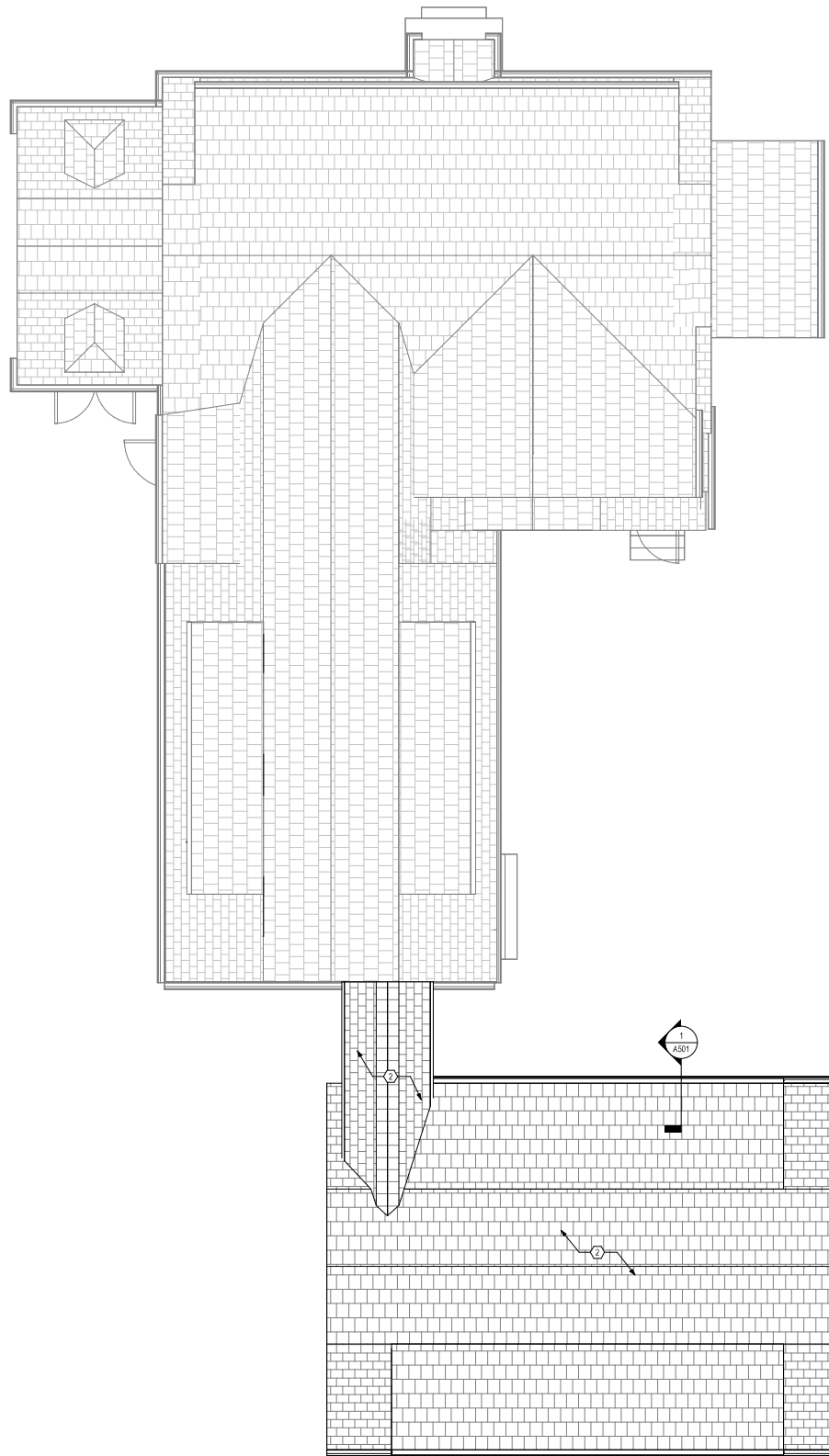
#	DATE	CHANGE DESCRIPTION

CLIENT LOGO IF AVAILABLE **Bexley ARB Review Set**
 2381 Bryan Road
 Bexley, OH
 FOR **Charles Hillman**

