

# 2200 E. Main Street

Bexley, OH 43209

## Mixed-Use

**PREPARED FOR:**  
Continental Real Estate Companies

150 E. Broad Street  
Columbus, OH 43215  
(614) 221-1800

Thursday, November 9, 2023  
(REVISED: NOVEMBER 22, 2023)

### LANDSCAPE ARCHITECT / PLANNER



330 W. SPRING STREET, SUITE 350  
COLUMBUS, OH 43215  
614.486.3343  
www.edgela.com



NORTH

### VICINITY MAP

NOT TO SCALE

### INDEX OF DRAWINGS

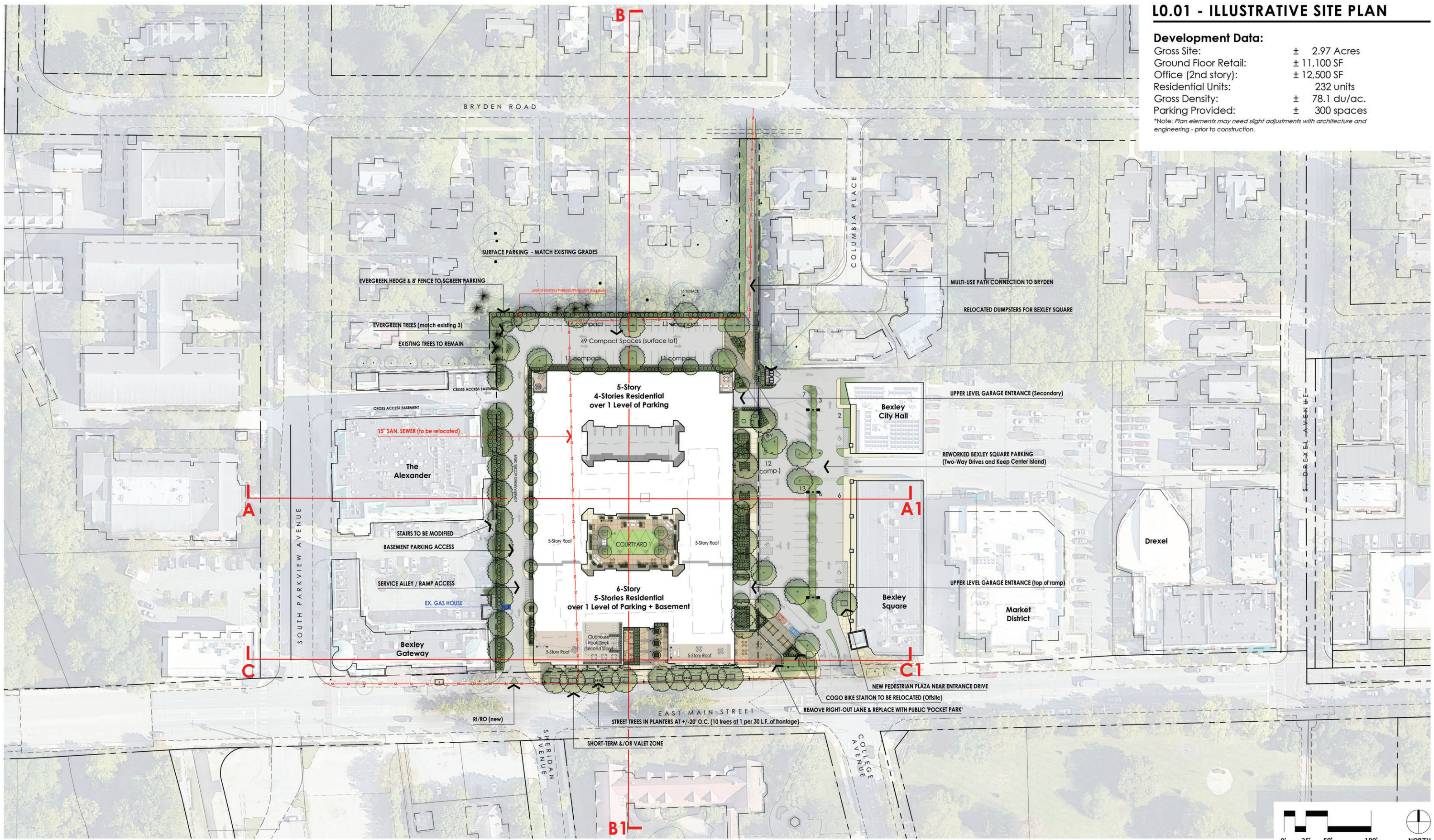
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# L0.01 - ILLUSTRATIVE SITE PLAN

## Development Data:

Gross Site:	± 2.97 Acres
Ground Floor Retail:	± 11,100 SF
Office (2nd story):	± 12,500 SF
Residential Units:	232 units
Gross Density:	± 78.1 du/ac.
Parking Provided:	± 300 spaces

*\*Note: Plan elements may need slight adjustments with architecture and engineering - prior to construction.*



NOTE: This plan is Conceptual in nature. All dimensions and site layout are approximate and may change with final architecture and engineering.

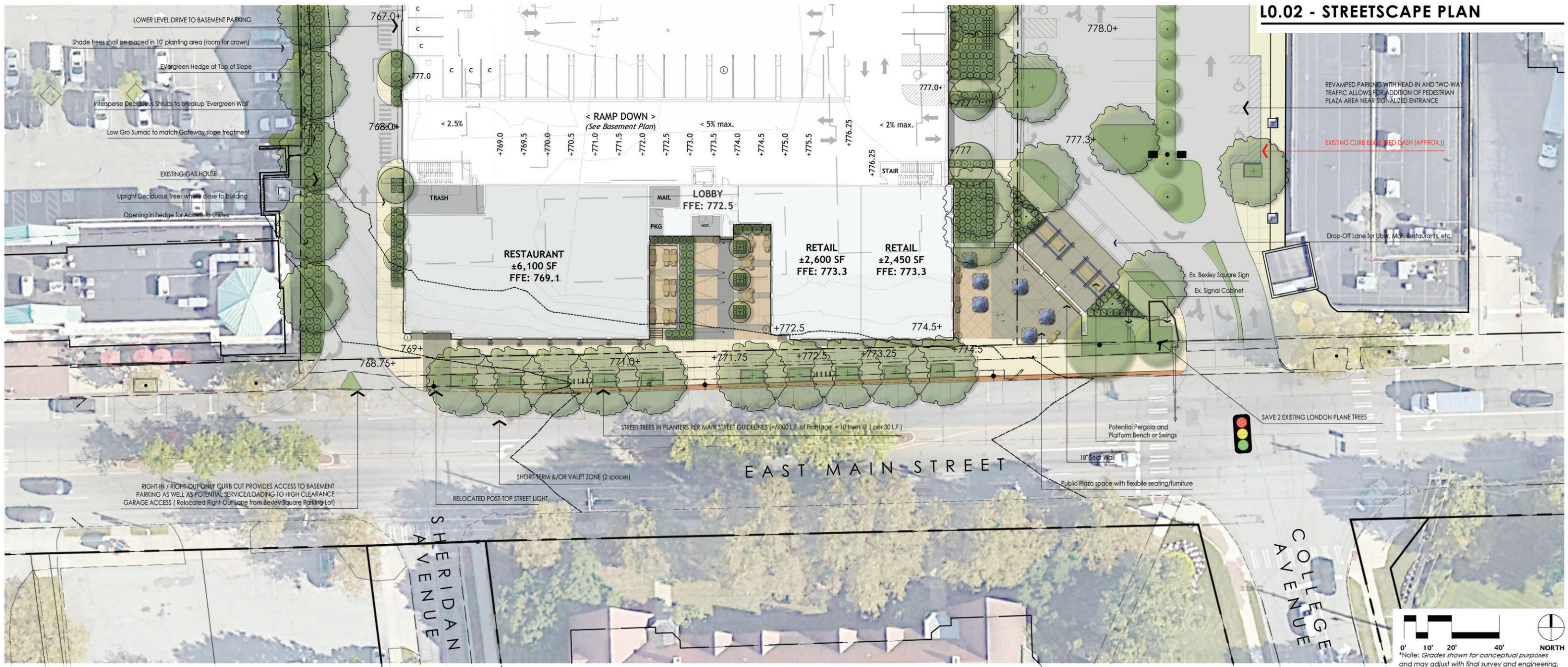


## SCHEMATIC DESIGN 2200 E. Main Street Bexley, OH

July 13, 2023 (rev.: 8.10.23, 9.8.23, 10.6.23, 10.26.23 - ARB. 91.8.23, 11.22.23)



**L0.02 - STREETScape PLAN**



NOTE: This plan is Conceptual in nature. All dimensions and site layout are approximate and may change with final architecture and engineering.

SCHEMATIC DESIGN  
**2200 E. Main Street**  
 Bexley, OH  
 September 8, 2023 - ARB Submittal (rev.: 10.26.23 - ARB, 11.22.23)





