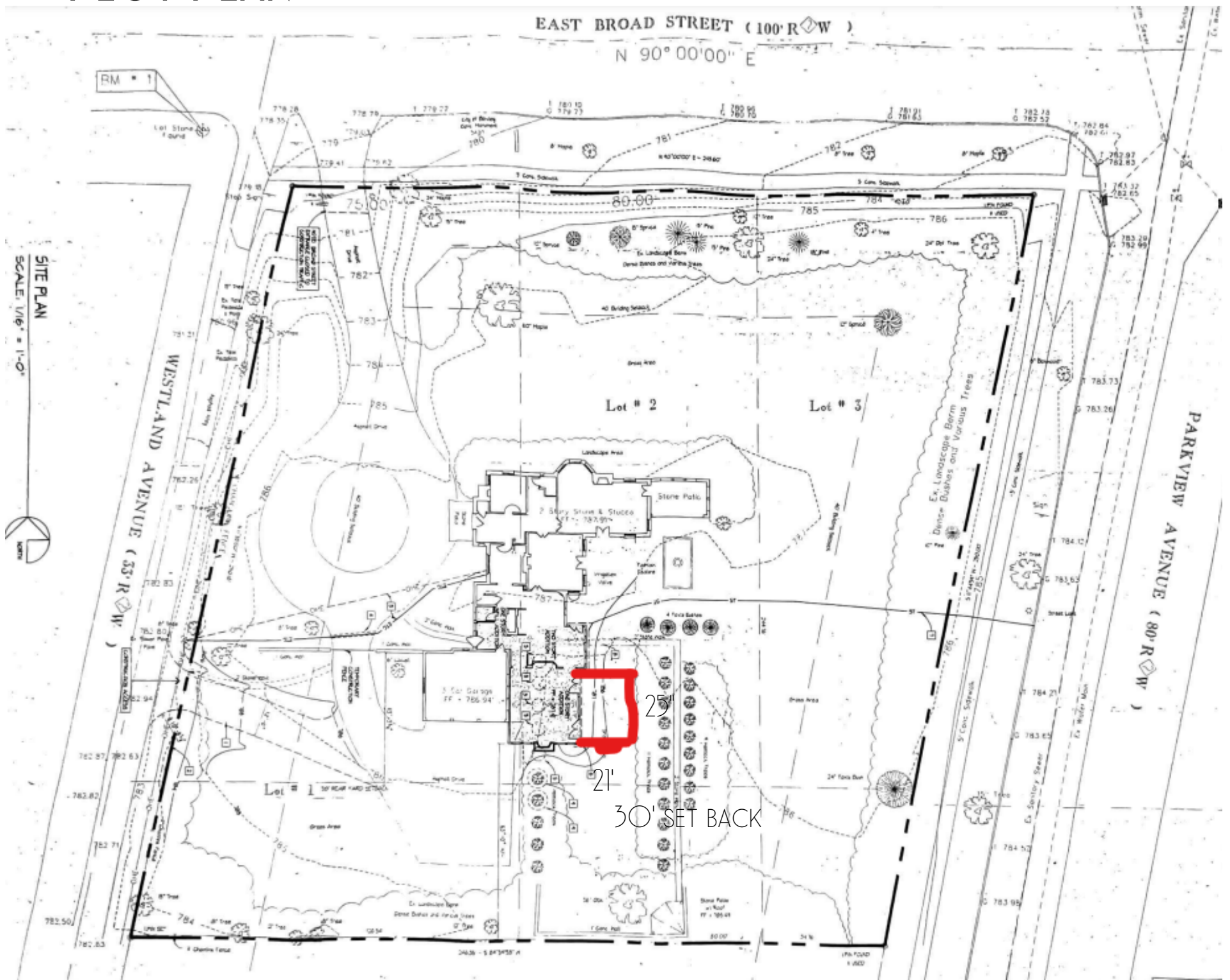
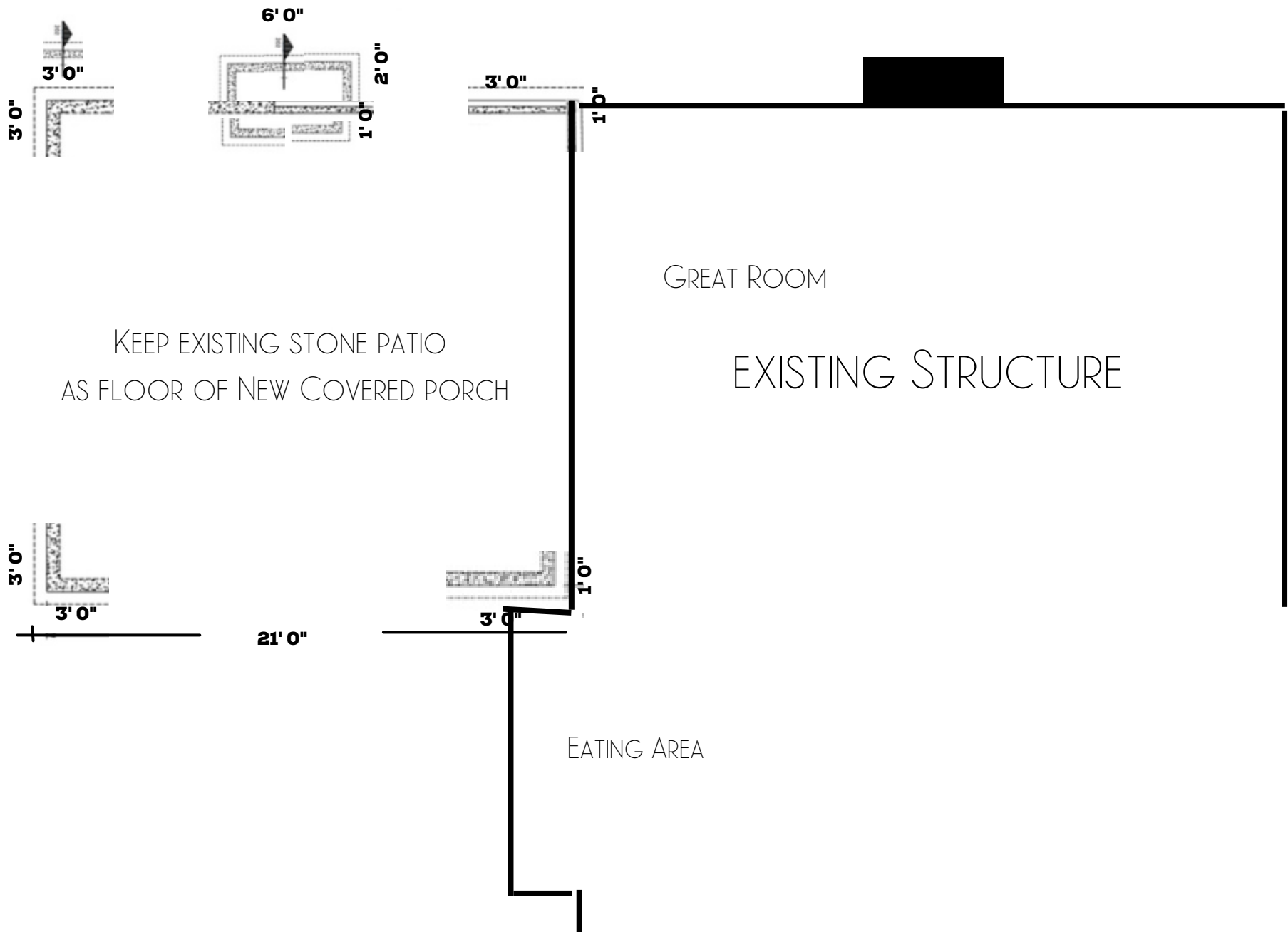