 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

ROOF LEVEL - DEMOLITION

PROGRESS DRAWING NOT FOR CONSTRUCTION	07/11/2024	
	DRAWN BY: CM	CHECKED BY: DM
	24204.00	
	A103A	
CONSTRUCTION DOCUMENTATION		



1 PLAN ROOF LEVEL - NEW CONSTRUCTION
 1/4" = 1'-0"

GENERAL NOTES

1. ALL MATERIALS, FINISHES, AND TYPE TO MATCH EXISTING CONDITIONS.
2. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
3. COORDINATE STRUCTURAL MEMBERS w/ STRUCTURAL ENGINEER & CONTRACTOR PRIOR TO ERECTING 2nd FLOOR AND ROOF FRAMING.
4. DASHED LINEWORK ON DEMOLITION SHEETS INDICATE ELEMENTS TO BE REMOVED.
5. CONTRACTOR SHALL PROVIDE CONTROL JOINTS, WHERE NECESSARY, TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS OF PRODUCTS USED.
6. WHEN NECESSARY, MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/W.W.F., UNLESS NOTED OTHERWISE.

CODED NOTE LEGEND

- 1 NEW WINDOW HEADER DETAIL, ABOVE EXISTING WINDOW.
- 2 NEW ROOF FRAMING, ABOVE, COORDINATE w/ CONTRACTOR & STRUCTURAL ENGINEER PRIOR TO INSTALLATION.
- 3 NEW DOOR TO REPLACE EXISTING WINDOW.
- 4 REMOVE EXISTING WINDOW, INFILL AND FINISH.
- 5 ALIGN NEW 2nd FLOOR, ABOVE GARAGE, w/ EXISTING 2nd FLOOR OF THE REST OF THE HOUSE.
- 6 ALIGN ROOF PEAKS, COORDINATE BETWEEN CONTRACTOR & STRUCTURAL ENGINEER.
- 7 WOOD PANEL.
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- 13 NEW PLANTER.
- 14 NEW 18'-7" X 8'-4" OVERHEAD DOOR.
- 15 REMOVE EXISTING DOOR, NO INFILL, FINISHED ENDS.
- 16 REMOVE EXISTING OVERHEAD DOOR, INFILL AND FINISH.
- 17 WOOD TRIM.

#	DATE	CHANGE DESCRIPTION

CLIENT LOGO IF AVAILABLE
Bexley ARB Review Set
 2261 Bryden Road
 Bexley, OH
 FOR
Charles Hillman