**1 MAIN STREET ELEVATION**  
1" = 30'-0"



**2 EAST ELEVATION**  
1" = 30'-0"





**1 WEST ELEVATION**  
1" = 50'-0"

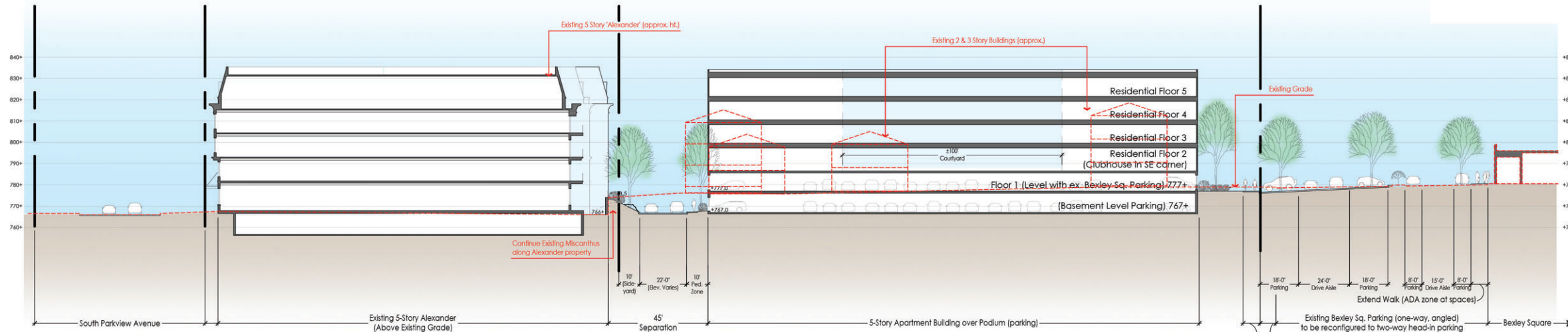


**2 WEST ELEVATION**  
1" = 30'-0"

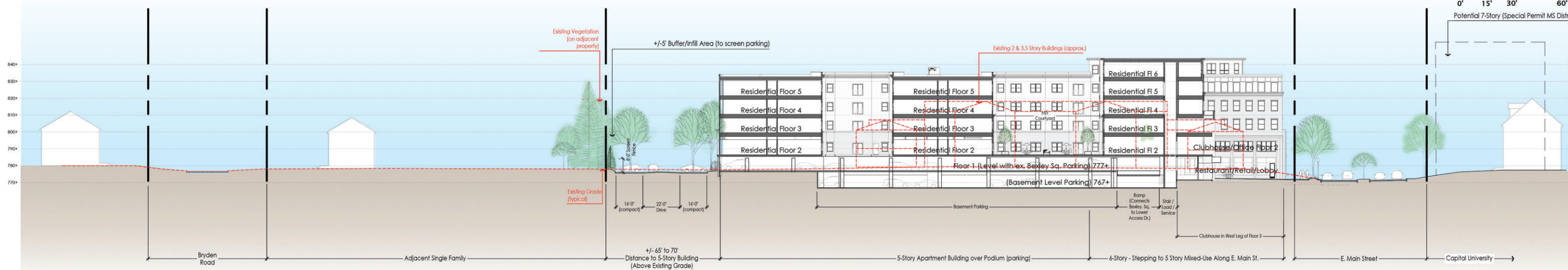


**3 NORTH ELEVATION**  
1" = 30'-0"

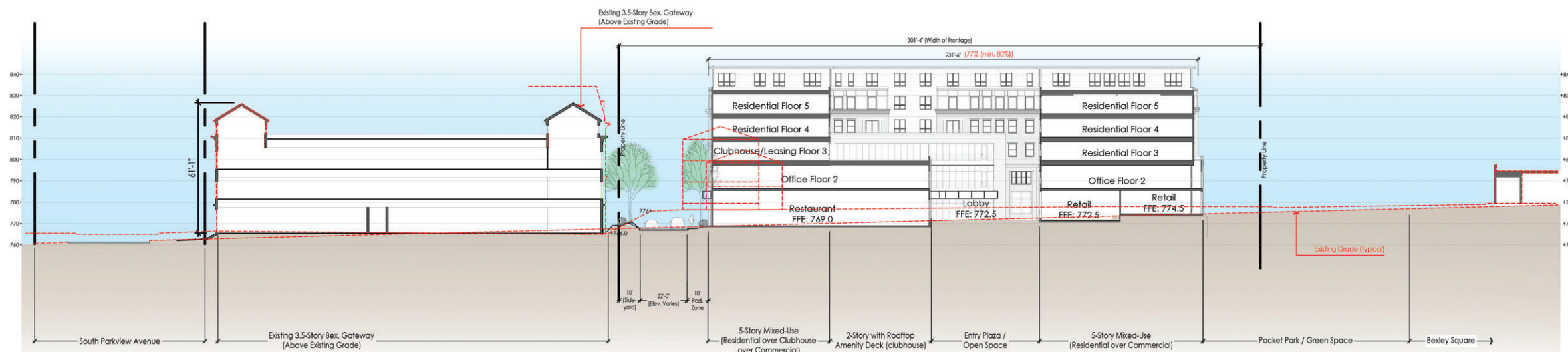




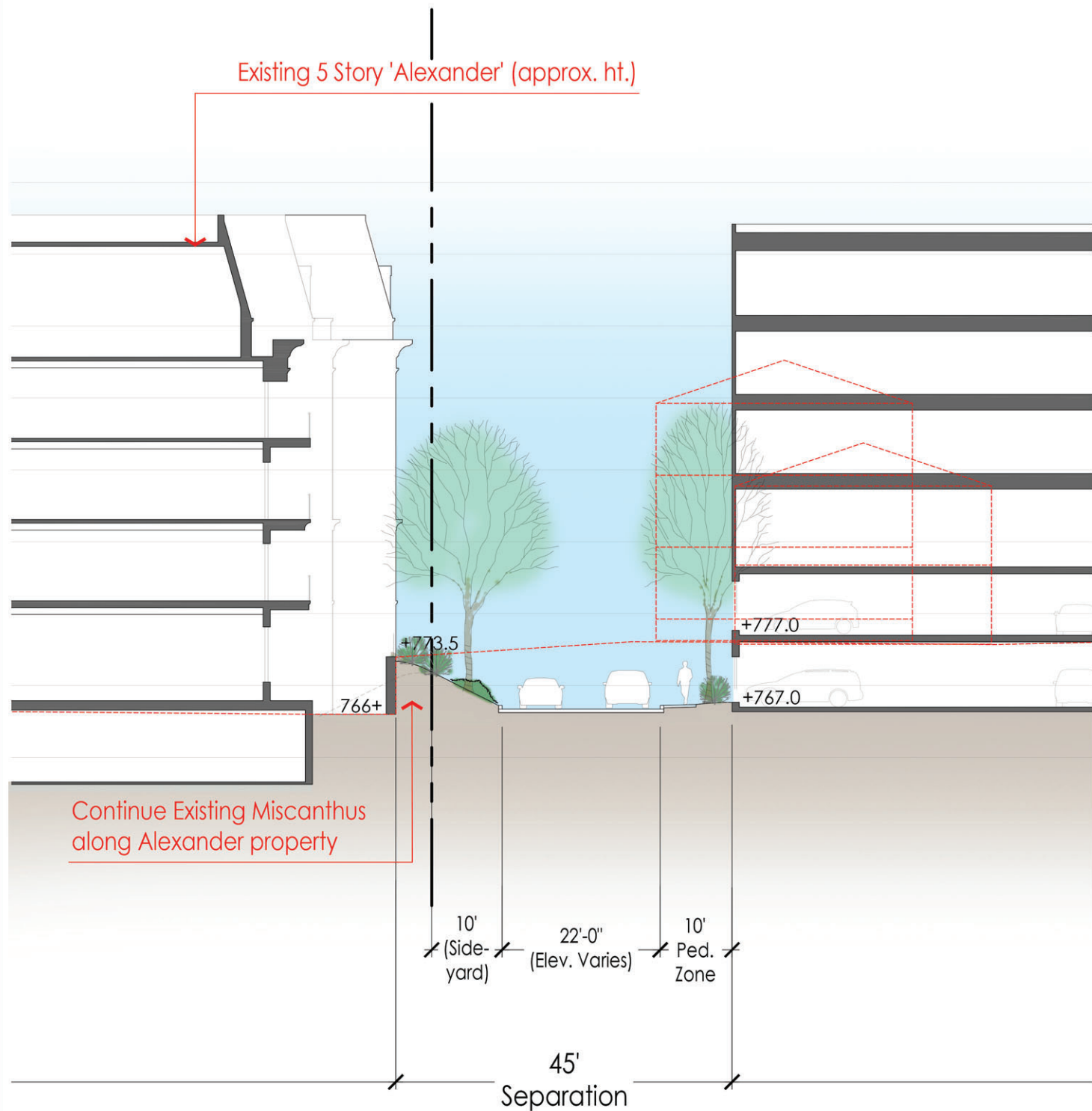
**TYPICAL CROSS-SECTION A-A1 (Looking North Through Middle of the Site)**



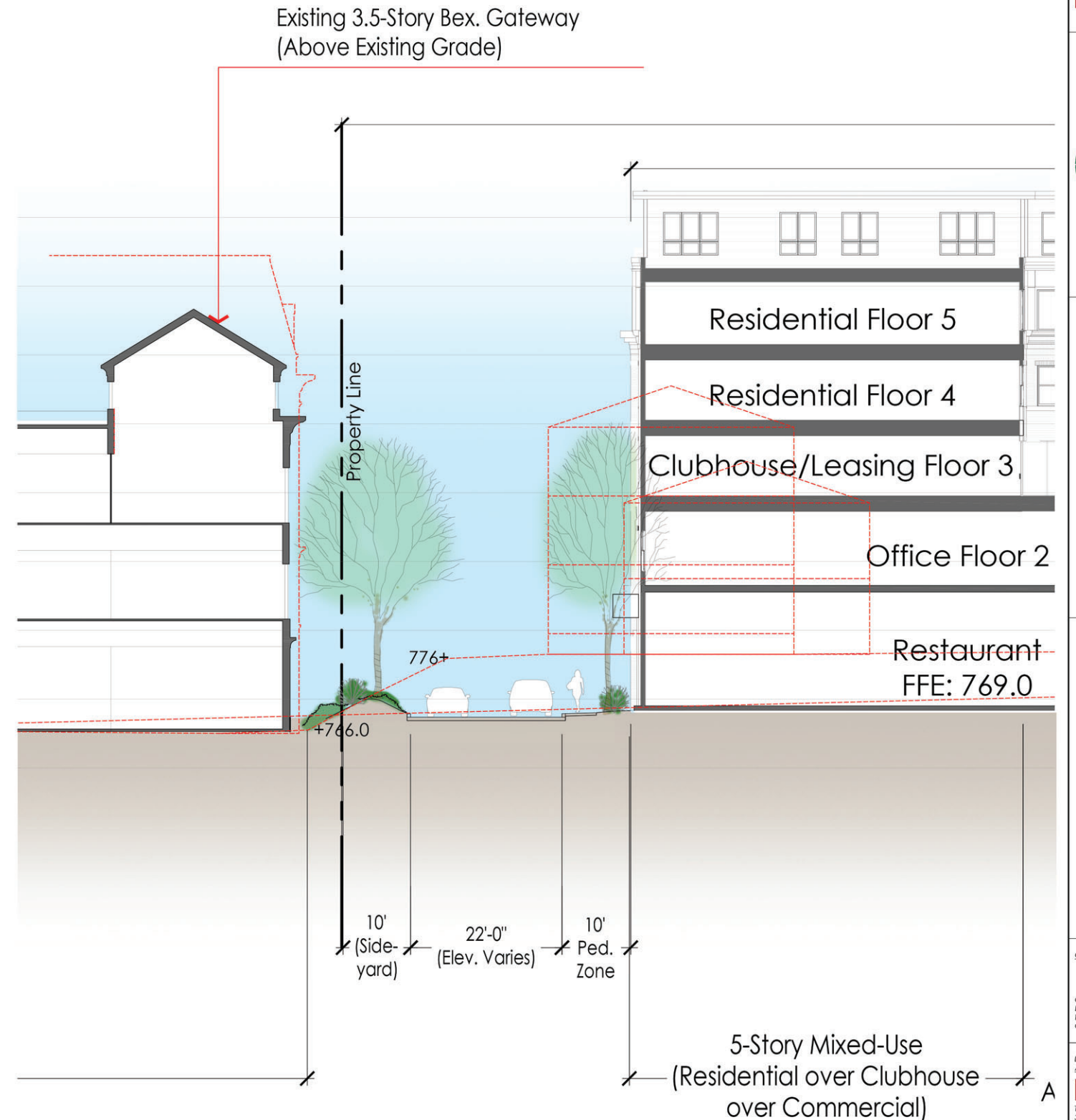
**TYPICAL CROSS-SECTION B-B1 (Looking East Through Middle of the Site)**



**TYPICAL CROSS-SECTION C-C1 (Looking North Through East Main Street Frontage)**



1 TYPICAL CROSS-SECTION A-A1 (Looking North Through Middle of the Site) Scale: 1" = 10'



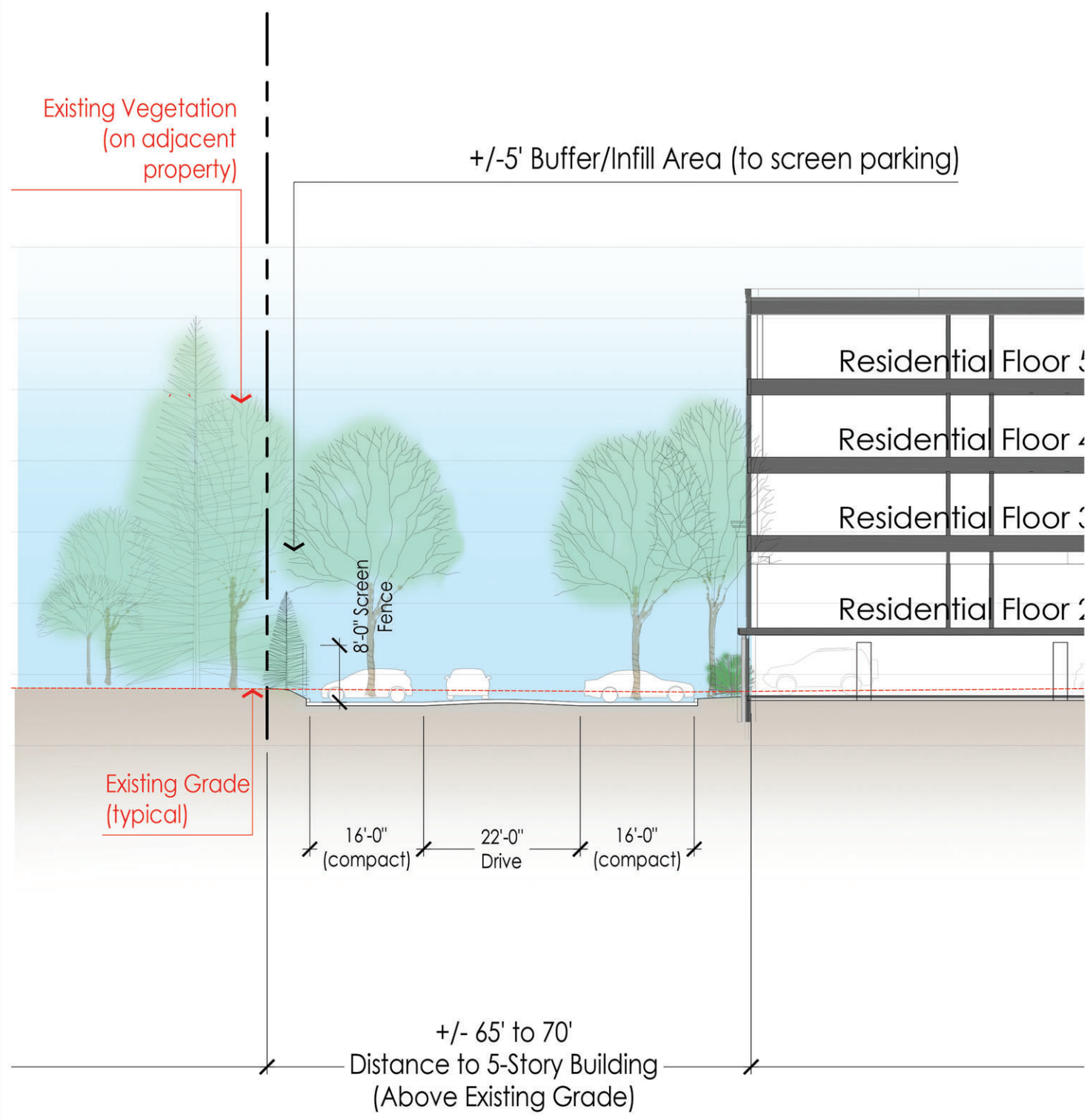
2 TYPICAL CROSS-SECTION C-C1 (Looking North Through East Main Street Frontage) Scale: 1" = 10'











1 TYPICAL CROSS-SECTION B-B1 (Looking East Through Middle of the Site)

Scale: 1" = 10'

0' 5' 10' 20'