# PLOT PLAN 21 S Parkview Ave. Bexley, OH

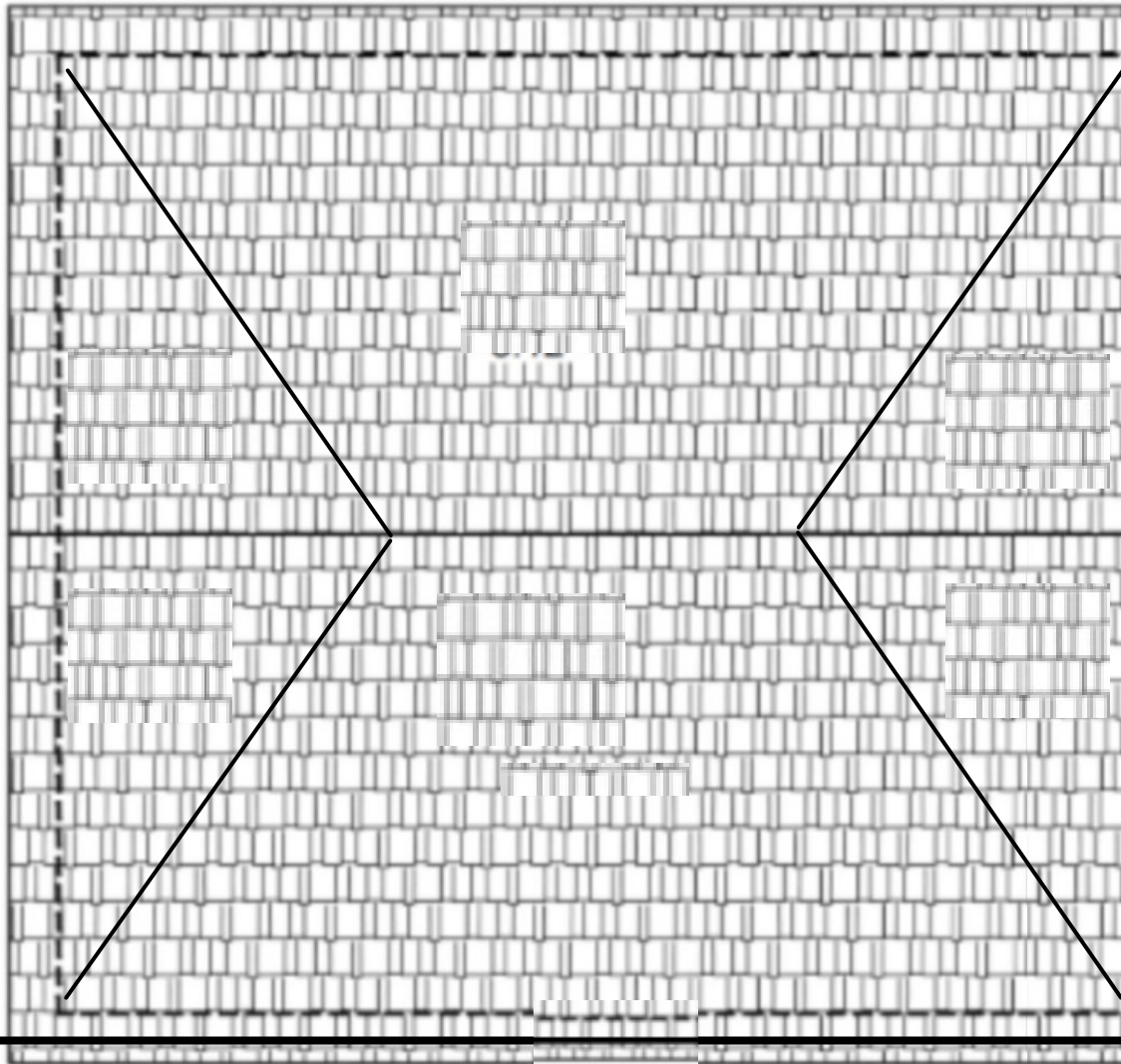




# FOUNDATION LAYOUT



# ADDITION CONNECTION TO EXISTING STRUCTURE



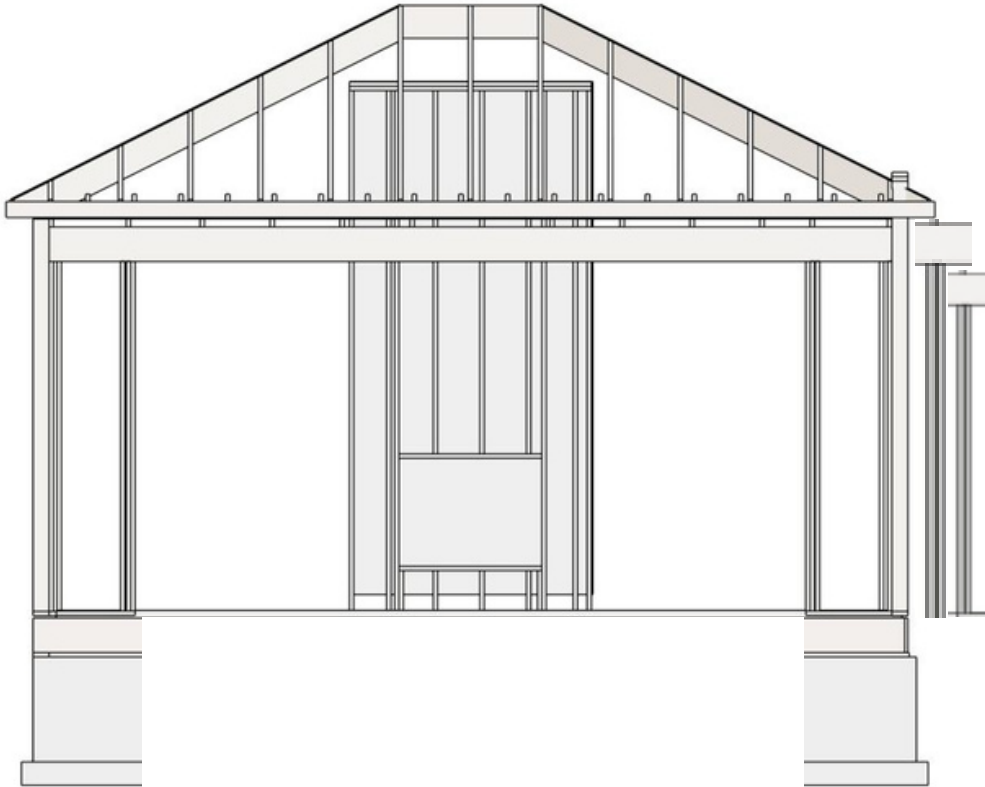
COVERED PORCH  
ADDITION

METAL CAP  
OVER FAUX CHIMNEY

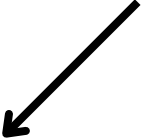
EATING  
AREA

EXISTING STRUCTURE  
GREAT ROOM

# SOUTH VIEW

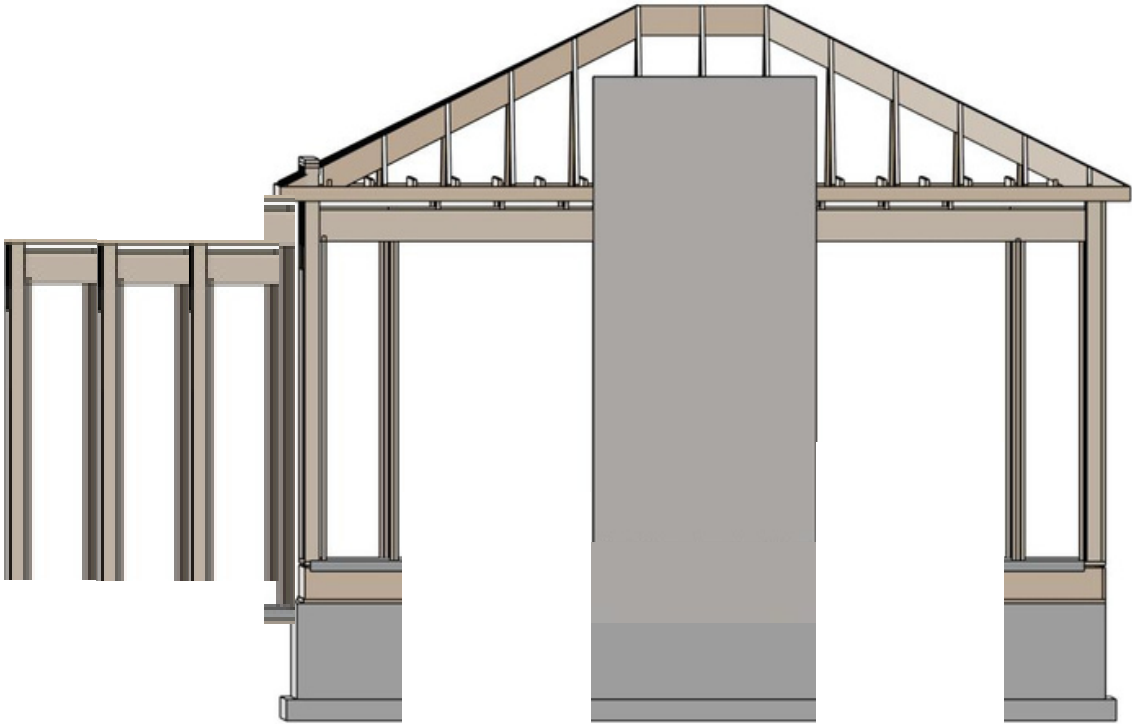