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

ROOF LEVEL - NEW CONSTRUCTION

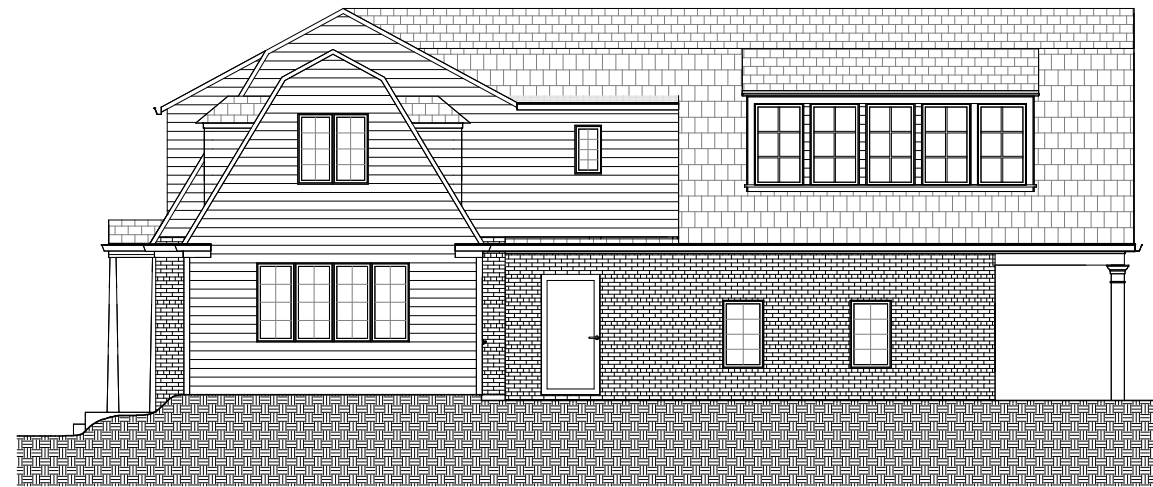
07/11/2024
 DRAWN BY: CM CHECKED BY: DM

24204.00

A103B

CONSTRUCTION DOCUMENTATION

PROGRESS DRAWING NOT FOR CONSTRUCTION



4 ELEVATION WEST - EXISTING CONDITIONS
1/4" = 1'-0" REF: 1 / A201



2 ELEVATION NORTH - EXISTING CONDITIONS
1/4" = 1'-0" REF: 1 / A201



3 ELEVATION SOUTH - EXISTING CONDITIONS
1/4" = 1'-0" REF: 1 / A101



1 ELEVATION EAST - EXISTING CONDITIONS
1/4" = 1'-0" REF: 1 / A201

GENERAL NOTES

1. ALL MATERIALS, FINISHES, AND TYPE TO MATCH EXISTING CONDITIONS.
2. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
3. COORDINATE STRUCTURAL MEMBERS w/ STRUCTURAL ENGINEER & CONTRACTOR PRIOR TO ERECTING 2nd FLOOR AND ROOF FRAMING.
4. DASHED LINEWORK ON DEMOLITION SHEETS INDICATE ELEMENTS TO BE REMOVED.
5. CONTRACTOR SHALL PROVIDE CONTROL JOINTS, WHERE NECESSARY, TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS OF PRODUCTS USED.
6. WHEN NECESSARY, MECHANICAL & ELECTRICAL EQUIPMENT SHALL BE ON HOUSEKEEPING PADS. PADS ARE TO BE PROVIDED BY THE TRADE SUPPLYING THE EQUIPMENT. WORK TO BE COORDINATED THROUGH THE GENERAL TRADES CONTRACTOR. PADS 4" MIN. 4" THICK W/W.W.F., UNLESS NOTED OTHERWISE.

CODED NOTE LEGEND

- 1 NEW WINDOW HEADER DETAIL, ABOVE EXISTING WINDOW.
- 2 NEW ROOF FRAMING, ABOVE, COORDINATE w/ CONTRACTOR & STRUCTURAL ENGINEER PRIOR TO INSTALLATION.
- 3 NEW DOOR TO REPLACE EXISTING WINDOW.
- 4 REMOVE EXISTING WINDOW, INFILL AND FINISH.
- 5 ALIGN NEW 2nd FLOOR, ABOVE GARAGE, w/ EXISTING 2nd FLOOR OF THE REST OF THE HOUSE.
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- 7 WOOD PANEL.
- 8 NEW BRICK INFILL TO MATCH EXISTING BRICK WALL.
- 9 NEW STAR BEYOND.
- 10 6" LAP, WOOD SIDING.
- 11 BRICK WATER TABLE.
- 12 NEW PITCH TO FOLLOW EXISTING PITCH AT 2ND FLOOR.
- 13 NEW PLANTER.
- 14 NEW 18'-0" X 8'-0" OVERHEAD DOOR.
- 15 REMOVE EXISTING DOOR, NO INFILL, FINISHED ENDS.
- 16 REMOVE EXISTING OVERHEAD DOOR, INFILL AND FINISH.
- 17 WOOD TRIM.

#	DATE	CHANGE DESCRIPTION

CLIENT LOGO IF AVAILABLE **Bexley ARB Review Set**
281 Bryden Road
Bexley, OH
FOR **Charles Hillman**

MOODY-NOLAN 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

EXTERIOR ELEVATIONS - EXISTING CONDITIONS

PROGRESS DRAWING NOT FOR CONSTRUCTION	07/11/2024
	DRAWN BY: CM CHECKED BY: DM
	24204.00
	A301
	CONSTRUCTION DOCUMENTATION