APR 21



JUN 21



AUG 21



DEC 21



10 AM

12 PM

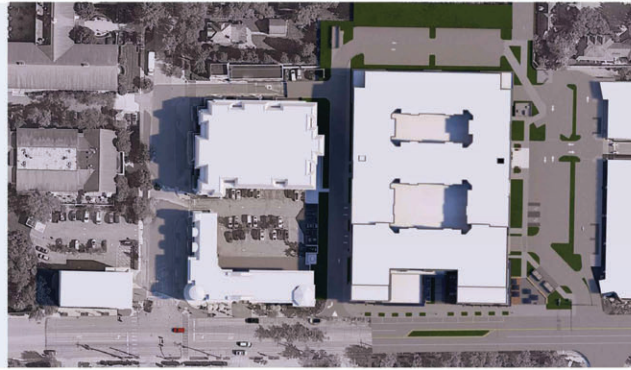
2 PM

4 PM

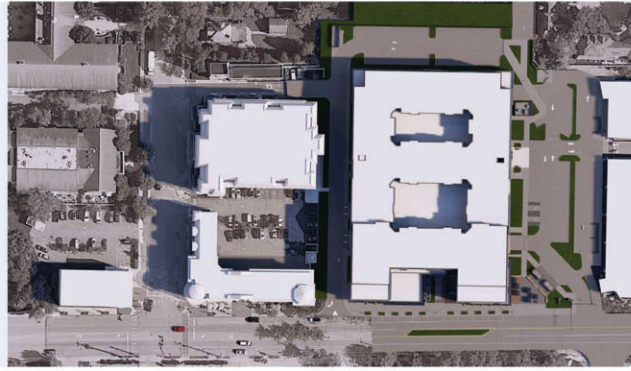
APR 21



JUN 21



AUG 21



DEC 21

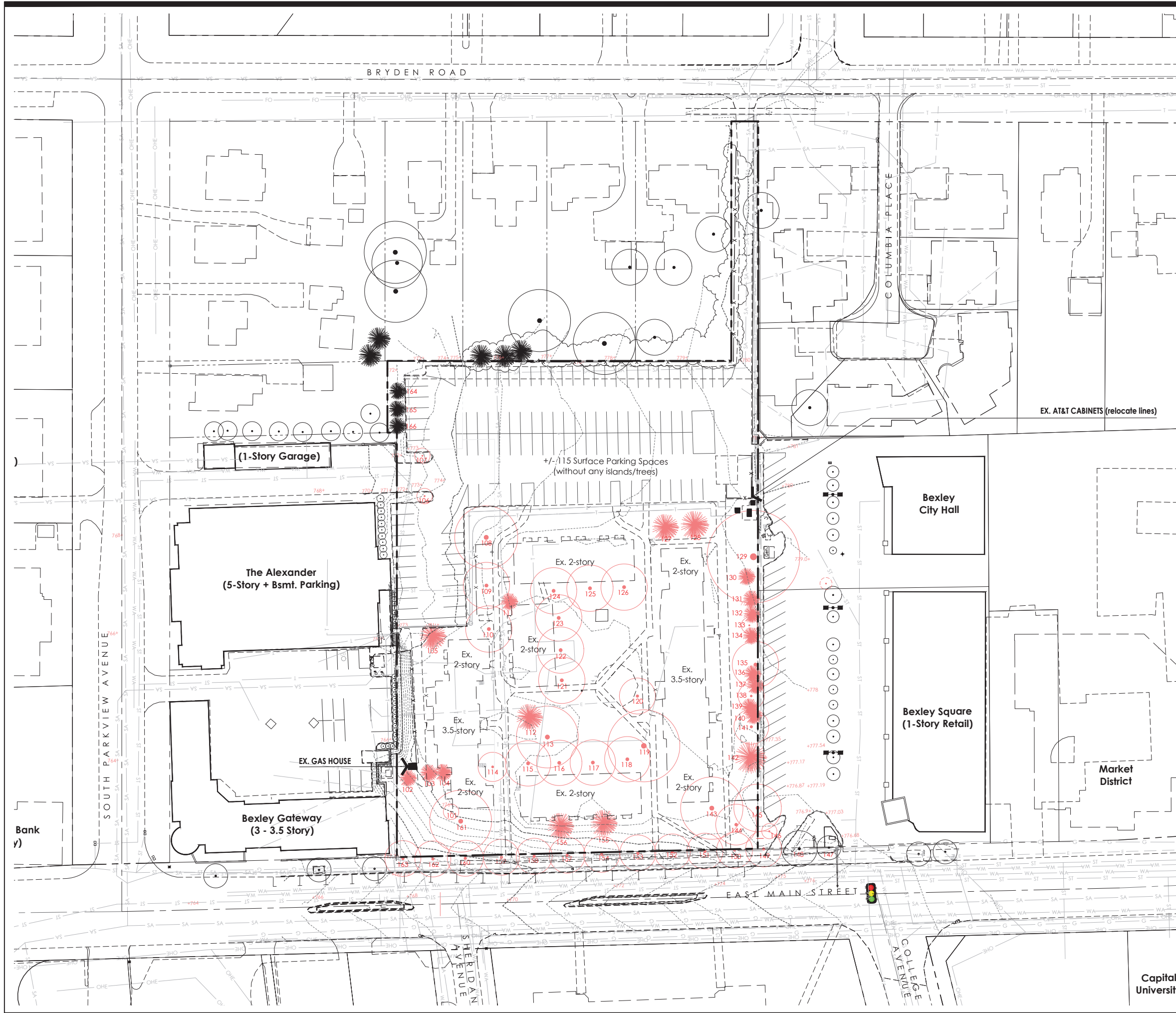


10 AM

12 PM







Tree	Type	Size (dbh) (inches)	Condition	Notes
101	Black Locust	2	poor	multiple trunks +/- 2' from building
102	White Pine	8		
103	White Pine	10		
104	Canadian Hemlock	10		w/in 2' of building
105	Norway Spruce	17		
106	Pear	2.5		
107	Pear	2.5		
108	Honey Locust	18		
109	Honey Locust	16		
110	Lacebark Elm	30		
111	Canadian Hemlock	7		
112	Norway Spruce	8		
113	Lacebark Elm	24		
114	Flowering Dogwood	5		
115	Honey Locust	18		
116	Honey Locust	16		
117	Honey Locust	24		
118	Honey Locust	18		
119	Lacebark Elm	30		
120	Norway Maple	12		
121	Honey Locust	17		
122	Honey Locust	16		
123	Honey Locust	16		
124	Honey Locust	16		
125	Honey Locust	15		
126	Honey Locust	17		
127	White Pine	12		
128	White Pine	17		
129	American? Elm	32		
130	White Pine	9		
131	White Pine	10		
132	White Pine	9		
133	Red Maple	4		
134	White Pine	8		
135	Norway Maple	22		
136	White Pine	6		
137	White Pine	9		
138	Red Maple	6		
139	White Pine	9		
140	White Pine	7		
141	Red Maple	10		
142	White Pine	14		
143	Honey Locust	20		
144	Lacebark Elm	16		
145	Norway Maple	22		
146	Crabapple	4	Off Site	
147	London Planetree	6	Off Site	Potential to save with plaza de
148	London Planetree	12	Off Site	Potential to save with plaza de
149	London Planetree	16	Off Site	
150	London Planetree	8	Leaning	
151	London Planetree	12		
152	London Planetree	16	Fork in leader	
153	London Planetree	15		
154	London Planetree	10		
155	Norway Spruce	13		
156	Norway Spruce	14		
157	London Planetree	12		
158	London Planetree	14	Leaning	
159	London Planetree	14		
160	London Planetree	12		
161	Lacebark Elm	24		
162	London Planetree	9		
163	London Planetree	12		
164	White Spruce?	6	To be saved	
165	White Spruce?	6	To be saved	
166	White Spruce?	6	To be saved	

Subtotal inches surveyed:	858
4 Less off site:	38
3 Less preserved:	18
1 Less poor condition:	2
<b>58 Total Trees removed</b>	
<b>Total inches removed from site:</b>	<b>800</b>
19 Less Evergreen (small canopy):	197
<b>39 Deciduous Trees removed</b>	
<b>Total Inches of deciduous:</b>	<b>603</b>

Capital University





**EXISTING TREE CANOPY**

TOTAL SITE AREA: ±128,805.43 SF			
KEY	ITEM	AREA	TOTAL COVERAGE
■	ON-SITE CANOPY AREA	±47,223.20 SF (37%)	±47,223.20 SF (37%)
■	CITY PARCEL CANOPY AREA	±3,784.60 SF	±51,007.80 SF
■	E. MAIN ST. CANOPY AREA	±6,981.06 SF	±57,988.86 SF
<b>TOTAL EXISTING TREE COVERAGE PER PLANT SYMBOL</b>			<b>±57,988.86 SF</b>

**PROPOSED TREE CANOPY**

TOTAL SITE AREA: ±128,805.43 SF					
TOTAL PROPOSED MATURE TREE COVERAGE					
KEY	ITEM	AREA	DIFFERENCE	REPLACEMENT	TOTAL COVERAGE
■	ON-SITE CANOPY AREA	±33,581.40 SF (26%)	-13,641.80 SF	33,581.40 SF (71%)	±33,581.40 SF (26%)
■	CITY PARCEL CANOPY AREA	±5,102.89 SF (4%)	1,318.29 SF	34,899.69 SF (68%)	±38,684.29 SF (30%)
■	E. MAIN ST. CANOPY AREA	±7,653.97 SF (6%)	672.91 SF	35,572.60 SF (61%)	±46,338.26 SF (36%)
<b>TOTAL PROPOSED MATURE TREE COVERAGE: ±46,338.26 SF (36%)</b> - DIFFERENCE OF -11,650.60 SF (80%)					

**NOTES:**

- PROPOSED TREES (GREEN) ALONG WEST PROPERTY LINE RECEIVE FULL CREDIT FOR OFF-SITE CANOPY AS THE EXISTING CONDITION DOES NOT HAVE ANY TREES.
- SYMBOL REPRESENTS 75% OF MATURE TREE CANOPY.

**RESULTS:**

BASED ON PROPOSED MATURE CANOPY:

- ON-SITE COVERAGE IS ±29% SHORT OF REPLACING EXISTING COVERAGE.  
47,223.20 SF  
-33,581.40 SF  
13,641.80 SF (7 TREES AT 50' SPREAD)
- PROPOSED CANOPY COVERAGE IS ±7% SHORT OF THE CITY OF BEXLEY GOAL OF 40%.  
51,522.17 SF (40% OF SITE)  
-33,581.40 SF  
17,940.77 SF (9 TREES AT 50' SPREAD)
- PROPOSED BUILDING = 50% OF SITE.

**NOTES:**

- THE 10 LONDON PLANE TREES ARE OFF-SITE AND IN R.O.W. ARE NOT COUNTED IN THE ABOVE CALCULATIONS.
- THE 9 LARGE SHADE TREES IN BEXLEY SQUARE (CITY PARCEL) ARE NOT COUNTED IN THE ABOVE CALCULATIONS.

**PROPOSED BUILDING AND PAVEMENT**

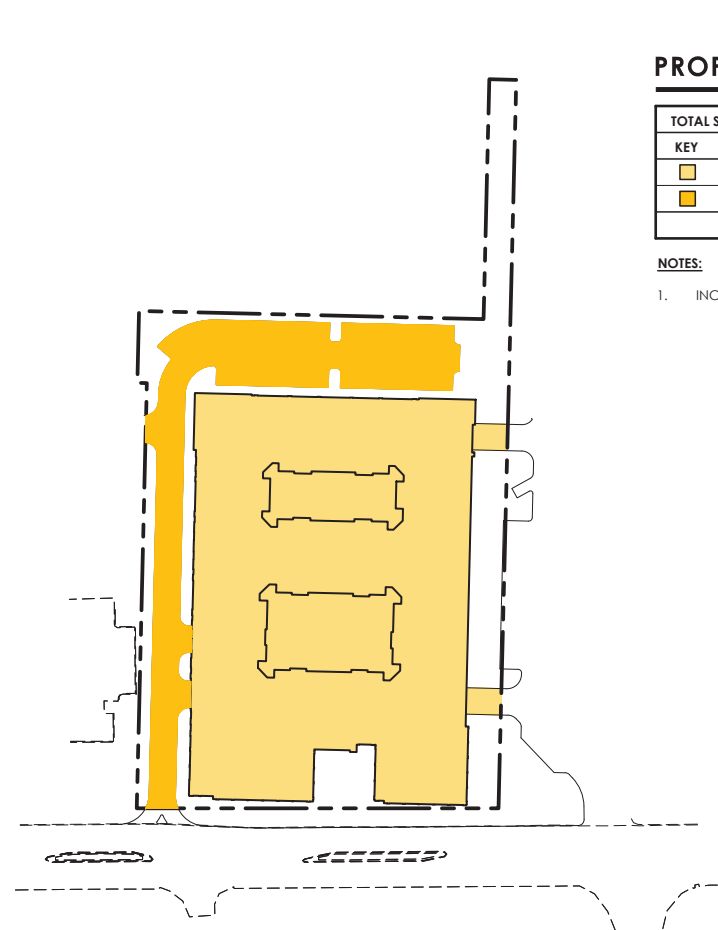
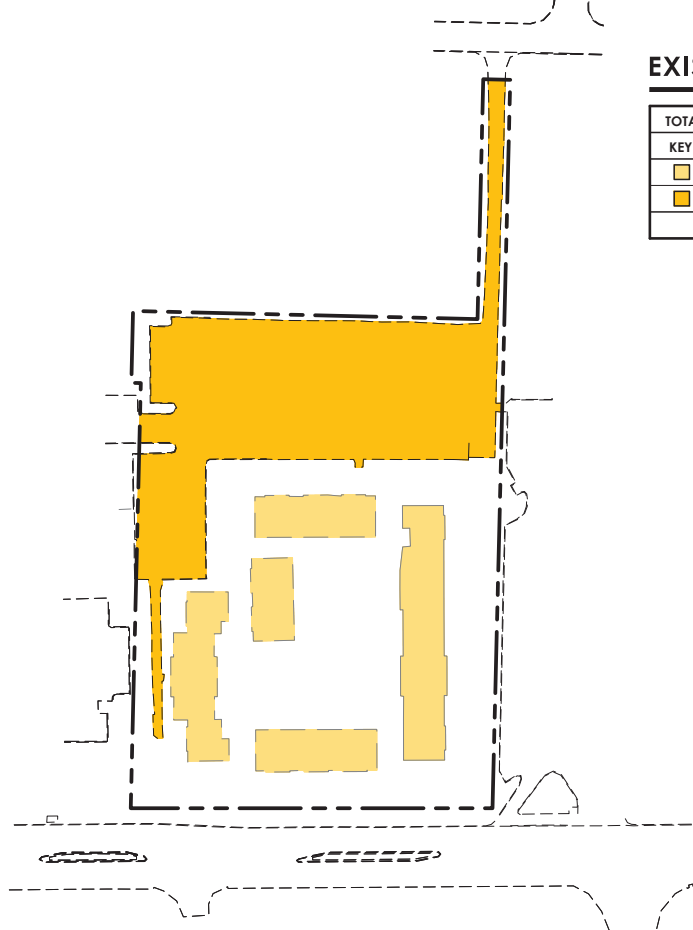
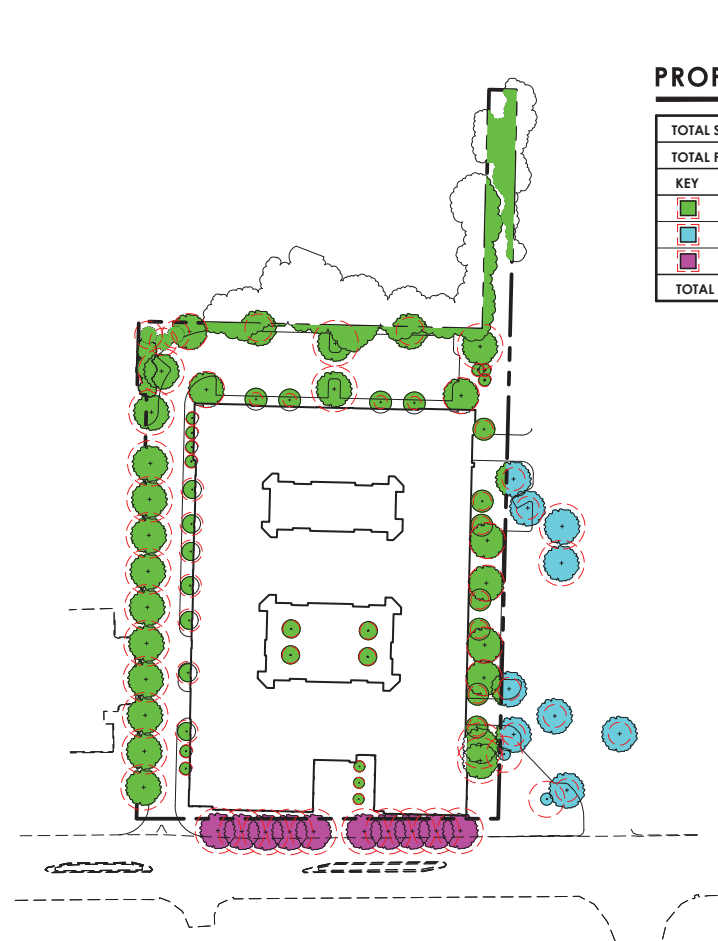
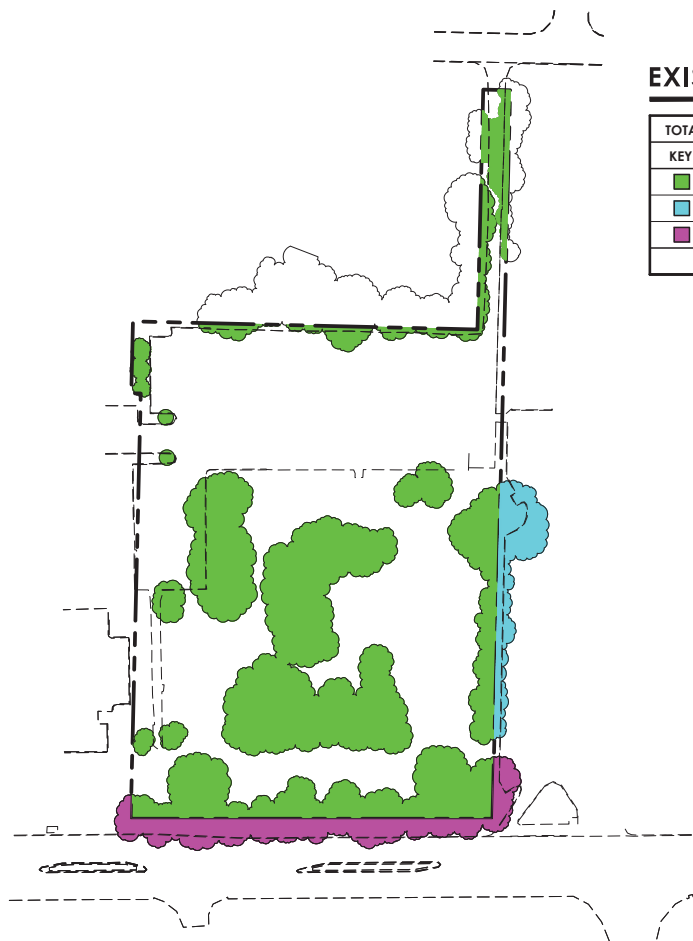
TOTAL SITE AREA: ±128,805.43 SF			
KEY	ITEM	AREA	TOTAL AREA
■	BUILDING COVERAGE	±63,757.52 SF (49%)	±63,757.52 SF (49%)
■	VEHICULAR PAVEMENT COVERAGE	±22,197.75 SF (17%)	±85,955.27 SF (66%)
<b>TOTAL PROPOSED BUILDING AND PAVEMENT COVERAGE</b>			<b>±85,955.27 SF (66%)</b>