EXISTING GREAT  
ROOM EXTERIOR WALL  
WITH RECESSED FLAT  
ROOF

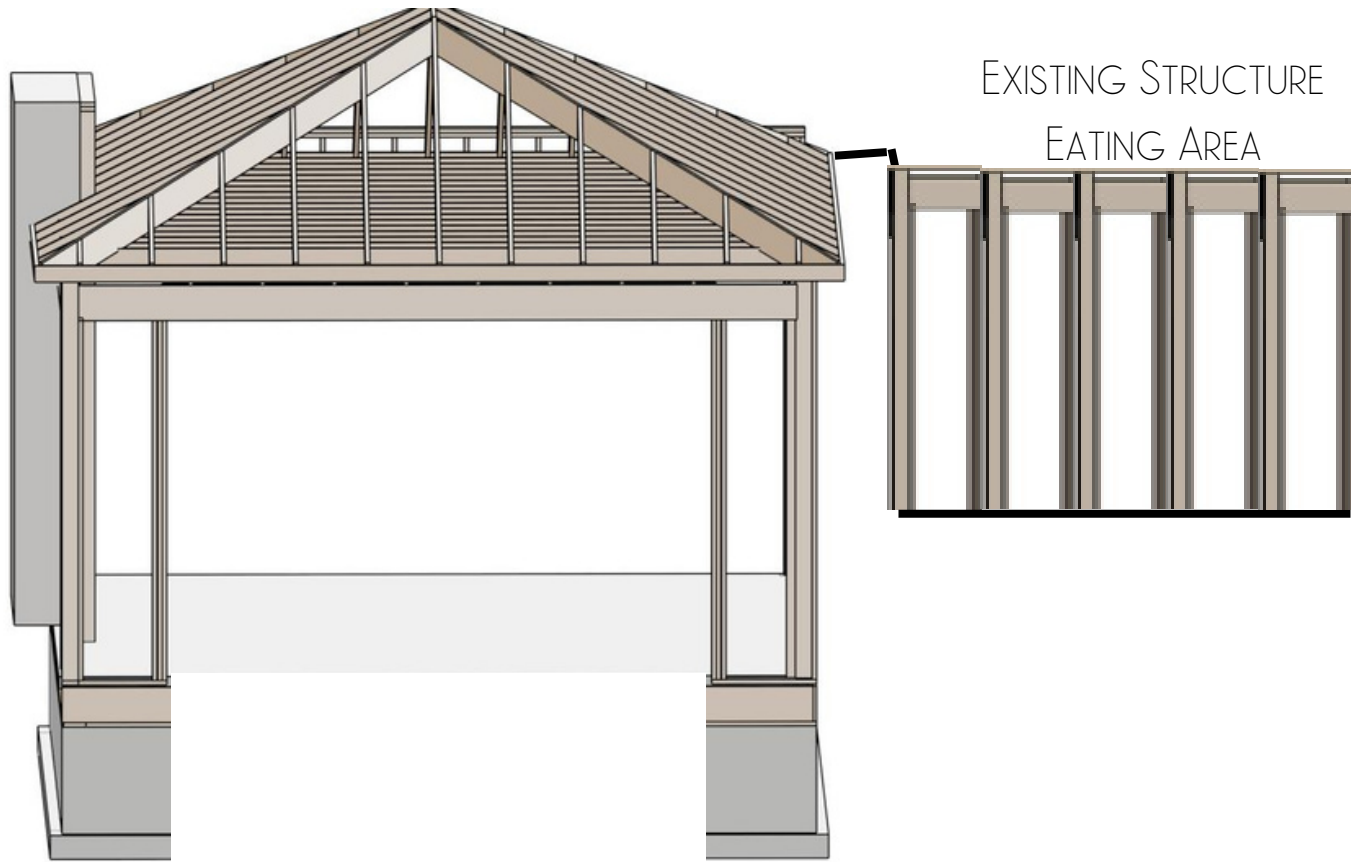


# NORTH VIEW

EXISTING STRUCTURE  
GREAT ROOM



# WEST VIEW



# EAST VIEW

SLATE ROOF TO MATCH  
EXISTING

FAUX CHIMNEY  
WITH METAL CAP  
VENTLESS GAS  
FIREBOX

COPPER  
GUTTERS TO  
MATCH EXISTING  
16" OVERHANG

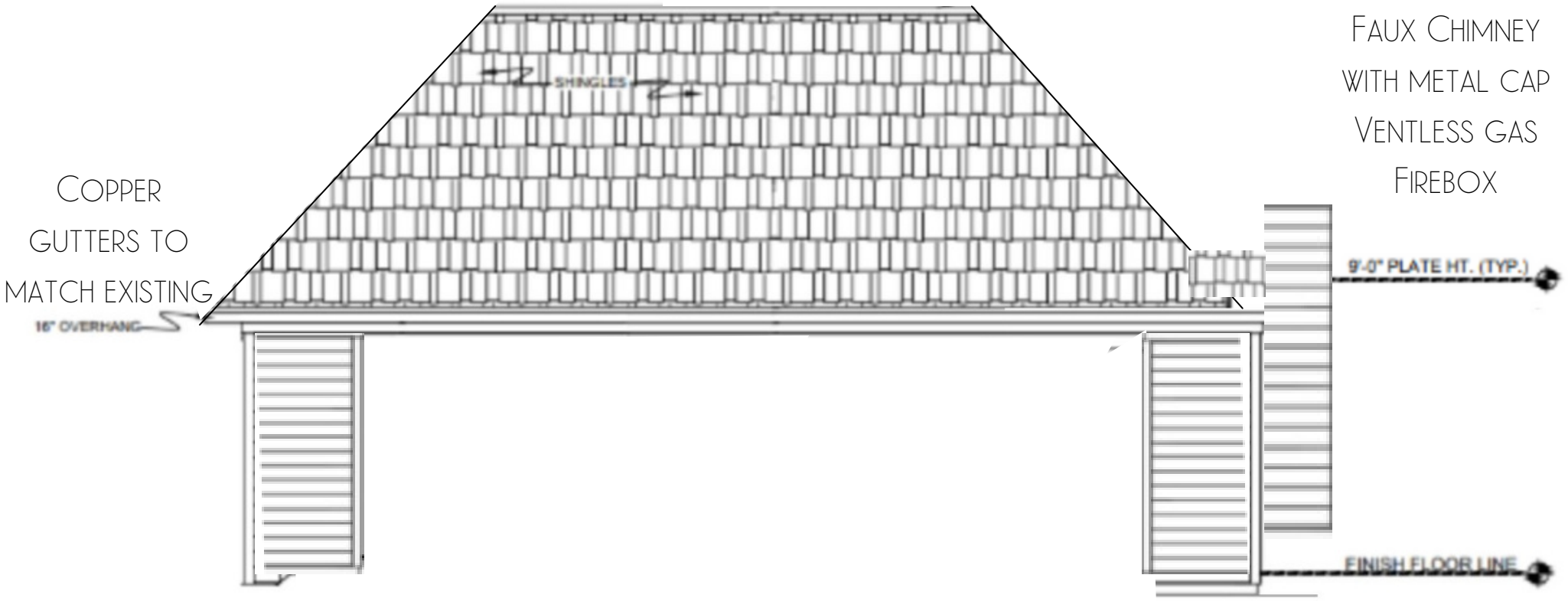
SHINGLES

9'-0" PLATE HT. (TYP.)