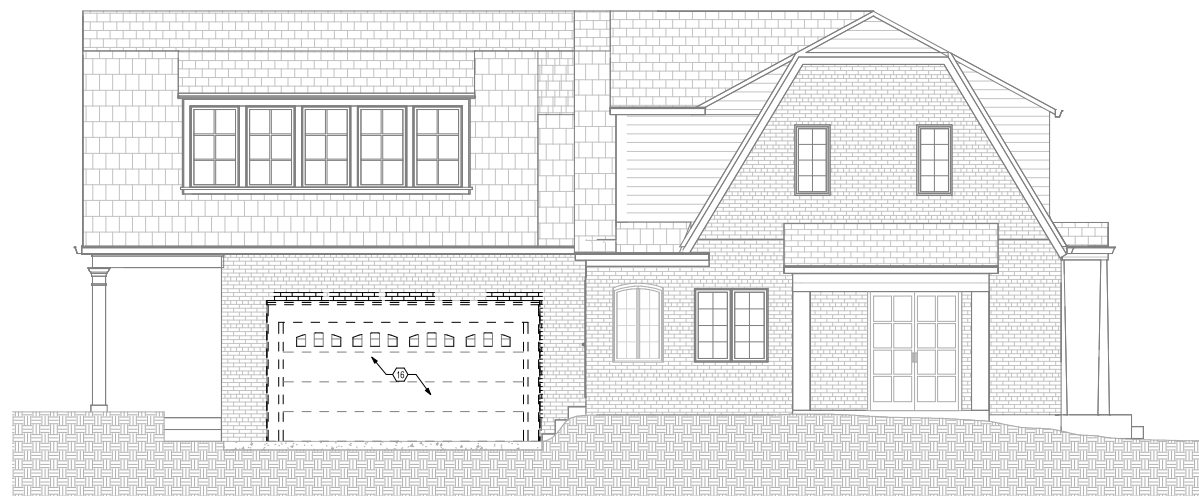
4 ELEVATION WEST - DEMOLITION
1/4" = 1'-0"



3 ELEVATION SOUTH - DEMOLITION
1/4" = 1'-0" REF: 17/A102B



2 ELEVATION NORTH - DEMOLITION
1/4" = 1'-0"



1 ELEVATION EAST - DEMOLITION
1/4" = 1'-0"

GENERAL NOTES

1. ALL MATERIALS, FINISHES, AND TYPE TO MATCH EXISTING CONDITIONS.
2. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
3. COORDINATE STRUCTURAL MEMBERS w/ STRUCTURAL ENGINEER & CONTRACTOR PRIOR TO ERECTING 2ND FLOOR AND ROOF FRAMING.
4. DASHED LINEWORK ON DEMOLITION SHEETS INDICATE ELEMENTS TO BE REMOVED.
5. CONTRACTOR SHALL PROVIDE CONTROL JOINTS, WHERE NECESSARY, TO COMPLY WITH MAXIMUM SPACING REQUIREMENTS OF PRODUCTS USED.
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- ④ REMOVE EXISTING WINDOW, INFILL AND FINISH.
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- ⑦ WOOD PANEL.
- ⑧ NEW BRICK INFILL TO MATCH EXISTING BRICK WALL.
- ⑨ NEW STAR BEYOND.
- ⑩ 6" LAP, WOOD SIDING.
- ⑪ BRICK WATER TABLE.
- ⑫ NEW PITCH TO FOLLOW EXISTING PITCH AT 2ND FLOOR.
- ⑬ NEW PLANTER.
- ⑭ NEW 18'-0" X 8'-0" OVERHEAD DOOR.
- ⑮ REMOVE EXISTING DOOR, NO INFILL, FINISHED ENDS.
- ⑯ REMOVE EXISTING OVERHEAD DOOR, INFILL AND FINISH.
- ⑰ WOOD TRIM.

#	DATE	CHANGE DESCRIPTION

CLIENT LOGO IF AVAILABLE **Bexley ARB Review Set**
2381 Bryden Road
Bexley, OH
FOR
Charles Hillman