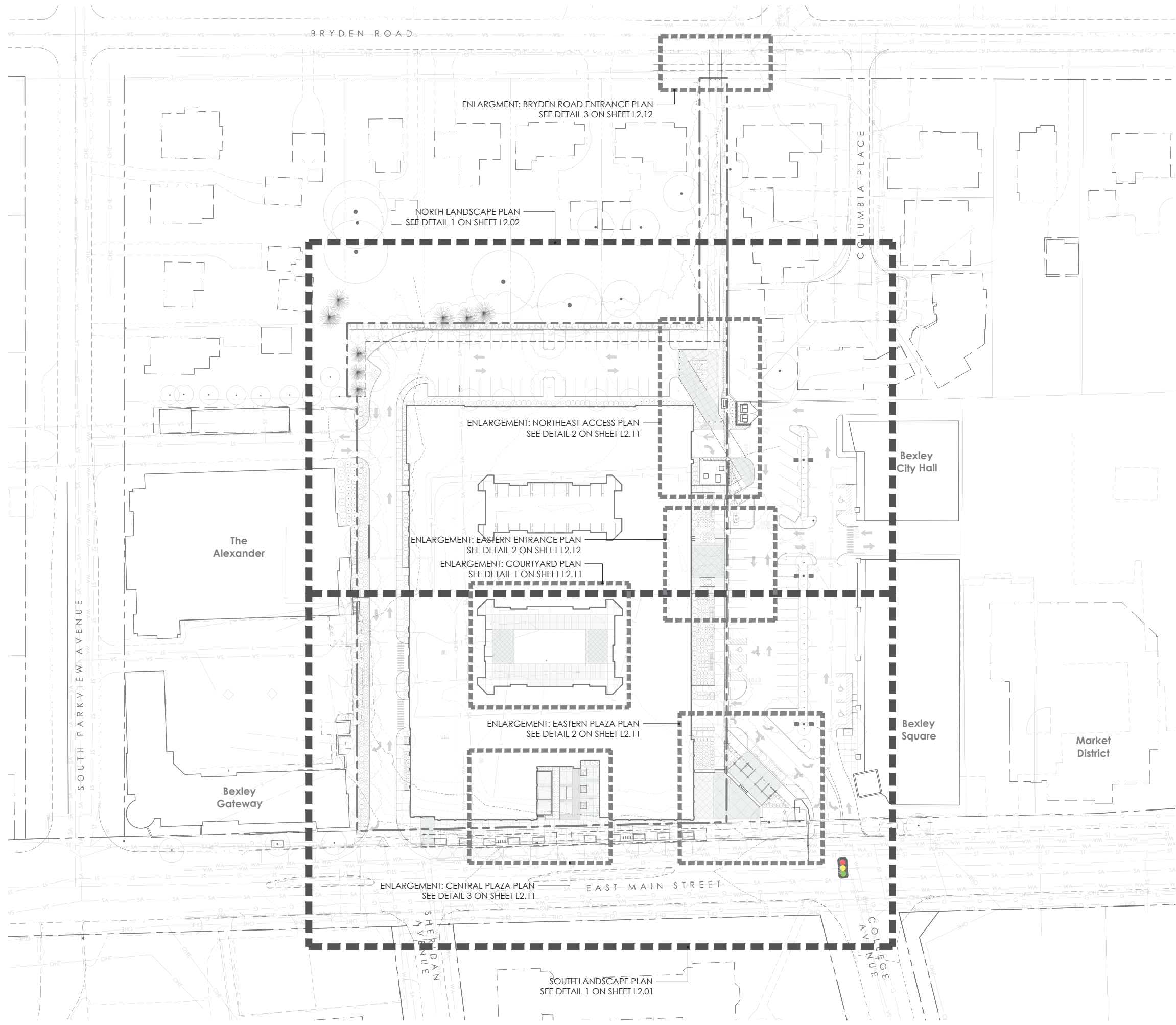
**NOTES:**

- INCREASING GREEN AREA WITHIN CITY LOT.

**EXISTING BUILDING AND PAVEMENT**

TOTAL SITE AREA: ±128,805.43 SF			
KEY	ITEM	AREA	TOTAL AREA
■	BUILDING COVERAGE	±21,668.61 SF (17%)	±21,668.61 SF (17%)
■	VEHICULAR PAVEMENT COVERAGE	±42,174.58 SF (33%)	±63,843.19 SF (50%)
<b>TOTAL EXISTING BUILDING AND PAVEMENT COVERAGE</b>			<b>±63,843.19 SF (50%)</b>





- GENERAL NOTES**
1. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
  2. EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
  3. CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
  4. ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD MULCH BED WITH SMOOTH/CONTINUOUS SHOVEL/DUG EDGE WHEN NOT BOUND BY PAVEMENT.
  5. CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
  6. FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
  7. CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION.
  8. ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
  9. ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
  10. QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR BID QUANTITIES AS REQUIRED BY THE PLAN.
  11. WHERE TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY OWNER'S REPRESENTATIVE TO ADJUST TREE LOCATIONS.
  12. PLANT LIST AND LANDSCAPE MAINTENANCE PLAN LOCATED ON SHEET L2.21.



BEXLEY, OHIO  
**2200 E. MAIN STREET**

**LANDSCAPE KEY PLAN**

**OWNER:**  
Continental Real Estate Companies  
150 E. Broad Street  
Columbus, OH 43215

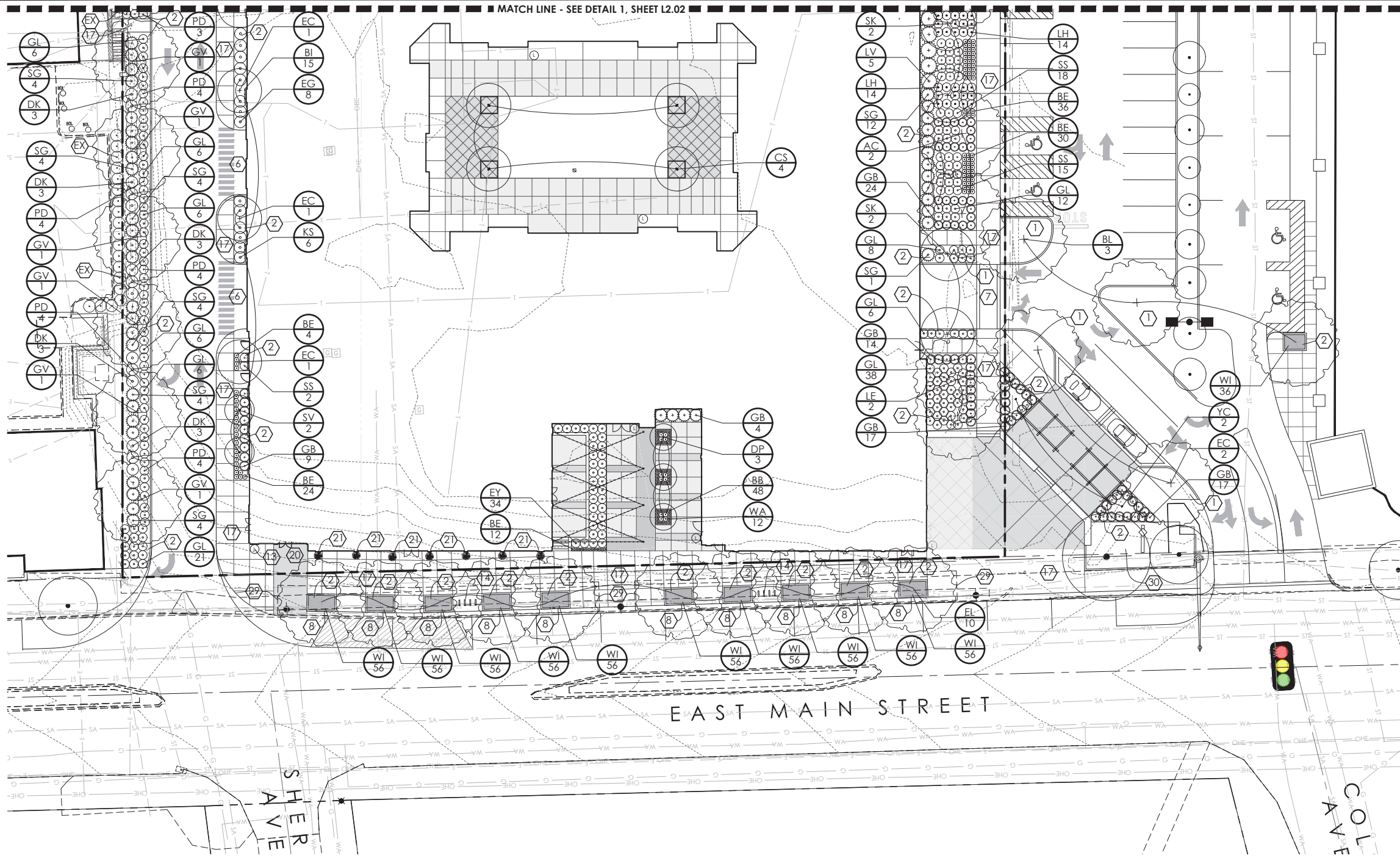
**LANDSCAPE ARCHITECT:**  
**EDGE**  
The EDGE Group, Inc.  
330 W. Spring Street  
Suite 330  
Columbus, OH 43215  
614-486-3343