FINISH FLOOR LINE

CLAD IN VENEER  
STONE/BRICK

EXISTING STRUCTURE





# SOUTH VIEW



EXISTING FRENCH DOORS WITH TRANSOM  
WINDOWS TO GREAT ROOM



SOUTH VIEW

EAST VIEW  
LOOKING OUT FROM  
EXISTING STRUCTURE



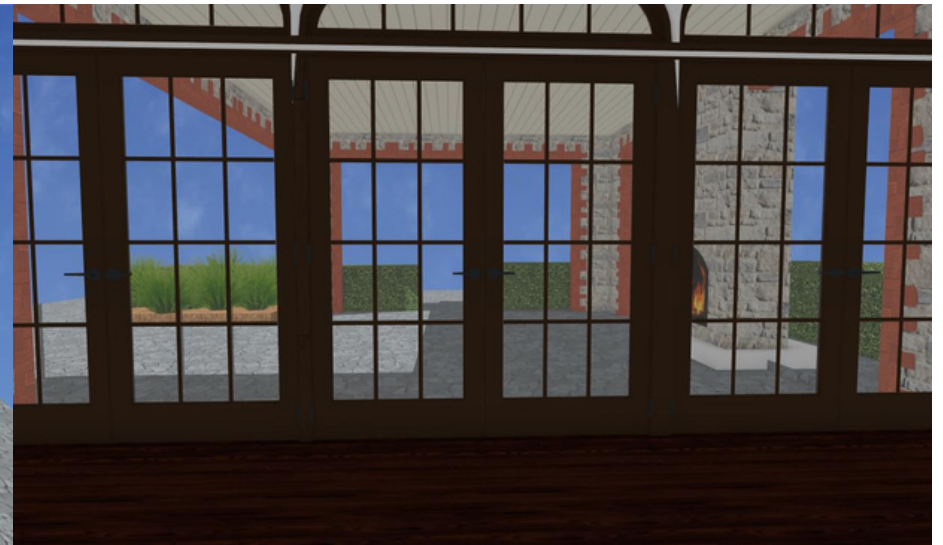


# SOUTHWEST VIEW

EXISTING STRUCTURE  
WITH 3 SETS OF FRENCH DOORS  
AND ARCHED TRANSOMS

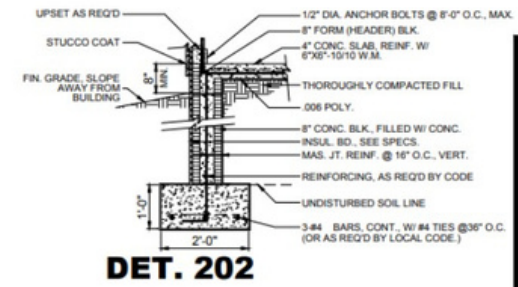
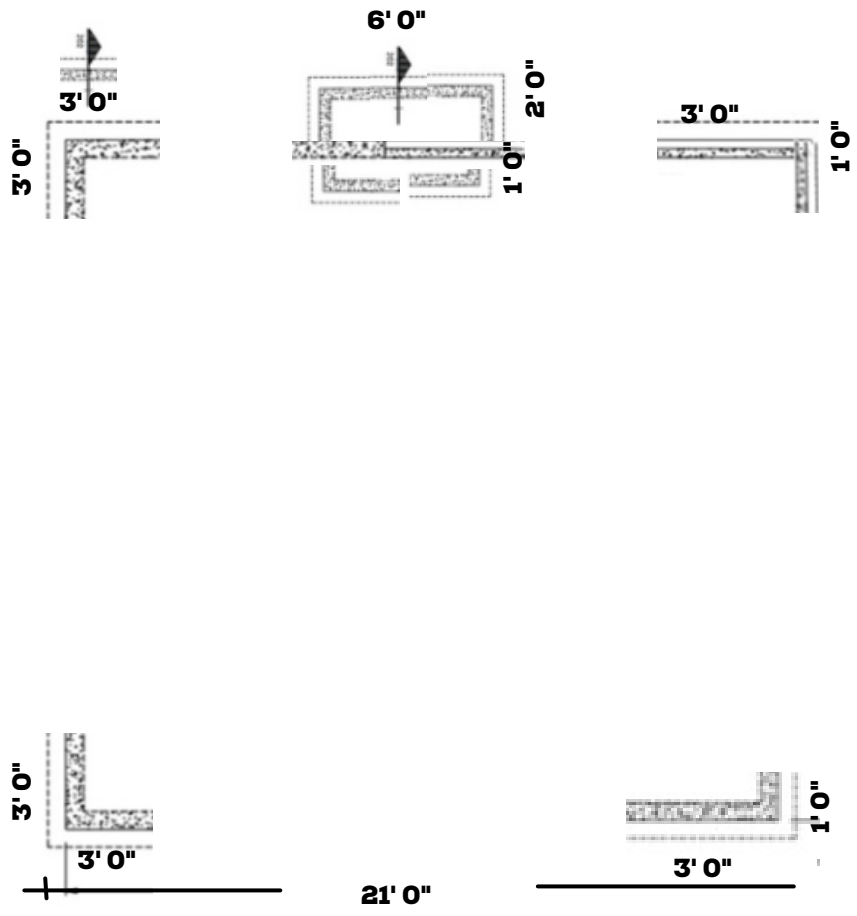


NORTHEAST VIEW FROM BACK



LOOKING OUT FROM EXISTING STRUCTURE  
EAST VIEW

# FOUNDATION



## SLAB FOUNDATION NOTES:

1. WE RECOMMEND THAT ALL FOOTING SIZES BE VERIFIED BY A LICENSED STRUCTURAL ENGINEER, BASED ON SOILS ANALYSIS AT SITE, PRIOR TO CONSTRUCTION.
2. FOUNDATION SHALL COMPLY WITH ALL APPLICABLE CODES AT SITE.
3. CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS WITH FOUNDATION PLAN AND MAKE NECESSARY ADJUSTMENTS AT SITE.
4. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AT SITE.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING PROPER DRAINAGE AT SITE.
6. ALL FOUNDATION DETAILS SHOWN ARE TYPICAL. SOME VARIATIONS MAY OCCUR. CONTRACTOR TO MAKE ADJUSTMENTS AS REQ'D. AT SITE.
7. BUILDER TO COMPLY WITH ALL APPLICABLE CODES AT SITE.
8. ALL CONCRETE SLABS TO BE 4" THICK (3000 psi MIN.), REINFORCED WITH 6"x6" - 10/10 W.M.
9. CONTRACTOR TO PROPERLY SLOPE PORCHES & GARAGE AWAY FROM RESIDENCE FOR PROPER DRAINAGE.

# EXISTING STRUCTURE

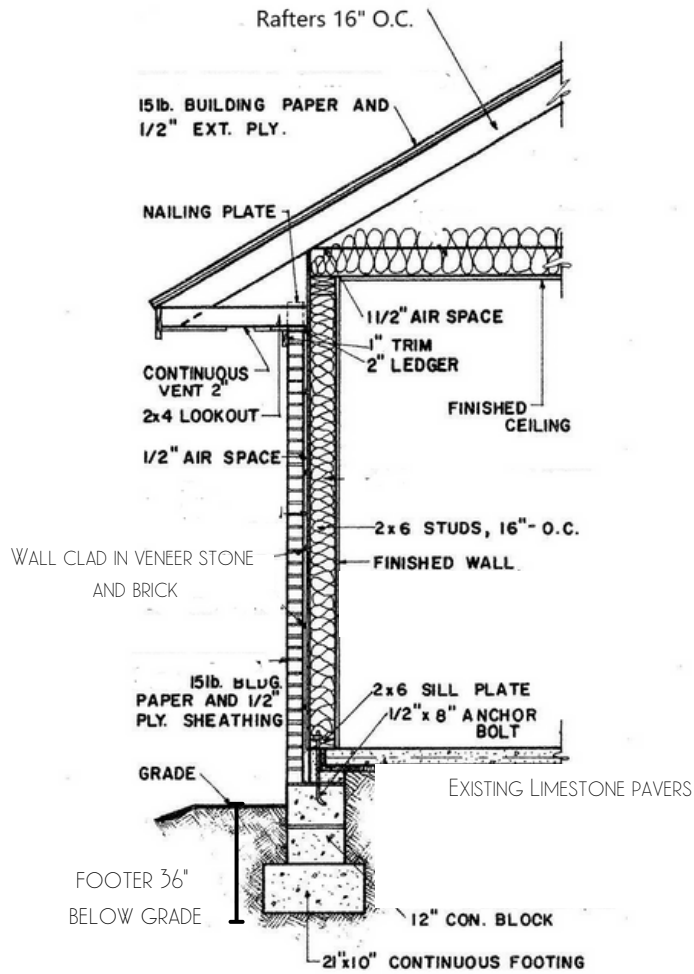
## ROOF DRAINAGE NOTES

1. ALL ROOF PITCHES TO BE VERIFIED WITH EXTERIOR ELEVATIONS.
2. PROVIDE ALL FLASHING NECESSARY FOR WATERPROOFING.
3. ALL OVERHANGS ARE TO BE 1'-4" FROM FACE OF STUD UNLESS OTHERWISE NOTED.