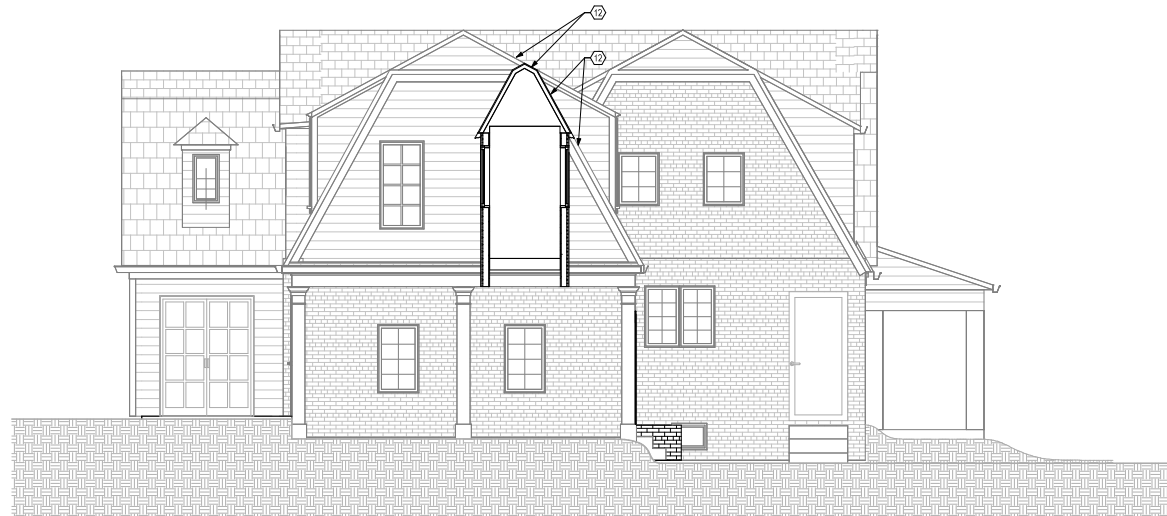
MOODY-NOLAN 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

EXTERIOR ELEVATIONS - DEMOLITION

PROGRESS DRAWING NOT FOR CONSTRUCTION	07/11/2024	
	DRAWN BY: CM	CHECKED BY: DM
	24204.00	
	A301A	
CONSTRUCTION DOCUMENTATION		



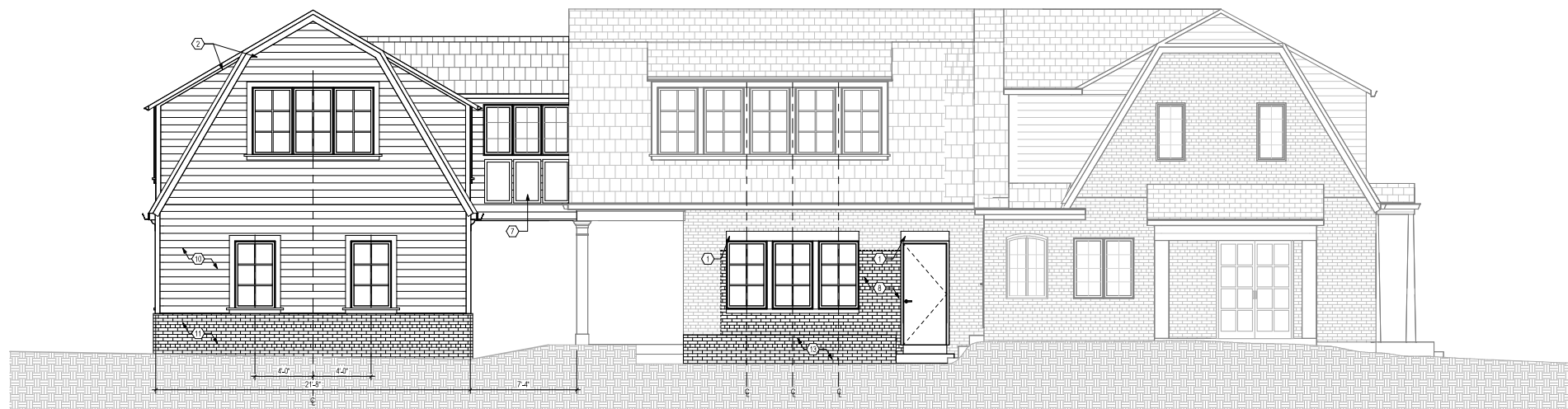
4 ELEVATION WEST - NEW CONSTRUCTION
1/4" = 1'-0"