Issue Date:  
Nov. 22, 2023  
Job #21159

SHEET  
**L2.00**

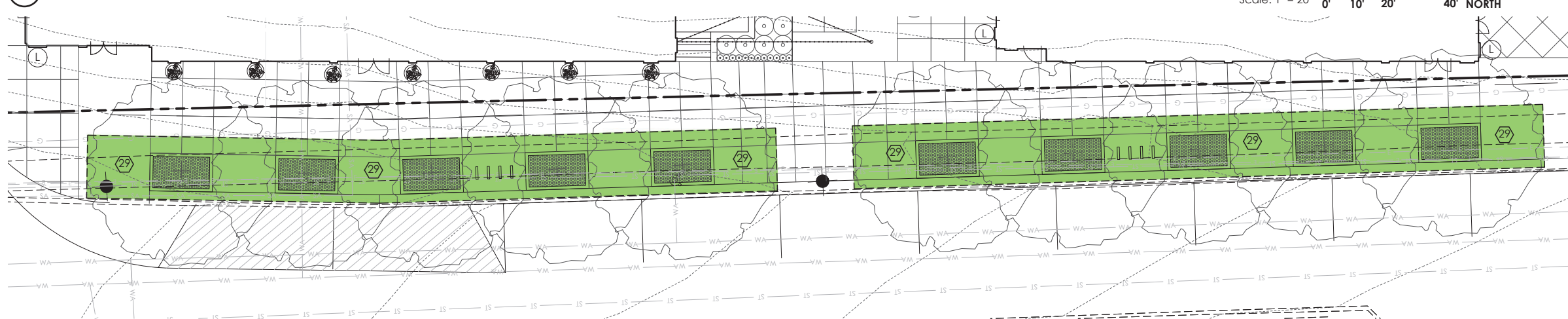


MATCH LINE - SEE DETAIL 1, SHEET L2.02



1 SOUTH LANDSCAPE PLAN

Scale: 1" = 20' 0' 10' 20' 40' NORTH



2 STRUCTURAL SOIL LOCATION PLAN

Scale: 1" = 10' 0' 5' 10' 20' NORTH

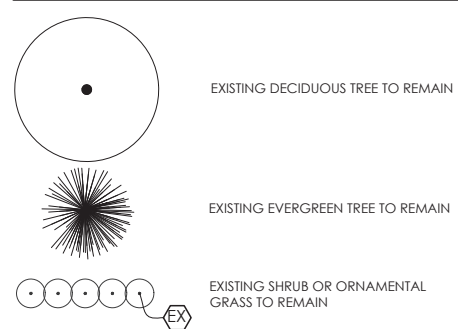
GENERAL NOTES

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- EXAMINE FINISH SURFACE, GRADES, TOPSOIL QUALITY AND DEPTH. DO NOT START ANY WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED. VERIFY LIMITS OF WORK BEFORE STARTING.
- CONTRACTOR RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
- ALL PLANT MASSES TO BE CONTAINED WITHIN 3" DEEP HARDWOOD MULCH BED WITH SMOOTH/CONTINUOUS SHOVEL/DUG EDGE WHEN NOT BOUND BY PAVEMENT.
- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE IN LAWN AREAS.
- FINE GRADE LAWN AREAS TO PROVIDE A SMOOTH AND CONTINUAL GRADE FREE OF IRREGULARITIES OR DEPRESSIONS.
- CONTRACTOR SHALL SEED OR SOD ALL AREAS DISTURBED DURING CONSTRUCTION.
- ALL PLANTS SHALL MEET OR EXCEED STANDARDS SET IN THE U.S.A. STANDARD FOR NURSERY STOCK.
- ALL PLANTING OPERATIONS SHALL ADHERE TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
- QUANTITIES SHOWN ARE INTENDED TO ASSIST CONTRACTOR IN EVALUATING THEIR OWN TAKE OFFS AND ARE NOT GUARANTEED AS ACCURATE REPRESENTATIONS OF REQUIRED MATERIALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THEIR BID QUANTITIES AS REQUIRED BY THE PLAN.
- WHERE TREE LOCATIONS OCCUR UNDER EXISTING OVERHEAD UTILITIES OR CROWD EXISTING TREES, NOTIFY OWNER'S REPRESENTATIVE TO ADJUST TREE LOCATIONS.
- PLANT LIST AND LANDSCAPE MAINTENANCE PLAN LOCATED ON SHEET L2.21.

CONSTRUCTION NOTES:

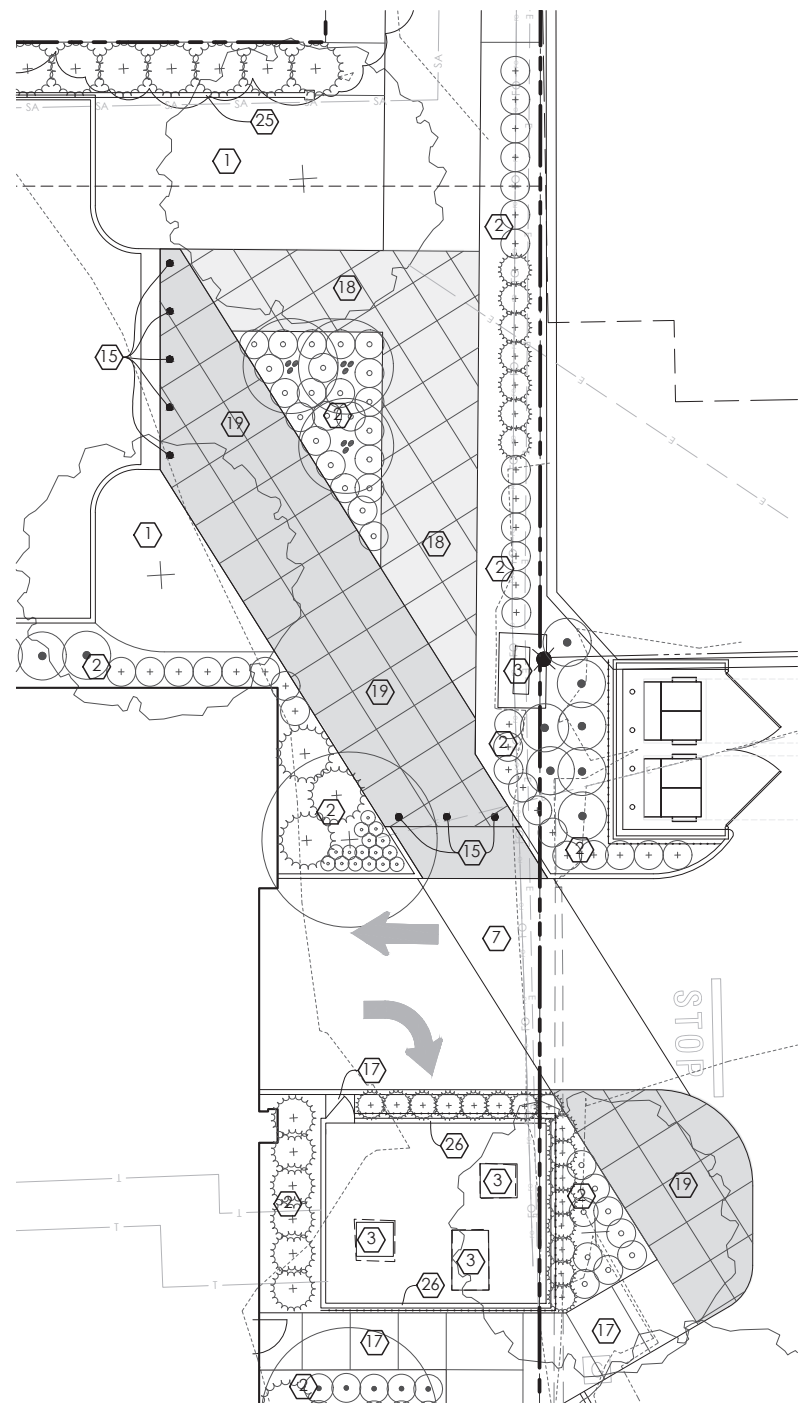
- LAWN AREA, TOPSOIL TO BE FLUSH WITH ADJACENT PAVED SURFACES.
- LANDSCAPE AREA, PLANT AS INDICATED AND MULCH ENTIRE AREA WITH HARDWOOD BARK MULCH.
- CROSSWALK - PAINTED
- CROSSWALK - CONCRETE
- TREE PLANTER/PIT SEE DETAILS 4-7 ON SHEET L3.01.
- TRASH RECEPTAL, BY OWNER, TO MATCH CITY STANDARD
- BIKE RACK, BY OWNER, TO MATCH CITY STANDARD
- PAVEMENT - BROOM FINISH
- PAVEMENT - BUFF WASH CHARCOAL
- PAVEMENT - CHARCOAL PAVER
- PLANTER, BY OWNER OR TENANT, SHOWN FOR GRAPHIC PURPOSES
- STRUCTURAL SOIL LIMIT, SEE DETAIL 7 ON SHEET L3.01.
- EXISTING LANDSCAPE AREA, BLEND NEW LANDSCAPE WITH EXISTING. LANDSCAPE MATERIALS TO BE DETERMINED.

EXISTING LANDSCAPING LEGEND:

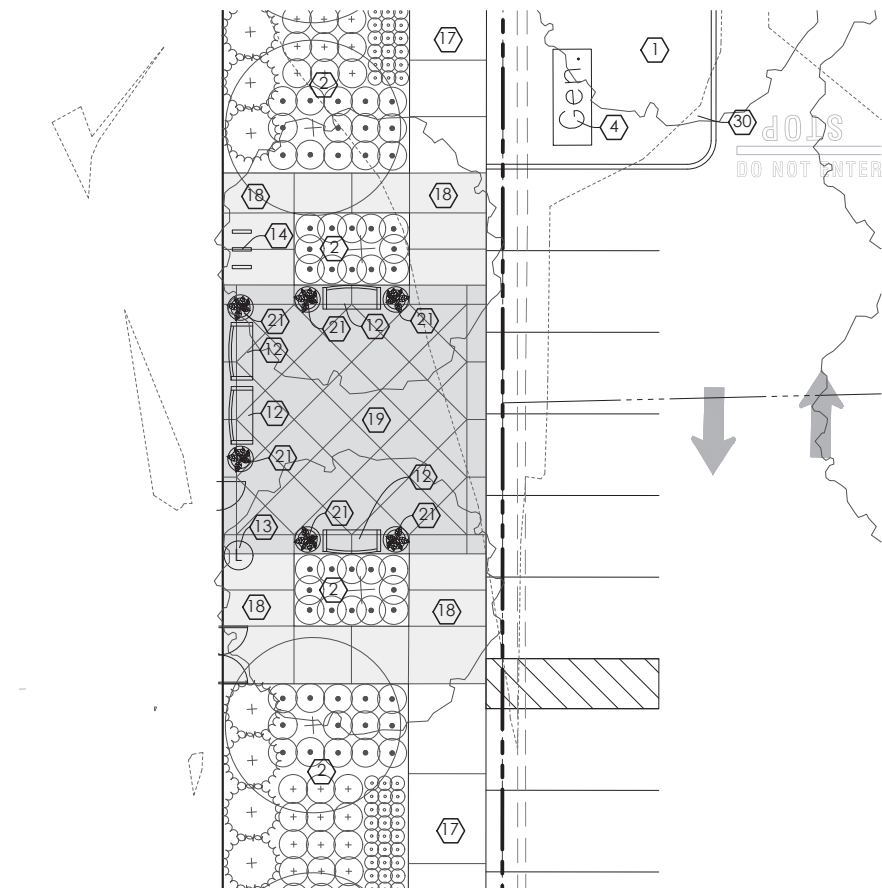




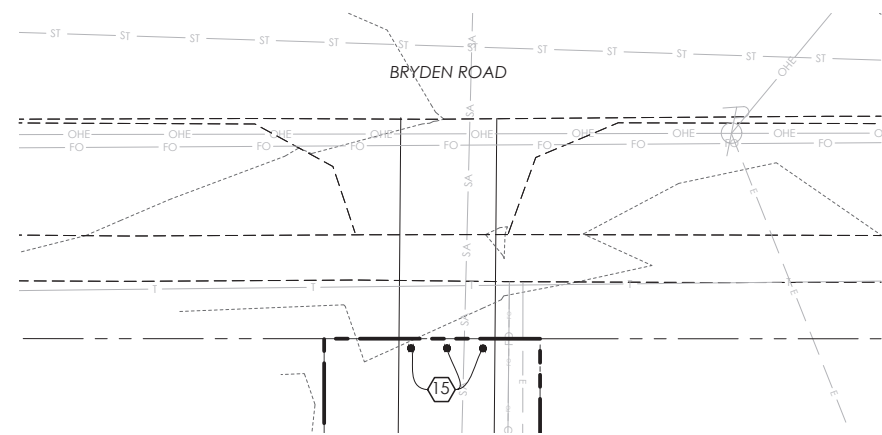




1 ENLARGMENT: NORTHEAST ACCESS PLAN  
Scale: 1" = 10'



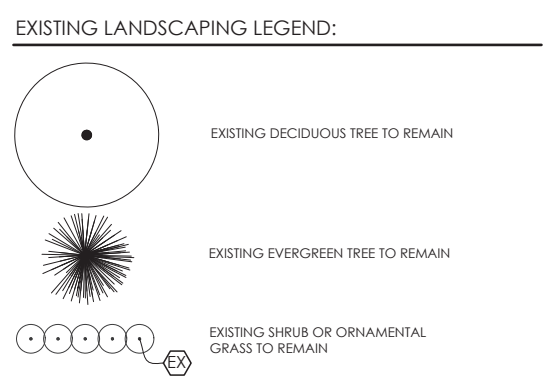
2 ENLARGMENT: EASTERN ENTRANCE PLAN  
Scale: 1" = 10'



3 ENLARGMENT: BRYDEN ROAD ENTRANCE PLAN  
Scale: 1" = 10'

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  - PLANT LIST AND LANDSCAPE MAINTENANCE PLAN LOCATED ON SHEET L2.21.