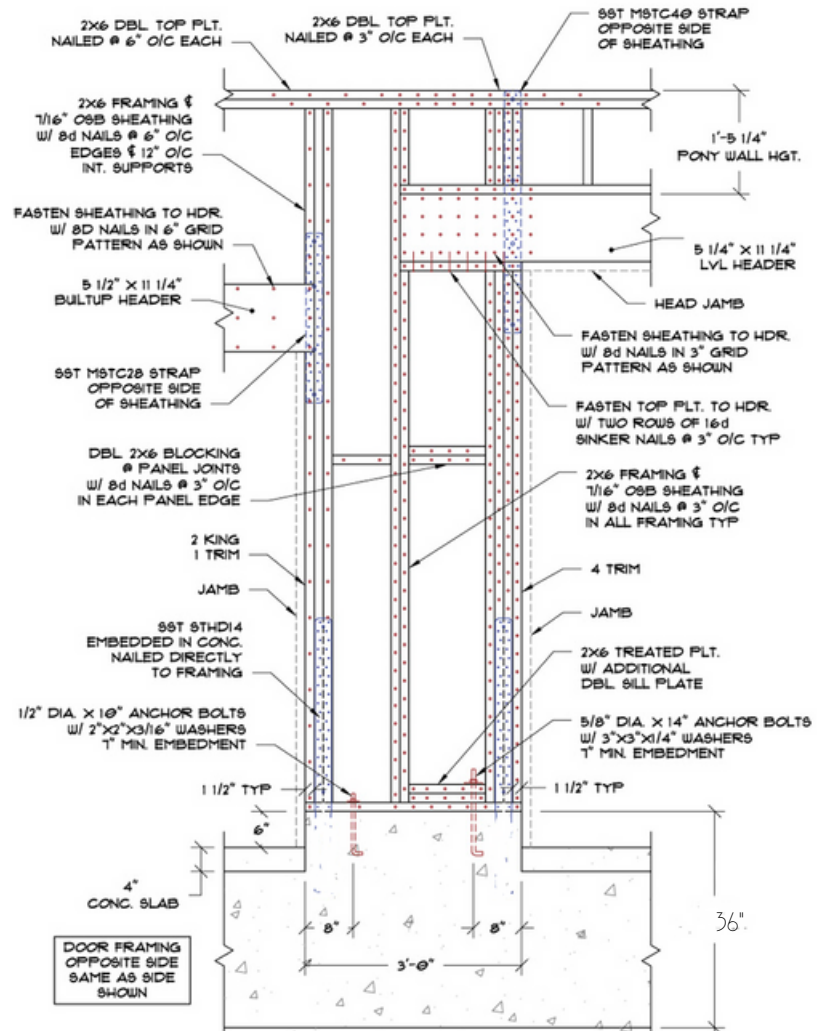
## ROOF FRAMING NOTES

1. ALL OVERHANGS TO BE 1'-4" FROM OUTSIDE FACE OF STUDWALL, UNLESS OTHERWISE NOTED.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS ARE TO BE CUT FROM 2" X 10", No 2 S.Y.P.
3. ALL RAFTERS SHOWN ARE TO BE CUT FROM 2" X 6", No 2 S.Y.P.
4. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, AT SITE.
5. ALL ROOF/WALL INTERSECTIONS & VALLEYS TO BE THOROUGHLY FLASHED w/22 GA., G.I., 24" WIDE MINIMUM.