3 ELEVATION SOUTH - NEW CONSTRUCTION
1/4" = 1'-0" REF: 1/A101B



2 ELEVATION NORTH - NEW CONSTRUCTION
1/4" = 1'-0"



1 ELEVATION EAST - NEW CONSTRUCTION
1/4" = 1'-0"

GENERAL NOTES

1. ALL MATERIALS, FINISHES, AND TYPE TO MATCH EXISTING CONDITIONS.
2. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
3. COORDINATE STRUCTURAL MEMBERS w/ STRUCTURAL ENGINEER & CONTRACTOR PRIOR TO ERECTING 2ND FLOOR AND ROOF FRAMING.
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- ⑥ ALIGN ROOF PEAKS, COORDINATE BETWEEN CONTRACTOR & STRUCTURAL ENGINEER.
- ⑦ WOOD PANEL.
- ⑧ NEW BRICK INFILL TO MATCH EXISTING BRICK WALL.
- ⑨ NEW STAR BEYOND.
- ⑩ 6" LAP, WOOD SIDING.
- ⑪ BRICK WATER TABLE.
- ⑫ NEW PITCH TO FOLLOW EXISTING PITCH AT 2ND FLOOR.
- ⑬ NEW PLANTER.
- ⑭ NEW 18-27 X 8-47 OVERHEAD DOOR.
- ⑮ REMOVE EXISTING DOOR, NO INFILL, FINISHED ENDS.
- ⑯ REMOVE EXISTING OVERHEAD DOOR, INFILL AND FINISH.
- ⑰ WOOD TRIM.

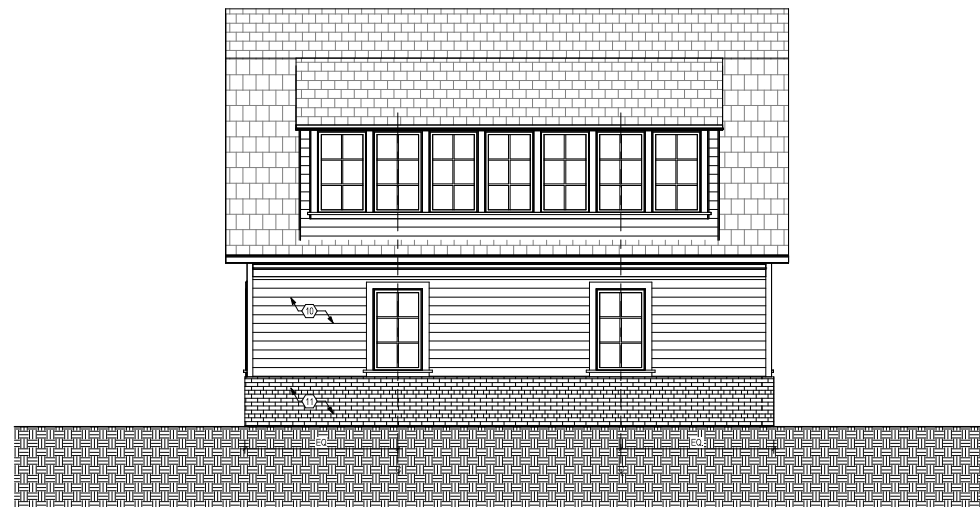
#	DATE	CHANGE DESCRIPTION

CLIENT LOGO IF AVAILABLE
Bexley ARB Review Set
 2381 Bryden Road
 Bexley, OH
 FOR
Charles Hillman

MOODY-NOLAN
 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

EXTERIOR ELEVATIONS - NEW CONSTRUCTION

PROGRESS DRAWING NOT FOR CONSTRUCTION	07/11/2024	
	DRAWN BY: CM	CHECKED BY: DM
	24204.00	
	A301B	
CONSTRUCTION DOCUMENTATION		