- CONSTRUCTION NOTES:**
- LAWN AREA, TOPSOIL TO BE FLUSH WITH ADJACENT PAVED SURFACES.
  - LANDSCAPE AREA, PLANT AS INDICATED AND MULCH ENTIRE AREA WITH HARDWOOD BARK MULCH.
  - EXISTING UTILITY CABINET
  - EXISTING GENERATOR
  - CROSSWALK - CONCRETE
  - BENCH - 6' LENGTH BENCH, BY OWNER, TO MATCH CITY STANDARD
  - TRASH RECEPTICAL, BY OWNER, TO MATCH CITY STANDARD
  - BIKE RACK, BY OWNER, TO MATCH CITY STANDARD
  - BOLLARD (COLLAPSIBLE / BREAKAWAY), BY OWNER
  - PAVEMENT - BROOM FINISH
  - PAVEMENT - BUFF WASH TAN
  - PAVEMENT - BUFF WASH CHARCOAL
  - 8' HEIGHT PRIVACY FENCE, SEE DETAIL 1 ON SHEET L3.01.
  - 6' HEIGHT PRIVACY FENCE, SEE DETAIL 2 ON SHEET L3.01.
  - EXISTING LANDSCAPE AREA, BLEND NEW LANDSCAPE WITH EXISTING. LANDSCAPE MATERIALS TO BE DETERMINED.



PLANT MATERIALS LIST - ON-SITE NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	L2.01	L2.02	REMARKS
<b>DECIDUOUS SHADE TREES</b>								
4	AC	ACCOLADE ELM	Ulmus davidiana 'Morton'	2.5" Cal.	B&B	2	2	
3	AD	AMERICAN DREAM SWAMP WHITE OAK	Quercus bicolor 'JFS-KW12' PP 23632	2.5" Cal.	B&B	--	3	
2	BG	BLACK GUM	Nyssa sylvatica	2.5" Cal.	B&B	--	2	
4	CS	CITY SPRITE ZELKOVA	Zelkova serrata 'JFS-KW1' PP 20996	2.5" Cal.	B&B	4	--	
10	EL	EXCLAMATION LONDON PLANETREE	Platanus x acerifolia 'Morton Circle'	2.5" Cal.	B&B	10	--	
11	GV	GREEN VASE ZELKOVA	Zelkova serrata 'Green Vase'	2.5" Cal.	B&B	6	5	
6	LE	LACEBARK ELM	Ulmus parvifolia	2.5" Cal.	B&B	2	4	
<b>DECIDUOUS UPRIGHT SHADE TREES</b>								
7	EC	EVERCLEAR LACEBARK ELM	Ulmus parvifolia 'BSNUPF' PP 17,655	2.5" Cal.	B&B	3	4	
3	DP	DAKOTA PINNACLE BIRCH TREE	Betula platyphylla 'Fargo'	2.5" Cal.	B&B	3	--	
4	FF	FRANS FONTAINE HORNBEAM	Carpinus betulus 'Frans Fontaine'	2.5" Cal.	B&B	--	4	
7	SK	STREET KEEPER HONEYLOCUST	Gleditsia triacanthos 'Draves'	2.5" Cal.	B&B	4	3	
<b>DECIDUOUS ORNAMENTAL TREES</b>								
7	SM	STAR MAGNOLIA	Magnolia stellata	2.5" Cal.	B&B	--	7	
2	SV	SEVEN-SON FLOWER	Heptacodium miconioides	8' Hgt.	B&B	2	--	MULTI-STEM
<b>EVERGREEN TREES</b>								
55	KJ	KETLEERI JUNIPER	Juniperus chinensis 'Keteleeri'	6' Hgt.	B&B	--	55	
3	NS	NORWAY SPRUCE	Picea abies	8' Hgt.	B&B	--	3	
<b>DECIDUOUS SHRUBS</b>								
24	DK	DWARF KOREAN LILAC	Syringa meyeri 'Palibin'	36" Hgt.	CONT.	15	9	
175	GL	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'	24" Sprd.	CONT.	115	60	
18	KS	KOREAN SPICE VIBURNUM	Viburnum carlesii	36" Hgt.	CONT.	6	12	
13	LV	LEATHERLEAF VIBURNUM	Viburnum rhytidophyllum	36" Hgt.	CONT.	5	8	
80	LH	LITTLE HENRY SWEETSPIRE	Itea virginica 'Sprich'	24" Hgt.	CONT.	28	52	
<b>EVERGREEN SHRUBS</b>								
48	BB	BIG BLUE LIRIOPE	Liriope muscari 'Big Blue'	No. 1	CONT.	48	--	
37	EG	EMERALD GREEN ARBORVITAE	Thuja occidentalis 'Emerald Green'	4' Hgt.	CONT.	8	29	
34	EY	EVERLOW YEW	Taxus x media 'Everlow'	24" Sprd.	CONT.	34	--	
83	GB	GREEN VELVET BOXWOOD	Buxus x 'Green Velvet'	24" Hgt.	CONT.	51	32	
66	SG	SEA GREEN JUNIPER	Juniperus chinensis 'Sea Green'	36" Hgt.	CONT.	37	29	
<b>PERENNIALS</b>								
146	BE	BLACK-EYED SUSAN	Rudbeckia hirta	No. 1	CONT.	106	40	
51	BI	BOSTON IVY	Parthenocissus tricuspidata	1 QT.	CONT.	15	36	PLANT SPACING AT 1'-4" O.C. SEE DETAIL 6 ON SHEET L3.00.
20	WA	WALKER'S LOW CATMINT	Nepeta x faassenii 'Walker's Low'	No. 1	CONT.	12	8	
560	WI	WINTERCREEPER	Euonymus fortunei	1 QT.	CONT.	560	--	TRIANGLE SPACING AT 10" O.C. VERIFY ACTUAL SPECIES PRIOR TO PLANTING.
<b>ORNAMENTAL GRASSES</b>								
40	GM	GRACILLIMUS MAIDEN GRASS	Miscanthus sinensis 'Gracillimus'	No. 2	CONT.	--	40	
38	PD	PRAIRIE DROPSEED	Sporobolus heterolepis	No. 2	CONT.	23	15	
99	SS	SHENANDOAH SWITCH GRASS	Panicum virgatum 'Shenandoah'	No. 2	CONT.	35	64	

PLANT MATERIALS LIST - BEXLEY SQUARE NOTE: CONTRACTOR RESPONSIBLE FOR PLANT QUANTITIES SHOWN ON PLAN.

QTY.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	ROOT	L2.01	L2.02	REMARKS
<b>DECIDUOUS SHADE TREES</b>								
2	DR	DAWN REDWOOD	Metasequoia glyptostroboides	2.5" Cal.	B&B	--	2	
2	EL	EXCLAMATION LONDON PLANETREE	Platanus x acerifolia 'Morton Circle'	2.5" Cal.	B&B	--	2	
<b>DECIDUOUS UPRIGHT SHADE TREES</b>								
2	EC	EVERCLEAR LACEBARK ELM	Ulmus parvifolia 'BSNUPF' PP 17,655	2.5" Cal.	B&B	2	--	
<b>DECIDUOUS ORNAMENTAL TREES</b>								
2	YC	YOSHINO CHERRY	Prunus x yedoensis	2.5" Cal.	B&B	2	--	
<b>DECIDUOUS SHRUBS</b>								
9	GL	GRO-LOW FRAGRANT SUMAC	Rhus aromatica 'Gro-Low'	24" Sprd.	CONT.	--	9	
<b>EVERGREEN SHRUBS</b>								
34	GB	GREEN VELVET BOXWOOD	Buxus x 'Green Velvet'	24" Hgt.	CONT.	34	--	
<b>PERENNIALS</b>								
36	BI	BOSTON IVY	Parthenocissus tricuspidata	1 QT.	CONT.	--	36	PLANT SPACING AT 1'-4" O.C. SEE DETAIL 6 ON SHEET L3.00.
36	WI	WINTERCREEPER	Euonymus fortunei	1 QT.	CONT.	36	--	TRIANGLE SPACING AT 10" O.C. VERIFY ACTUAL SPECIES PRIOR TO PLANTING.
<b>ORNAMENTAL GRASSES</b>								
7	GM	GRACILLIMUS MAIDEN GRASS	Miscanthus sinensis 'Gracillimus'	No. 2	CONT.	--	7	
6	SS	SHENANDOAH SWITCH GRASS	Panicum virgatum 'Shenandoah'	No. 2	CONT.	--	6	

LANDSCAPE MAINTENANCE PLAN

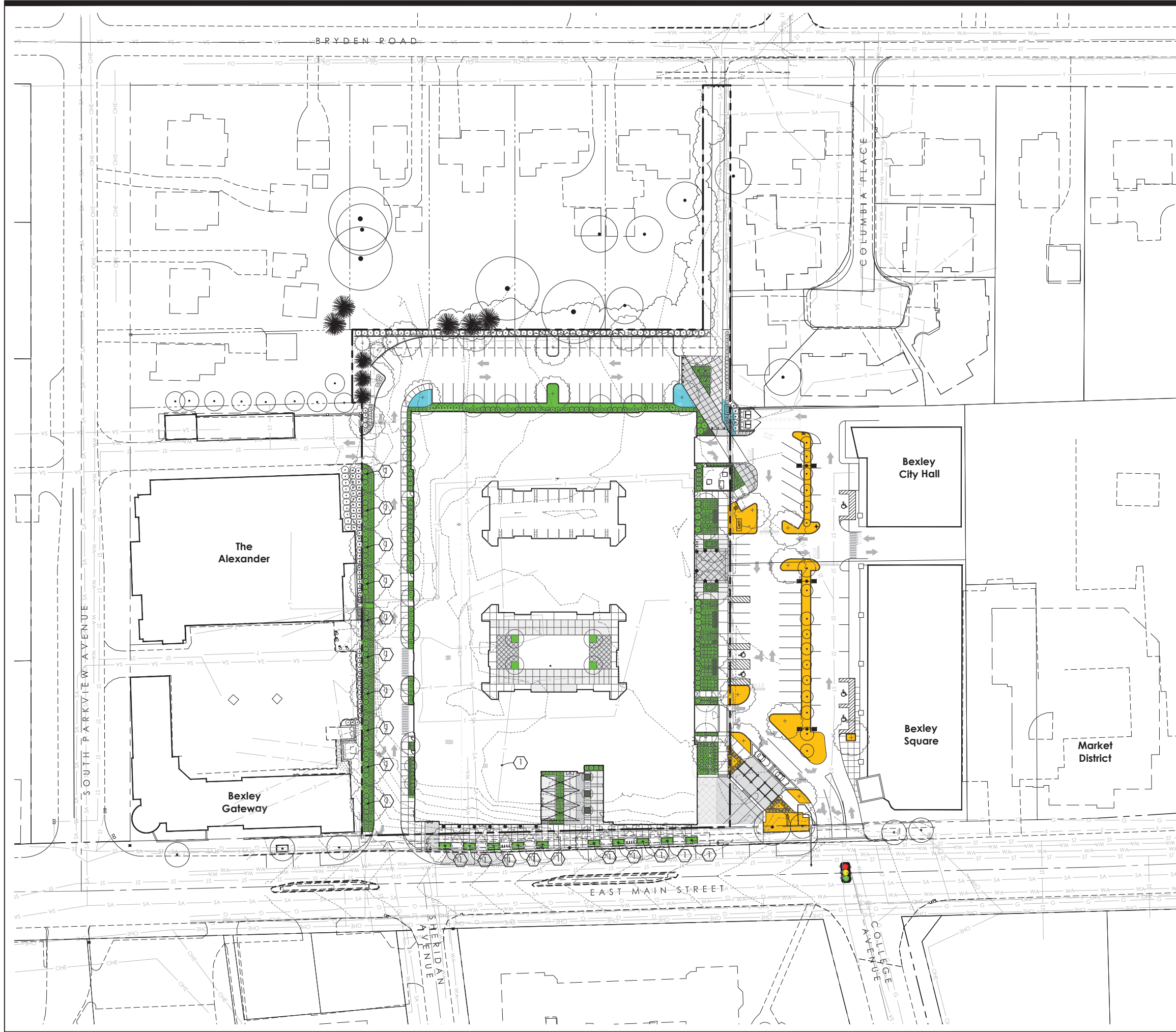
- LAWN CARE
  - Turf shall be cut to a height of two to three inches as conditions dictate. Mowing shall be done frequently enough so that no more than one-third (1/3) of the grass blade is removed per cutting. Mowing equipment and patterns shall be employed to permit recycling of clippings where possible and present a neat appearance. Excess clippings shall be removed and blades on all equipment shall be sharp to prevent tearing of the grass blades.
  - Vertical surfaces such as buildings, posts and fences shall be trimmed when mowing is accomplished to ensure a neat appearance and consistent height.
  - Turf adjacent to walks shall be edged eight (8) times per season. Turf adjacent to curbs shall be edged eight (8) times per season.
  - A pre-emergent crabgrass control shall be applied to all turf areas in the spring to deter crabgrass seeds from germinating.
  - A quality turf fertilizer shall be applied to all turf areas three (3) times per season to promote green color and root growth. Timing, frequency, and rate of application shall be adjusted to meet horticultural conditions.
  - A broadleaf weed control post-emergent shall be applied to all turf areas three (3) times per season.
  - Fall clean-up operations will be performed in late fall to remove leaves from all turf. All debris shall be removed off-site.
  - Grub preventative to be applied to all turf areas one (1) time per season.
- LANDSCAPE BED CARE
  - A pre-emergent weed control shall be applied to all beds once per season to inhibit weed seed germination.
  - A post-emergent weed control shall be applied to all beds six (6) times per season to inhibit weed growth.
  - A granular slow-release fertilizer shall be applied to all existing beds once per season.
  - Turf adjacent to beds shall be edged two (2) times per season.
  - All beds shall be kept in a neat and weed-free manner to include hand weeding and the use of herbicide on an as-needed basis.
  - All shrubs and evergreen beds shall be pruned five (5) times per season to remove dead or damaged branches and develop a manicured hedge or the natural form of the plant.
  - All ornamental grasses shall be pruned once per season in early spring, before new growth, to a height of minimum eight (8) inches above grade to encourage new growth of the plant.
  - Fall clean-up operations will be performed in the late fall to remove leaves from all bed areas. All perennials (except Hellobores) will be pruned and winterized in the fall. All debris shall be removed off-site.
- TREE CARE
  - A cultivated and edged tree ring shall be maintained at the base of all lawn trees where applicable two (2) times per season.
  - All trees to a height of fifteen feet (15') shall be pruned once per season to remove dead, damaged, broken or diseased branches and develop the natural form of the plant.
  - A pre-emergent weed control shall be applied to all tree rings once per season to inhibit weed seed germination.
  - A post-emergent weed control shall be applied to all tree rings six (6) times per season to inhibit weed growth.
  - A granular slow-release fertilizer shall be applied to all ornamental and evergreen trees once per season.
- GENERAL MAINTENANCE
  - Spring clean-up operations will be performed during the month of April to remove leaves and debris that have accumulated over the winter.
  - Policing of the property's grounds shall be done daily April - October; three times per week November - March; and on weekends April - October.
  - All paved paths shall be blown weekly May - November and twice in March and April.
- WATERING GUIDELINES
  - 3" of hardwood mulch should be maintained on all landscape beds. Mulch beds help to slow the rate of water evaporating from the soil, allowing extended time periods for the root systems to absorb water.
  - Watering should occur from May through early November.
  - If air temperature is below 40 degrees Fahrenheit, watering should not occur due to threat of rootball freezing. Preservation of the trees root system is imperative to overall plant health.
  - London Plane Trees on Main Street should be watered at a rate of 10 gallons per caliper inch per week.
  - Recommended method of watering all trees on site would be through the use of Treegator Slow-Release bags. Each bag contains approximately 15 gallons of water meaning that bags either should be filled twice weekly, or two bags should be tethered together on one tree, filled weekly.
  - Treegator Slow-Release bags should be utilized on all trees until root establishment. For 2.5" caliper trees on the site, this would be approximately 2.5 growing seasons (one season per caliper inch of tree). Bags should be removed during seasons where supplemental watering is not required.
  - All other shrub and perennial beds on site should be watered weekly for one full growing season.
  - Trees and plant beds do not need supplemental watering if more than 1" of rain fall has occurred within 7 days of the previous watering.
  - Post-establishment of all tree material, watering should occur on a monthly basis between June and October in the absence of adequate natural rainfall (i.e. less than 50% of average for more than a 4 week period).