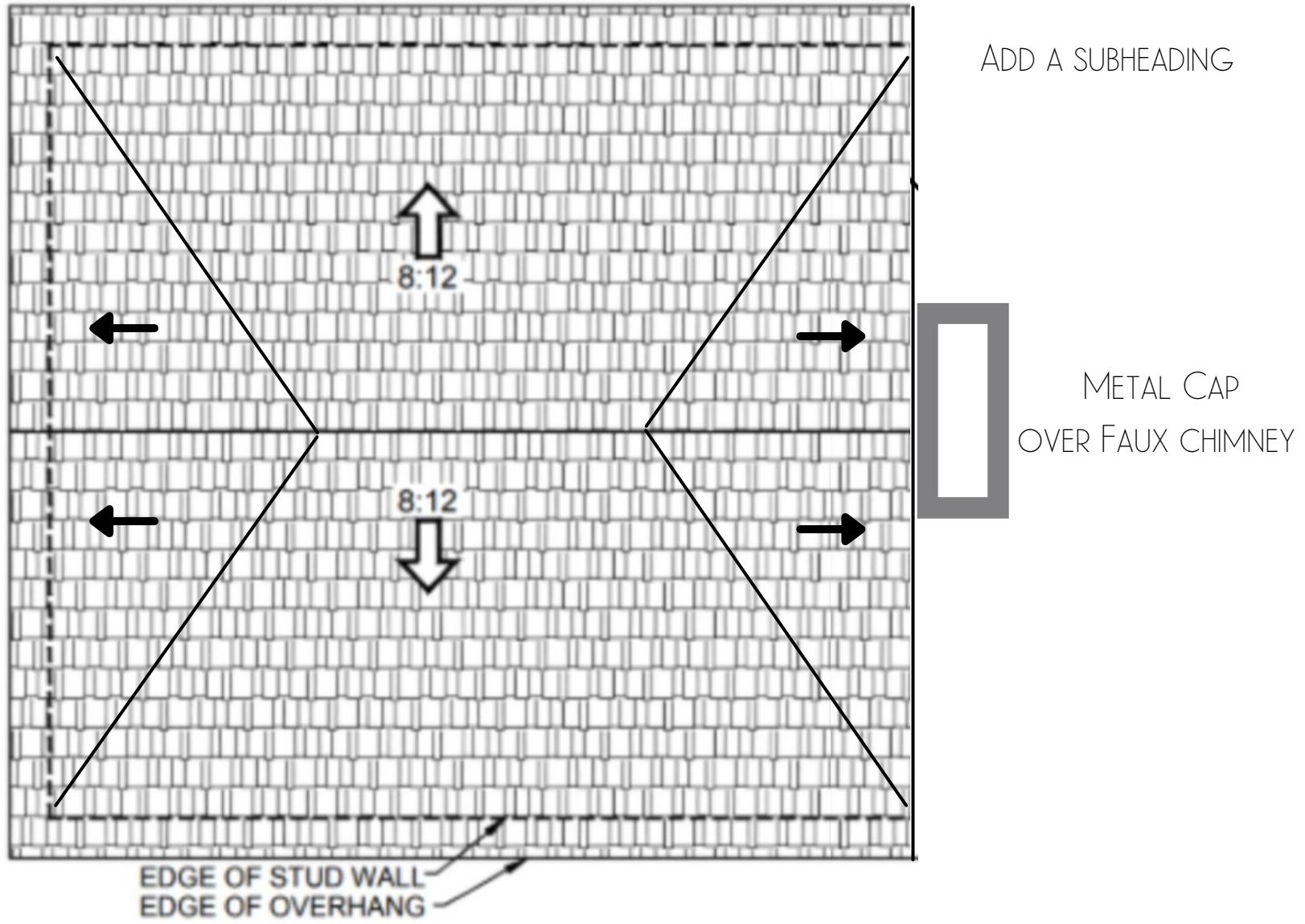
# WALL FRAMING



**TYPICAL WALL SECTION**



# ROOF DRAINAGE

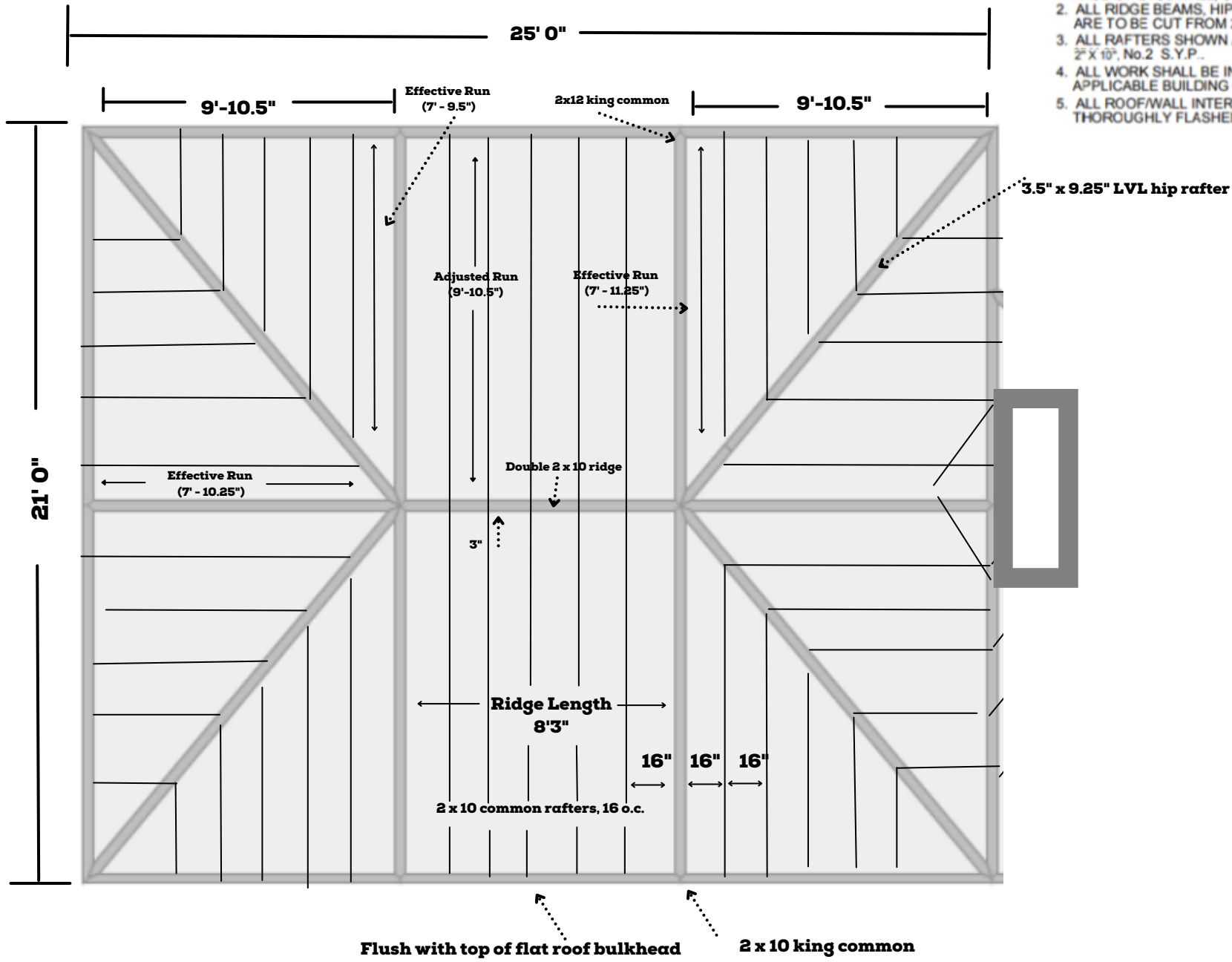