2 ELEVATION SOUTH GARAGE - NEW CONSTRUCTION
 1/4" = 1'-0"



1 ELEVATION NORTH GARAGE - NEW CONSTRUCTION
 1/4" = 1'-0" REF: 1/A101B

GENERAL NOTES

1. ALL MATERIALS, FINISHES, AND TYPE TO MATCH EXISTING CONDITIONS.
2. ALL DIMENSIONS ARE TO FACE OF WALL (UNLESS NOTED OTHERWISE).
3. COORDINATE STRUCTURAL MEMBERS w/ STRUCTURAL ENGINEER & CONTRACTOR PRIOR TO ERECTING 2nd FLOOR AND ROOF FRAMING.
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- ⑦ WOOD PANEL.
- ⑧ NEW BRICK INFILL TO MATCH EXISTING BRICK WALL.
- ⑨ NEW STAIR BEYOND.
- ⑩ 6" LAP, WOOD SIDING.
- ⑪ BRICK WATER TABLE.
- ⑫ NEW PITCH TO FOLLOW EXISTING PITCH AT 2ND FLOOR.
- ⑬ NEW PLANTER.
- ⑭ NEW 18'-7" X 8'-7" OVERHEAD DOOR.
- ⑮ REMOVE EXISTING DOOR, NO INFILL, FINISHED ENDS.
- ⑯ REMOVE EXISTING OVERHEAD DOOR, INFILL AND FINISH.
- ⑰ WOOD TRIM.

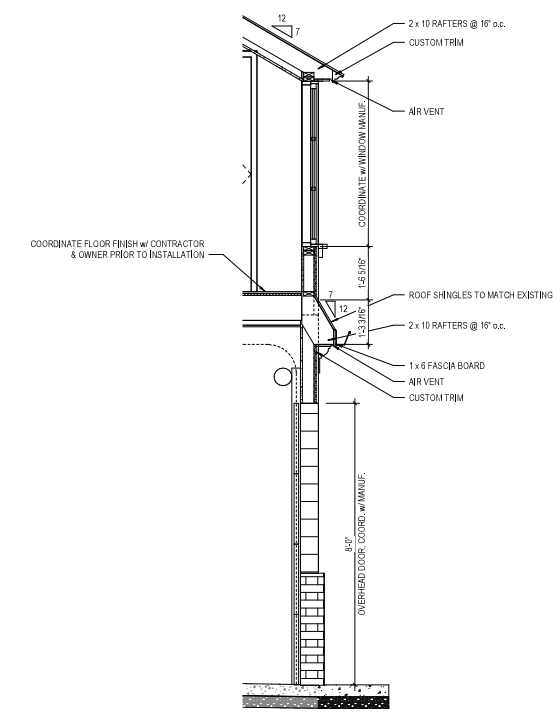
#	DATE	CHANGE DESCRIPTION

CLIENT LOGO IF AVAILABLE **Bexley ARB Review Set**
 2381 Bryant Road
 Bexley, OH
 FOR **Charles Hillman**

MOODY-NOLAN 300 SPRUCE STREET
 SUITE 300
 COLUMBUS, OHIO 43215
 PHONE: (614) 461-4664
 FAX: (614) 280-8881

EXTERIOR ELEVATIONS - NEW CONSTRUCTION

PROGRESS DRAWING NOT FOR CONSTRUCTION	07/11/2024	
	DRAWN BY: CM	CHECKED BY: Checker
	24204.00	
	A301C	
CONSTRUCTION DOCUMENTATION		



1 WALL SECTION THRU NEW GARAGE, TYP.
1/2" = 1'-0"

GENERAL NOTES - WALL SECTIONS

- 1. ALL MATERIALS, FINISHES, AND TYPE TO MATCH EXISTING CONDITIONS.
- 2. COORDINATE WALL SECTION CONSTRUCTION w/ CONTRACTOR, STRUCTURAL ENGINEER & OWNER PRIOR TO CONSTRUCTION.
- 3. NEW CONSTRUCTION ON SPACE ABOVE GARAGE TO ALIGN w/ EXISTING FLOOR HEIGHT OF THE 2ND FLOOR.

KEYNOTE LEGEND

KEY VALUE	KEYNOTE TEXT
-----------	--------------

#	DATE	CHANGE DESCRIPTION

CLIENT LOGO IF AVAILABLE
Bexley ARB Review Set
2261 Bryan Road
Bexley, OH
FOR
Charles Hillman

 300 SPRUCE STREET
SUITE 300
COLUMBUS, OHIO 43215
PHONE: (614) 461-4664
FAX: (614) 280-8881

WALL SECTIONS

PROGRESS DRAWING NOT FOR CONSTRUCTION	07/11/2024	
	DRAWN BY: CM	CHECKED BY: DM
	24204.00	
	A501	
CONSTRUCTION DOCUMENTATION		