DEVELOPMENT GUIDELINES FOR TENANT IMPROVEMENTS

- SITE FURNISHINGS & LIGHTING - Along the public streets & corridors:
  - Planters, Patio Tables & Chairs, Benches shall be restricted to muted/earth tones and natural colors such as brick reds, slate blues, charcoal greys, and/or natural wood, metal (preferably titanium color range) or black. Alternative colors may be acceptable but would need City of Bexley approval prior to installation.
    - Planters and Flower Pots shall be appropriately scaled for the environment in which they are to be placed. Planters placed along the East Main Sidewalk shall be commercial grade in the 22" diameter min. and/or 22" square and/or 1x3" rectangular shapes. Depending on the plant material being provided in the planters, the minimum height of the planters shall be in the 130" to 36" range (if upright evergreens then lower planters may be used).
      - Planters shall not impede on the natural flow of traffic along E. Main Street's sidewalk and shall provide a minimum of 6' of clearance (preferably 8' clear) to the nearest vertical element (above the sidewalk grade).
      - Planters shall be planted to provide year-round seasonal interest. If annual flowers are to be used, they must include an early spring rotation (tulips/pansies/daffodils/etc.), a summer rotation (several options), a fall to winter rotation (pansies, kale, evergreen shrubs such as hollies, boxwood, small upright junipers, etc.).
      - Planters will need to be watered on a regular basis to maintain a lush and healthy appearance. The use of fertilizers should be considered to maximize the impact.
  - Umbrellas and other fabric materials provided along the public corridors provide an opportunity for accent colors and brand reinforcement. If umbrellas are to include logos and or brand specific trademarks, tenant shall secure approval from The City of Bexley prior to installation.
  - Seasonal lighting is encouraged but shall be a consistent color across all tenants and shall not include strobe lights and/or blinking lights that may be distracting to drivers.

TREE REPLACEMENT

- Per Ordinance 1262.01:
  - Two London Planetrees delineated on the existing conditions map L1.00 as trees 162 and 163 shall be replaced as two (2) trees above and beyond the replacement trees as depicted on sheet L1.01.
  - If either or both of these trees cannot be replaced/located on the adjacent Bexley Square parking lot as part of this redevelopment, they shall be replaced as fee-in-lieu at a rate of \$750 per tree paid into the City of Bexley Tree Fund for planting elsewhere in the City of Bexley.
- As per the Canopy Replacement outlined on sheet L1.01:
  - The diagrams show that the replacement of the existing canopy is seven (7) trees shy of replacing the existing canopy at maturity. If any or all of these trees cannot be replaced/located on the adjacent Bexley Square parking lot as part of this redevelopment, they shall be replaced as fee-in-lieu at a rate of \$750 per tree paid into the City of Bexley Tree Fund for planting elsewhere in the City of Bexley.



**GENERAL NOTES**

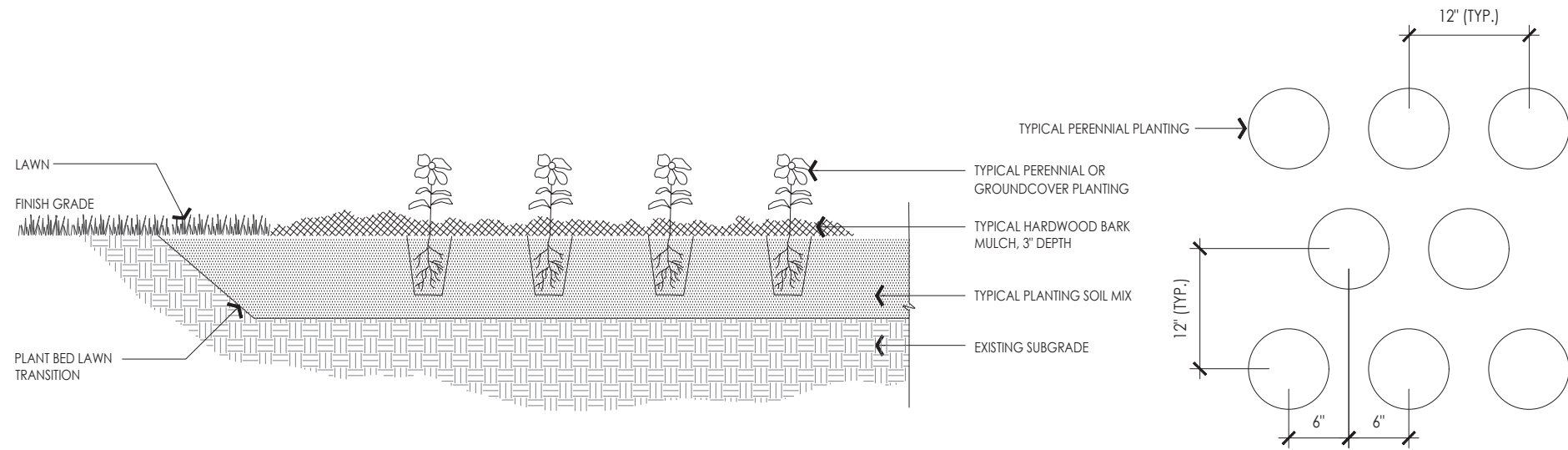
1. CONTRACTOR SHALL PROVIDE FULLY FUNCTIONAL DESIGN-BUILD SYSTEM MEETING ALL FEDERAL, STATE, AND LOCAL CODES FOR THE AREAS DELINEATED ON THE ASSOCIATED DIAGRAM. CONTRACTOR SHALL REVIEW PLANTING PLANS AND PROVIDE APPROPRIATE IRRIGATION TO MEET THE NEEDS OF EACH AREA TO BE IRRIGATED. CONTRACTOR SHALL PROVIDE RECOMMENDED ALTERNATE AREAS TO BE IRRIGATED OR POTENTIAL COST SAVINGS TO THE OWNER'S REPRESENTATIVE.
2. EACH CONTRACTOR IS TO VERIFY WITH OWNER AND UTILITY COMPANIES THE LOCATIONS OF ALL UTILITIES PRIOR TO CONSTRUCTION, TO DETERMINE IN THE FIELD THE ACTUAL LOCATIONS AND ELEVATIONS OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT. THE CONTRACTOR SHALL CALL UTILITY PROTECTION SERVICE 72 HOURS PRIOR TO CONSTRUCTION.
3. CONTRACTOR SHALL TEST WATER AND NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY IF DETRIMENTAL MINERALS ARE DETECTED AND/OR ANY ABNORMAL PRESSURES OR FIELD CONDITIONS THAT COULD IMPACT THE SYSTEM, PRIOR TO CONSTRUCTION.
4. CONTRACTOR IS RESPONSIBLE FOR COST OF REPAIRS TO EXISTING SITE CONDITIONS WHEN DAMAGED BY CONTRACTOR. REPAIR TO THE SATISFACTION OF THE OWNER.
5. THE OWNER'S REPRESENTATIVE WILL REVIEW THE LAYOUT FOR GENERAL CONFORMANCE PRIOR TO CONSTRUCTION.
6. ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS ACROSS ALL FINISH GRADED SURFACES.
7. ENSURE WATER IS NOT BROADCAST ONTO FACE OF BUILDINGS, SIGNS, OR OTHER STRUCTURES. CONTRACTOR SHALL DESIGN SYSTEM TO PREVENT WATER SPRAYING DIRECTLY ONTO AND/OR OVER SIDEWALKS AND PAVED AREAS.
8. NOTIFY THE OWNER'S REPRESENTATIVE OF ANY CONDITIONS WHERE WATER WILL ROUTINELY BE SPRAYED ONTO OBJECTS SUCH AS LIGHT POSTS, SIDEWALKS, FENCING, ETC., AS THIS MAY IMPACT THE WATERING WINDOW AND HEAD ADJUSTMENTS.

**CONSTRUCTION NOTES:**

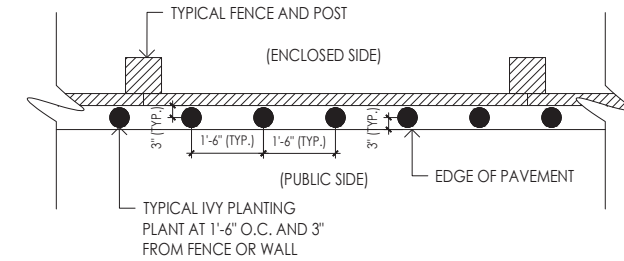
- ① BUBBLER - 1 PER TREE
- DRIP IRRIGATION AREA
- SPRAY IRRIGATION AREA
- OFF-SITE IRRIGATION - TO BE COORDINATED WITH CITY







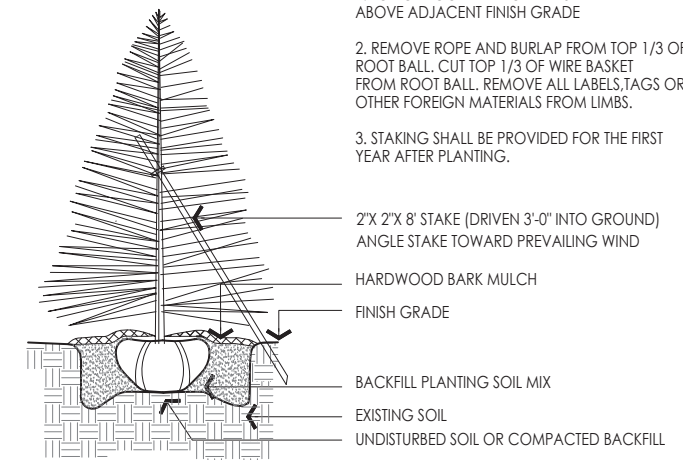
1 PLAN, SECTION - PERENNIAL AND GROUND COVER PLANTING  
N.T.S.



6 IVY PLANTING - 18" O.C.  
N.T.S.

NOTES:

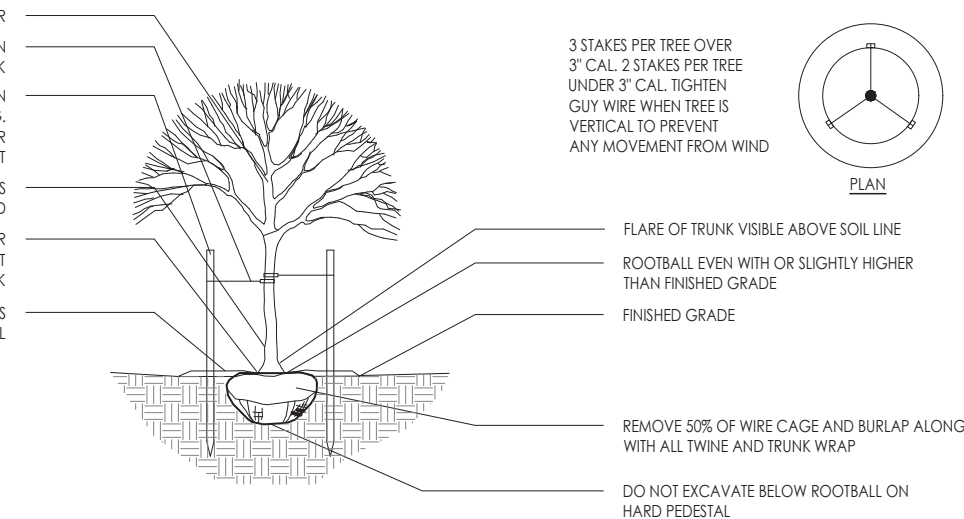
1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISH GRADE
2. REMOVE ROPE AND BURLAP FROM TOP 1/3 OF ROOT BALL. CUT TOP 1/3 OF WIRE BASKET FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.
3. STAKING SHALL BE PROVIDED FOR THE FIRST YEAR AFTER PLANTING.