EXISTING STRUCTURE

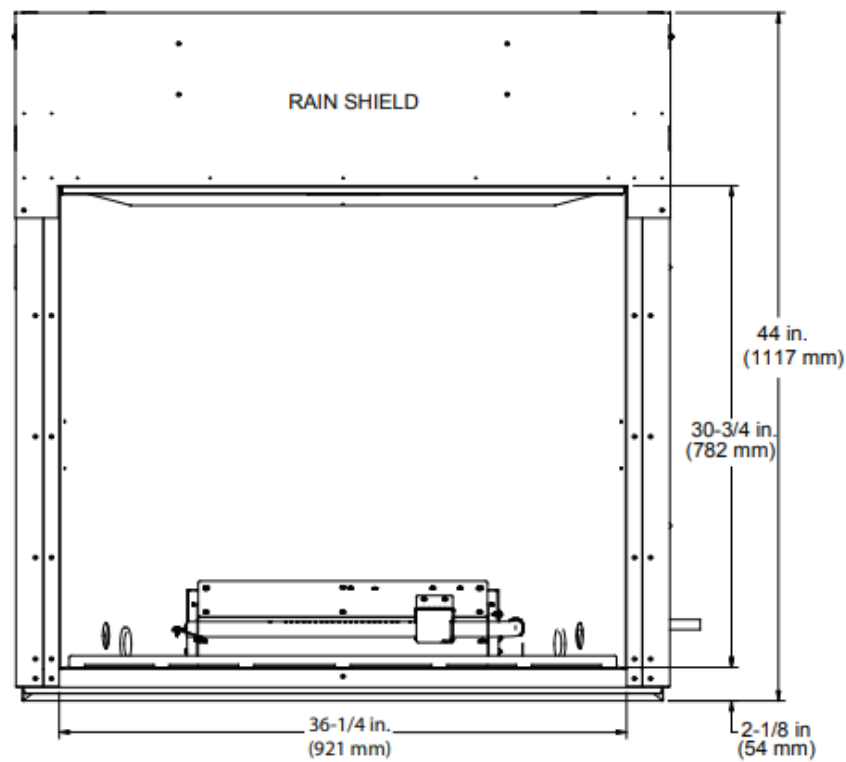
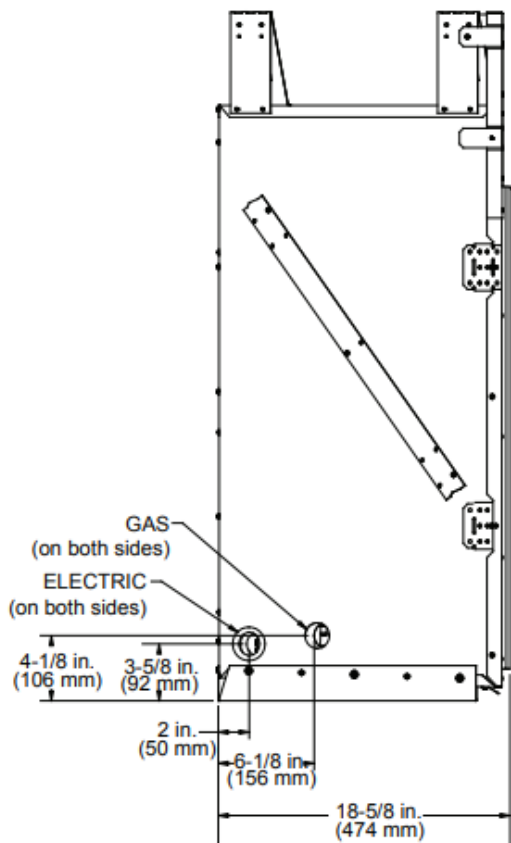
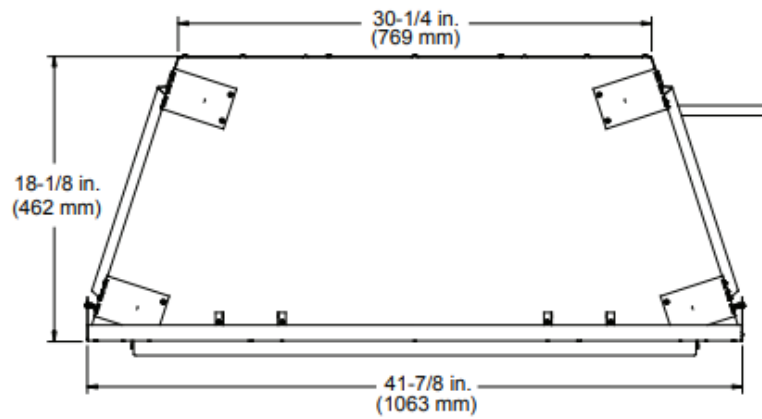
# HIP ROOF PLAN