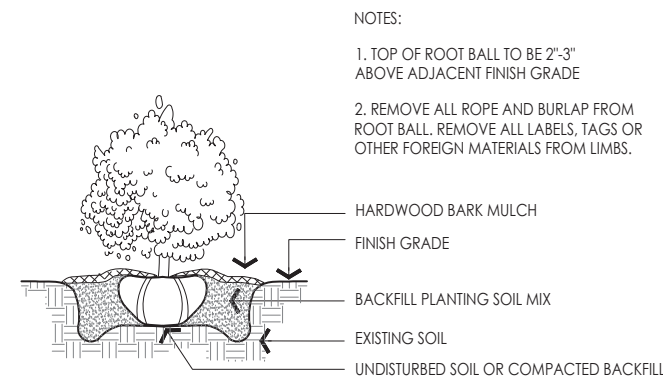
7 EVERGREEN TREE PLANTING  
N.T.S.

NOTES:

1. STAKING SHALL BE PROVIDED FOR THE FIRST YEAR AFTER PLANTING
2. MEASURE ROOTBALL AND SET 1" HIGHER ON HARD PEDESTAL. DO NOT DISTURB AREA UNDERNEATH ROOTBALL
3. AFTER ONE YEAR, TREES ARE NOT TO BE STAKED UNLESS THEY BECOME UNPLUMBED AT WHICH TIME THEY MAY BE REPLANTED ONCE AND STAKED



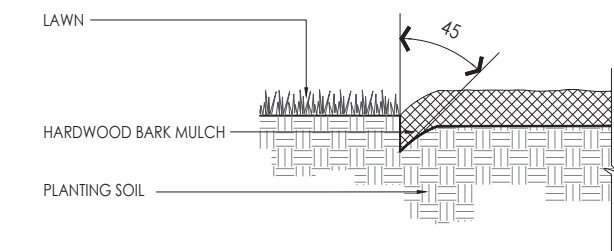
8 DECIDUOUS TREE PLANTING  
N.T.S.



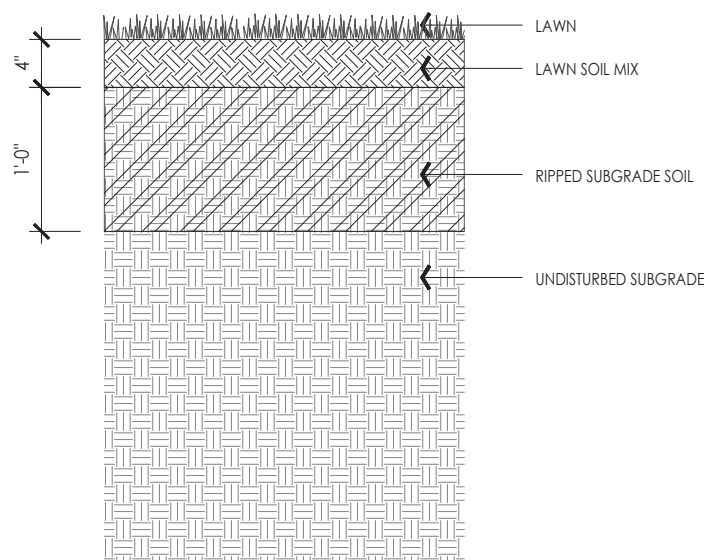
4 SHRUB PLANTING  
N.T.S.

NOTES:

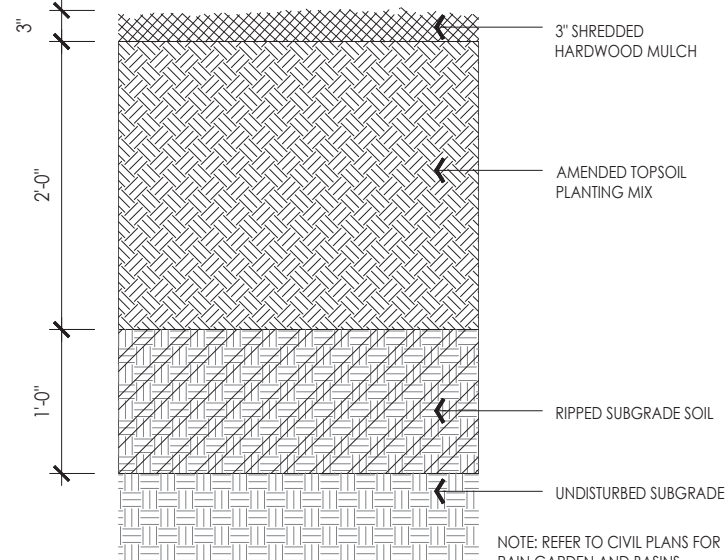
1. TOP OF ROOT BALL TO BE 2"-3" ABOVE ADJACENT FINISH GRADE
2. REMOVE ALL ROPE AND BURLAP FROM ROOT BALL. REMOVE ALL LABELS, TAGS OR OTHER FOREIGN MATERIALS FROM LIMBS.



2 PLANT BED EDGE  
N.T.S.

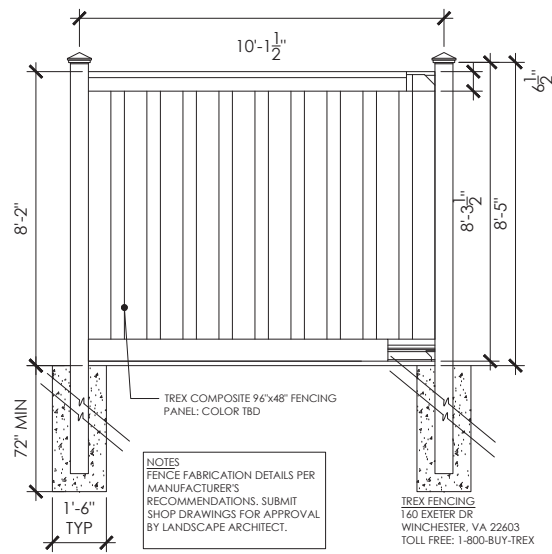


3 SOIL PROFILE AT LAWN  
N.T.S.

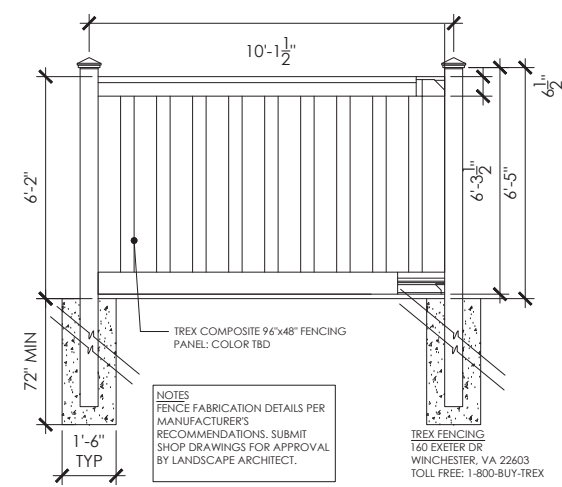


5 SOIL PROFILE AT PLANT BED  
N.T.S.

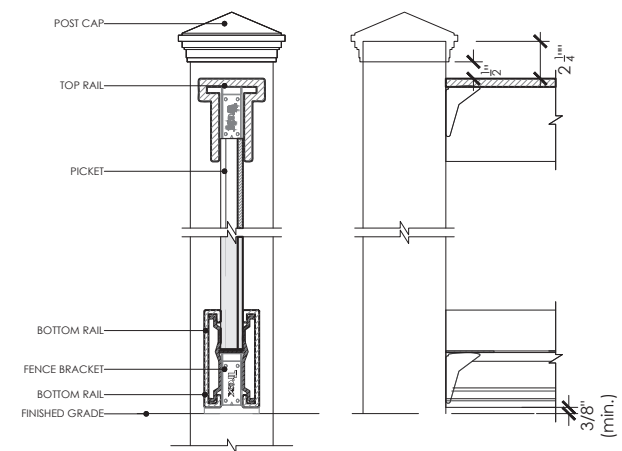
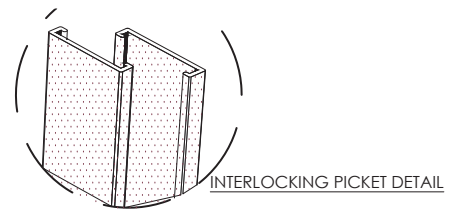
NOTE: REFER TO CIVIL PLANS FOR RAIN GARDEN AND BASINS.



1 8' COMPOSITE FENCE

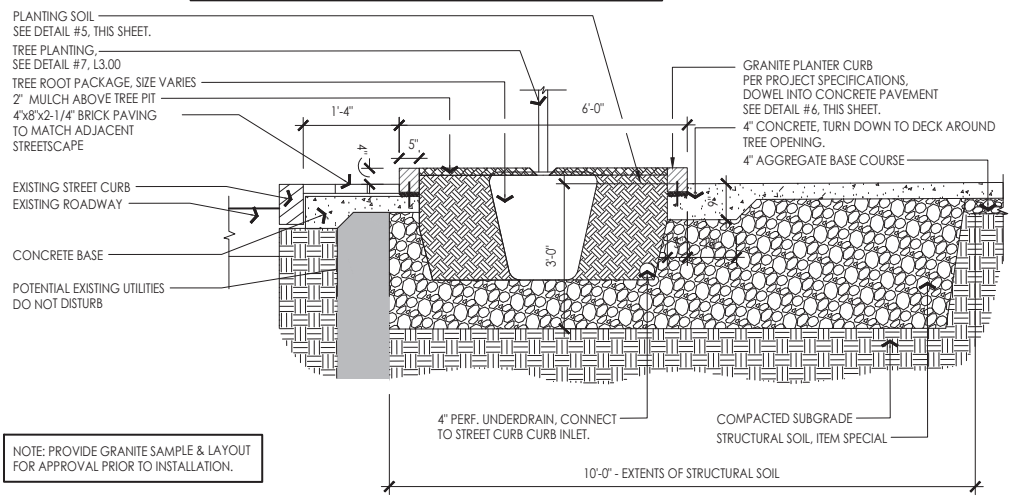


2 6' COMPOSITE FENCE

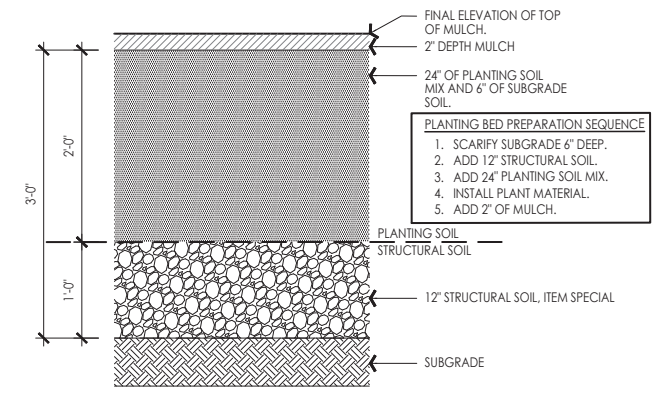


3 FENCE ENLARGEMENT

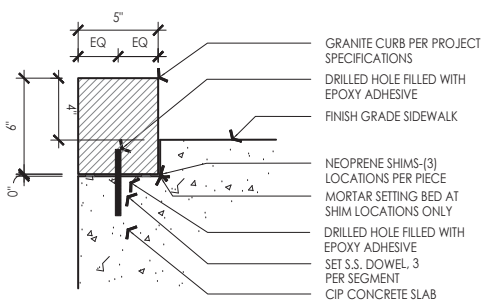
NOTE: THIS DETAIL IS MEANT TO DEPICT A 'TYPICAL' FOR CONSTRUCTION PURPOSES. IF UNDERGROUND UTILITIES ARE DETERMINED TO IMPACT THE ABILITY TO CONSTRUCT THIS AS SHOWN, CONTRACTOR SHALL ALERT OWNER AS SOON AS POSSIBLE TO EXPLORE ALTERNATIVE SOLUTIONS.



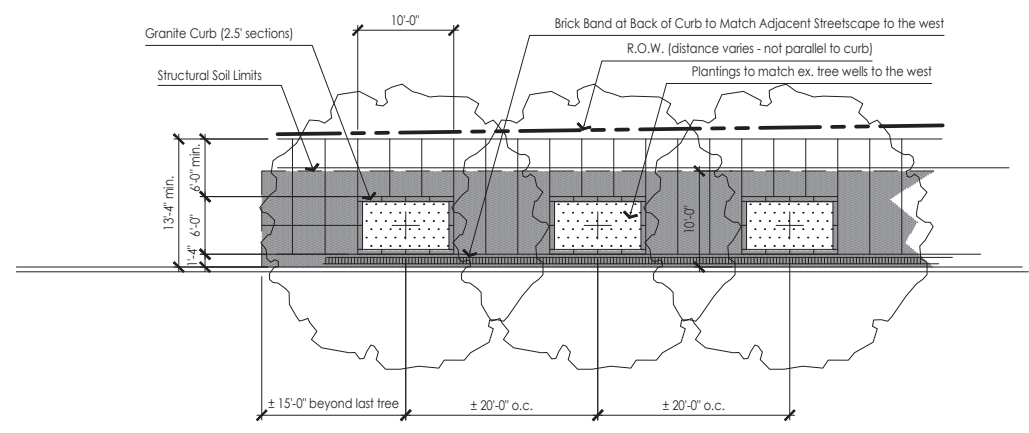
4 TREE PLANTER



5 PLANTING SOIL - 36" DEPTH



6 GRANITE PLANTER CURB



7 PLANTER CURB LAYOUT