## ROOF FRAMING NOTES

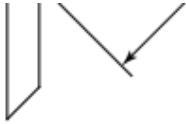
1. ALL OVERHANGS TO BE 1'-4" FROM OUTSIDE FACE OF STUDWALL, UNLESS OTHERWISE NOTED.
2. ALL RIDGE BEAMS, HIP RAFTERS, & VALLEY RAFTERS ARE TO BE CUT FROM 2" X 10", No.2 S.Y.P..
3. ALL RAFTERS SHOWN ARE TO BE CUT FROM 2" X 10", No.2 S.Y.P..
4. ALL WORK SHALL BE IN COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, AT SITE.
5. ALL ROOF/WALL INTERSECTIONS & VALLEYS TO BE THOROUGHLY FLASHED w/22 GA., G.I., 24" WIDE MINIMUM



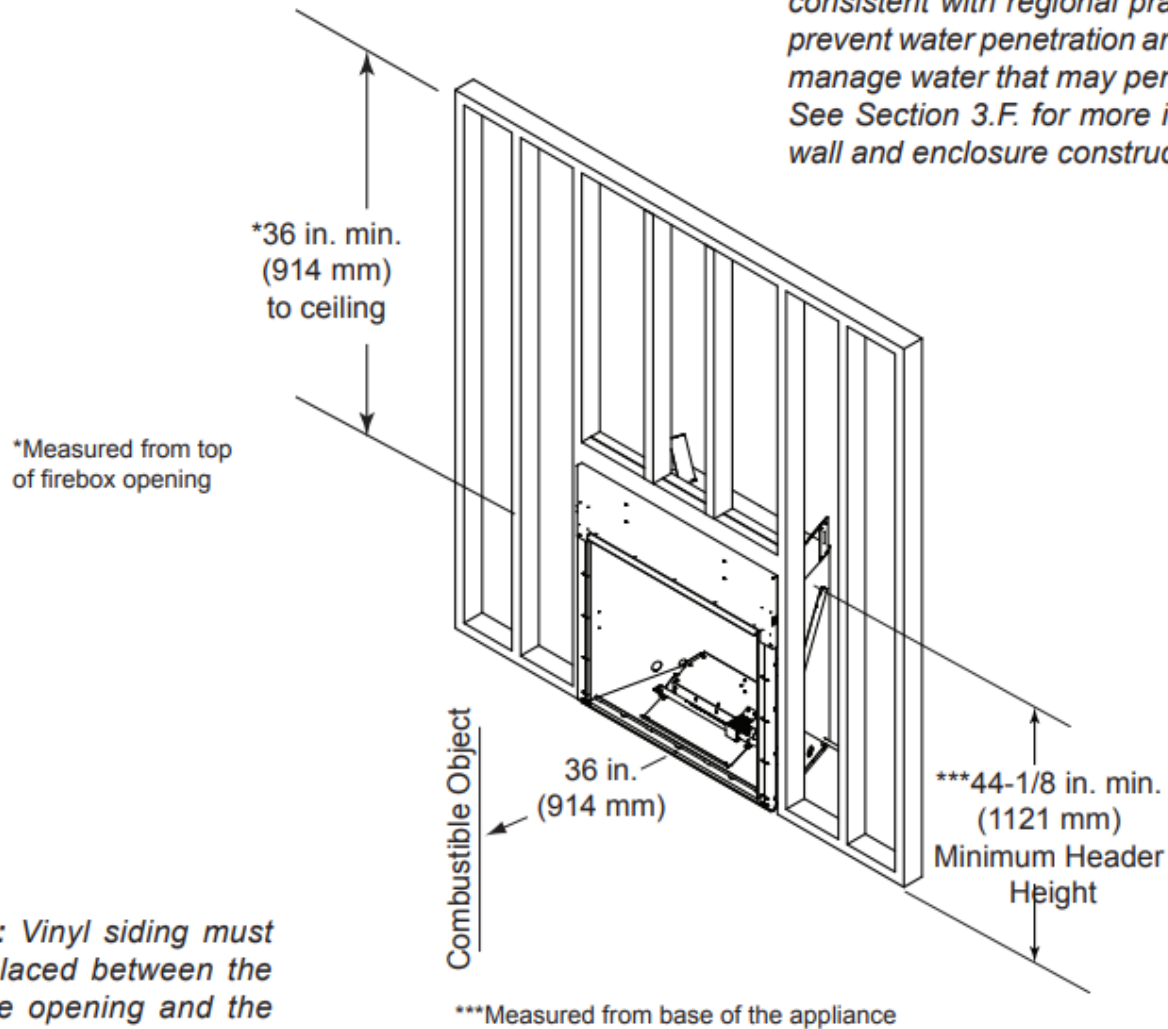
# VENTLESS GAS FIREPLACE







**NOTICE:** Flash the perimeter of the appliance, corners and the appliance face in a manner consistent with regional practices as required to prevent water penetration around the appliance or manage water that may penetrate the appliance. See Section 3.F. for more information regarding wall and enclosure construction.



**NOTICE:** Vinyl siding must not be placed between the appliance opening and the ceiling/overhang.